



Application for Planning Approval

Land Use Planning and Approvals Act 1993

APPLICATION NO.

DA2026/139

LOCATION OF AFFECTED AREA

15 PLYMOUTH ROAD, GAGEBROOK

DESCRIPTION OF DEVELOPMENT PROPOSAL

SINGLE DWELLING

A COPY OF THE DEVELOPMENT APPLICATION MAY BE VIEWED AT www.brighton.tas.gov.au AND AT THE COUNCIL OFFICES, 1 TIVOLI ROAD, OLD BEACH, BETWEEN 8:15 A.M. AND 4:45 P.M, MONDAY TO FRIDAY OR VIA THE QR CODE BELOW. ANY PERSON MAY MAKE WRITTEN REPRESENTATIONS IN ACCORDANCE WITH S.57(5) OF THE LAND USE PLANNING AND APPROVALS ACT 1993 CONCERNING THIS APPLICATION UNTIL 4:45 P.M. ON **29/07/2026**. ADDRESSED TO THE CHIEF EXECUTIVE OFFICER AT 1 TIVOLI ROAD, OLD BEACH, 7017 OR BY EMAIL AT development@brighton.tas.gov.au. REPRESENTATIONS SHOULD INCLUDE A DAYTIME TELEPHONE NUMBER TO ALLOW COUNCIL OFFICERS TO DISCUSS, IF NECESSARY, ANY MATTERS RAISED.

JANINE BANKS
Acting Chief Executive
Officer



Brighton
going places

PROPOSED NEW RESIDENCE

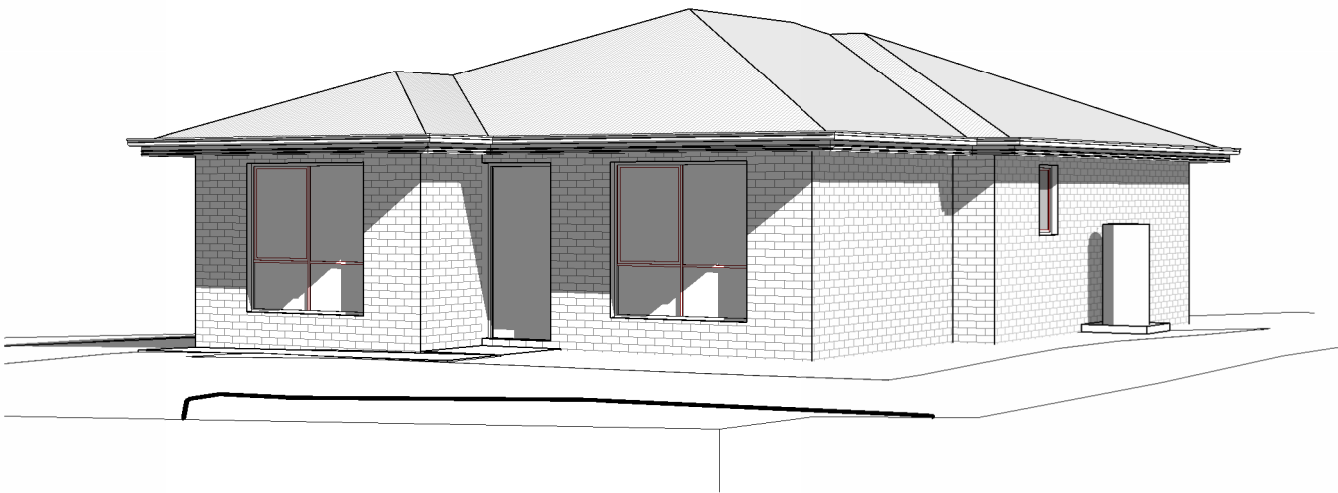
15 PLYMOUTH ROAD, GAGEBROOK

M. BOTT

PD26298

BUILDING DRAWINGS

No	DRAWING
01	SITE PLAN
02	SITE DRAINAGE PLAN
03	CUT/FILL PLAN
04	LOCALITY PLAN
05	FLOOR PLAN
06	DOOR AND WINDOW SCHEDULES
07	ELEVATIONS
08	ELEVATIONS
09	ROOF PLAN
10	FLOOR FINISHES PLAN
11	ELECTRICAL/REFLECTED CEILING PLAN
12	PERSPECTIVES



H1016



FLOOR AREA 94.57 m2 (10.18 SQUARES)

GENERAL PROJECT INFORMATION

TITLE REFERENCE: 300008/2
SITE AREA: 657m2
DESIGN WIND SPEED:N2
SOIL CLASSIFICATION: P
CLIMATE ZONE: 7
ALPINE AREA: NO
CORROSIVE ENVIRONMENT: LOW
BAL RATING: 12.5 (TBC)
OTHER KNOWN HAZARDS: WATERWAY AND COASTAL
PROTECTION AREA, ELECTRICITY TRANSMISSION
CORRIDOR.

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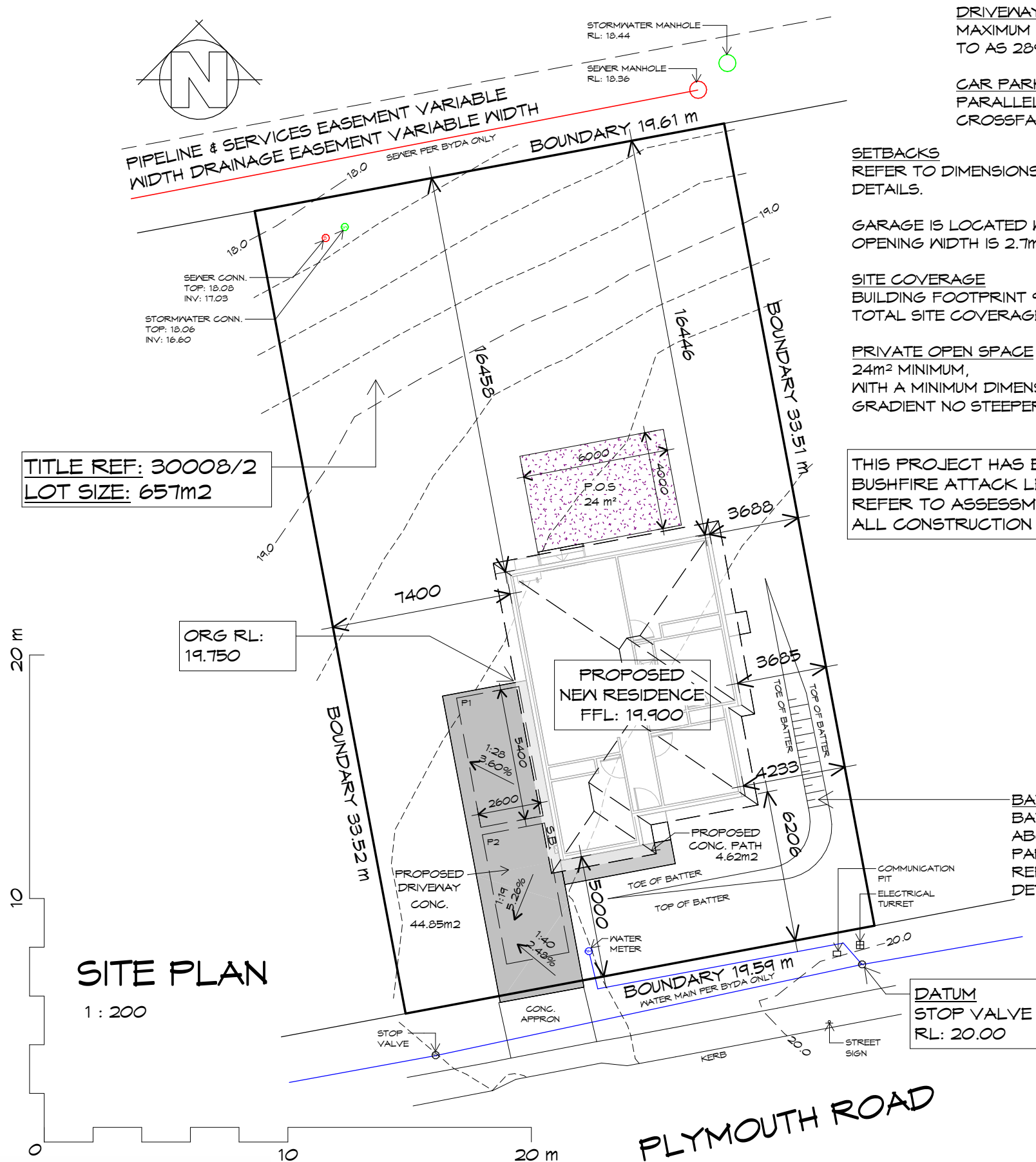
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Accredited Building Practitioner:

bdag
BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA

primedesigntas.com.au
Frank Geskus -No CC246A

REV. DATE DESCRIPTION

JUNE 2026
PLANNING



DRIVEWAY GRADIENT
MAXIMUM GRADIENT 1:4 (25%)
TO AS 2890

CAR PARKING GRADIENT
PARALLEL TO PARKING ANGLE 1:20 (5%)
CROSSFALL 1:16 (6.25%)

SETBACKS
REFER TO DIMENSIONS AND ELEVATIONS FOR FURTHER DETAILS.

