



Application for Planning Approval

Land Use Planning and Approvals Act 1993

APPLICATION NO.

DA2026/175

LOCATION OF AFFECTED AREA

5 ALEC CAMPBELL DRIVE, BRIGHTON

DESCRIPTION OF DEVELOPMENT PROPOSAL

CARPORT

A COPY OF THE DEVELOPMENT APPLICATION MAY BE VIEWED AT www.brighton.tas.gov.au AND AT THE COUNCIL OFFICES, 1 TIVOLI ROAD, OLD BEACH, BETWEEN 8:15 A.M. AND 4:45 P.M, MONDAY TO FRIDAY OR VIA THE QR CODE BELOW. ANY PERSON MAY MAKE WRITTEN REPRESENTATIONS IN ACCORDANCE WITH S.57(5) OF THE LAND USE PLANNING AND APPROVALS ACT 1993 CONCERNING THIS APPLICATION UNTIL 4:45 P.M. ON **14/09/2026**. ADDRESSED TO THE CHIEF EXECUTIVE OFFICER AT 1 TIVOLI ROAD, OLD BEACH, 7017 OR BY EMAIL AT development@brighton.tas.gov.au. REPRESENTATIONS SHOULD INCLUDE A DAYTIME TELEPHONE NUMBER TO ALLOW COUNCIL OFFICERS TO DISCUSS, IF NECESSARY, ANY MATTERS RAISED.

JAMES DRYBURGH
Chief Executive Officer



Brighton
going places

New Outbuilding

PROJECT SPECIFIC

John Stefankowski
5 Alec Campbell Drive
Brighton
Tasmanian Planning Scheme
Title Reference : Vol 170514 / Folio 01
NCC DEEMED TO SATISFY Mr Marcus Ralph CC1317F
Climate Zone 7

SITE INFORMATION

Lot: 01
Title: 170514 folio 10
Land Size: 6602.00 sqm
Council: Brighton Council
Zoning: 11.0 Rural Living Zone A
Overlays: BRI-S8.0 Urban Rural Interface Specific Area Plan
13.0 Bushfire Prone Area
D.A APPROVAL: Planning approval required
BAL:nil
WIND CLASSISIFCATION : Refer to Steeline certification
CLIMATE ZONE: 7
ENERGY RATING :Na
BUILDING CLASSISIFCATION: 10A

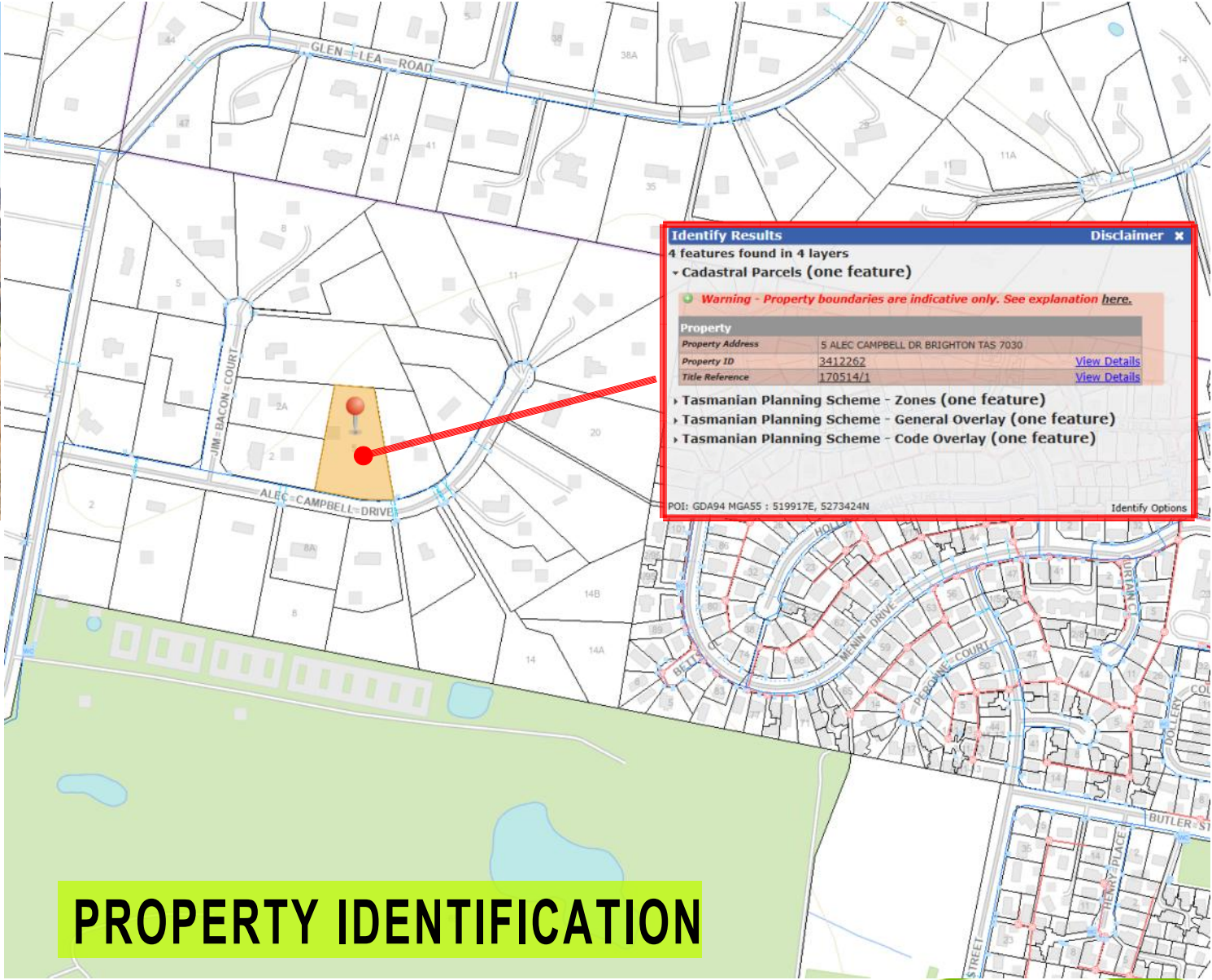
LAYOUT	DRAWING		UPDATED DATE
	ID	NAME	
1115-00 location information	6.	DRAWING LIST (1)	10/07/2026 9:26 am
1115-01 Location Plan	0.	Floor Plan (153)	24/06/2026 1:16 pm
1115-02 Site Plan	0.	Floor Plan (153)	24/06/2026 1:16 pm
1115-02 Site Plan	0.	Floor Plan (154)	24/06/2026 1:16 pm
1115-03 Floor Plan	0.	Floor Plan (155)	24/06/2026 1:16 pm
1115-04 Elevations	0.	Floor Plan (106)	24/06/2026 1:17 pm
1115-04 Elevations	0.	Floor Plan (155)	24/06/2026 1:16 pm
1115-04 Elevations	0.	Floor Plan (156)	24/06/2026 1:17 pm
1115-05 Risk Register	0.	Floor Plan (144)	10/07/2026 8:29 am

