



Application for Planning Approval

Land Use Planning and Approvals Act 1993

APPLICATION NO.

DA2026/178

LOCATION OF AFFECTED AREA

15 SILVERGUM STREET, BRIGHTON

DESCRIPTION OF DEVELOPMENT PROPOSAL

SINGLE DWELLING

A COPY OF THE DEVELOPMENT APPLICATION MAY BE VIEWED AT www.brighton.tas.gov.au AND AT THE COUNCIL OFFICES, 1 TIVOLI ROAD, OLD BEACH, BETWEEN 8:15 A.M. AND 4:45 P.M, MONDAY TO FRIDAY OR VIA THE QR CODE BELOW. ANY PERSON MAY MAKE WRITTEN REPRESENTATIONS IN ACCORDANCE WITH S.57(5) OF THE LAND USE PLANNING AND APPROVALS ACT 1993 CONCERNING THIS APPLICATION UNTIL 4:45 P.M. ON **31/08/2026**. ADDRESSED TO THE CHIEF EXECUTIVE OFFICER AT 1 TIVOLI ROAD, OLD BEACH, 7017 OR BY EMAIL AT development@brighton.tas.gov.au. REPRESENTATIONS SHOULD INCLUDE A DAYTIME TELEPHONE NUMBER TO ALLOW COUNCIL OFFICERS TO DISCUSS, IF NECESSARY, ANY MATTERS RAISED.

JAMES DRYBURGH
Chief Executive Officer



Brighton
going places

PROPOSED NEW RESIDENCE

15 SILVERGUM STREET

BRIGHTON

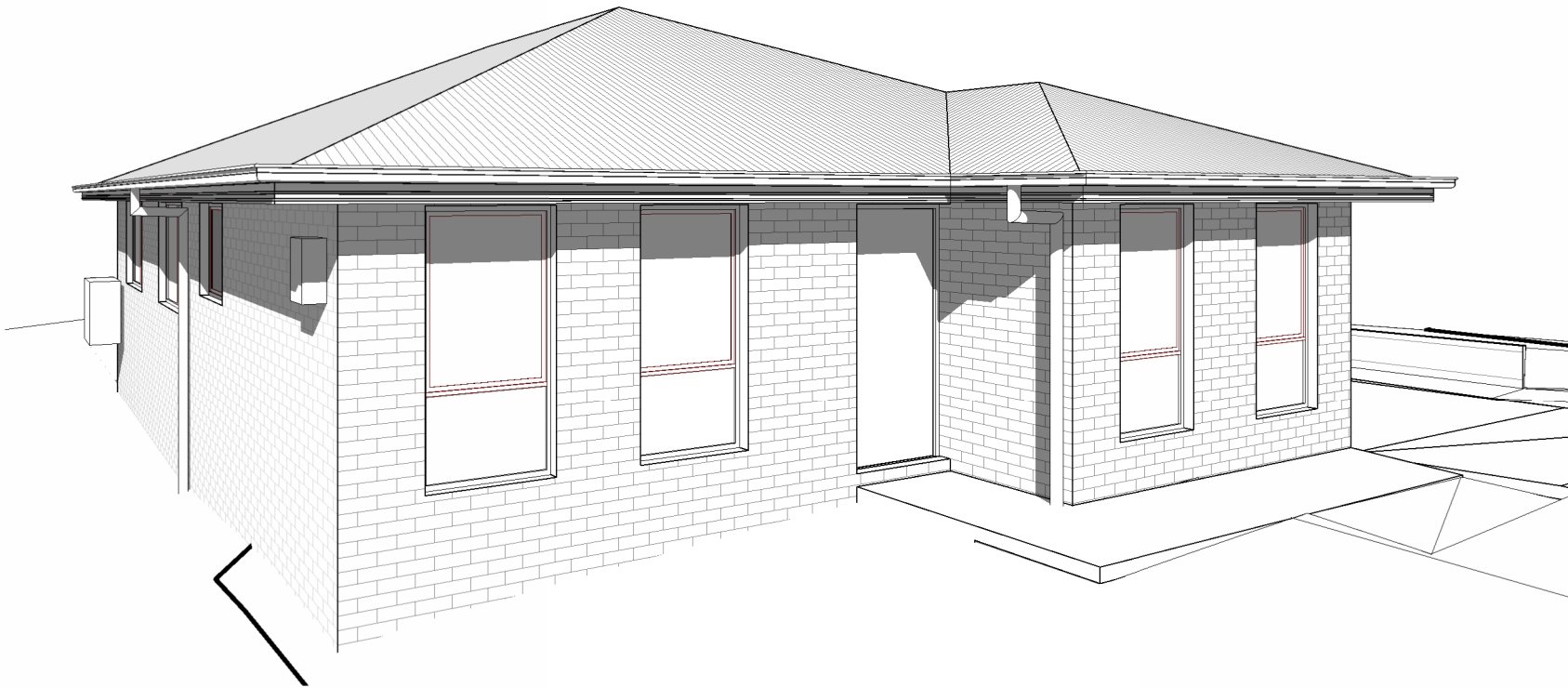
C. & R. GOODLUCK

H1026

PD26341

BUILDING DRAWINGS

No	DRAWING
01	SITE PLAN
02	SITE DRAINAGE PLAN
03	CUT/FILL PLAN
04	LOCALITY PLAN
05	FLOOR PLAN
06	DOOR AND WINDOW SCHEDULES
07	ELEVATIONS
08	ELEVATIONS
09	ROOF PLAN
10	FLOOR FINISHES PLAN
11	ELECTRICAL/REFLECTED CEILING PLAN
12	PERSPECTIVES



GENERAL PROJECT INFORMATION
TITLE REFERENCE: 186843/22
SITE AREA: 497 m2
DESIGN WIND SPEED: N3
SOIL CLASSIFICATION: M
CLIMATE ZONE: 7
ALPINE AREA: NO
CORROSIVE ENVIRONMENT: N/A
BAL RATING: EXEMPT
OTHER KNOWN HAZARDS: NOT KNOWN

Prime Design
your build, your way

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Accredited Building Practitioner:
bdqa
BUILDING DESIGNERS
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Frank Geskus -No CC246A

Cunic.

GARAGE AREA	28.77	m2	(3.10	SQUARES)
FLOOR AREA	114.11	m2	(12.28	SQUARES)
TOTAL AREA	142.88		15.38	

REV. DATE DESCRIPTION

AUGUST 2026
PLANNING

GENERAL NOTES

- CHECK & VERIFY ALL DIMENSIONS & LEVELS ON SITE
- WRITTEN DIMENSIONS TO TAKE PREFERENCE OVER SCALED
- ALL WORK TO BE STRICTLY IN ACCORDANCE WITH NCC 2022, ALL S.A.A.. CODES & LOCAL AUTHORITY BY-LAWS
- ALL DIMENSIONS INDICATED ARE FRAME TO FRAME AND DO NOT ALLOW FOR WALL LININGS
- CONFIRM ALL FLOOR AREAS
- ALL PLUMBING WORKS TO BE STRICTLY IN ACCORDANCE WITH A.S. 3500, NCC 2022 & APPROVED BY COUNCIL INSPECTOR
- BUILDER/PLUMBER TO ENSURE ADEQUATE FALL TO SITE CONNECTION POINTS IN ACCORDANCE WITH A.S. 3500 FOR STORMWATER AND SEWER BEFORE CONSTRUCTION COMMENCES
- THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE ENGINEER'S STRUCTURAL DRAWINGS
- ALL WINDOWS AND GLAZING TO COMPLY WITH A.S. 1288 & A.S. 2047
- ALL SET OUT OF BUILDINGS & STRUCTURES TO BE CARRIED OUT BY A REGISTERED LAND SURVEYOR AND CHECKED PRIOR TO CONSTRUCTION
- IF CONSTRUCTION OF THE DESIGN IN THIS SET OF DRAWINGS DIFFER FROM THE DESIGN AND DETAIL IN THESE AND ANY ASSOCIATED DOCUMENTS BUILDER AND OWNER ARE TO NOTIFY DESIGNER
- BUILDER'S RESPONSIBILITY TO COMPLY WITH ALL PLANNING CONDITIONS
- BUILDER TO HAVE STAMPED BUILDING APPROVAL DRAWINGS AND PERMITS PRIOR TO COMMENCEMENT OF CONSTRUCTION

SURVEY NOTES

- "THIS PLAN AND ASSOCIATED DIGITAL MODEL IS PREPARED FOR CUNIC HOMES FROM A COMBINATION OF FIELD SURVEY AND EXISTING RECORDS FOR THE PURPOSE OF DESIGNING NEW CONSTRUCTIONS ON THE LAND AND SHOULD NOT BE USED FOR ANY OTHER PURPOSE.
- THE TITLE BOUNDARIES AS SHOWN ON THIS PLAN WERE NOT MARKED AT THE TIME OF THE SURVEY AND HAVE BEEN DETERMINED BY PLAN DIMENSIONS ONLY AND NOT BY FIELD SURVEY. NO MEASUREMENTS OR OFFSETS ARE TO BE DERIVED BETWEEN THE FEATURES ON THIS PLAN AND THE BOUNDARY LAYER. THE RELATIONSHIP BETWEEN THE FEATURES IN THIS MODEL AND THE BOUNDARY LAYERS CANNOT BE USED FOR ANY SET OUT PURPOSES OR TO CONFIRM THE POSITION OF THE TITLE BOUNDARIES ON SITE.
- SERVICES SHOWN HAVE BEEN LOCATED WHERE VISIBLE BY FIELD SURVEY. PRIOR TO ANY DEMOLITION, EXCAVATION OR CONSTRUCTION ON THE SITE, THE RELEVANT AUTHORITY SHOULD BE CONTACTED FOR POSSIBLE LOCATION OF FURTHER UNDERGROUND SERVICES AND DETAILED LOCATIONS OF ALL SERVICES.
- IF SUBSEQUENT DESIGN IS INTENDED FOR CONSTRUCTION SETOUT, FUTURE SURVEYING SETOUT COSTS ARE INCREASED IF THE DIGITAL DATA PROVIDED IS ROTATED, SCALED OR MOVED.
- THIS NOTE FORMS AN INTEGRAL PART OF THE PLAN/DATA. ANY REPRODUCTION OF THIS PLAN/MODEL WITHOUT THIS NOTE ATTACHED WILL RENDER THE INFORMATION SHOWN INVALID.
- HORIZONTAL DATUM = GDA2020
- PLANE COORDINATE ORIGIN = RIVET IN KERB
E 519868.359 N 5272403.269 CALC PER SP186843
- VERTICAL DATUM = AHD83 PER SPM11198
- CONTOUR INTERVAL = 0.250m

SETBACKS

REFER TO DIMENSIONS AND ELEVATIONS FOR FURTHER DETAILS.