GARAGE IS LOCATED WITHIN 12m OF THE PRIMARY FRONTAGE,
OPENING WIDTH IS 2.7m

SITE COVERAGE
BUILDING FOOTPRINT 94.57/ SITE AREA 657.00 = 0.144
TOTAL SITE COVERAGE 14%

PRIVATE OPEN SPACE
24m² MINIMUM,
WITH A MINIMUM DIMENSION OF 4m
GRADIENT NO STEEPER THAN 1:10

THIS PROJECT HAS BEEN DETERMINED TO HAVE A
BUSHFIRE ATTACK LEVEL (BAL) OF - **BAL-12.5**
REFER TO ASSESSMENT FOR FURTHER DETAILS.
ALL CONSTRUCTION MUST COMPLY WITH AS3959.

BATTER NOTE
BATTER AS PER
ABCB HOUSING PROVISIONS
PART 3.2.1.
REFER TO STANDARD
DETAILS TABLE

DATUM
STOP VALVE
RL: 20.00

- GENERAL NOTES**
- CHECK & VERIFY ALL DIMENSIONS & LEVELS ON SITE
 - WRITTEN DIMENSIONS TO TAKE PREFERENCE OVER SCALED
 - ALL WORK TO BE STRICTLY IN ACCORDANCE WITH NCC 2022, ALL S.A.A. CODES & LOCAL AUTHORITY BY-LAWS
 - ALL DIMENSIONS INDICATED ARE FRAME TO FRAME AND DO NOT ALLOW FOR WALL LININGS
 - CONFIRM ALL FLOOR AREAS
 - ALL PLUMBING WORKS TO BE STRICTLY IN ACCORDANCE WITH A.S. 3500, NCC 2022 & APPROVED BY COUNCIL INSPECTOR
 - BUILDER/PLUMBER TO ENSURE ADEQUATE FALL TO SITE CONNECTION POINTS IN ACCORDANCE WITH A.S. 3500 FOR STORMWATER AND SEWER BEFORE CONSTRUCTION COMMENCES
 - THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE ENGINEER'S STRUCTURAL DRAWINGS
 - ALL WINDOWS AND GLAZING TO COMPLY WITH A.S. 1288 & A.S. 2047
 - ALL SET OUT OF BUILDINGS & STRUCTURES TO BE CARRIED OUT BY A REGISTERED LAND SURVEYOR AND CHECKED PRIOR TO CONSTRUCTION
 - IF CONSTRUCTION OF THE DESIGN IN THIS SET OF DRAWINGS DIFFER FROM THE DESIGN AND DETAIL IN THESE AND ANY ASSOCIATED DOCUMENTS BUILDER AND OWNER ARE TO NOTIFY DESIGNER
 - BUILDER'S RESPONSIBILITY TO COMPLY WITH ALL PLANNING CONDITIONS
 - BUILDER TO HAVE STAMPED BUILDING APPROVAL DRAWINGS AND PERMITS PRIOR TO COMMENCEMENT OF CONSTRUCTION
 - CONSTRUCTION TO COMPLY WITH AS 3959, READ IN CONJUNCTION WITH BUSHFIRE ATTACK LEVEL (BAL) ASSESSMENT REPORT.
 - DRAWINGS ARE REQUIRED TO BE VIEWED OR PRINTED IN COLOUR.

- SURVEYORS NOTES**
- THIS PLAN AND ASSOCIATED DIGITAL MODEL IS PREPARED FOR CUNIC HOMES FROM A COMBINATION OF FIELD SURVEY AND EXISTING RECORDS FOR THE PURPOSE OF DESIGNING NEW CONSTRUCTIONS ON THE LAND AND SHOULD NOT BE USED FOR ANY OTHER PURPOSE.
 - THE TITLE BOUNDARIES AS SHOWN ON THIS PLAN WERE NOT MARKED AT THE TIME OF THE SURVEY AND HAVE BEEN DETERMINED BY PLAN DIMENSIONS ONLY AND NOT BY FIELD SURVEY. NO MEASUREMENTS OR OFFSETS ARE TO BE DERIVED BETWEEN THE FEATURES ON THIS PLAN AND THE BOUNDARY LAYER. THE RELATIONSHIP BETWEEN THE FEATURES IN THIS MODEL AND THE BOUNDARY LAYERS CANNOT BE USED FOR ANY SET OUT PURPOSES OR TO CONFIRM THE POSITION OF THE TITLE BOUNDARIES ON SITE.
 - SERVICES SHOWN HAVE BEEN LOCATED WHERE VISIBLE BY FIELD SURVEY. SERVICES DENOTED AS BEING "PER BYDA ONLY" ARE APPROXIMATE AND FOR ILLUSTRATIVE PURPOSES ONLY. PRIOR TO ANY DEMOLITION, EXCAVATION OR CONSTRUCTION ON THE SITE, THE RELEVANT AUTHORITY SHOULD BE CONTACTED FOR POSSIBLE LOCATION OF FURTHER UNDERGROUND SERVICES AND DETAILED LOCATIONS OF ALL SERVICES.
 - THIS NOTE FORMS AN INTEGRAL PART OF THE PLAN/DATA. ANY REPRODUCTION OF THIS PLAN/MODEL WITHOUT THIS NOTE ATTACHED WILL RENDER THE INFORMATION SHOWN INVALID.
 - HORIZONTAL DATUM: GDA2020 / VERTICAL DATUM: MGA
 - CONTOUR INTERVAL: 0.25m

- SEWER AND WATER SERVICES**
- ALL WORKS IN ACCORDANCE WITH WATER SUPPLY CODE OF AUSTRALIA AND TASWATER SUPPLEMENTS
 - WORKS TO BE DONE BY TASWATER AT DEVELOPERS COST

IMPORTANT NOTE:
DRAWINGS CAN BE READ IN BLACK & WHITE.
HOWEVER ARE BEST PRINTED IN FULL COLOUR
FOR OPTIMUM CLARITY. A COLOUR COPY
SHOULD BE RETAINED ON SITE AT ALL TIMES
FOR CONTRACTORS COMPLETING WORKS.

Prime Design

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Date: 23.06.2026 Drafted by: Q.V. Approved by: D.D.H.

Project/Drawing no: PD26298 - 01 Scale: 1 : 200 Revision: 01

Accredited building practitioner: Frank Gekus - No CC246A
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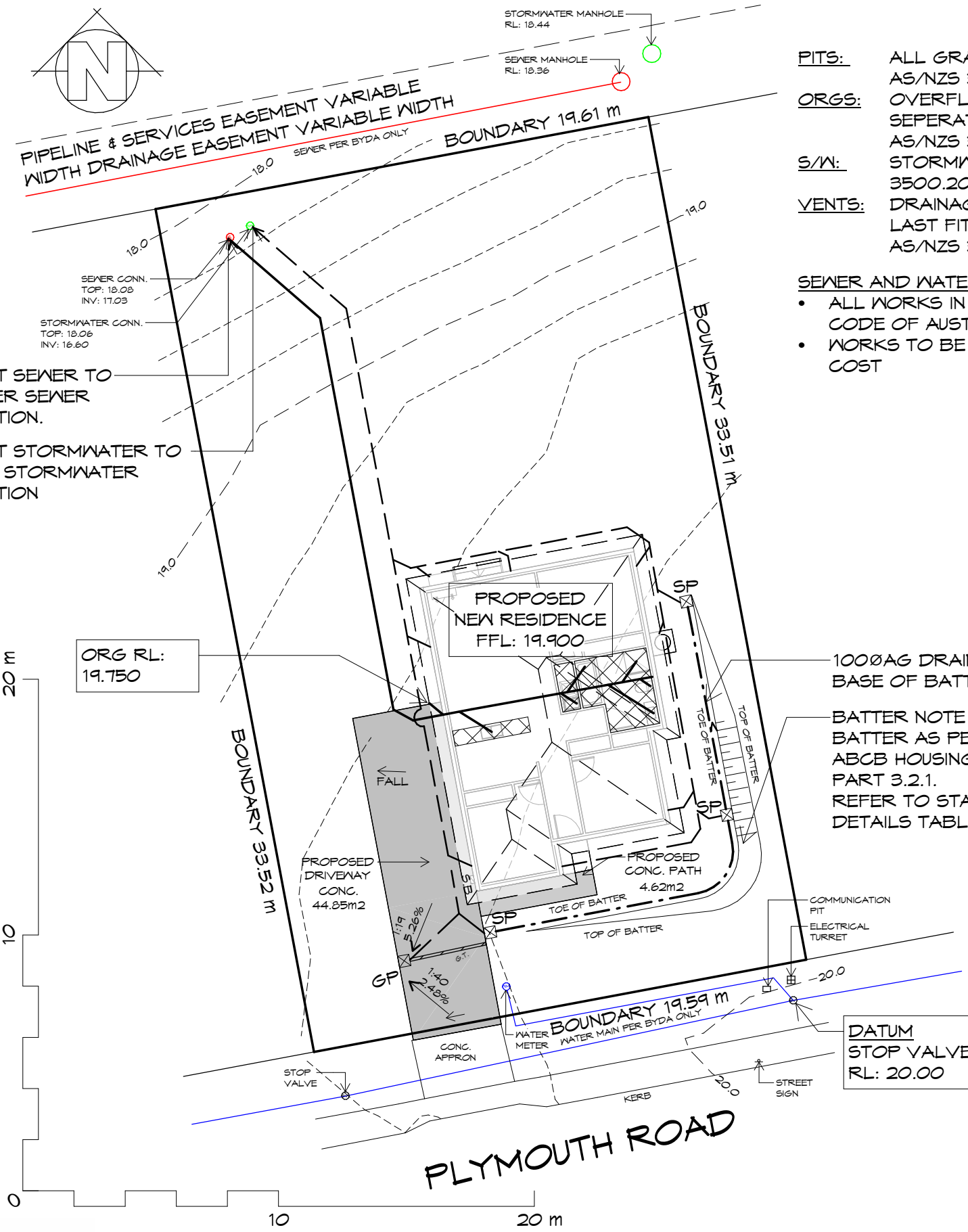
REV. DATE DESCRIPTION