the engineered plans for this class 10a structure come with structural certification for Class :M REACTIVE SOIL
The owner has elected to classify the soil classification during construction and will advise the builder on future actions once the excavation has been completed and the natural soil profile can be determined by a suitable qualified person

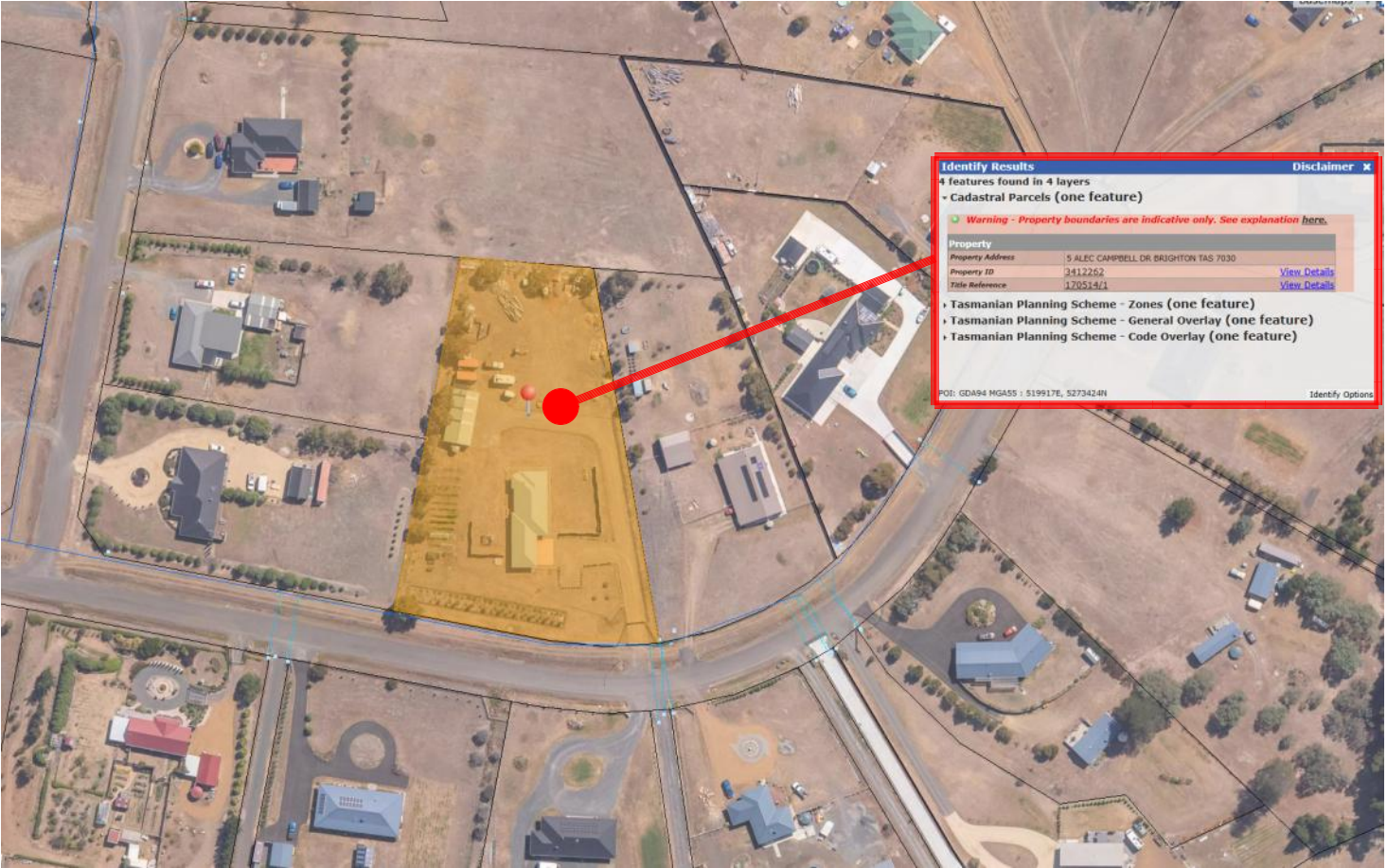
signed Property Owner
date



existing site access



PROPERTY IDENTIFICATION

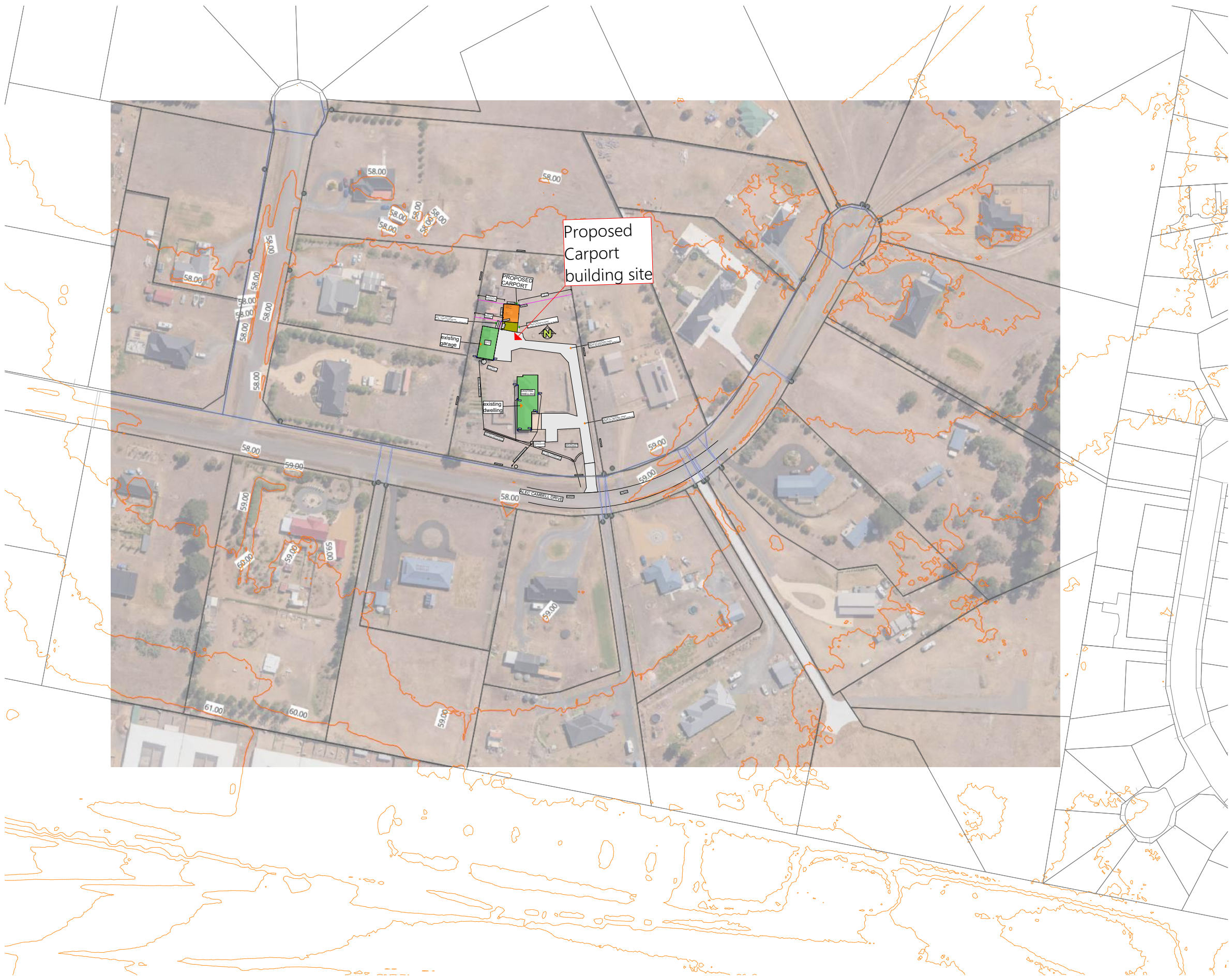


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MARCUSRALPH
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13 Franklin street
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New Outbuilding
John Stefankowski
5 Alec Campbell Drive
Brighton

location information
date 10/07/2026 issue revision A
designed and drawn M.Ralph revision-date
job no: 2026-1115 drawing no: 1115-00
Design Drawing



Floor Plan	
Proposed Carport	72.00 sqm
existing dwelling	264.00 sqm site cover
existing garage site cover	138.00 sqm
Total Site Cover	474.00 sqm
Site Area	6602.00 sqm
Site Coverage	7.20 % site coverage



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Location Plan

date issue revision

10/07/2026 A

designed and drawn revision-date

M.Ralph Design Drawing

job no: drawing no:

2026-1115 1115-01

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 PLUMBING LAYOUT
SCALE 1:100

Sewer and Stormwater lines are to be run along the underside concrete floor within compacted FCR.
When under a concrete slab or timber floor installation will comply with AS3500.
Refer to roof plan for fixing requirements of down pipes.
Connection to council main or treatment plant will be inspected and approved by Local council inspectors.