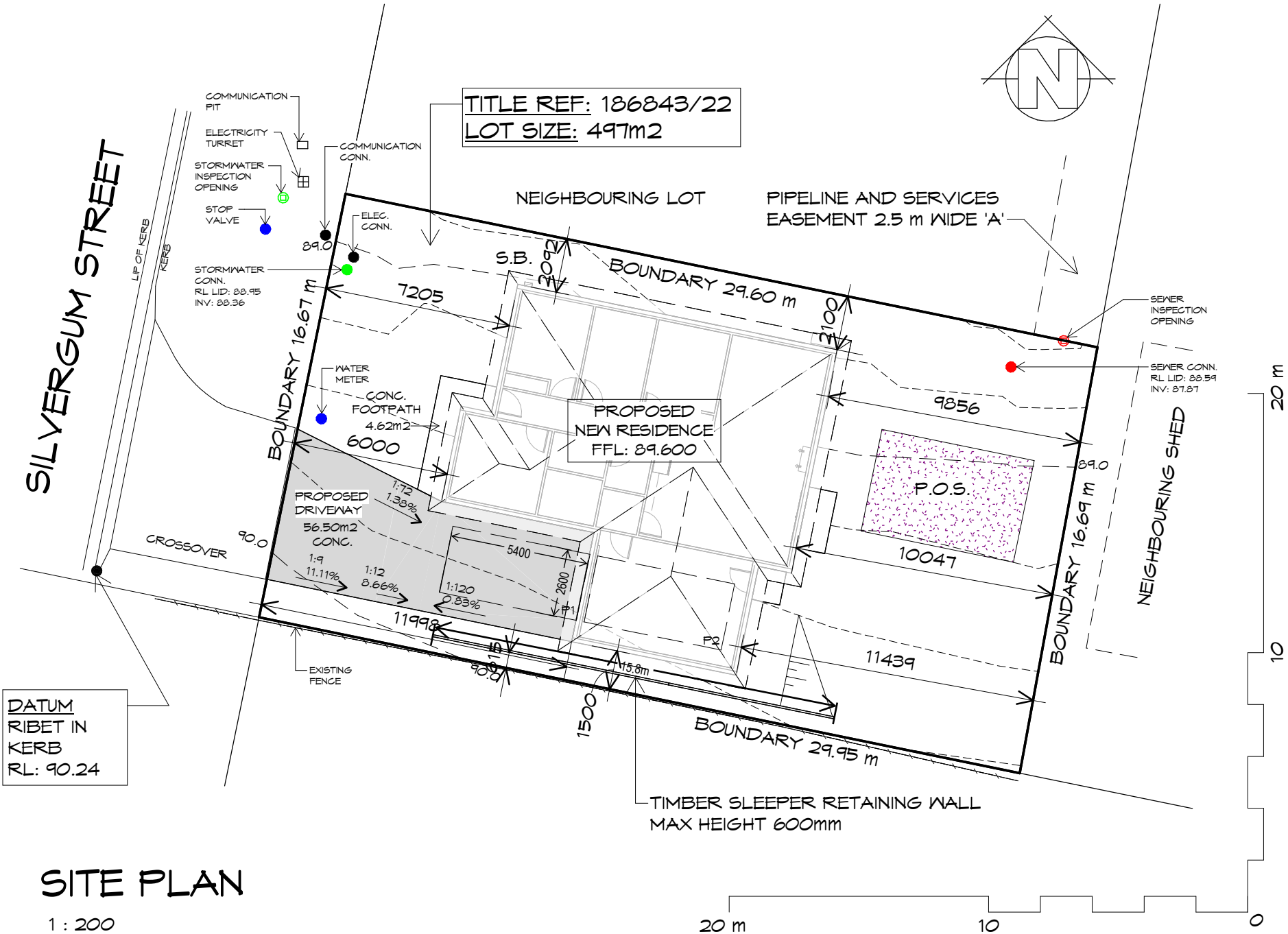
GARAGE IS LOCATED WITHIN 12m OF THE PRIMARY FRONTAGE, OPENING WIDTH IS 2.7m

SITE COVERAGE

BUILDING FOOTPRINT 142.88 /SITE AREA 497= 0.285
TOTAL SITE COVERAGE 28.5%

PRIVATE OPEN SPACE

24m² MINIMUM,
WITH A MINIMUM DIMENSION OF 4m
GRADIENT NO STEEPER THAN 1:10



DRIVEWAY GRADIENT

MAXIMUM GRADIENT 1:4 (25%) TO AS 2890

CAR PARKING GRADIENT

PARALLEL TO PARKING ANGLE 1:20 (5%)
CROSSFALL 1:16 (6.25%)

NOTE: DIMENSIONED BOUNDARY OFFSETS TO THE PROPOSED BUILDING ARE TO THE EXTERNAL CLADDING U.N.O.

IMPORTANT NOTE:
DRAWINGS CAN BE READ IN BLACK & WHITE. HOWEVER ARE BEST PRINTED IN FULL COLOUR FOR OPTIMUM CLARITY. A COLOUR COPY SHOULD BE RETAINED ON SITE AT ALL TIMES FOR CONTRACTORS COMPLETING WORKS.

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bdaa
BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA

Client name:
C. & R. GOODLUCK

Project:
PROPOSED NEW RESIDENCE
15 SILVERGUM STREET
BRIGHTON

Drawing:
SITE PLAN

Date: 08.06.2026
Drafted by: D.D.H.
Approved by: D.D.H.

Project/Drawing no: PD26341 - 01
Scale: 1 : 200
Revision: 02

Accredited building practitioner: Frank Geskus -No CC246A
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Cunic.

REV. DATE DESCRIPTION

PLANNING
NOTE: DO NOT SCALE OFF DRAWINGS

SILVERGUM STREET

DATUM
RIBET IN
KERB
RL: 90.24

COMMUNICATION
PIT
ELECTRICITY
TURRET
STORMWATER
INSPECTION
OPENING
STOP
VALVE
STORMWATER
CONN.
RL LID: 88.95
INV: 88.36

BOUNDARY 16.67 m

PROPOSED
DRIVENWAY
56.50m²
CONC.

TIMBER SLEEPER RETAINING WALL
MAX HEIGHT 600mm

TITLE REF: 186843/22
LOT SIZE: 497m²

NEIGHBOURING LOT

PIPELINE AND SERVICES
EASEMENT 2.5 m WIDE 'A'
CONNECT SEWER TO
TASWATER SEWER
CONNECTION

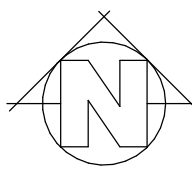
BOUNDARY 29.60 m

PROPOSED
NEW RESIDENCE
FFL: 89.600

BOUNDARY 29.95 m

AG DRAIN AT BASE OF
BATTER AS PER DETAIL ON
THIS PAGE

AG DRAIN AT BASE OF
RETAINING WALL



NEIGHBOURING SHED

SEWER
INSPECTION
OPENING
SEWER CONN.
RL LID: 88.59
INV: 87.87

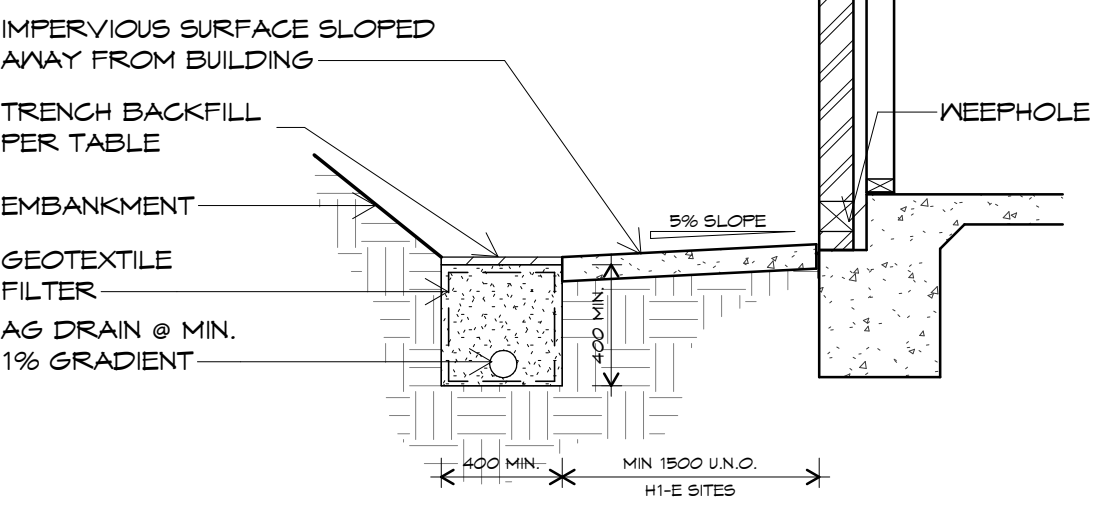
LEGEND

- GP 450X 450 SURFACE DRAINAGE PIT
- WET AREAS
- SEWER LINE
- STORMWATER LINE
- 100φ AG DRAIN
- G.T. GRATED TRENCH; 150mm WIDTH

PLUMBING NOTES:
ALL DRAINAGE WORK SHOWN IS PROVISIONAL
ONLY AND IS SUBJECT TO AMENDMENT TO
COMPLY WITH THE REQUIREMENTS OF THE LOCAL
AUTHORITIES.
ALL WORK IS TO COMPLY WITH THE REQUIREMENTS
OF AS 3500.2021 & THE TASMANIAN PLUMBING CODE.
AND MUST BE CARRIED OUT BY A LICENCED
TRADESMAN ONLY.