Client name:
M. BOTT

Project:
PROPOSED NEW RESIDENCE
15 PLYMOUTH ROAD,
GAGEBROOK

Drawing:
SITE PLAN

PLANNING
NOTE: DO NOT SCALE OFF DRAWINGS



- PITS:** ALL GRATED PITS SIZED AND INSTALLED PER AS/NZS 3500.2021 PART 3
- ORGS:** OVERFLOW RELIEF GULLYS TO BE BRANCHED SEPERATE AND NOT PASS THROUGH. REFER AS/NZS 3500.2021 PART 2
- S/W:** STORMWATER PIPES TO BE SIZED PER ASNZS 3500.2021 PART 3
- VENTS:** DRAINAGE VENTS TO BE LOCATED BEFORE LAST FITTING AT THE END OF THE LINE PER AS/NZS 3500.2021 PART 2
- SEWER AND WATER SERVICES**
- ALL WORKS IN ACCORDANCE WITH WATER SUPPLY CODE OF AUSTRALIA AND TASWATER SUPPLEMENTS
 - WORKS TO BE DONE BY TASWATER AT DEVELOPERS COST

LEGEND

GP GRATED PIT- 450X 450 SURFACE DRAINAGE PIT

SP SEDIMENT PIT- 300X 300 EVERHART SURFACE DRAINAGE PIT

WET AREAS

SEWER LINE

STORMWATER LINE

100Φ AG DRAIN

G.T. 150 WIDE GRATED TRENCH

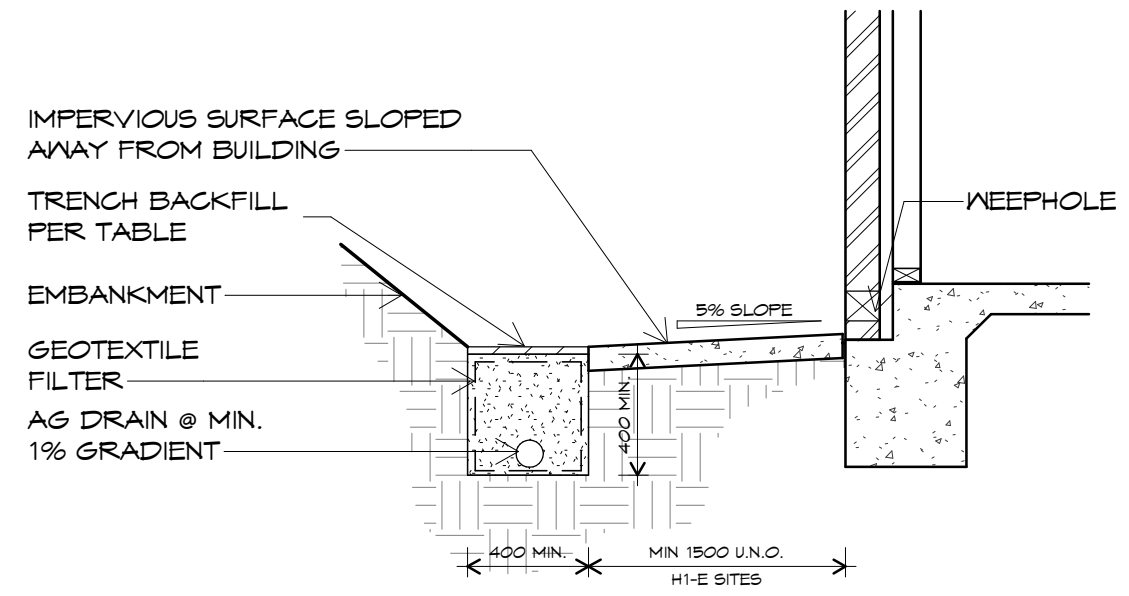
PLUMBING NOTES:

ALL DRAINAGE WORK SHOWN IS PROVISIONAL ONLY AND IS SUBJECT TO AMENDMENT TO COMPLY WITH THE REQUIREMENTS OF THE LOCAL AUTHORITIES.

ALL WORK IS TO COMPLY WITH THE REQUIREMENTS OF AS 3500.2021 & THE TASMANIAN PLUMBING CODE. AND MUST BE CARRIED OUT BY A LICENCED TRADESMAN ONLY.

TRENCH BACKFILL PER SITE CLASS TO COMPLY WITH AS2870 PART 5.6.3

SOIL CLASS	BACKFILL MATERIAL
A-S	CRUSHED DRAINAGE ROCK
M-E	COMPACTED CLAY



TYPICAL AG DRAIN DETAIL
N.T.S.



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SITE DRAINAGE PLAN
1 : 200

REV.	DATE	DESCRIPTION
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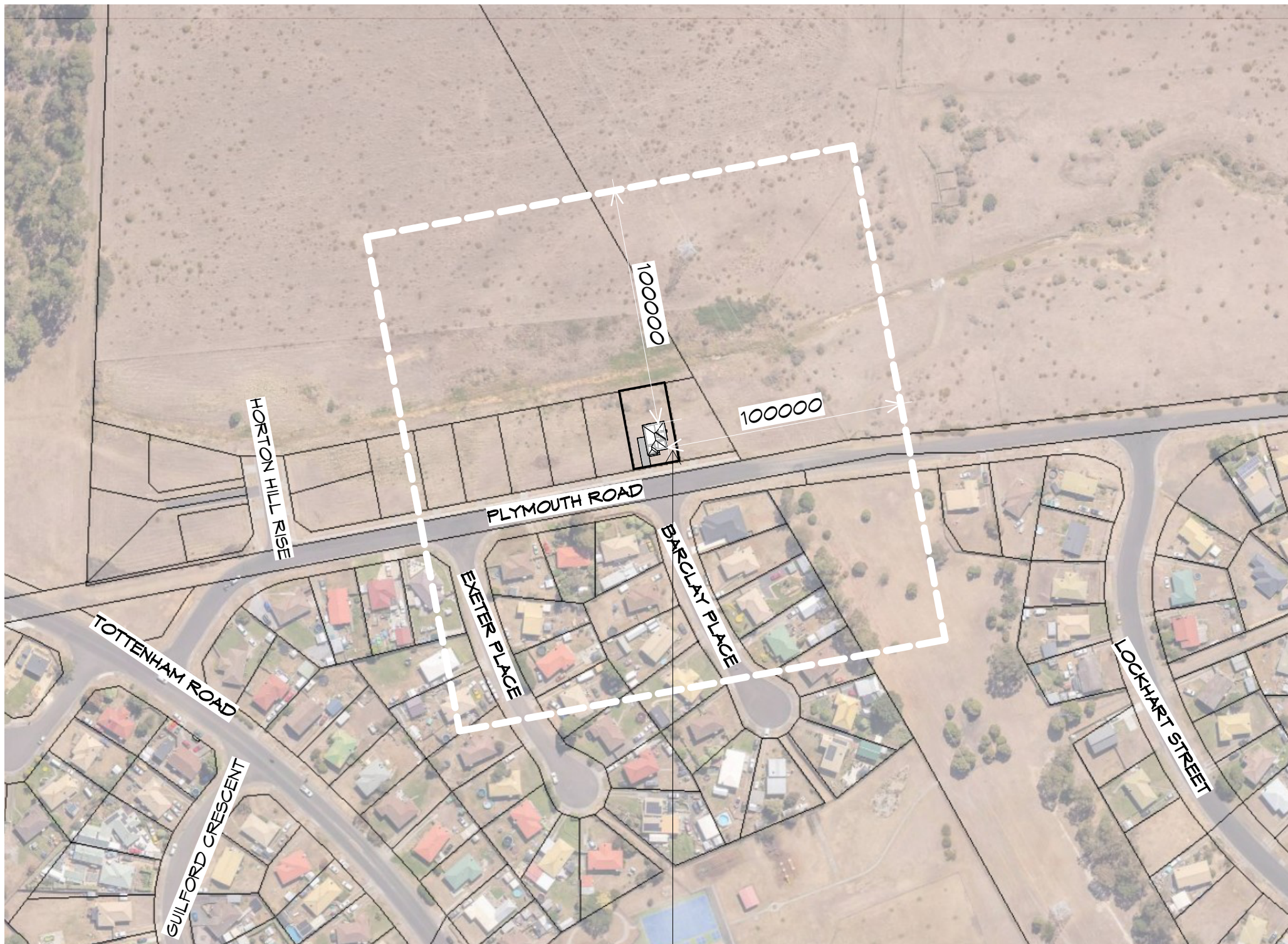
Client name:
M. BOTT