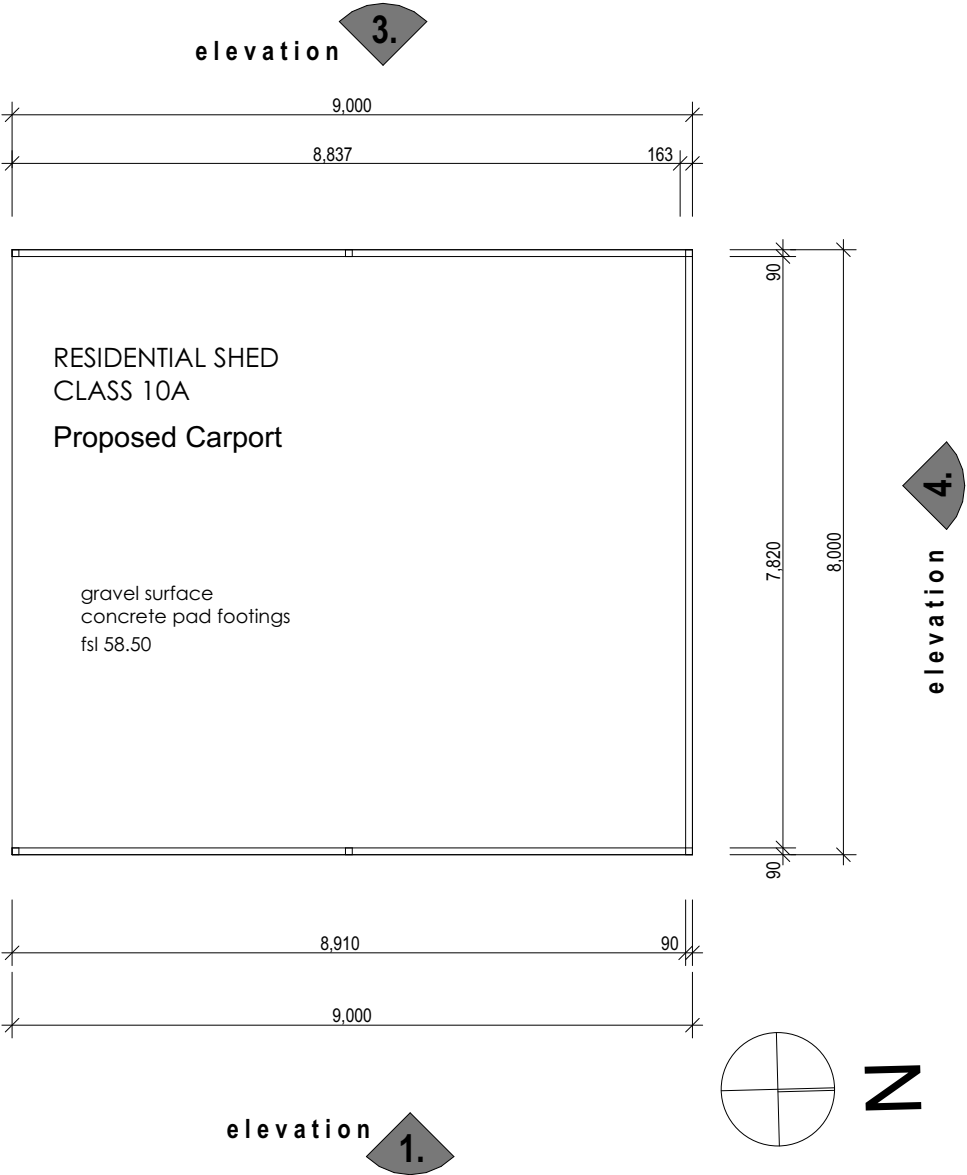
- PIPE SIZES RECOMENDED
PLUMBING LEGEND:
- 1. wc dn100
 - 2. urinal dn40,50
 - 3. sink dn50,
 - 4. basin dn40,dn50
 - 5 bath dn40, dn50
 - 6. shower dn50, dn 65 recommended
 - 7. trough dn40,dn50,dn65 or dn100

fwg floor waste gully primed by basin ,sink or trough
dn 50 or from which fixture size is priming.

soil classification requires the plumbing contractor to take necessary measures to prevent UPVC AND PVC pipework and all water connection to new rigid building structure to have flexible joint. refer to csiro advice and NCC for pipe connection details for reactive clay soils