TRENCH BACKFILL PER SITE CLASS
TO COMPLY WITH AS2870 PART 5.6.3

SOIL CLASS	BACKFILL MATERIAL
A-S	CRUSHED DRAINAGE ROCK
M-E	COMPACTED CLAY



TYPICAL AG DRAIN DETAIL
N.T.S.

SITE DRAINAGE PLAN
1 : 200

Cunic.

REV.	DATE	DESCRIPTION
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PROPOSED NEW RESIDENCE
15 SILVERGUM STREET
BRIGHTON

Drawing:
SITE DRAINAGE PLAN

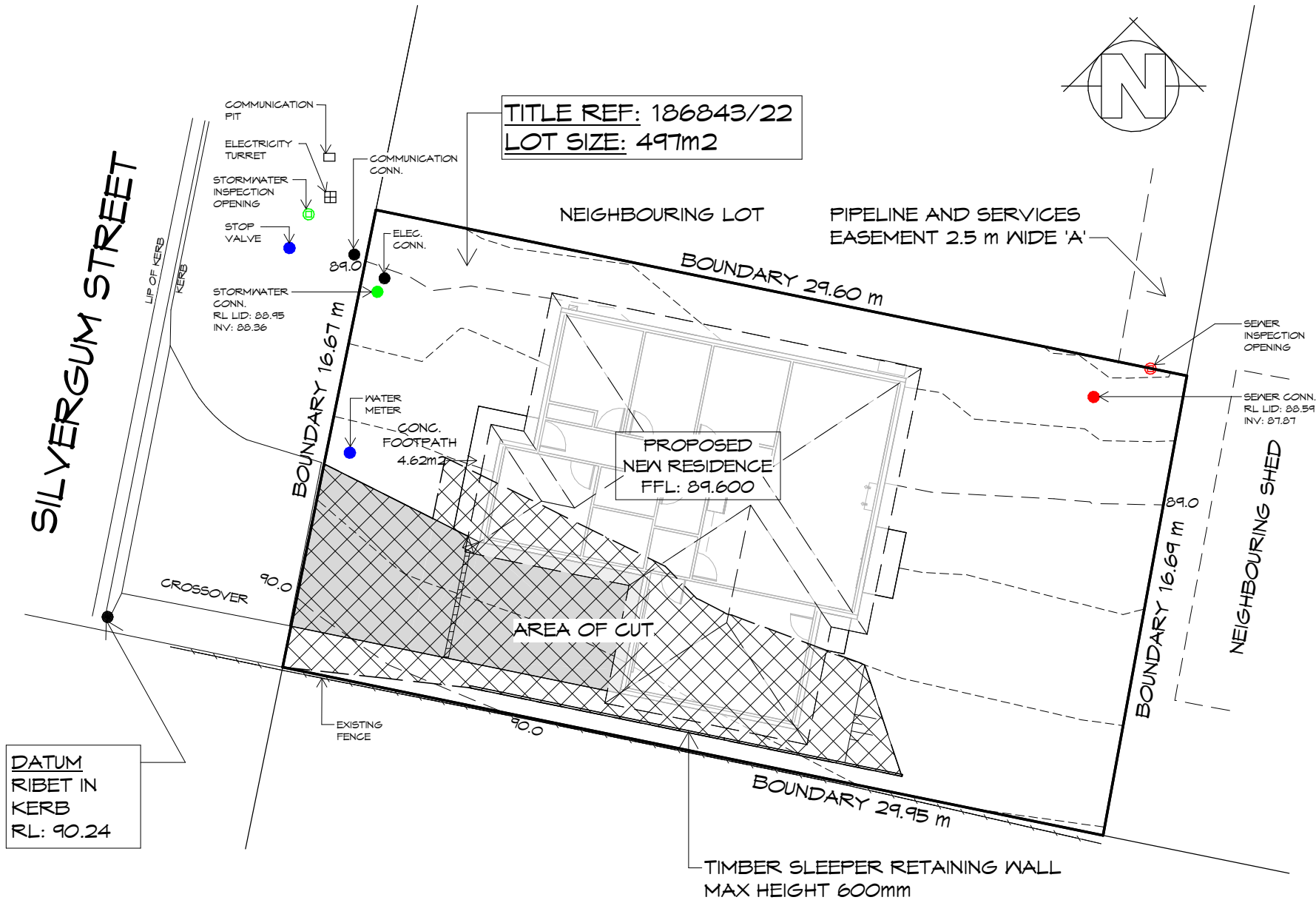
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Date: 08.06.2026
Drafted by: D.D.H.
Approved by: D.D.H.

Project/Drawing no: PD26341 - 02
Scale: As indicated
Revision: 02

Accredited building practitioner: Frank Geskus - No CC246A
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CUT/FILL SCHEDULE	
CUT VOLUME (m3)	FILL VOLUME (m3)
26.00	0.00

NOTE:
THE CUT AND FILL VOLUMES CALCULATED BY
REVIT ARE APPROXIMATE, GENERALLY
PROVIDING RESULTS WITH +/- 1% TO 2%
ACCURACY

CUT/FILL PLAN
1 : 200



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REV. DATE DESCRIPTION

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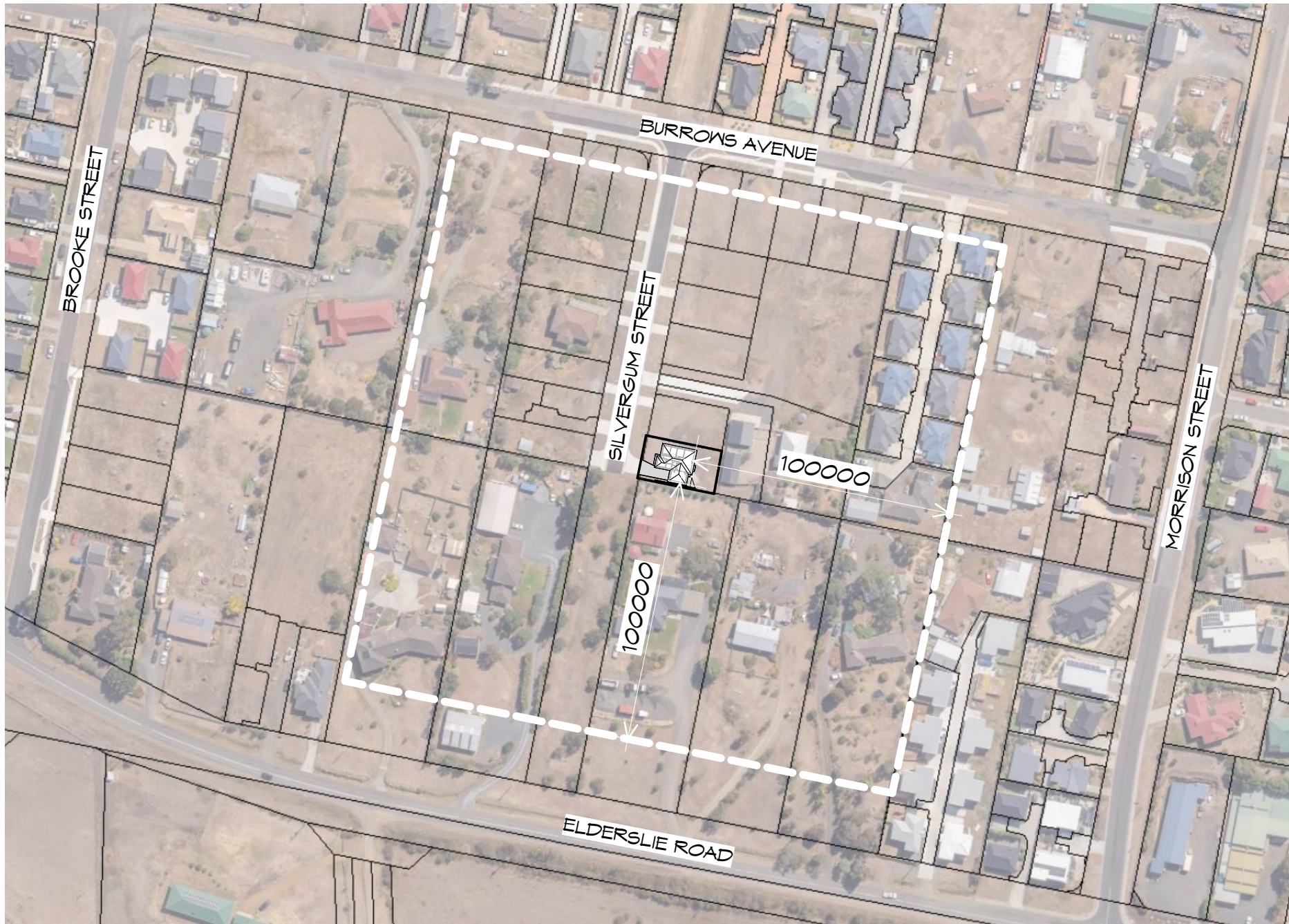
Project:
PROPOSED NEW RESIDENCE
15 SILVERGUM STREET
BRIGHTON

Drawing:
CUT/FILL PLAN

Date: 08.06.2026
Drafted by: D.D.H.
Approved by: D.D.H.

