



Application for Planning Approval

Land Use Planning and Approvals Act 1993

APPLICATION NO.

DA2026/137

LOCATION OF AFFECTED AREA

4 PAMELA PLACE, BRIGHTON

DESCRIPTION OF DEVELOPMENT PROPOSAL

SINGLE DWELLING

A COPY OF THE DEVELOPMENT APPLICATION MAY BE VIEWED AT www.brighton.tas.gov.au AND AT THE COUNCIL OFFICES, 1 TIVOLI ROAD, OLD BEACH, BETWEEN 8:15 A.M. AND 4:45 P.M, MONDAY TO FRIDAY OR VIA THE QR CODE BELOW. ANY PERSON MAY MAKE WRITTEN REPRESENTATIONS IN ACCORDANCE WITH S.57(5) OF THE LAND USE PLANNING AND APPROVALS ACT 1993 CONCERNING THIS APPLICATION UNTIL 4:45 P.M. ON **20/07/2026**. ADDRESSED TO THE CHIEF EXECUTIVE OFFICER AT 1 TIVOLI ROAD, OLD BEACH, 7017 OR BY EMAIL AT development@brighton.tas.gov.au. REPRESENTATIONS SHOULD INCLUDE A DAYTIME TELEPHONE NUMBER TO ALLOW COUNCIL OFFICERS TO DISCUSS, IF NECESSARY, ANY MATTERS RAISED.

JAMES DRYBURGH
Chief Executive Officer



Brighton
going places

PROPOSED NEW RESIDENCE

H1012

4 PAMELA PLACE, BRIGHTON

SASANKA P. C. RANCHAGODAGE DON & BIMSARA K. DULLEWA

PD26242

BUILDING DRAWINGS

<u>No</u>	<u>DRAWING</u>
01	SITE PLAN
02	PART SITE PLAN
03	SITE DRAINAGE PLAN
04	CUT/FILL PLAN
05	LOCALITY PLAN
06	FLOOR PLAN
07	DOOR AND WINDOW SCHEDULES
08	ELEVATIONS
09	ELEVATIONS
10	ROOF PLAN
11	FLOOR FINISHES PLAN
12	ELECTRICAL/REFLECTED CEILING PLAN
13	PERSPECTIVES



GENERAL PROJECT INFORMATION

TITLE REFERENCE: 186715/20
SITE AREA: 498m²
DESIGN WIND SPEED: N2
SOIL CLASSIFICATION: M
CLIMATE ZONE: 7
ALPINE AREA: NO
CORROSIVE ENVIRONMENT: N/A
BAL RATING: EXEMPT
OTHER KNOWN HAZARDS: N/A

GARAGE AREA	25.90	m ²	(2.79	SQUARES)
FLOOR AREA	111.91	m ²	(12.05	SQUARES)
TOTAL AREA	137.82	m ²		14.83	SQUARES



L: 10 Goodman Court, Invermay, 7248
p() +03 6332 3790
H: Shop 9, 105-111 Main Road, Moonah, 7009
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Accredited Building Practitioner:



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Frank Geskus -No CC246A

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REV. DATE DESCRIPTION

JUNE 2026

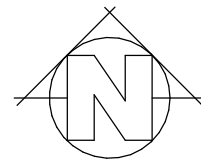
PLANNING

GENERAL NOTES

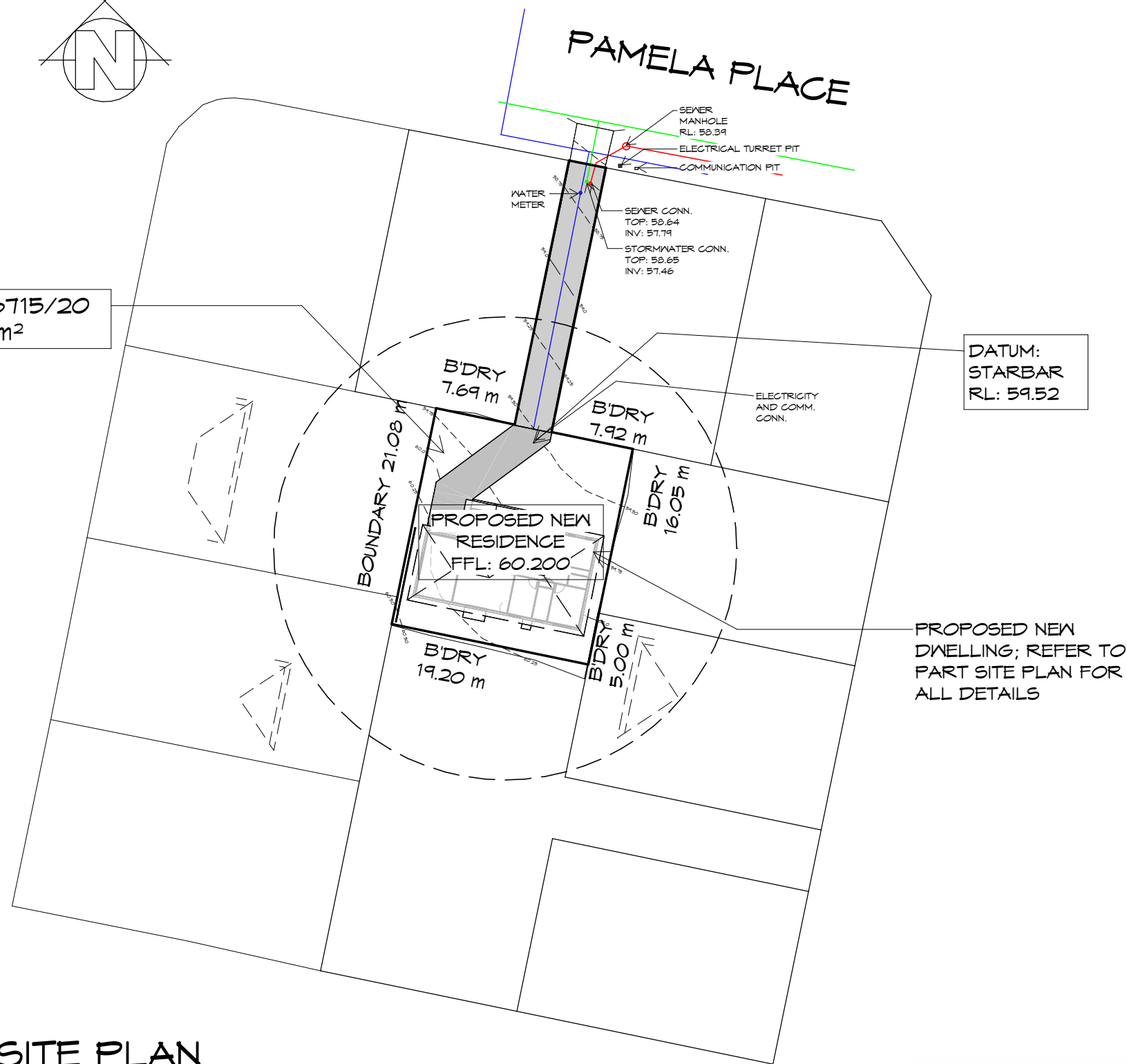
- CHECK & VERIFY ALL DIMENSIONS & LEVELS ON SITE
- WRITTEN DIMENSIONS TO TAKE PREFERENCE OVER SCALED
- ALL WORK TO BE STRICTLY IN ACCORDANCE WITH NCC 2022, ALL S.A.A. CODES & LOCAL AUTHORITY BY-LAWS
- ALL DIMENSIONS INDICATED ARE FRAME TO FRAME AND DO NOT ALLOW FOR WALL LININGS
- CONFIRM ALL FLOOR AREAS
- ALL PLUMBING WORKS TO BE STRICTLY IN ACCORDANCE WITH A.S. 3500, NCC 2022 & APPROVED BY COUNCIL INSPECTOR
- BUILDER/PLUMBER TO ENSURE ADEQUATE FALL TO SITE CONNECTION POINTS IN ACCORDANCE WITH A.S. 3500 FOR STORMWATER AND SEWER BEFORE CONSTRUCTION COMMENCES
- THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE ENGINEER'S STRUCTURAL DRAWINGS
- ALL WINDOWS AND GLAZING TO COMPLY WITH A.S. 1288 & A.S. 2047
- ALL SET OUT OF BUILDINGS & STRUCTURES TO BE CARRIED OUT BY A REGISTERED LAND SURVEYOR AND CHECKED PRIOR TO CONSTRUCTION
- IF CONSTRUCTION OF THE DESIGN IN THIS SET OF DRAWINGS DIFFER FROM THE DESIGN AND DETAIL IN THESE AND ANY ASSOCIATED DOCUMENTS BUILDER AND OWNER ARE TO NOTIFY DESIGNER
- BUILDER'S RESPONSIBILITY TO COMPLY WITH ALL PLANNING CONDITIONS
- BUILDER TO HAVE STAMPED BUILDING APPROVAL DRAWINGS AND PERMITS PRIOR TO COMMENCEMENT OF CONSTRUCTION
- CONSTRUCTION TO COMPLY WITH AS 3959, READ IN CONJUNCTION WITH BUSHFIRE ATTACK LEVEL (BAL) ASSESSMENT REPORT.