 FLOOR PLAN

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Floor Plan 

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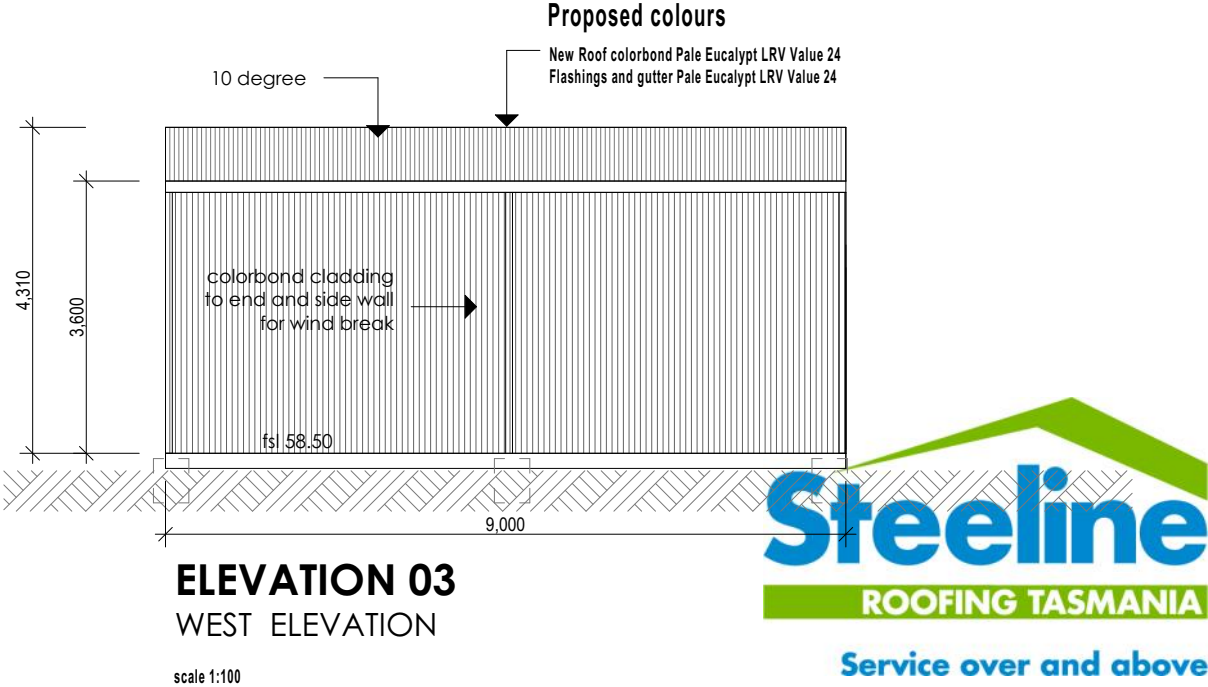