Project/Drawing no: PD26341 - 03
Scale: 1 : 200
Revision: 02

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LOCALITY PLAN

1 : 2000

THIS SITE IS ZONED **GENERAL RESIDENTIAL** AND DOES NOT FALL WITHIN A BUSHFIRE PRONE AREAS OVERLAY, THEREFORE DOES NOT REQUIRE A BUSHFIRE ASSESSMENT.



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Date:	Drafted by:	Approved by:
08.06.2026	D.D.H.	D.D.H.

Project/Drawing no:	Scale:	Revision:
PD26341 - 04	1 : 2000	02

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PLANNING

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BRIGHTON

Drawing:
LOCALITY PLAN

FLOOR PLAN

1 : 100

GARAGE AREA	28.77	m2	(3.10	SQUARES)
FLOOR AREA	114.11	m2	(12.28	SQUARES)
TOTAL AREA	142.88		15.38	

NOTE:
FLOOR AREAS INCLUDE TO EXTERNAL FACE OF BUILDING AND GARAGE, UNLESS OTHERWISE STATED.
DECKS AND OUTDOOR AREAS ARE CALCULATED SEPARATELY.

Cunic.

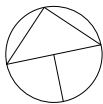
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15 SILVERGUM STREET
BRIGHTON

Drawing:
FLOOR PLAN

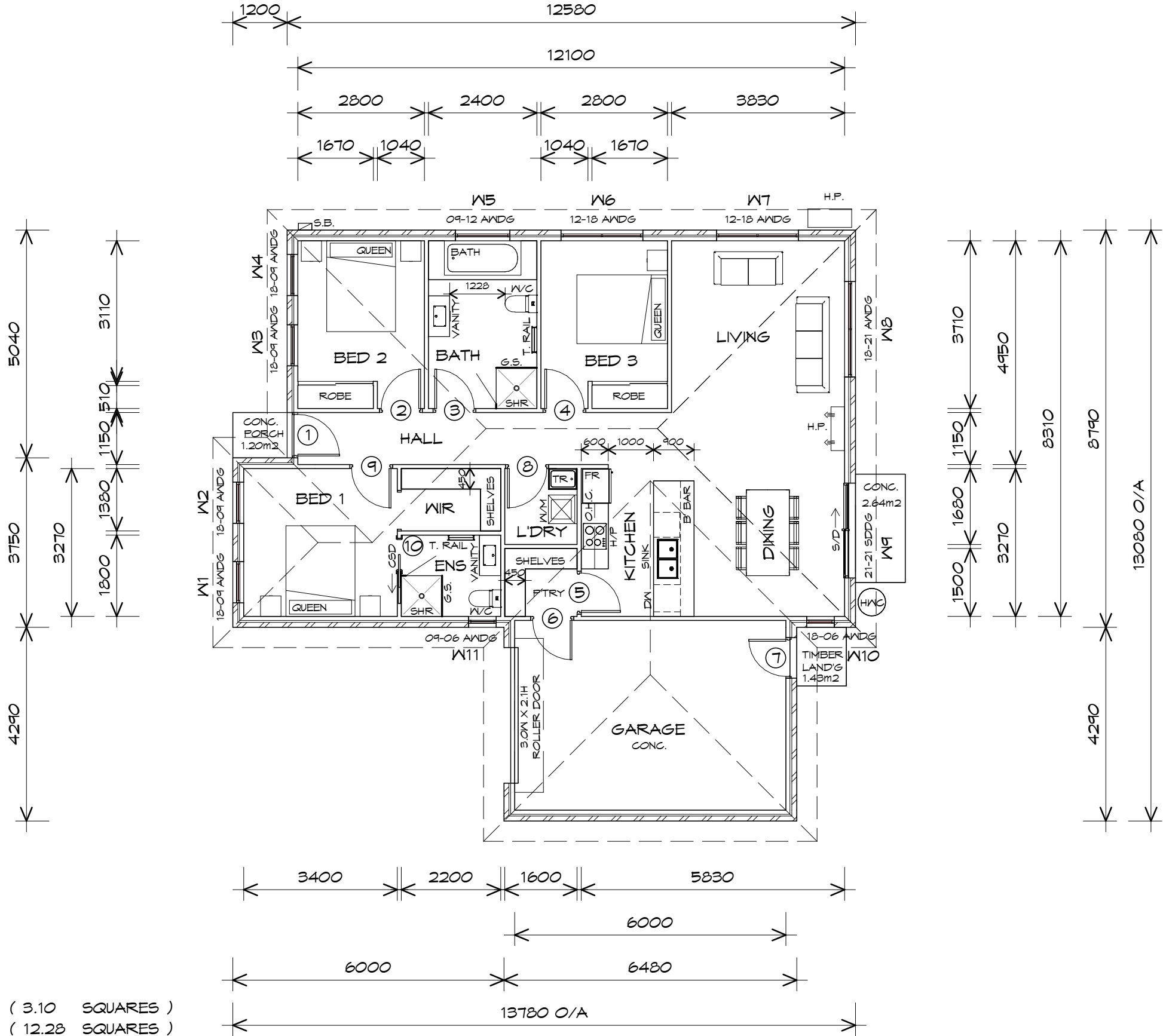


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08.06.2026	D.D.H.	D.D.H.
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PD26341 - 05	1 : 100	02

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- LEGEND
- CSD CAVITY SLIDING DOOR
 - S/D SLIDING DOOR
 - O.H.C. OVERHEAD CUPBOARD
 - T.R. TOWEL RAIL
 - G.S. GLASS SCREEN
 - HWC HOT WATER CYLINDER

DOOR SCHEDULE			
MARK	WIDTH	TYPE	REMARKS
1	920	EXTERNAL SOLID DOOR	
2	870	INTERNAL TIMBER DOOR	
3	870	INTERNAL TIMBER DOOR	
4	870	INTERNAL TIMBER DOOR	
5	870	INTERNAL TIMBER DOOR	
6	870	INTERNAL TIMBER DOOR	
7	820	EXTERNAL SOLID DOOR	
8	870	INTERNAL TIMBER DOOR	
9	870	INTERNAL TIMBER DOOR	
10	720	CAVITY SLIDING DOOR	

WINDOW SCHEDULE				
MARK	HEIGHT	WIDTH	TYPE	REMARKS
W1	1800	910	AWNING WINDOW	
W2	1800	910	AWNING WINDOW	
W3	1800	910	AWNING WINDOW	
W4	1800	910	AWNING WINDOW	
W5	900	1210	AWNING WINDOW	OPAQUE
W6	1200	1810	AWNING WINDOW	
W7	1200	1810	AWNING WINDOW	
W8	1800	2110	AWNING WINDOW	
W9	2100	2100	SLIDING DOOR	
W10	1800	610	AWNING WINDOW	
W11	900	610	AWNING WINDOW	OPAQUE

ALUMINIUM WINDOWS **DOUBLE GLAZING**.
ALL WINDOW MEASUREMENTS TO BE VERIFIED ON SITE
PRIOR TO ORDERING.

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15 SILVERGUM STREET
BRIGHTON

Drawing:
DOOR AND WINDOW SCHEDULES

 Prime Design

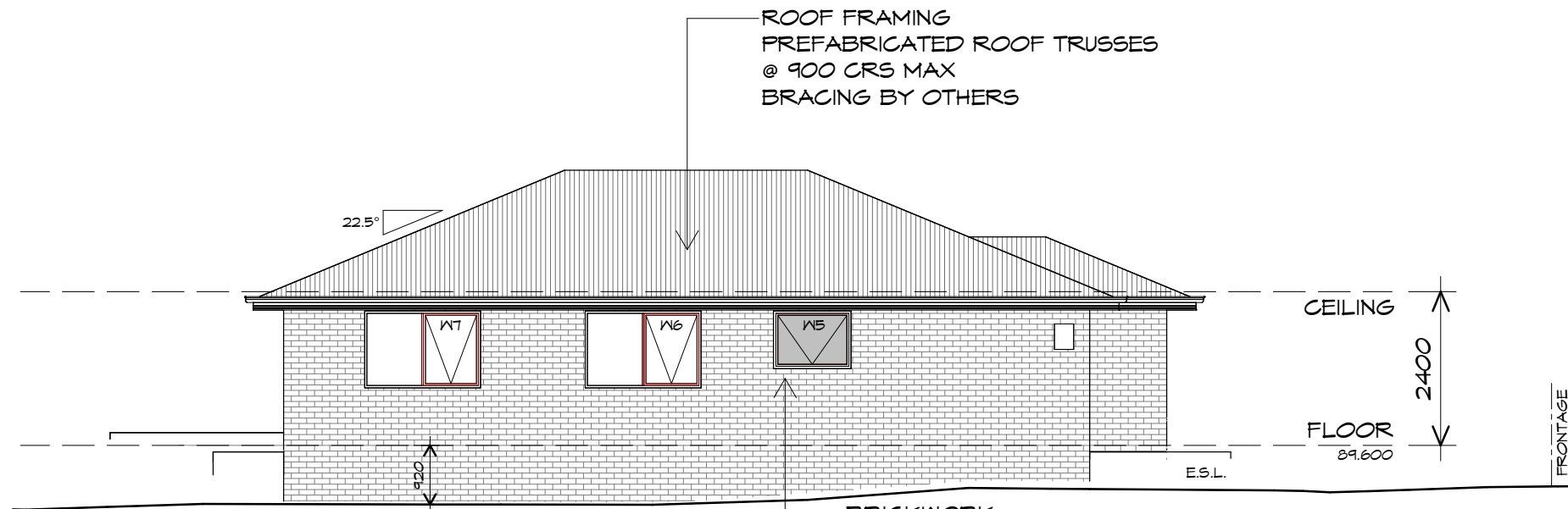
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 bdca
BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA

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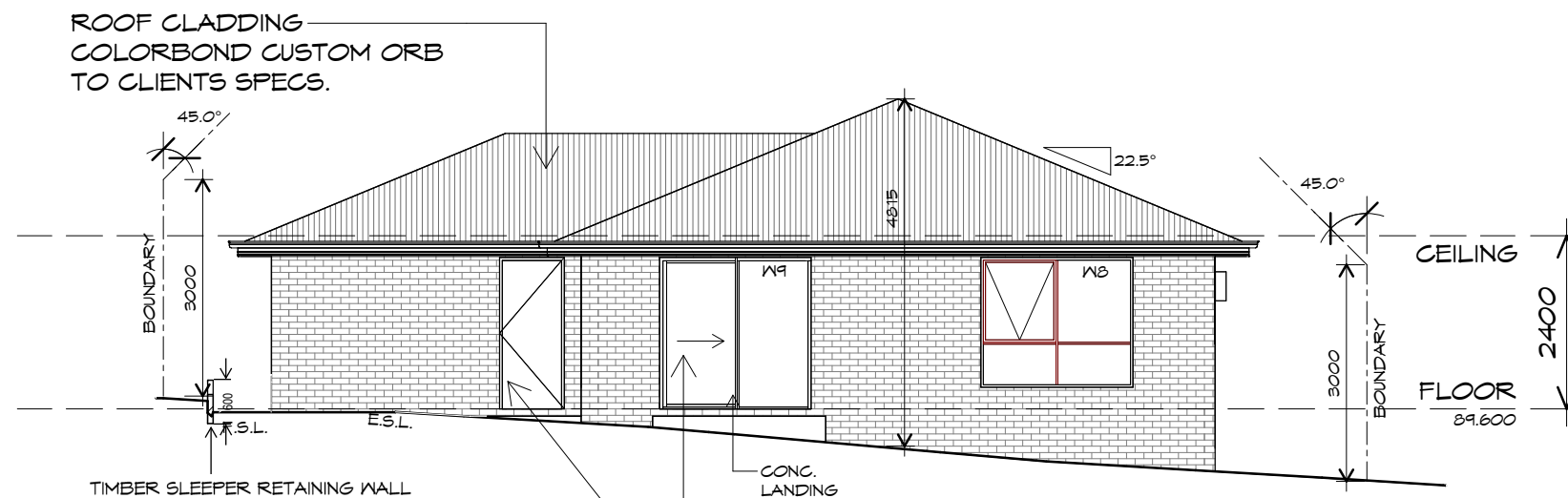
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NORTHERN ELEVATION

1 : 100



EASTERN ELEVATION

1 : 100

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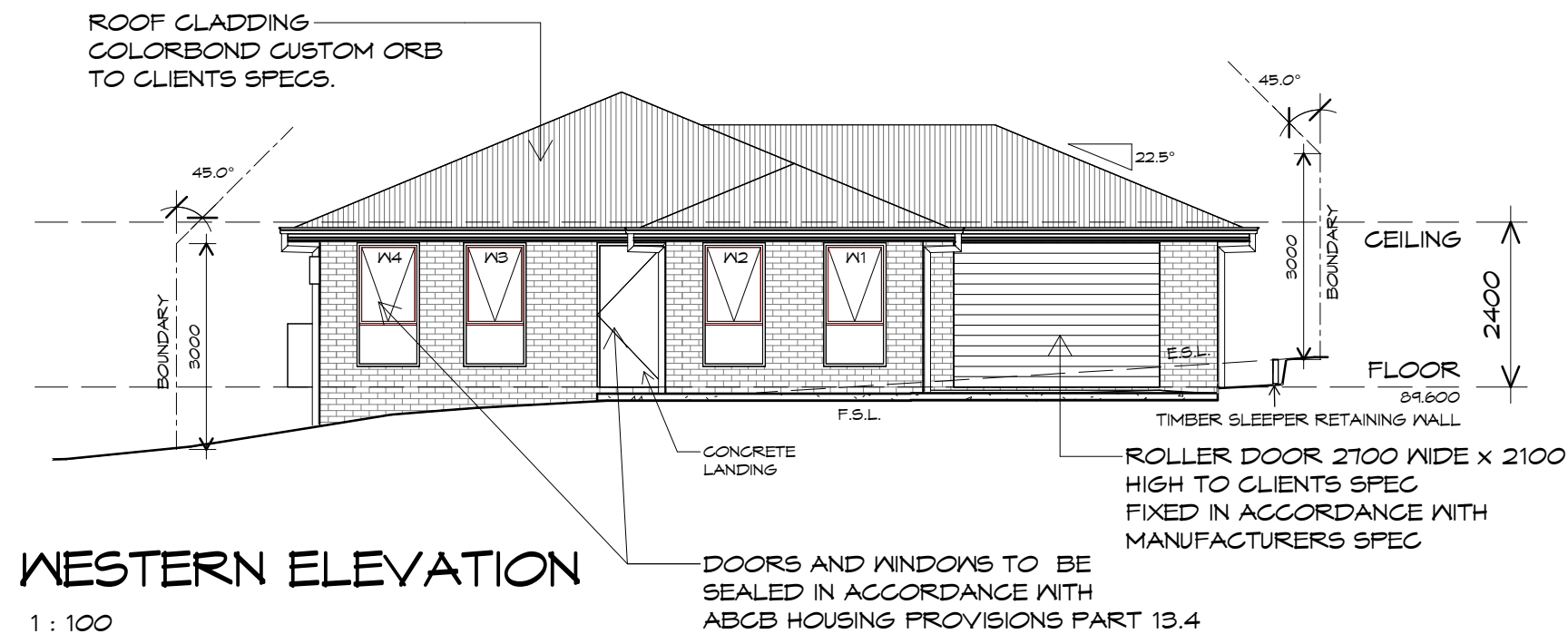
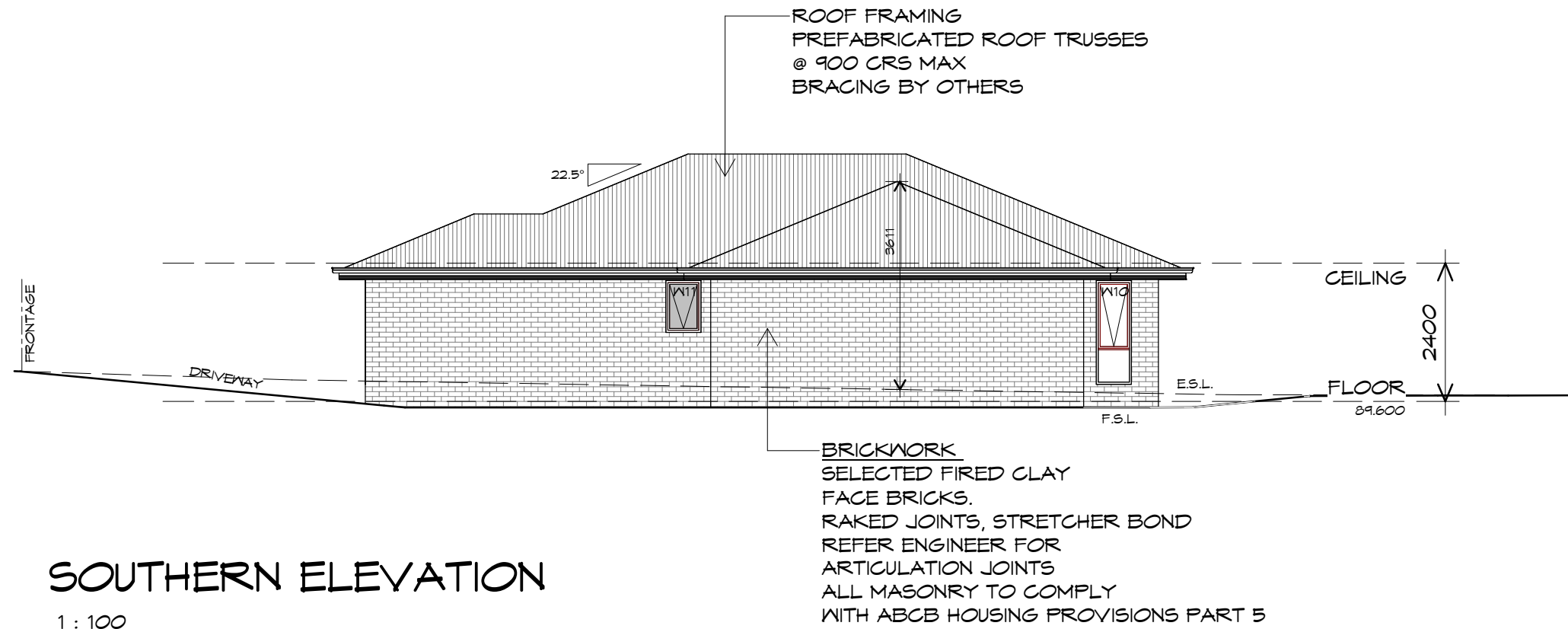
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15 SILVERGUM STREET
BRIGHTON

Drawing:
ELEVATIONS

Date: 08.06.2026 Drafted by: D.D.H. Approved by: D.D.H.

Project/Drawing no: PD26341 - 07 Scale: 1 : 100 Revision: 02

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15 SILVERGUM STREET
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ELEVATIONS

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ASSOCIATION OF AUSTRALIA

Date:	Drafted by:	Approved by:
08.06.2026	D.D.H.	D.D.H.

