



Application for Planning Approval

Land Use Planning and Approvals Act 1993

APPLICATION NO.

DA2026/173

LOCATION OF AFFECTED AREA

14 COBBS HILL ROAD, BRIDGEWATER

DESCRIPTION OF DEVELOPMENT PROPOSAL

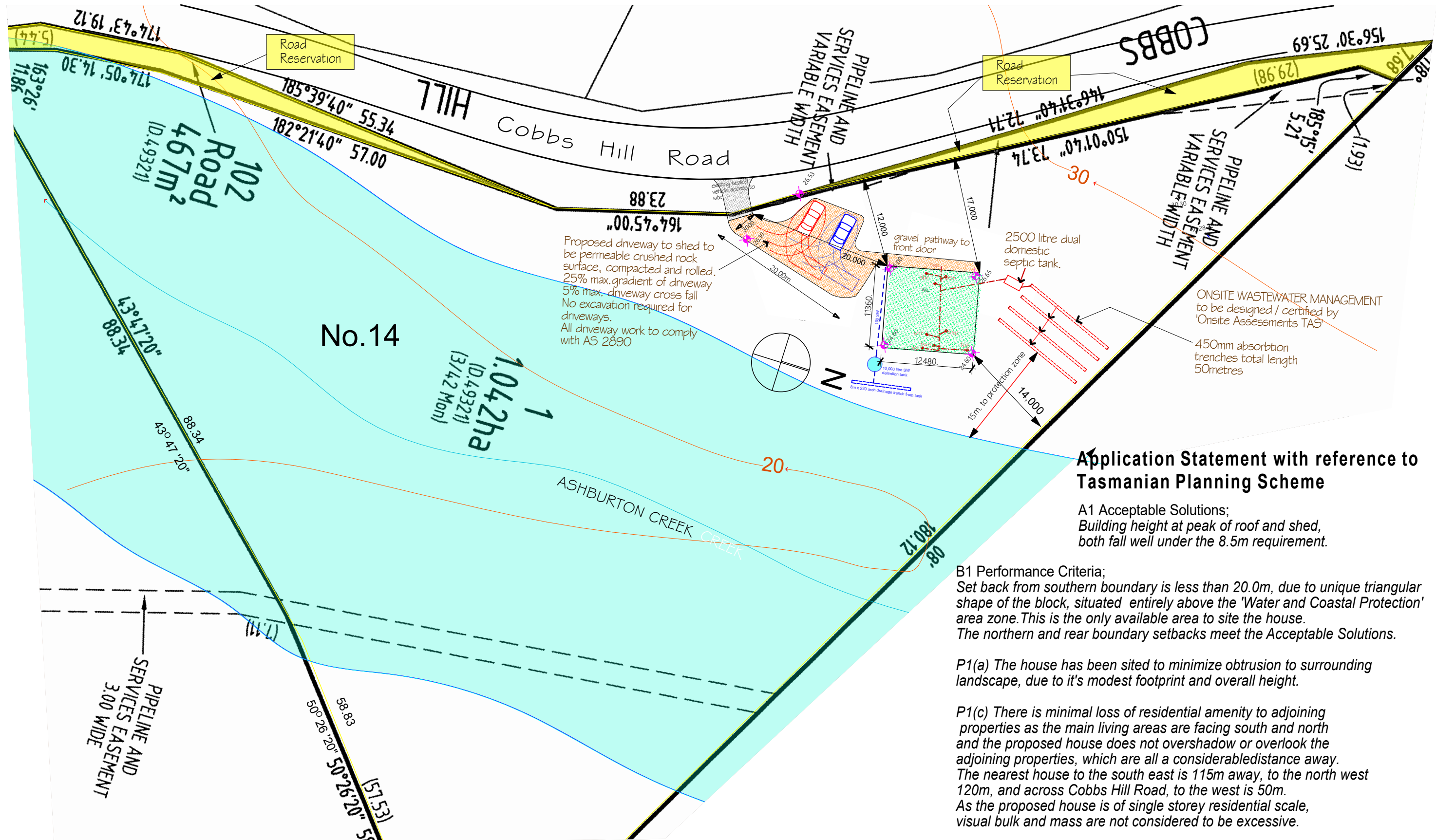
SINGLE DWELLING

A COPY OF THE DEVELOPMENT APPLICATION MAY BE VIEWED AT www.brighton.tas.gov.au AND AT THE COUNCIL OFFICES, 1 TIVOLI ROAD, OLD BEACH, BETWEEN 8:15 A.M. AND 4:45 P.M, MONDAY TO FRIDAY OR VIA THE QR CODE BELOW. ANY PERSON MAY MAKE WRITTEN REPRESENTATIONS IN ACCORDANCE WITH S.57(5) OF THE LAND USE PLANNING AND APPROVALS ACT 1993 CONCERNING THIS APPLICATION UNTIL 4:45 P.M. ON **07/10/2026**. ADDRESSED TO THE CHIEF EXECUTIVE OFFICER AT 1 TIVOLI ROAD, OLD BEACH, 7017 OR BY EMAIL AT development@brighton.tas.gov.au. REPRESENTATIONS SHOULD INCLUDE A DAYTIME TELEPHONE NUMBER TO ALLOW COUNCIL OFFICERS TO DISCUSS, IF NECESSARY, ANY MATTERS RAISED.