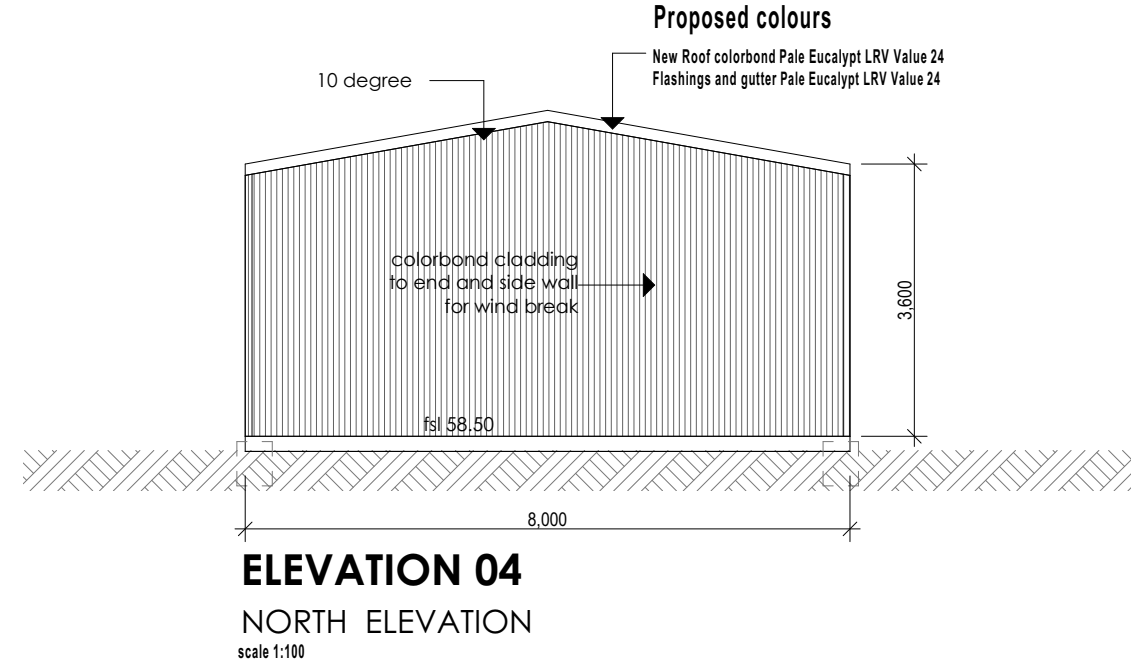
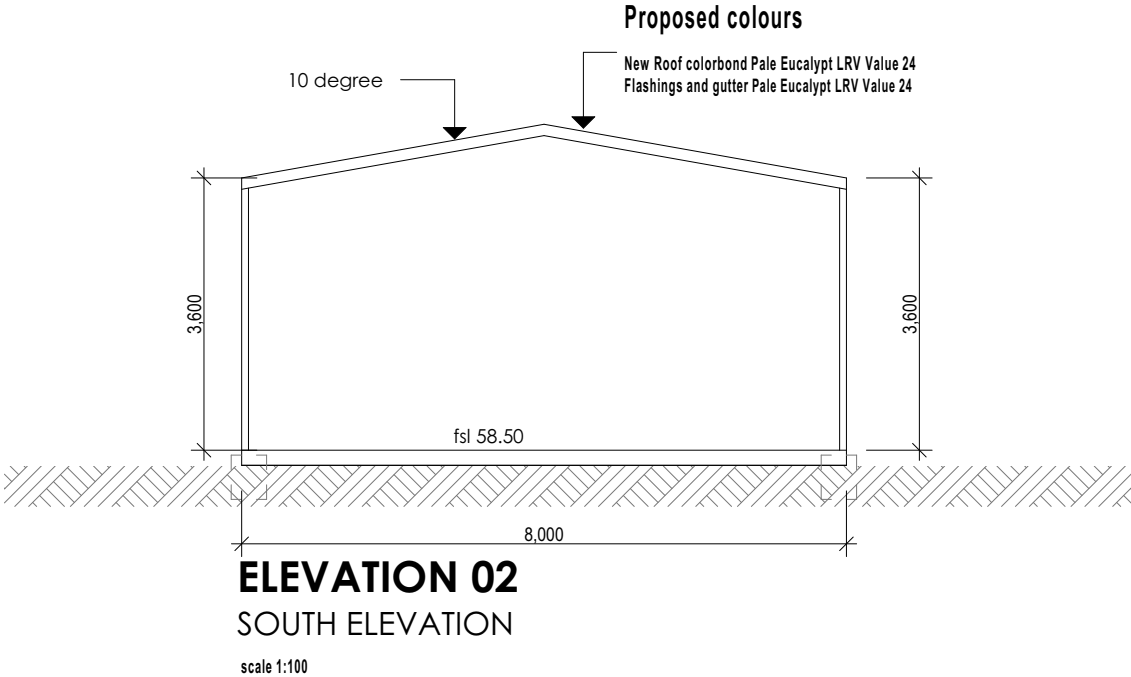
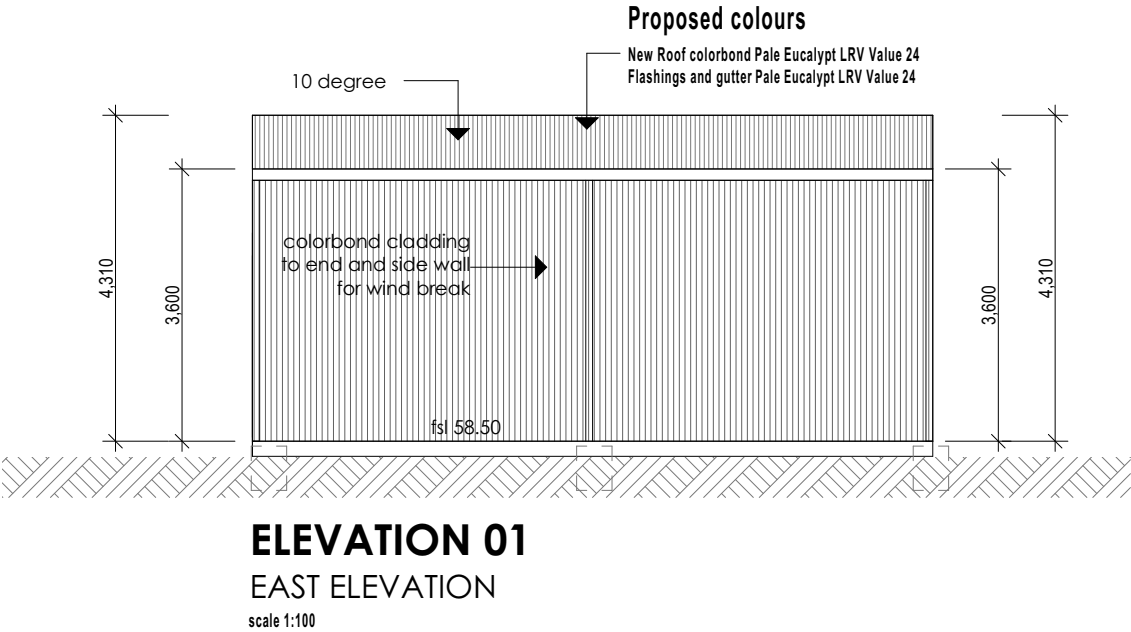
M.Ralph **Design Drawing**