PLANNING
NOTE: DO NOT SCALE OFF DRAWINGS

Project:
PROPOSED NEW RESIDENCE
15 PLYMOUTH ROAD,
GAGEBROOK

Drawing:
SITE DRAINAGE PLAN

Date: 23.06.2026	Drafted by: Q.V.	Approved by: D.D.H
Project/Drawing no: PD26298 - 02	Scale: As indicated	Revision: 01
Accredited building practitioner: Frank Geskus -No CC246A COPYRIGHT: These drawings and designs and the copyright thereof are the sole property of Prime Design Tas PTY Ltd		



LOCALITY PLAN

1 : 2000

THIS SITE IS ZONED GENERAL RESIDENTIAL AND **REQUIRES** A BUSHFIRE ASSESSMENT.
RESIDENCE IS/IS NOT OVER 100m FROM UNMANAGED BUSH/GRASSLANDS GREATER THAN 1 HECTARE.
REFER TO BUSHFIRE ASSESSMENT REPORT FOR MANAGEMENT PLAN

THIS PROJECT HAS BEEN DETERMINED TO HAVE A
BUSHFIRE ATTACK LEVEL (BAL) OF - **BAL-12.5**
REFER TO ASSESSMENT FOR FURTHER DETAILS.
ALL CONSTRUCTION MUST COMPLY WITH A53959.

PROPOSED NEW RESIDENCE
15 PLYMOUTH ROAD,
CLAREMONT



REV.	DATE	DESCRIPTION
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Client name:
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PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS

Project:
PROPOSED NEW RESIDENCE
15 PLYMOUTH ROAD,
GAGEBROOK

Drawing:
LOCALITY PLAN



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FLOOR PLAN

1 : 100

FLOOR AREA 94.57 m2 (10.18 SQUARES)

NOTE:
FLOOR AREAS INCLUDE TO EXTERNAL FACE OF
BUILDING AND GARAGE, UNLESS OTHERWISE STATED.
DECKS AND OUTDOOR AREAS ARE CALCULATED
SEPARATELY.



REV. DATE DESCRIPTION

Client name:
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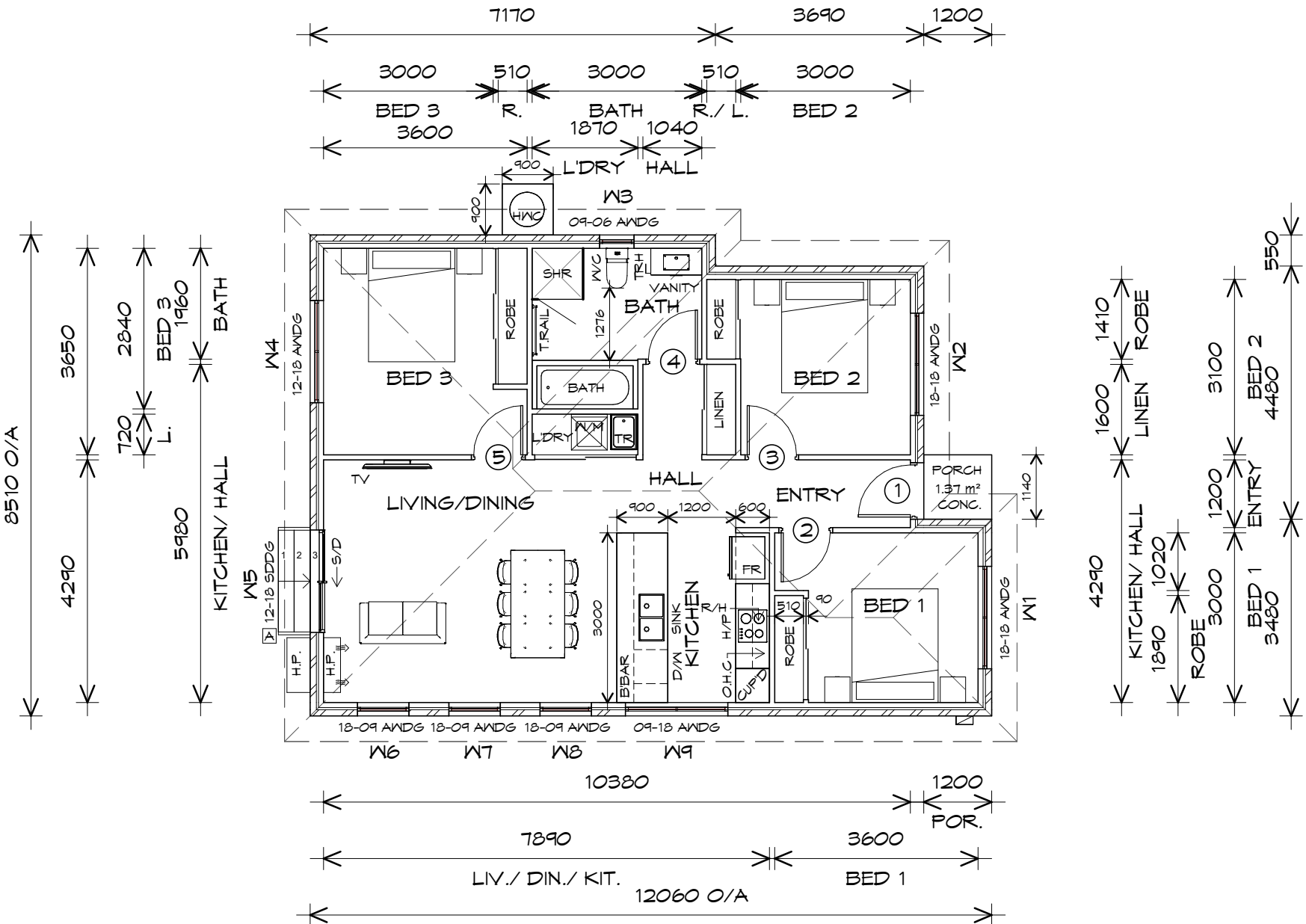
PLANNING
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Project:
PROPOSED NEW RESIDENCE
15 PLYMOUTH ROAD,
GAGEBROOK

Drawing:
FLOOR PLAN

LEGEND

- S/D SLIDING DOOR
- G.S. GLASS SCREEN
- HWC HOT WATER CYLINDER
- W.T. WATER TANK
- OHC OVERHEAD CUPBOARDS



STAIRS

STAIR	NO RISERS	RISER H'T	TREAD DEPTH
A	3	150	280

NON SLIP TO COMPLY NCC 2022



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DOOR SCHEDULE			
MARK	WIDTH	TYPE	REMARKS
1	920	EXTERNAL SOLID DOOR	
2	870	INTERNAL TIMBER DOOR	
3	870	INTERNAL TIMBER DOOR	
4	870	INTERNAL TIMBER DOOR	
5	870	INTERNAL TIMBER DOOR	

WINDOW SCHEDULE				
MARK	HEIGHT	WIDTH	TYPE	REMARKS
W1	1800	1810	AWNING WINDOW	
W2	1800	1810	AWNING WINDOW	
W3	900	610	AWNING WINDOW	OPAQUE
W4	1200	1810	AWNING WINDOW	
W5	2100	1810	SLIDING DOOR	
W6	1800	910	AWNING WINDOW	
W7	1800	910	AWNING WINDOW	
W8	1800	910	AWNING WINDOW	
W9	900	1810	AWNING WINDOW	

ALUMINIUM WINDOWS **DOUBLE GLAZING** COMPLETE
WITH FLY SCREENS TO SUIT **BAL-12.5** RATING.
ALL WINDOW MEASUREMENTS TO BE VERIFIED ON SITE
PRIOR TO ORDERING



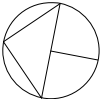
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M. BOTT