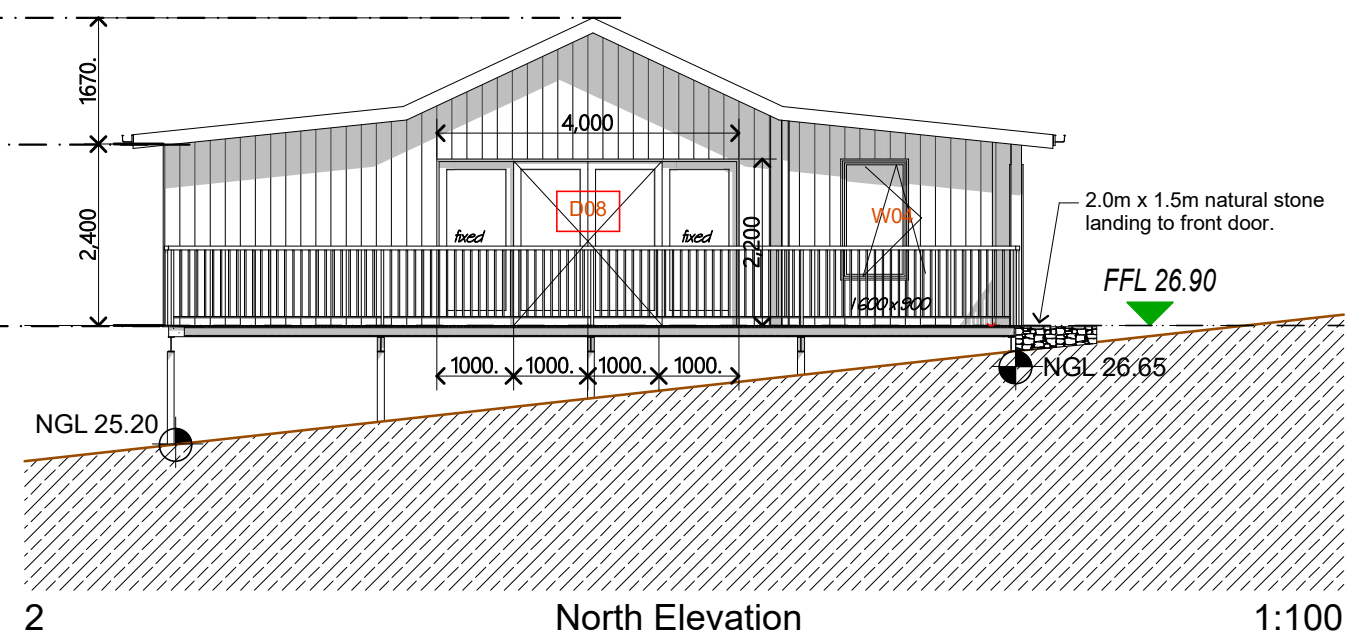
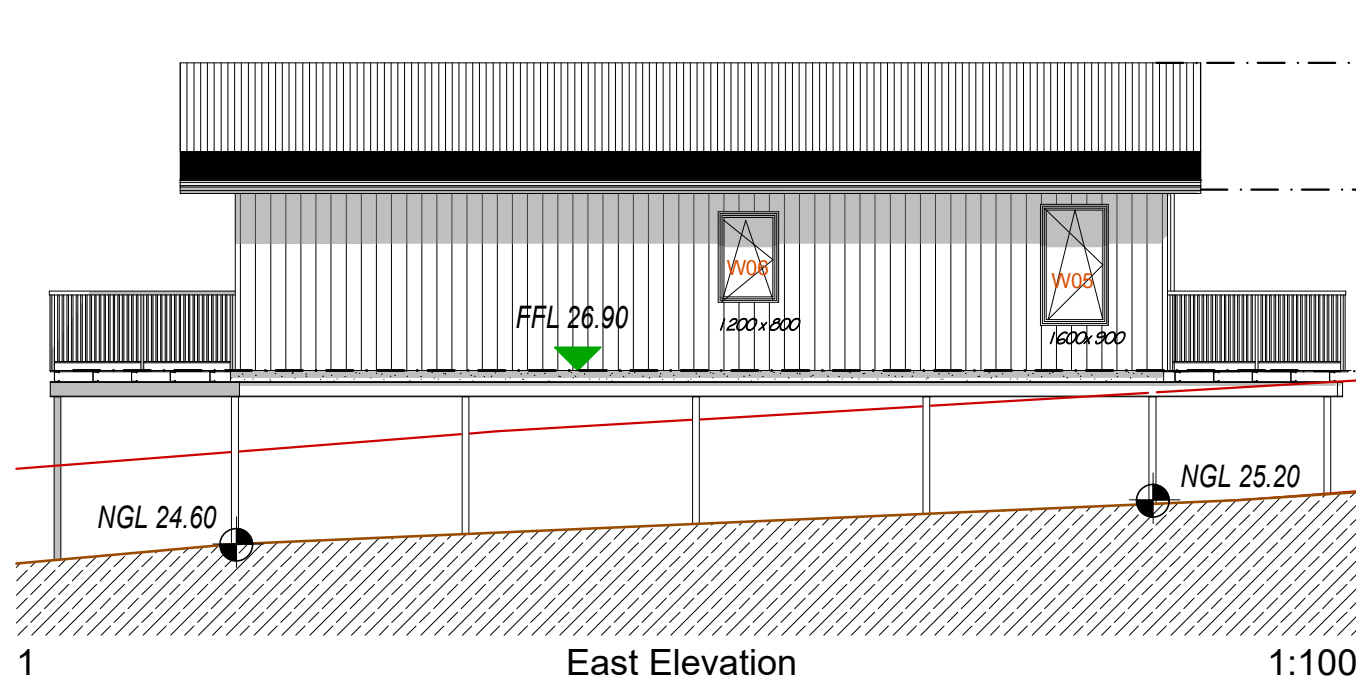
JAMES DRYBURGH
Chief Executive Officer



Brighton
going places



Revision	Date	Project Title	Drawing Title	Drawn	Checked
A.	16/09/2026	Proposed New Residence 14 COBBS HILL RD. BRIGHTON	SITE PLAN	Scale 1:500 @ A3	
		Client STANISLAV STASEK	Phillip Stary Acc.No. CC1035T <i>Architect</i> 403 Nelson Rd. MOUNT NELSON 7007 Ph. 0419-363489 e architect@netspace.net.au	Date refer 'printed' date below	
				File Number 2605	
				Drawing No DA -1 OF 3	Printed, 17 September 2026
GENERAL NOTES DO NOT SCALE DRAWINGS CONFIRM DIMENSIONS AND SETOUTS ON SITE PRIOR TO MANUFACTURE AND INSTALLATION ALL WORK IN ACCORDANCE WITH RELEVANT AUSTRALIAN STANDARDS AND BCA ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH WRITTEN SPECIFICATION AND ENGINEERS DRAWINGS					