job no: drawing no:

2026-1115 **1115-03**

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Elevations

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designed and drawn revision-date

M.Ralph Design Drawing

job no: drawing no:

2026-1115 **1115-04**

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ACTIVITY /PROCESS	POTENTIAL HAZZARD	(S)	(L)	(R)	PRINCIPLE OF AVOIDING / REDUCING RISK	ACTION ON REMAINING AREAS OF RISK
SITE LAYOUT						
SITE ACCESS / TRAFFIC	IMPACT BY MOVING VEHICLES OR PLANT	H	M	3	OPERATE TRAFFIC MANAGEMENT PLAN WITH BANKSMEN ECT.	CONTRACTOR TO DEFINE WORK AREAS AND WORK SEQUENCE THE ENTRY , EXIT ANDACCESS WAYS IN THEWORKPLACE ARE KEPT CLEAN AND CLEAR OF MATERIAL AND WASTE
SITE ADJACENT WATER/ SWIMMING POOL	DROWNING	H	L	2	BARRICADE ALL AREAS OF WATER	CONTRACTOR TO PREPARE METHOD STATEMENT IF WORKING ABOVE WATER
EXISTING SERVICES ABOVE GROUND ,(IE ELECTRICAL)	ELECTRICAL SHOCK FROM OVERHEAD LINES	H	L	2	CLEARLY IDENTIFY EXCLUSION ZONES AND APPROACH DISTANCES FROM OVERHEAD SERVICES	CONTRACTOR TO DEFINE WORKING AREAS AND ENFORCE EXCLUSION ZONES / APPROACH DISTANCES
UNSTABLE RETAINING WALLS	FAILURE / COLLAPSE OF RETAINING WALL	H	L	2	PROVIDE DESIGN RESTRICTIONS ON NEW RETAINING WALLS DO NOT APPLY EXTRA LOAD TO EXISTING RETAINING WALLS (IE EXTRA MATERIAL OR CONSTRUCTION VEHICLES BEHIND WALL ECT.)	CONTRACTOR TO CONTACT QUALIFIED ENGINEER IF UNSURE
DEMOLITION						
UNSTABLE STRUCTURE	FAILURE / COLLAPSE OF STRUCTURE	H	L	2	CONTRACTOR TO PROVIDE TEMPORY SUPPORT AND CONTACT QUALIFIED ENGINEER IF UNSURE	CONTRACTOR TO PREPARE METHOD STATEMENT
DANGEROUS MATERIALS / SUBSTANCES						
ASBESTOS	INHALATION OF ASBESTOS FIBRE OR MATERIALS CONTAINING ASBESTOS	H	L	2	CONTRACTOR TO USE LICENSED REMOVALIST	NO WORK TO BE CARRIED OUT UNTIL ASBESTOS HAS BEEN REMOVED
CHEMICAL / EXPOSURE	INHALATION OF DANGEROUS CHEMICAL OR EXPLOSION	H	L	2	AVOID USING DANGEROUS CHEMICAL OR EXPLOSIVES ON SITE	CONTRACTOR TO PREPARE METHOD STATEMENT IF CHEMICALS / EXPLOSIVES ARE SPRESENT ON SITE STORE IN A SAFE AREA
EXCAVATION						
EXCAVATION GENERALLY	HITTING EXISTIGN BURRIED SERVICES OR STRUCTURE	H	M	3	DIAL BEFORE YOU DIG PLAN BUILD TASMANIA IDENTIFY AND ISOLATE EXISTIGN BELOW GROUND SERVICES	CONTRACTOR TO CONTACT 'DIAL BEFORE YOU DIG'. CONTRACTOR TO CAT SCAN BEFORE DIGGING WITH DUE CARE.
DEEP EXCAVATION	INSTABILITY OF EXCAVATIONS OR COLLAPSE	H	M	3	OBTAIN AND EVALUATE DATA ON EXISTING GROUND CONDITIONS. DO NOT ENTER EXCAVATIONS DEEPER THAN 1.2m UNLESS PROPPED. MINIMISE EXCAVATION, NUMBER OF OPERATIONS AND TIME REQUIRED BELOW GROUND.	CONTRACTOR TO PREPARE METHOD STATEMENT. CONTRACTOR TO PROVIDE SHORING TO EXCAVATIONS AS NECESSARY TO PREVENT SIDES FROM COLLAPSING.
EARTH MOVING	GROUND CONTAMINATION	M	M	2	OBTAIN AND EVALUATE DATA ON EXISTING GROUND CONDITIONS.	CONTRACTOR PROVIDED WITH APPROPRIATE DATA ON GROUND CONDITIONS, I.E. SITE INVESTIGATION REPORT
EXCAVATION NEAR EXISTING STRUCTURE	INSTABILITY OF STRUCTURE/EXCAVATIONS	H	L	2	DO NOT DIG BELOW EXISTING FOOTING LEVEL OR UNDER 45 DEGREE LINE FROM UNDERSIDE OF EXISTING FOOTING WITHOUT PERMISSION FROM QUALIFIED ENGINEER	CONTRACTOR TO PREPARE METHOD STATEMENT
AUGURING	FALLS INTO OPEN BORES	M	M	2	CONCRETE OPEN BORES AS SOON AS POSSIBLE	AVOID PROLONGED OPENING OF BORES. PROTECT OPEN BORES.
WORKING IN CONFINED SPACE	LACK OF OXYGEN/IGNITION OF FLAMMABLE CONTAMINANTS	H	L	2	AVOID ENTERING CONFINED SPACE/ ONLY TRAINED WORKERS TO ENTER CONFINED SPACE.	CONTRACTOR TO PREPARE METHOD STATEMENT
CONSTRUCTION						
PRECAST CONCRETE ELEMENTS	INSTABILITY OF TEMPORARY STRUCTURE	H	L	2	ALL PRECAST ELEMENTS TO BE TEMPORARILY FOUNDED AND SUPPORTED UNTIL PERMANENTLY SECURED AS SPECIFIED IN DESIGN DOCUMENTATION	CONTRACTOR TO PREPARE TEMPORARY WORKS DESIGN AND METHOD STATEMENT
FALLING FROM HEIGHT	FALLS FROM GREATER THAN 2m	H	M	3	CONTRACTOR TO COMPLETE WORKS FROM GROUND LEVEL IF POSSIBLE. CONTRACTOR TO USE PASSIVE FALL PREVENTION DEVICE IF POSSIBLE (I.E. FIXED PLATFORM, CHERRY PICKERS ETC.)	WORKER TO USE FALL ARREST HARNESS SYSTEM
TEMPORARY SUPPORT	FAILURE/COLLAPSE OF STRUCTURE	H	M	3	CONTRACTOR TO SUPPLY TEMPORARY SUPPORT/BRACING TO STRUCTURE AND CONTACT QUALIFIED ENGINEER IF UNSURE	CONTRACTOR TO PREPARE METHOD STATEMENT
UNSTABLE STRUCTURE	COLLAPSE CAUSED BY CONSTRUCTION LOADS	H	L	2	PROVIDE INFORMATION ON LOAD ALLOWANCE FOR CONTRACTOR TO DESIGN BACK PROPPING	CONTRACTOR TO MAINTAIN BACK PROPS FOR SUFFICIENT TIME
LIFTING EQUIPMENT	LARGE/HEAVY OBJECTS FALLING FROM HEIGHT	H	L	2	ALL LIFT EQUIPMENT TO BE STAMPED WITH SAFE WORKING LOAD AND CERTIFICATES KEPT UP TO DATE	ONLY LIFT ITEMS WITHIN SAFE WORKING LOAD OF LIFTING EQUIPMENT
CRANES	INSTABILITY DURING OPERATION	H	L	2	AVOID SPECIFYING UNUSUALLY LARGE OR UNUSUALLY SHAPED ITEMS WHERE POSSIBLE. DO NOT SET UP CRANE IN CLOSE PROXIMITY OF BASEMENT/EXISTING SERVICES UNDERGROUND.	CONTRACTOR TO PREPARE METHOD STATEMENT