PLANNING
NOTE: DO NOT SCALE OFF DRAWINGS

Project:
PROPOSED NEW RESIDENCE
15 PLYMOUTH ROAD,
GAGEBROOK

Drawing:
DOOR AND WINDOW SCHEDULES



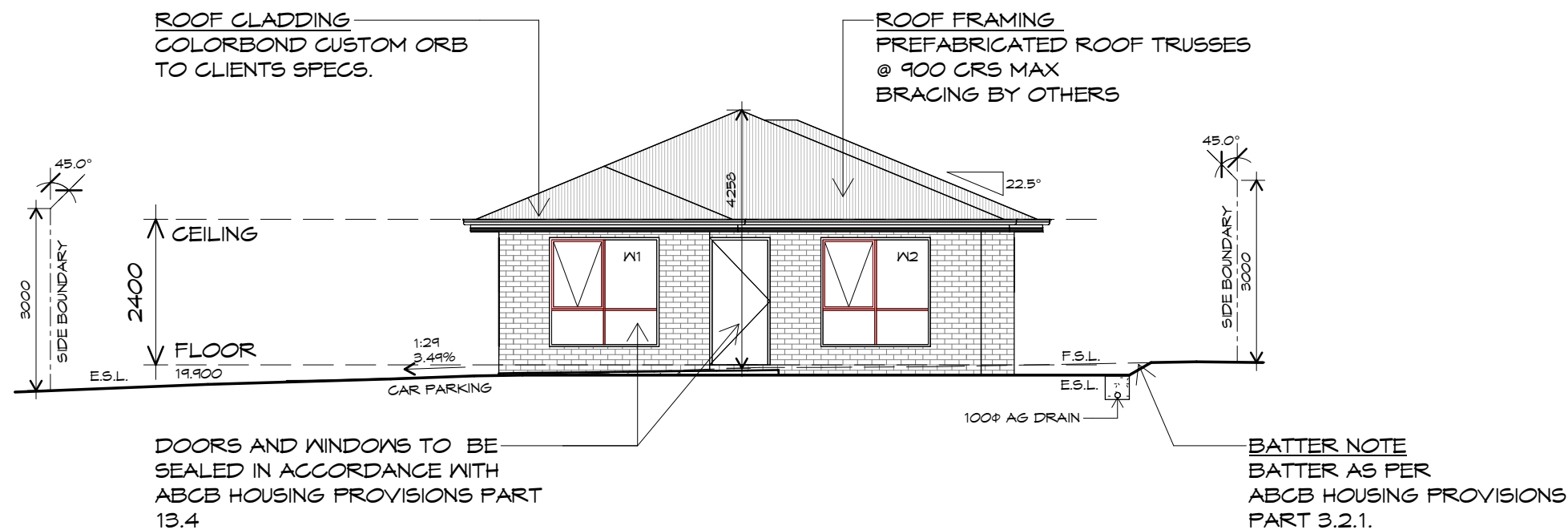
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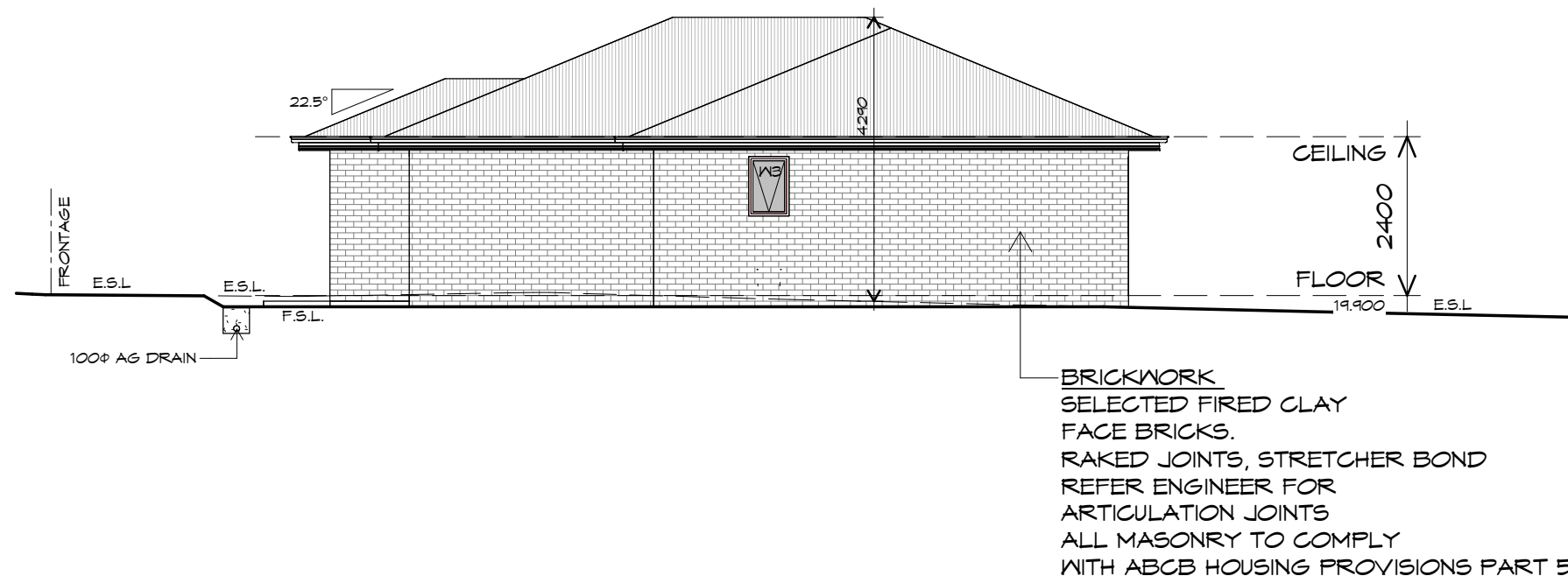
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SOUTHERN ELEVATION