EXTERNAL FINISHES

Roofing: Corrugated colourbond - 'Manor Red'

Cladding: Hardies 'Axon' vertical clading, colour 'Pale Eucalypt'

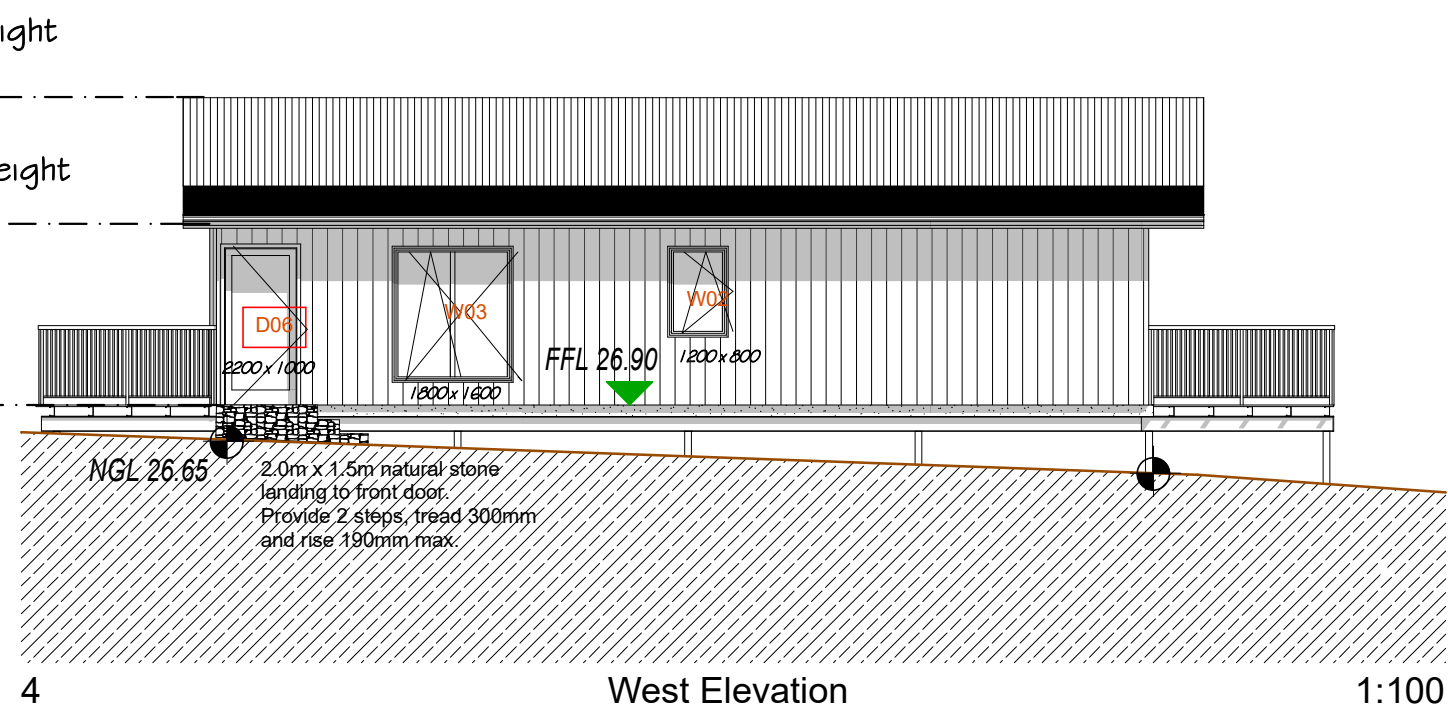
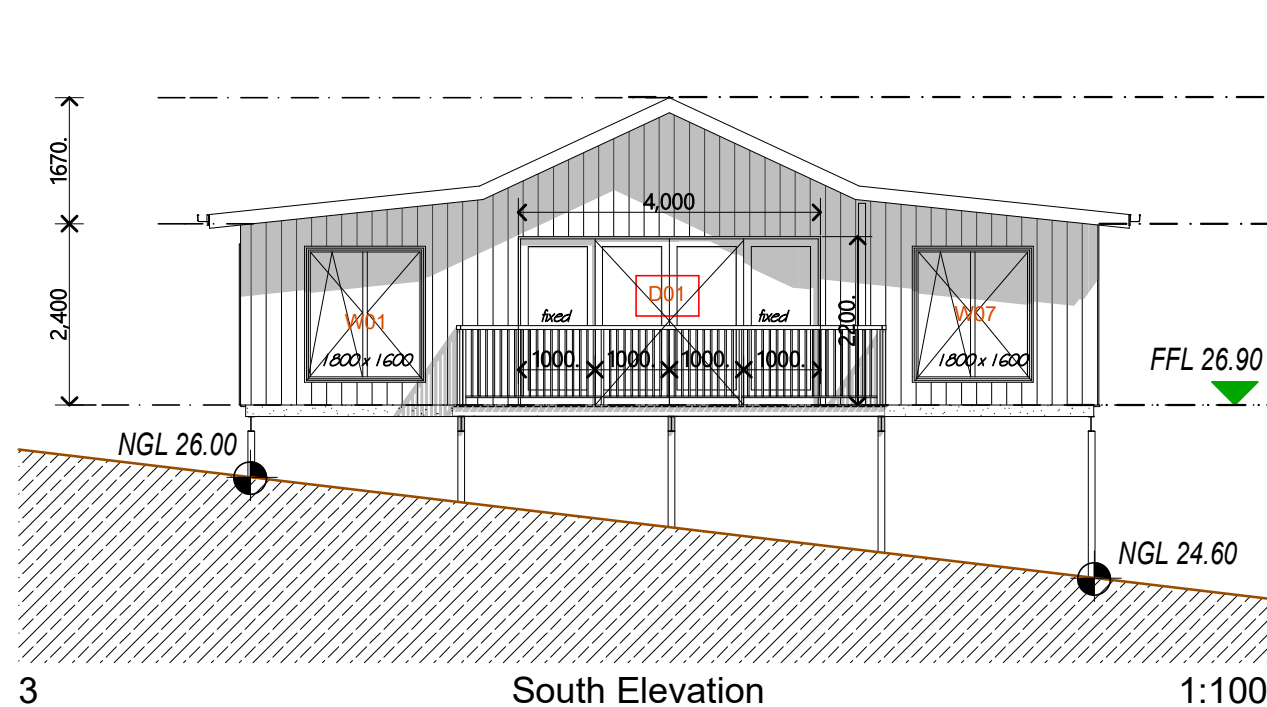
Windows: Double glazed, white frames and sashes.

Foundation: Steel columns on conc.piers

EXCAVATION, SITE LEVELS and VEGETATION CLEARANCE

There will be no excavation or cut and fill required on this site, to construct the dwelling or shed.

The existing vegetation is degraded pasture grass, and there will be no removal of trees.



Revision	Date	Project Title	Phillip Stary Acc.No. CC1035T	Drawing Title	Drawn	Checked
A.	17/09/2026	Proposed New Residence 14 Cobbs Hill Rd. BRIGHTON	Architect	ELEVATIONS	Scale 1:100 @ A3	
B.	22/09/2026				Date SEE PRINTED DATE BELOW	
GENERAL NOTES DO NOT SCALE DRAWINGS CONFIRM DIMENSIONS AND SETOUTS ON SITE PRIOR TO MANUFACTURE AND INSTALLATION ALL WORK IN ACCORDANCE WITH RELEVANT AUSTRALIAN STANDARDS AND BCA ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH WRITTEN SPECIFICATION AND ENGINEERS DRAWINGS			403 Nelson Rd. MOUNT NELSON 7007	Ph. 0419-363489 e architect@netspace.net.au	File Number 2605	
			STAN STASEK		Drawing No DA 3 of 3	Printed: Tuesday, 22 September 2026