Project/Drawing no:	Scale:	Revision:
PD26341 - 08	1 : 100	02

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ROOF PLUMBING NOTES:

GUTTER INSTALLATION
TO BE IN ACCORDANCE WITH
ABCB HOUSING PROVISIONS PART 7.4.4
WITH FALL NO LESS THAN
1:500 FOR EAVES GUTTER
BOX GUTTERS IN ACCORDANCE WITH
AS33500.3:2021

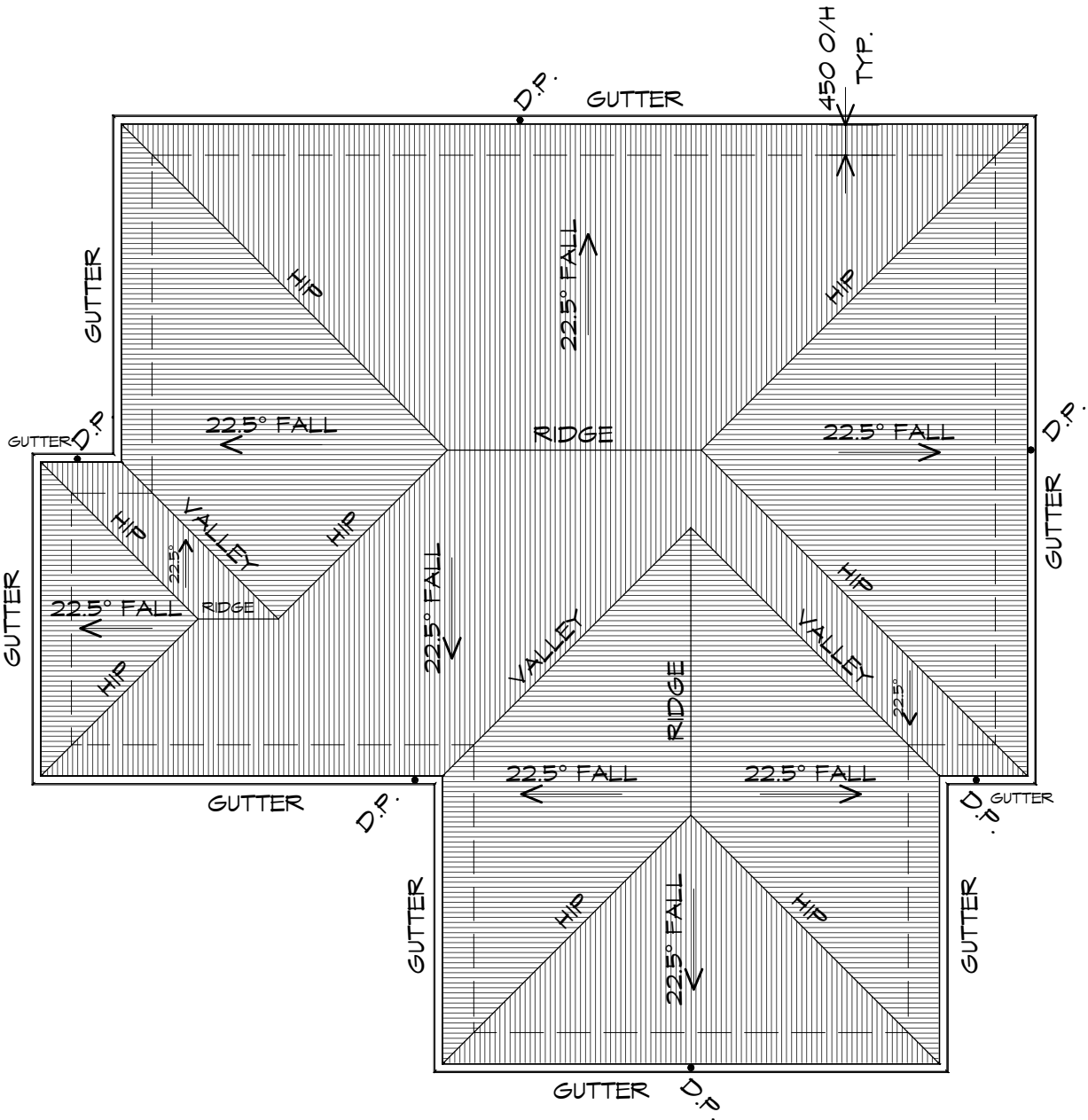
UNLESS FIXED TO METAL FASCIA
EAVES GUTTER TO BE FIXED
@ 1200 CRS MAX.

VALLEY GUTTERS ON A ROOF WITH A PITCH:
A) MORE THAN 12.5° DEGREES - MUST
HAVE A WIDTH OF NOT LESS THAN
400mm AND ROOF OVERHANG OF NOT
LESS THAN 150mm EACH SIDE OF VALLEY
GUTTER.
B) LESS THAN 12.5° DEGREES, MUST BE
DESIGNED AS A BOX GUTTER.

LAP GUTTERS 75mm IN THE DIRECTION
OF FLOW, RIVET & SEAL WITH AN
APPROVED SILICONE SEALANT.

DOWNPIPE POSITIONS SHOWN ON THIS
PLAN ARE NOMINAL ONLY.
EXACT LOCATION & NUMBER OF D.P.'S
REQUIRED ARE TO BE IN ACCORDANCE
WITH ABCB HOUSING PROVISIONS PART 7.4.5
REQUIREMENTS.
SPACING BETWEEN DOWNPIPES MUST NOT
BE MORE THAN 12m & LOCATED AS CLOSE AS
POSSIBLE TO VALLEY GUTTERS

METAL ROOF
METAL SHEETING ROOF TO BE INSTALLED IN
ACCORDANCE WITH ABCB HOUSING PROVISIONS PART
7.2. REFER TO TABLE 7.2.2a FOR ACCEPTABLE
CORROSION PROTECTION FOR SHEET ROOFING,
REFER TO TABLE 7.2.2b-7.2.2e FOR ACCEPTABILITY
OF CONTACT BETWEEN DIFFERENT ROOFING
MATERIALS. FOR FIXING, SHEET LAYING SEQUENCE,
FASTENER FREQUENCY FOR TRANVERSE FLASHINGS
AND CAPPINGS, ANTI CAPILLARY BREAKS, FLASHING
DETAILS REFER TO ABCB HOUSING PROVISIONS PART
7.2.5- 7.2.7. ROOF PENETRATION FLASHING DETAILS.
REFER TO TO ABCB HOUSING PROVISIONS PART
7.2.5- 7.2.7. ROOF SHEETING MUST OVERHANG MIN
35mm AS PER ABCB HOUSING PROVISIONS PART 7.2.8



ROOF PLAN

1 : 100

ADDITIONAL ROOF LOAD
NO SOLAR P.V. SYSTEM HAS BEEN ALLOWED FOR,
NO SOLAR HOT WATER HAS BEEN ALLOWED FOR.



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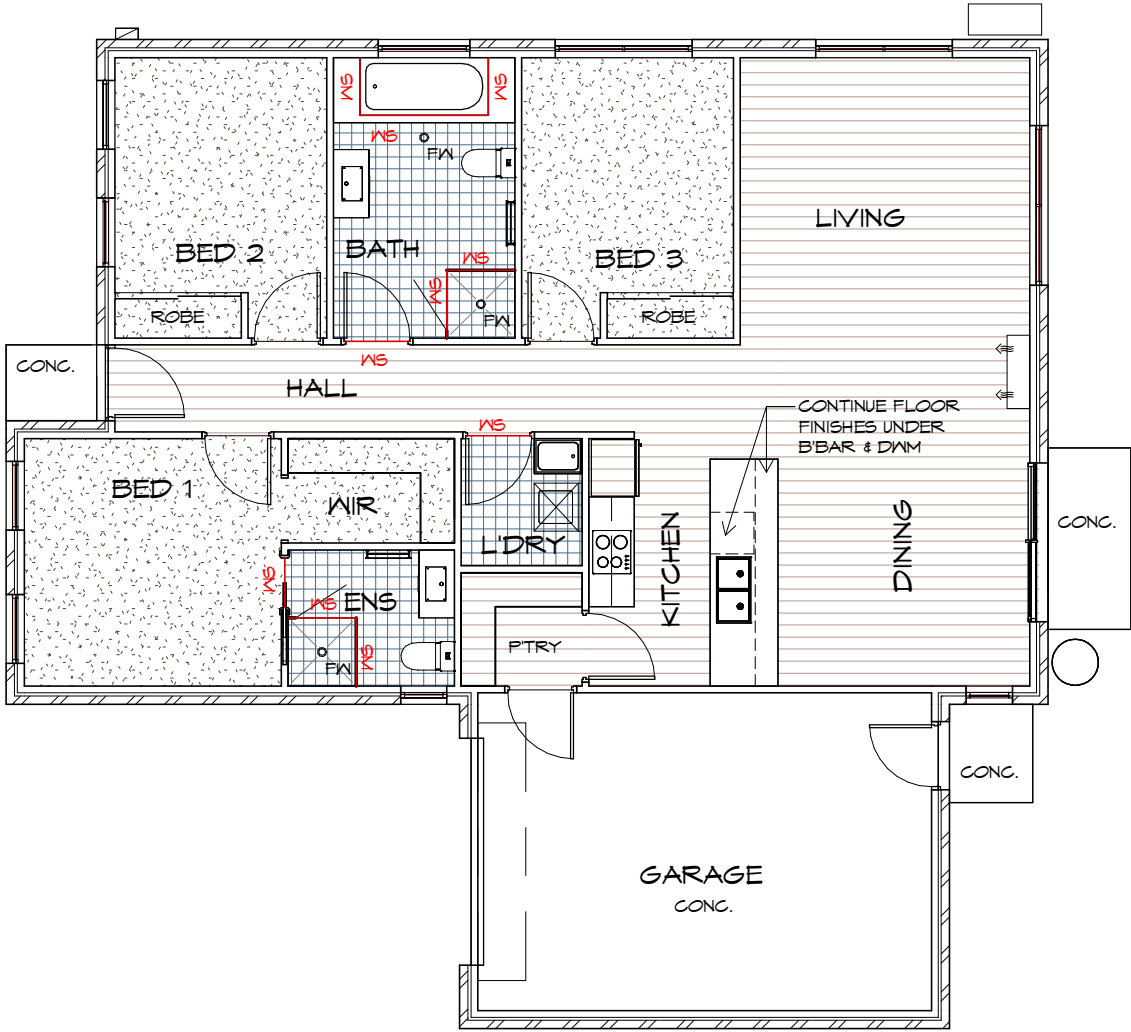
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BRIGHTON