1 : 100



EASTERN ELEVATION

1 : 100



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PROPOSED NEW RESIDENCE
15 PLYMOUTH ROAD,
GAGEBROOK

Drawing:
ELEVATIONS

Prime Design

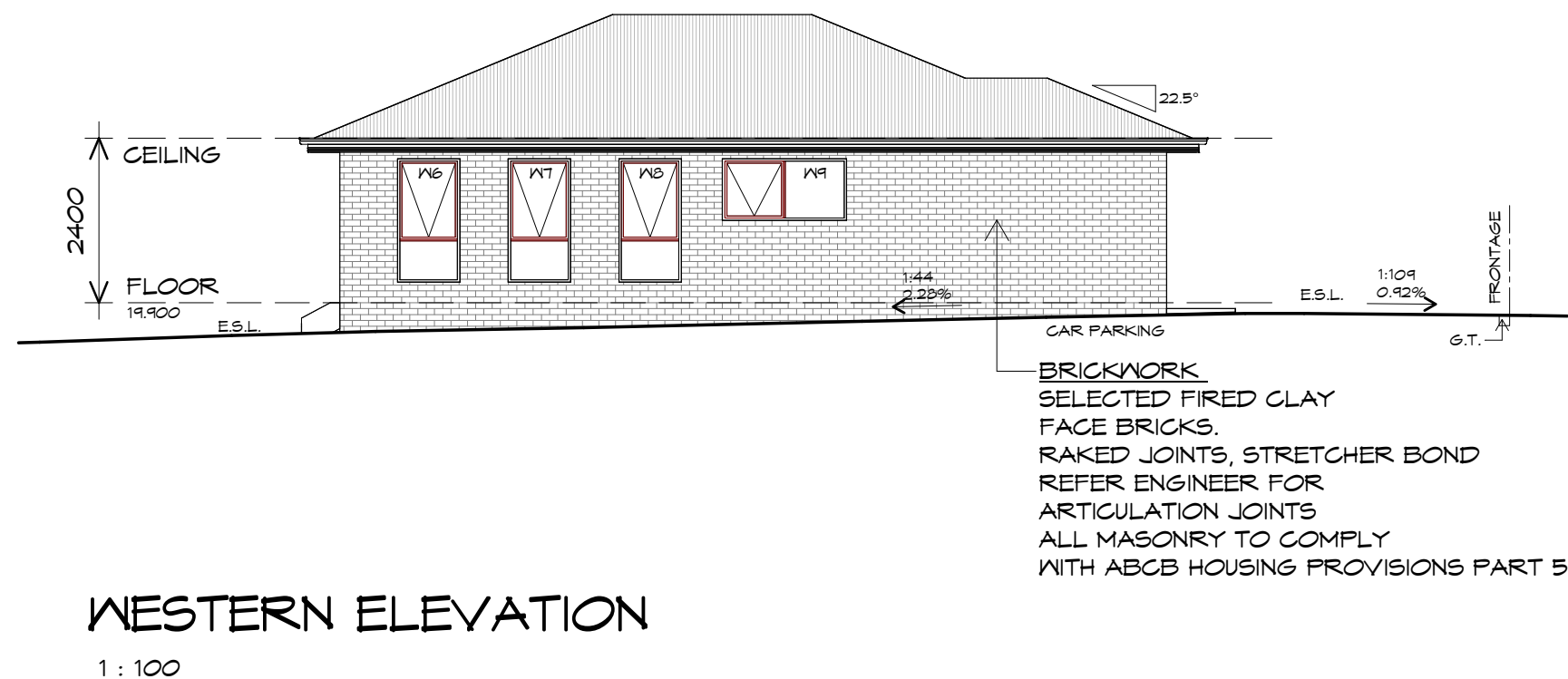
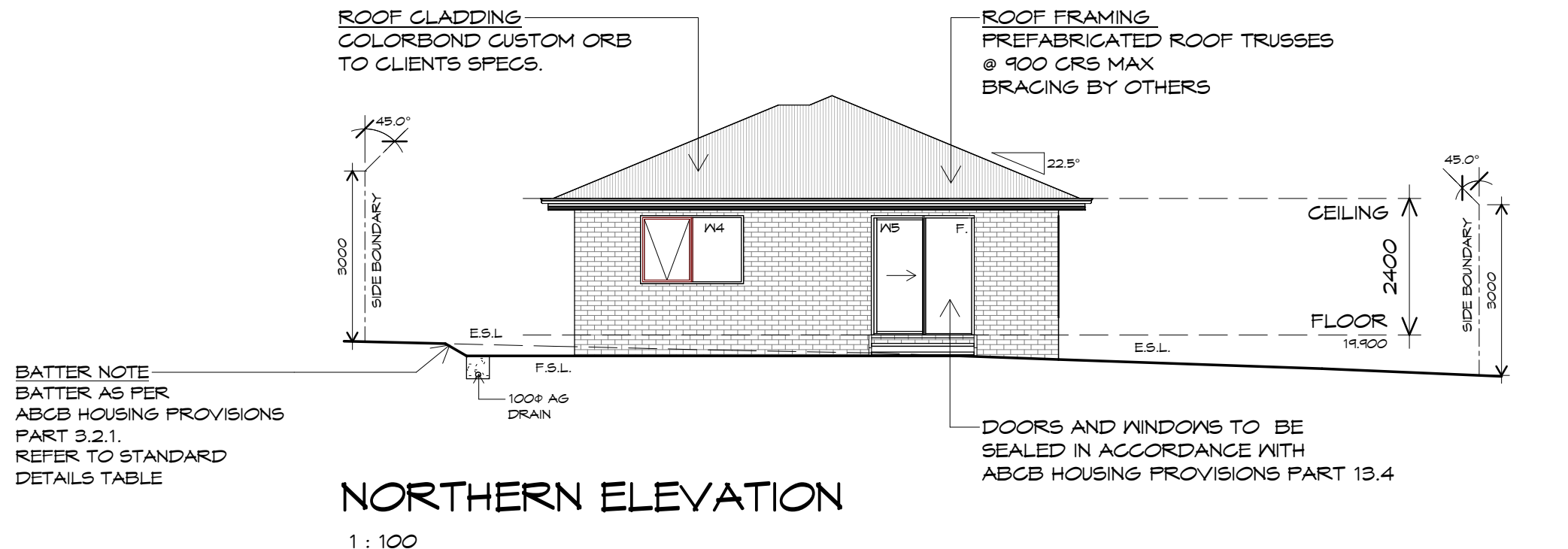
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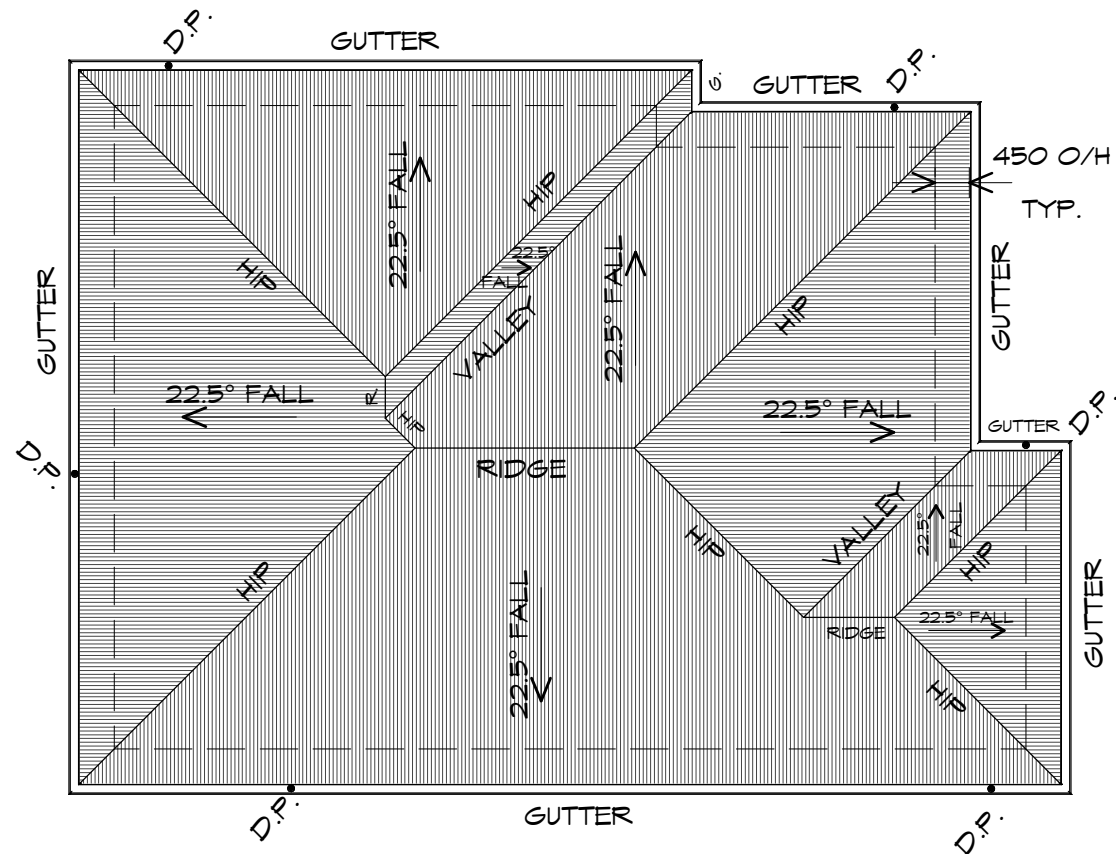
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BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA

Date: 23.06.2026 Drafted by: Q.V. Approved by: D.D.H.

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ROOF PLAN

1 : 100

ADDITIONAL ROOF LOAD

NO SOLAR P.V. SYSTEM HAS BEEN ALLOWED FOR,
NO SOLAR HOT WATER HAS BEEN ALLOWED FOR.

ROOF PLUMBING NOTES:

GUTTER INSTALLATION

TO BE IN ACCORDANCE WITH
ABCB HOUSING PROVISIONS PART 7.4.4
WITH FALL NO LESS THAN
1:500 FOR EAVES GUTTER
BOX GUTTERS IN ACCORDANCE WITH
AS33500.3:2021

UNLESS FIXED TO METAL FASCIA
EAVES GUTTER TO BE FIXED
@ 1200 CRS MAX.

VALLEY GUTTERS ON A ROOF WITH A PITCH:

A) MORE THAN 12.5° DEGREES - MUST
HAVE A WIDTH OF NOT LESS THAN
400mm AND ROOF OVERHANG OF NOT
LESS THAN 150mm EACH SIDE OF VALLEY
GUTTER.
B) LESS THAN 12.5° DEGREES, MUST BE
DESIGNED AS A BOX GUTTER.

LAP GUTTERS 75mm IN THE DIRECTION
OF FLOW, RIVET & SEAL WITH AN
APPROVED SILICONE SEALANT.

DOWNPIPE POSITIONS SHOWN ON THIS
PLAN ARE NOMINAL ONLY.

EXACT LOCATION & NUMBER OF D.P.'S
REQUIRED ARE TO BE IN ACCORDANCE
WITH ABCB HOUSING PROVISIONS PART 7.4.5
REQUIREMENTS.