CONSTRUCTION RISK ASSESSMENT

THIS CONSTRUCTION RISK ASSESSMENT IS TO HIGHLIGHT TO THE BUILDER, SUB CONTRACTORS AND SUB CONSULTANTS THE MAIN RICK FACTORS IN UNDERTAKING THE CONSTRUCTION OF THE WORKS TO WHICH THESE NOTES FORM PART OF THE WORKING DRAWINGS.

THIS ASSESSMENT IN NOT EXHAUSTIVE AND THE BUILDER IS TO UNDERTAKE THEIR OWN SIMILAR ASSESSMENT AND MAINTAIN APPROPRIATE RISK MANAGEMENT ACTIVITIES FOR THE DURATION OF THE CONSTRUCTION PERIOD.

IT IS THE BUILDER RESPONSIBILITY TO ENSURE ALL PERSONNEL THAT ENTER THE CONSTRUCTION SITE ARE BRIEFED ON THE SPECIFIC SAFETY HAZARDS AND RISKS ASSOCIATED WITH THE DAILY ACTIVITIES.

WORKS ARE TO BE CARRIED OUT IN ACCORDANCE WITH CURRENT WORK AND WORK AND HEALTH SAFETY REQUIREMENTS. THIS SITE SPECIFIC RISK ASSESSMENT ASSIGNS A RISK RATING ACCORDING TO THE FOLLOWING MATRIX. THIS ASSIGNS THE MAIN CONSTRUCTION TASK A LIKELIHOOD (L), SEVERITY (S) AND RESULTING RISK RATING (R).

MARCUS RALPH DESIGN HAS TO THE BEST OF THEIR ABILITY, UNDERTAKEN TO IDENTIFY POTENTIAL CONSTRUCTION HAZARDS AND MINIMIZE THE RISK POTENTIAL TO THOSE INVOLVED WITH THE CONSTRUCTION OF THESE WORKS.

RISK RATING (R)

- 3- HIGH RISK ACTION REQUIRED BY CONTRACTOR TO MITIGATE OR ELIMINATE RISK
- 2- MEDIUM RISK ACTION REQUIRED BY CONTRACTOR TO REDUCE RISK
- 1 - LOW RISK NO DIRECT ACTION REQUIRED BY THE CONTRACTOR

RISK RATING CALCULATOR			SEVERITY (S)								
			H	FATALITY,MAJOR INJURY CAUSING LONG TERM DISABILITY		M	INJURY OR ILLNESS CAUSING SHORT TERM DISABILITY		L	OTHER INJURY OF ILLNESS	
LIKELIHOOD (L)	H	CERTAIN OR NEAR CERTAIN	1			1			2		
	M	REASONABLY LIKELY	1			2			3		
	L	VERY SELDOM	2			3			3		



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Risk Register

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