Drawing:
ROOF PLAN

Date: 08.06.2026
Drafted by: D.D.H.
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Project/Drawing no: PD26341 - 09
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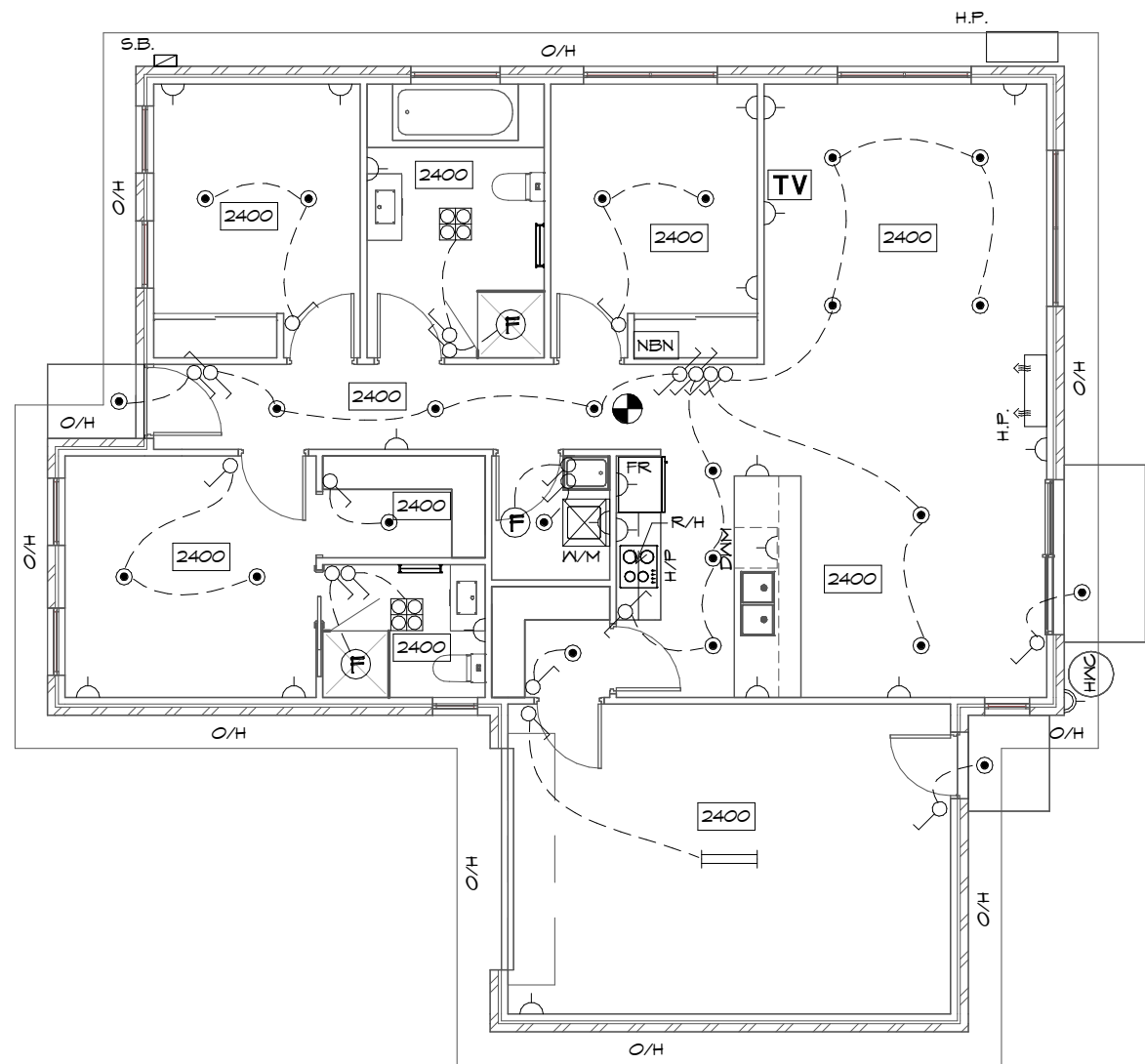


LEGEND

- CARPET
- HYBRID FLOORING
- TILES
- WS WATERSTOP
- FW FLOOR WASTE

FLOOR FINISHES PLAN

1 : 100



ELECTRICAL INDEX

LIGHTING

- FOUR LIGHT, 3 IN 1 BATHROOM LIGHT C/W DAMPER, EXHAUST TO OUTSIDE*
- L.E.D. - SEALED DOWN LIGHT *
- 1200mm LED BATTEN
- *INSTALL AS PER MANUFACTURERS SPECIFICATION

OTHER

- 240V SMOKE ALARM
- SWITCH BOX
- EXHAUST FAN, VENT TO OUTSIDE AIR, PROVIDE POWER
- RANGE HOOD, VENT TO OUTSIDE AIR, PROVIDE POWER

CEILING

- DENOTES CEILING HEIGHT
- ROOF OVERHANG/EAVES

SWITCH TYPE

- ONE-WAY SWITCH
- TWO-WAY SWITCH

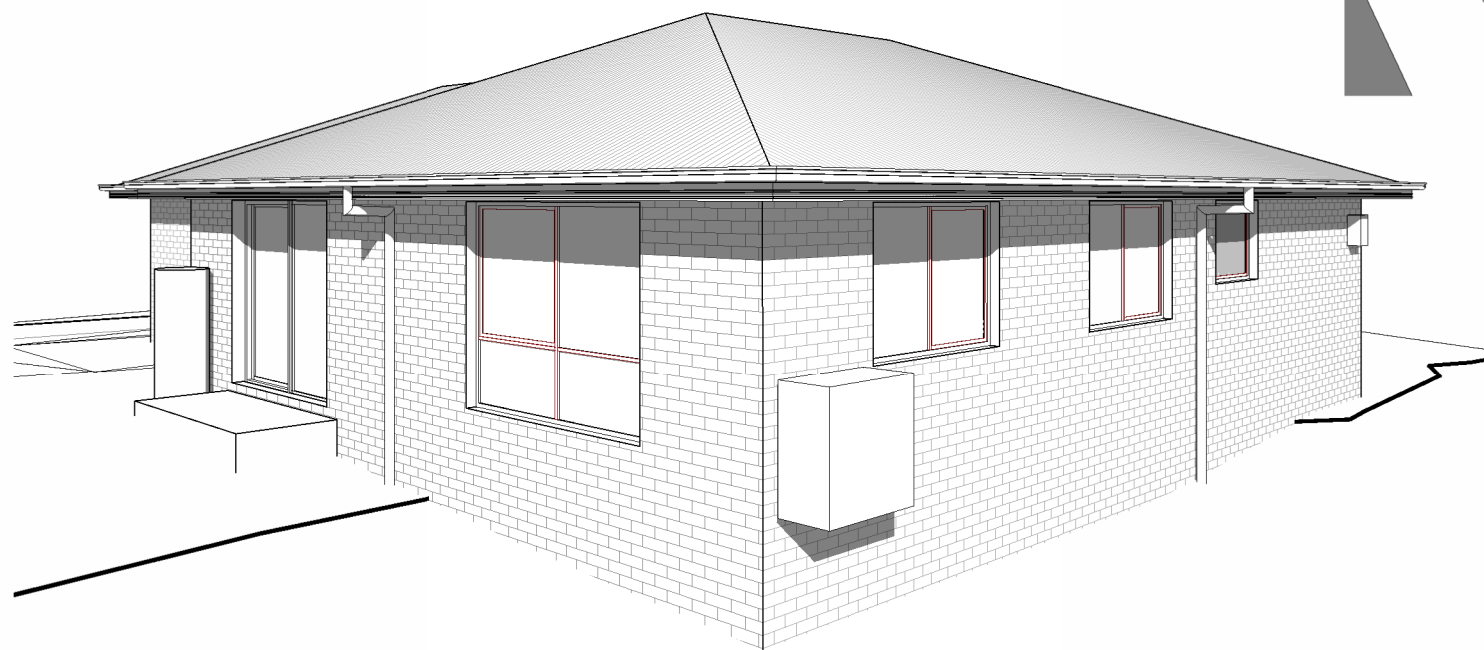
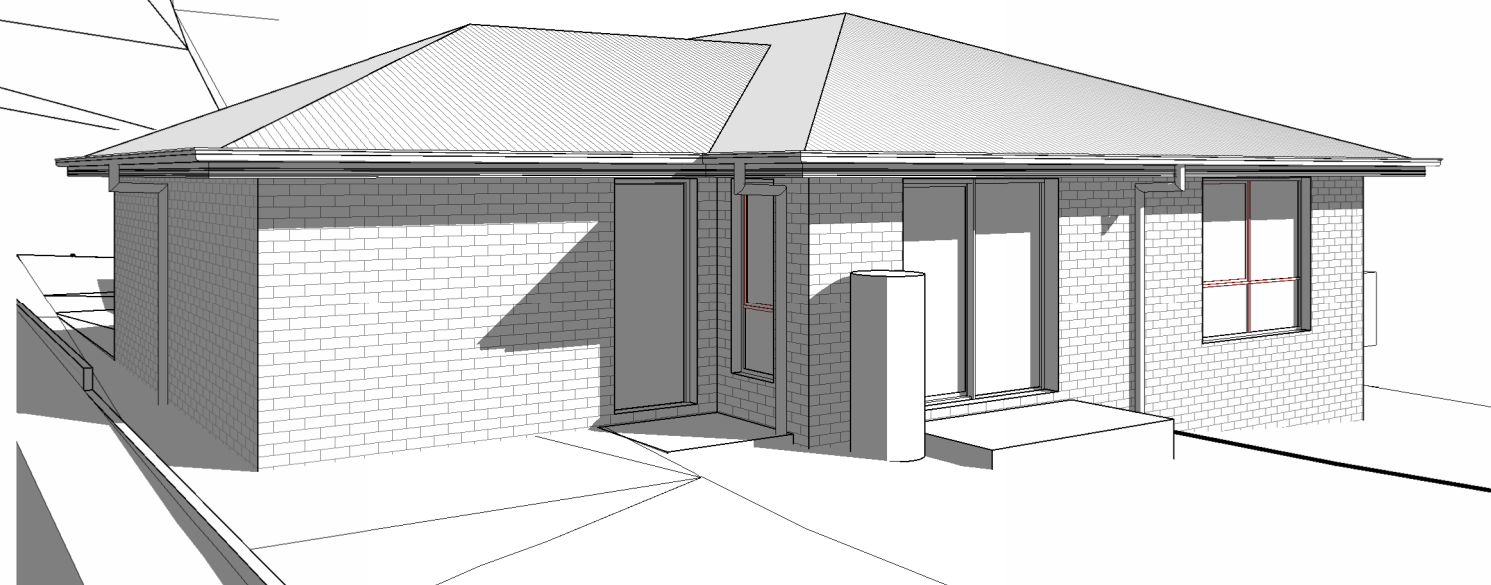
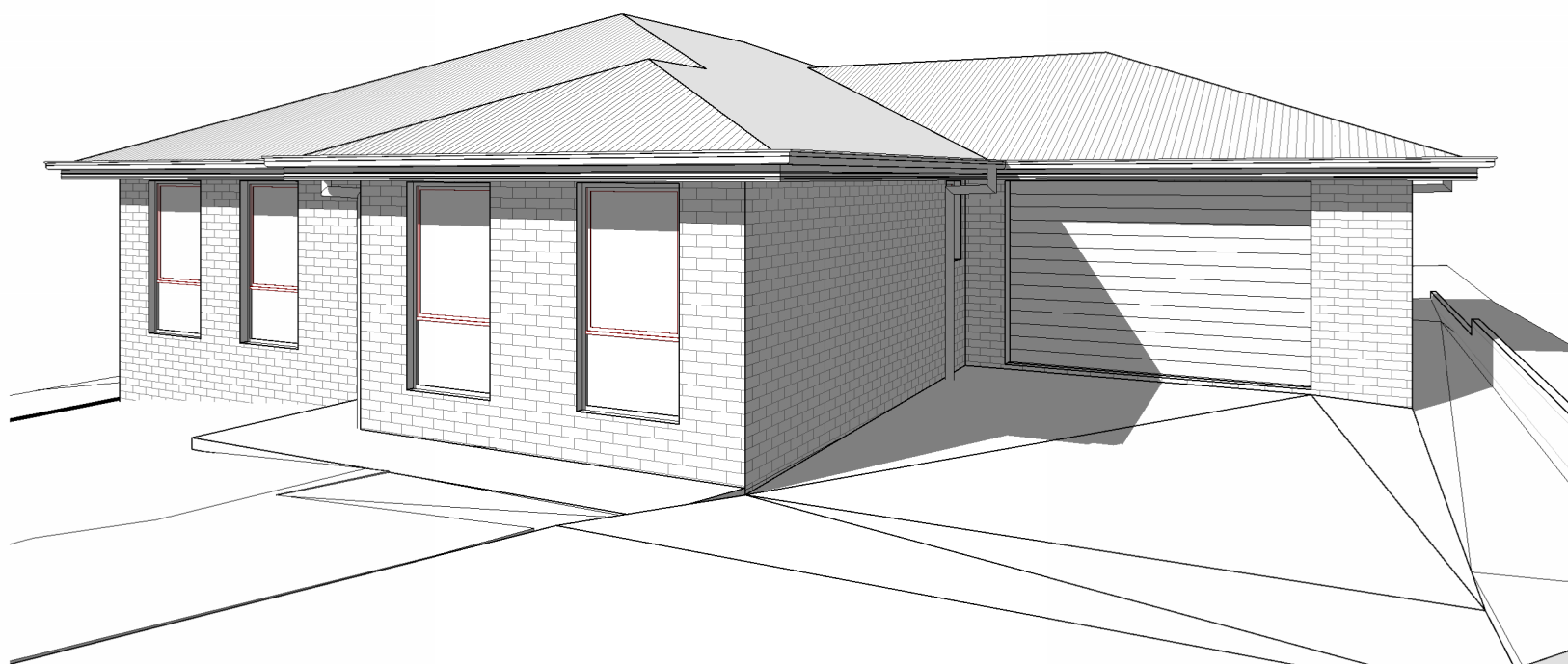
WALL OUTLETS