SPACING BETWEEN DOWNPIPES MUST NOT
BE MORE THAN 12m & LOCATED AS CLOSE AS
POSSIBLE TO VALLEY GUTTERS

METAL ROOF

METAL SHEETING ROOF TO BE INSTALLED IN
ACCORDANCE WITH ABCB HOUSING PROVISIONS PART
7.2. REFER TO TABLE 7.2.2a FOR ACCEPTABLE
CORROSION PROTECTION FOR SHEET ROOFING,
REFER TO TABLE 7.2.2b-7.2.2e FOR ACCEPTABILITY
OF CONTACT BETWEEN DIFFERENT ROOFING
MATERIALS. FOR FIXING, SHEET LAYING SEQUENCE,
FASTENER FREQUENCY FOR TRANVERSE FLASHINGS
AND CAPPINGS, ANTI CAPILLARY BREAKS, FLASHING
DETAILS REFER TO ABCB HOUSING PROVISIONS PART
7.2.5- 7.2.7. ROOF PENETRATION FLASHING DETAILS.
REFER TO TO ABCB HOUSING PROVISIONS PART
7.2.5- 7.2.7. ROOF SHEETING MUST OVERHANG MIN
35mm AS PER ABCB HOUSING PROVISIONS PART 7.2.8

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BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA

REV.	DATE	DESCRIPTION
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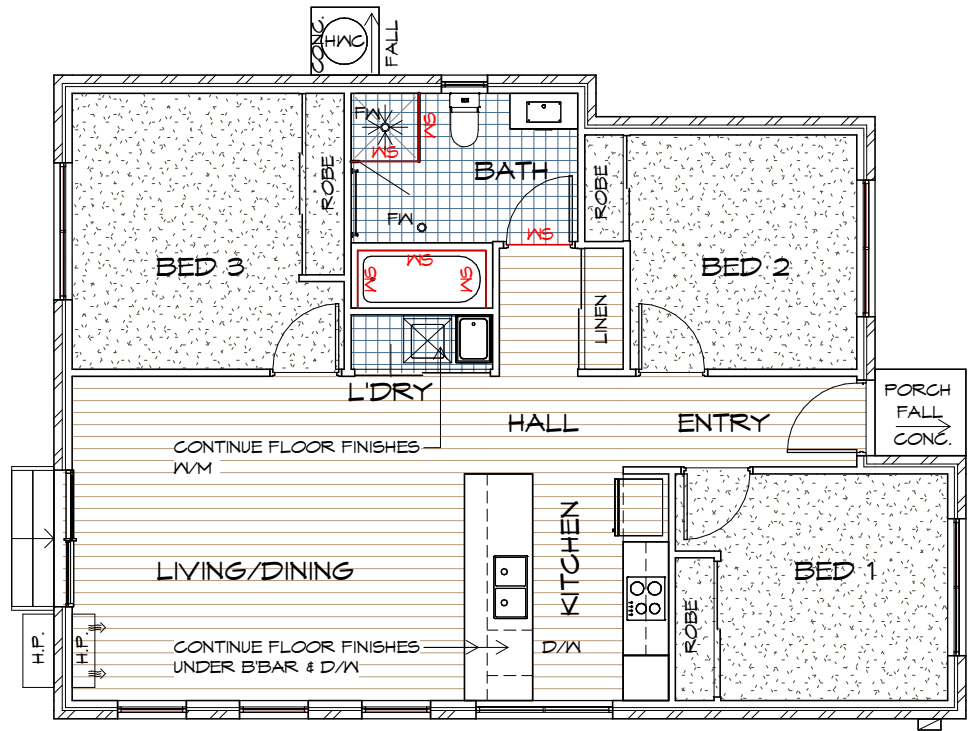
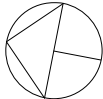
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PROPOSED NEW RESIDENCE
15 PLYMOUTH ROAD,
GAGEBROOK

Drawing:
ROOF PLAN

Date:	Drafted by:	Approved by:
23.06.2026	Q.V.	D.D.H

Project/Drawing no:	Scale:	Revision:
PD26298 - 09	1 : 100	01

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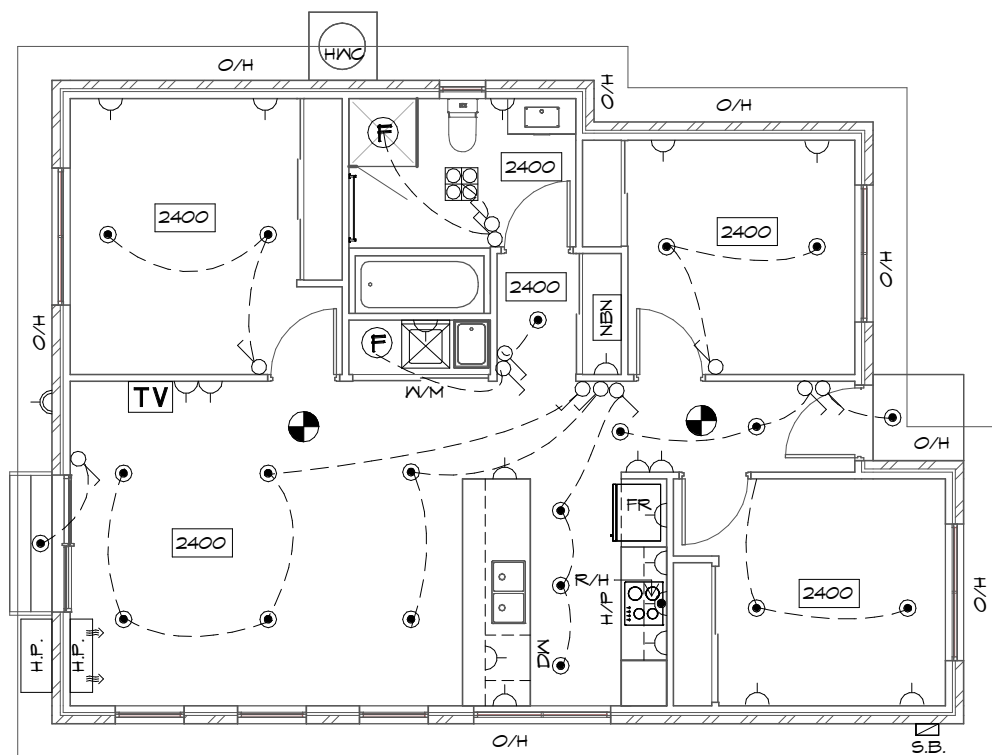


LEGEND

- CARPET
- TILES
- HYBRID FLOORING

LEGEND

- NS WATERSTOP
- FW FLOOR WASTE



ELECTRICAL/REFLECTED CEILING PLAN

1 : 100

ARTIFICIAL LIGHTING
RESIDENCES TO BE IN COMPLIANCE WITH
NCC 2019 PART 3.12.5.5.

ARTIFICIAL LIGHTING MUST NOT EXCEED:

- 5W/m² FOR CLASS 1 BUILDING
- 4W/m² FOR VERANDAH & BALCONIES
- 3W/m² FOR CLASS 10A ASSOCIATED WITH CLASS 1 BUILDING

REFER TO LIGHTING CALCULATOR FOR FURTHER DETAILS.

ELECTRICAL

ALL ELECTRICAL WORKS TO BE CARRIED OUT BY A GRADE ELECTRICAL CONTRACTOR. ALL WORKS TO COMPLY WITH LOCAL AUTHORITIES AND AS3000

EXHAUST FANS

EXHAUST FANS TO ACHIEVE FLOW RATE TO COMPLY WITH HOUSING PROVISIONS 10.8.2

SMOKE ALARMS

- ALL ALARMS TO BE INTERCONNECTED WHERE MORE THAN ONE ALARM IS INSTALLED.
- SMOKE ALARMS TO BE LOCATED ON ALL FLOORS IN ACCORDANCE WITH THE ABCB HOUSING PROVISIONS 9.5.1, 9.5.2 AND 9.5.4.

IMPORTANT:

PLEASE REFER TO ENERGY ASSESSMENT REPORT FOR FULL DETAILS. ENERGY ASSESSMENT IS BASED ON THE ABOVE ELECTRICAL LAYOUT AND TYPES AS NOTED IN THE REPORT. IF MORE PENETRATIONS ARE INCLUDED OR ANY OTHER ASPECT OF THE BUILDING IS MODIFIED, A NEW ENERGY ASSESSMENT WILL BE REQUIRED.

BATHROOMS WITHOUT NATURAL VENTILATION

EXHAUST FAN WITH 10 MINUTE TIMED FAN CONNECTED TO LIGHT SWITCH. UNDERCUT DOOR 20mm TO PROVIDE MAKE UP AIR, TO COMPLY WITH HOUSING PROVISIONS 10.8.2

ELECTRICAL INDEX

LIGHTING

 FOUR LIGHT, 3 IN 1 BATHROOM LIGHT C/W DAMPER, EXHAUST TO OUTSIDE*

 L.E.D. - SEALED DOWN LIGHT *

*INSTALL AS PER MANUFACTURERS SPECIFICATION

SWITCH TYPE

 ONE-WAY SWITCH

WALL OUTLETS

 GENERAL PURPOSE OUTLET (DOUBLE)

 WEATHER PROOF OUTLET

 HOTPLATE SAFETY CUT-OFF

 T.V. OUTLET

 NBN OUTLET

NOTE:

POWER POINT TO BE 300mm AWAY FROM EDGE OF WATER SOURCE

CEILING

 DENOTES CEILING HEIGHT

 ROOF OVERHANG/EAVES

HEATING

 HEAT PUMP

 HEAT PUMP, OUTDOOR UNIT

OTHER

 240V SMOKE ALARM

 SWITCH BOX

 EXHAUST FAN, VENT TO OUTSIDE AIR, PROVIDE POWER

 RANGE HOOD, VENT TO OUTSIDE AIR, PROVIDE POWER

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BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA

Date: 23.06.2026 Drafted by: Q.V. Approved by: D.D.H.