- GENERAL PURPOSE OUTLET (DOUBLE)
- WEATHER PROOF OUTLET
- HOTPLATE SAFETY CUT-OFF
- T.V. OUTLET
- NBN OUTLET

NOTE:
POWER POINT TO BE 300mm AWAY FROM EDGE OF WATER SOURCE

ELECTRICAL/REFLECTED CEILING PLAN

1 : 100



Cunic.

REV.	DATE	DESCRIPTION
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Client name:
C. & R. GOODLUCK

PLANNING
NOTE: DO NOT SCALE OFF DRAWINGS

Project:
PROPOSED NEW RESIDENCE
15 SILVERGUM STREET
BRIGHTON

Drawing:
PERSPECTIVES

 Prime
Design

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bdoo
BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA

Date: 08.06.2026	Drafted by: D.D.H.	Approved by: D.D.H.
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Project/Drawing no: PD26341 - 12	Scale:	Revision: 02
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Accredited building practitioner: Frank Geskus - No CC246A
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10 August 2026

Att: Planning Department
Brighton Council

Via email: Development@brighton.tas.gov.au

Dear Sir/Madam

Application for development – 15 Silvergum Street, Brighton

Please find enclosed application for development for a single residential dwelling development 15 Silvergum Street, Brighton, and supporting documentation:

- Completed application form
- Title documents (Folio Text, Folio Plan, Schedule of Easements for SP186843)
- DA plans
- DA review and submission checklist

We have undertaken an assessment of the application and note that the proposal is to be assessed as a “discretionary” application under the General Residential Zone with respect to the following:

- Retaining wall encroachment into the side setbacks

The proposed development’s retaining wall is located within the side setback and we provide the following response to 8.4.2 P3 in support of the application.

- The retaining wall along the southern boundary facilitates necessary site level adjustments due to slope, and its height is under 1000mm, and location have been designed to avoid overshadowing any habitable room of the adjoining property and can meet the requirement of P3.

It is our assessment that, in all other respects, the proposed development complies with the relevant provisions of the Tasmanian Planning Scheme.

Please contact me via email should you require any additional information to assist Council's assessment of the application.

Yours faithfully
Cunic.

A handwritten signature in black ink that reads "Parindi". The script is cursive and fluid.

Parindi Mistry
Project Coordinator - Approvals

DA Plan Review and Submission Checklist

File Number: H1026

Address: 15 Silvergum Street, Brighton

Item to Check	Y/N/NA	Comments
Planning Context and Site Information		
Site boundaries are clearly shown	YES	
North point is included	YES	
Street frontage and adjoining lots are identified	YES	
Contours, slope, and key levels are shown	YES	
Existing buildings and structures on site are shown	NA	
Easements, rights of way, and restrictions are identified	YES	
Relevant planning zone under the Tasmanian Planning Scheme is identified	YES	
Applicable codes, overlays, or constraints are identified	YES	
Use and Development Standards		
Proposed use is permitted or capable of approval in the applicable zone	YES	
Number of dwellings is clearly identified	YES	
Front setback shown and is compliant	YES	
Side setbacks shown and are compliant	NO	Retaining wall located within side setback, address PC
Rear setback is shown and is compliant	YES	
Building height appears compliant	YES	
Building FFL < 1m or setback > 3m from boundaries	YES	
Site coverage appears compliant	YES	
Private open space provision is shown and complies	YES	
Any likely variation to acceptable solutions has been identified	YES	
3. Residential Amenity		
Dwelling orientation supports reasonable solar access	YES	
Building envelope shown on plans and complies	YES	
Overshadowing of adjoining properties appears acceptable	NA	
Overlooking and privacy impacts have been considered	YES	
Internal layout appears functional and liveable	YES	
Private open space is usable, accessible, and connected to living areas	YES	
Building bulk and scale are reasonably compatible with the surrounding area	YES	
4. Access, Parking and Movement		
Vehicle access location is clearly shown	YES	
Access arrangement appears safe and practical	YES	
Driveway gradients and widths appear workable and are shown	YES	
On-site manoeuvring is adequate where required	YES	
Number of parking spaces appears compliant	YES	
Pedestrian access to each dwelling is safe and clear	YES	
Driveway material is noted	YES	
Retaining wall is shown and dimensioned	YES	
5. Site Constraints and Tasmanian Code Considerations		

Bushfire-prone area considerations have been identified where relevant	NA
Flood-prone or inundation constraints have been identified where relevant	NA
Coastal, landslip, or erosion risk constraints have been identified where relevant	NA
Biodiversity, vegetation, or significant tree constraints have been considered where relevant	NA
Heritage or local area character issues have been considered where relevant	NA
Waterway and coastal protection area have been considered where relevant	NA
Stormwater constraints and lawful point of discharge have been considered	YES
Potential retaining walls or significant earthworks are identified	NA
Retaining wall heights and materials shown	YES

6. Servicing and Infrastructure

Water and sewer servicing can be reasonably achieved	YES
Stormwater management concept has been considered	YES
Driveway drainage is shown	YES
Tanks have been noted, where required	NA
Electricity, telecommunications, and other utility servicing appear feasible	YES
Mail, waste, and service areas are appropriately located	NA

7. Documentation Quality and Approval Risk

Plans are legible and generally to scale	YES
Key dimensions and setbacks are shown	YES
Floor plans, site plan, and elevations are generally coordinated	YES
Elevations are correctly noted	YES
Major approval risks or non-compliances have been identified	NA
Further specialist input is identified where needed (e.g. bushfire, stormwater, traffic, geotech)	YES