Project/Drawing no: PD26298 - 11 Scale: 1 : 100 Revision: 01

Accredited building practitioner: Frank Geskus - No CC246A
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Client name:
M. BOTT

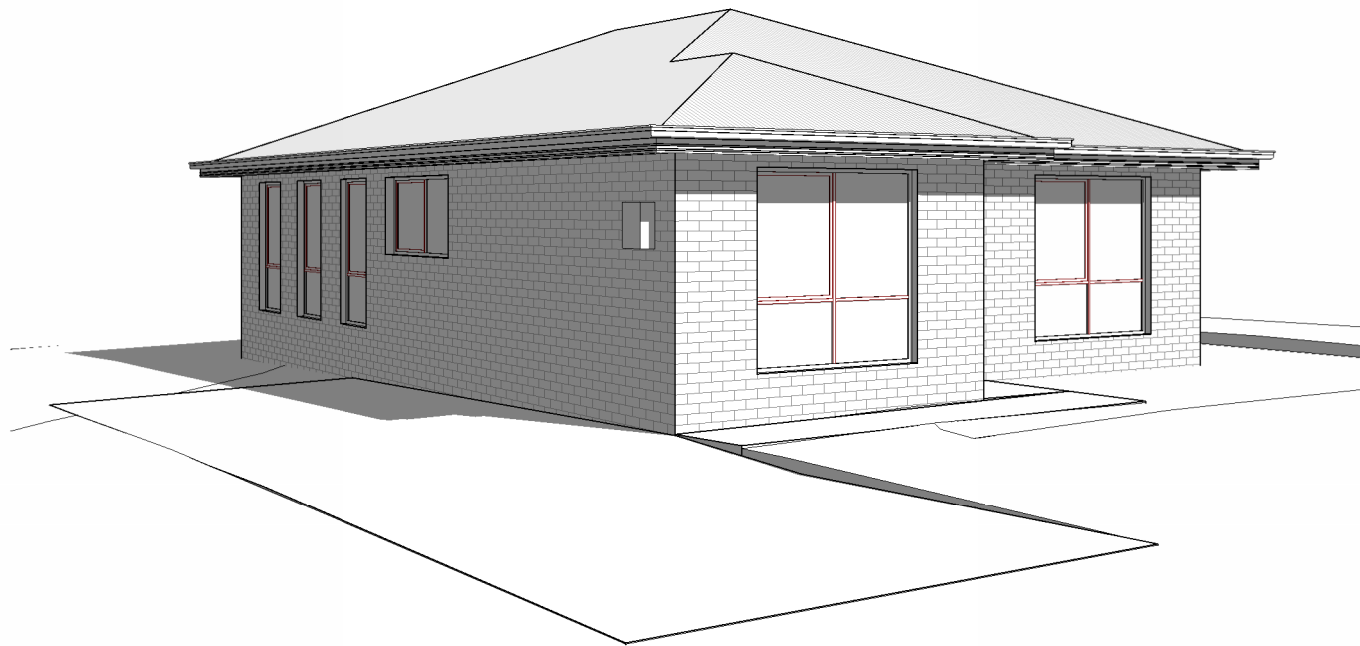
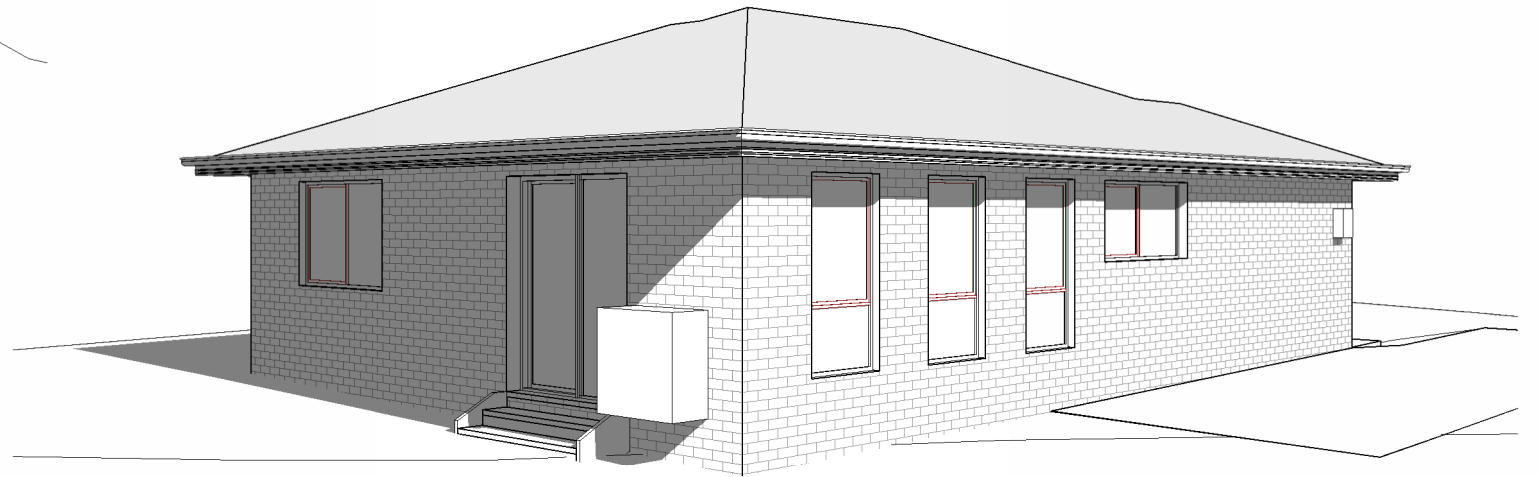
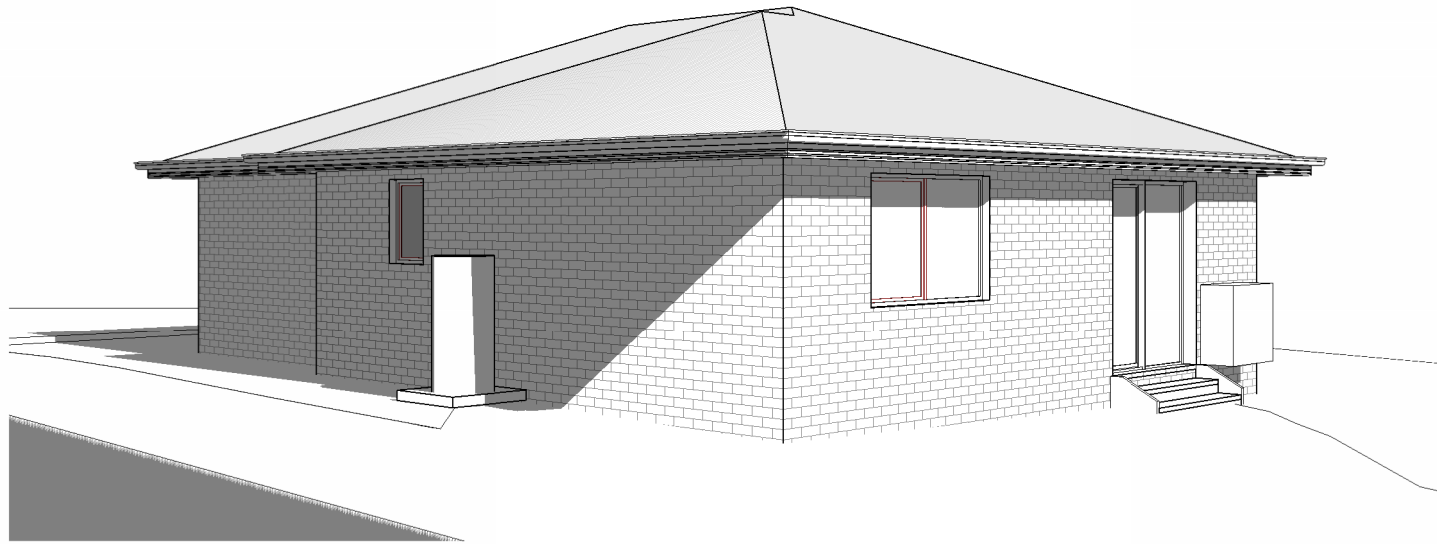
Project:
PROPOSED NEW RESIDENCE
15 PLYMOUTH ROAD,
GAGEBROOK

Drawing:
ELECTRICAL/REFLECTED CEILING PLAN

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS

REV.	DATE	DESCRIPTION
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REV.	DATE	DESCRIPTION

Client name:
M. BOTT

PLANNING
NOTE: DO NOT SCALE OFF DRAWINGS

Project:
PROPOSED NEW RESIDENCE
15 PLYMOUTH ROAD,
GAGEBROOK

Drawing:
PERSPECTIVES

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ASSOCIATION OF AUSTRALIA

Date: 23.06.2026	Drafted by: Q.V.	Approved by: D.D.H
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Project/Drawing no: PD26298 - 12	Scale:	Revision: 01
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