SURVEY NOTES

- THIS PLAN AND ASSOCIATED DIGITAL MODEL IS PREPARED FOR CUNIC HOMES FROM A COMBINATION OF FIELD SURVEY AND EXISTING RECORDS FOR THE PURPOSE OF DESIGNING NEW CONSTRUCTIONS ON THE LAND AND SHOULD NOT BE USED FOR ANY OTHER PURPOSE.
- THE TITLE BOUNDARIES AS SHOWN ON THIS PLAN WERE NOT MARKED AT THE TIME OF THE SURVEY AND HAVE BEEN DETERMINED BY PLAN DIMENSIONS ONLY AND NOT BY FIELD SURVEY. NO MEASUREMENTS OR OFFSETS ARE TO BE DERIVED BETWEEN THE FEATURES ON THIS PLAN AND THE BOUNDARY LAYER. THE RELATIONSHIP BETWEEN THE FEATURES IN THIS MODEL AND THE BOUNDARY LAYERS CANNOT BE USED FOR ANY SET OUT PURPOSES OR TO CONFIRM THE POSITION OF THE TITLE BOUNDARIES ON SITE.
- DUE TO THE NATURE OF THE TITLE BOUNDARY INFORMATION, IF ANY STRUCTURES ARE DESIGNED ON OR NEAR A BOUNDARY WE WOULD RECOMMEND A RE-MARK SURVEY BE COMPLETED AND LODGED WITH THE LAND TITLES OFFICE TO SUPPORT THE BOUNDARY DEFINITION.
- SERVICES SHOWN HAVE BEEN LOCATED WHERE VISIBLE BY FIELD SURVEY. PRIOR TO ANY DEMOLITION, EXCAVATION OR CONSTRUCTION ON THE SITE, THE RELEVANT AUTHORITY SHOULD BE CONTACTED FOR POSSIBLE LOCATION OF FURTHER UNDERGROUND SERVICES AND DETAILED LOCATIONS OF ALL SERVICES.
- IF SUBSEQUENT DESIGN IS INTENDED FOR CONSTRUCTION SETOUT, FUTURE SURVEYING SETOUT COSTS ARE INCREASED IF THE DIGITAL DATA PROVIDED IS ROTATED, SCALED OR MOVED.
- THIS NOTE FORMS AN INTEGRAL PART OF THE PLAN/DATA. ANY REPRODUCTION OF THIS PLAN/MODEL WITHOUT THIS NOTE ATTACHED WILL RENDER THE INFORMATION SHOWN INVALID.
- HORIZONTAL DATUM: GDA2020
- VERTICAL DATUM: AHD83
- CONTOUR INTERVAL: 0.250m



TITLE REF: 186715/20
LOT SIZE: 498m²



SITE PLAN

1 : 500



REV.	DATE	DESCRIPTION

Client name:
SASANKA P. C. RANCHAGODAGE DON &
BIMSARA K. DULLEWA

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS

Project:
PROPOSED NEW RESIDENCE
4 PAMELA PLACE,
BRIGHTON

Drawing:
SITE PLAN



L: 10 Goodman Court, Invermay, 7248 - p+ 03 6332 3790
H: Shop 9, 105-111 Main Road, Moonah, 7009 - p+ 03 6228 4575
info@primedesigntas.com.au primedesigntas.com.au



Date:	Drafted by:	Approved by:
17.06.2026	Q.V.	D.D.H

Project/Drawing no:	Scale:	Revision:
PD26242 - 01	1 : 500	02

Accredited building practitioner: Frank Geskus -No CC246A
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GENERAL NOTES

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- CONTOUR INTERVAL: 0.250m

SETBACKS

REFER TO DIMENSIONS AND ELEVATIONS FOR FURTHER DETAILS.

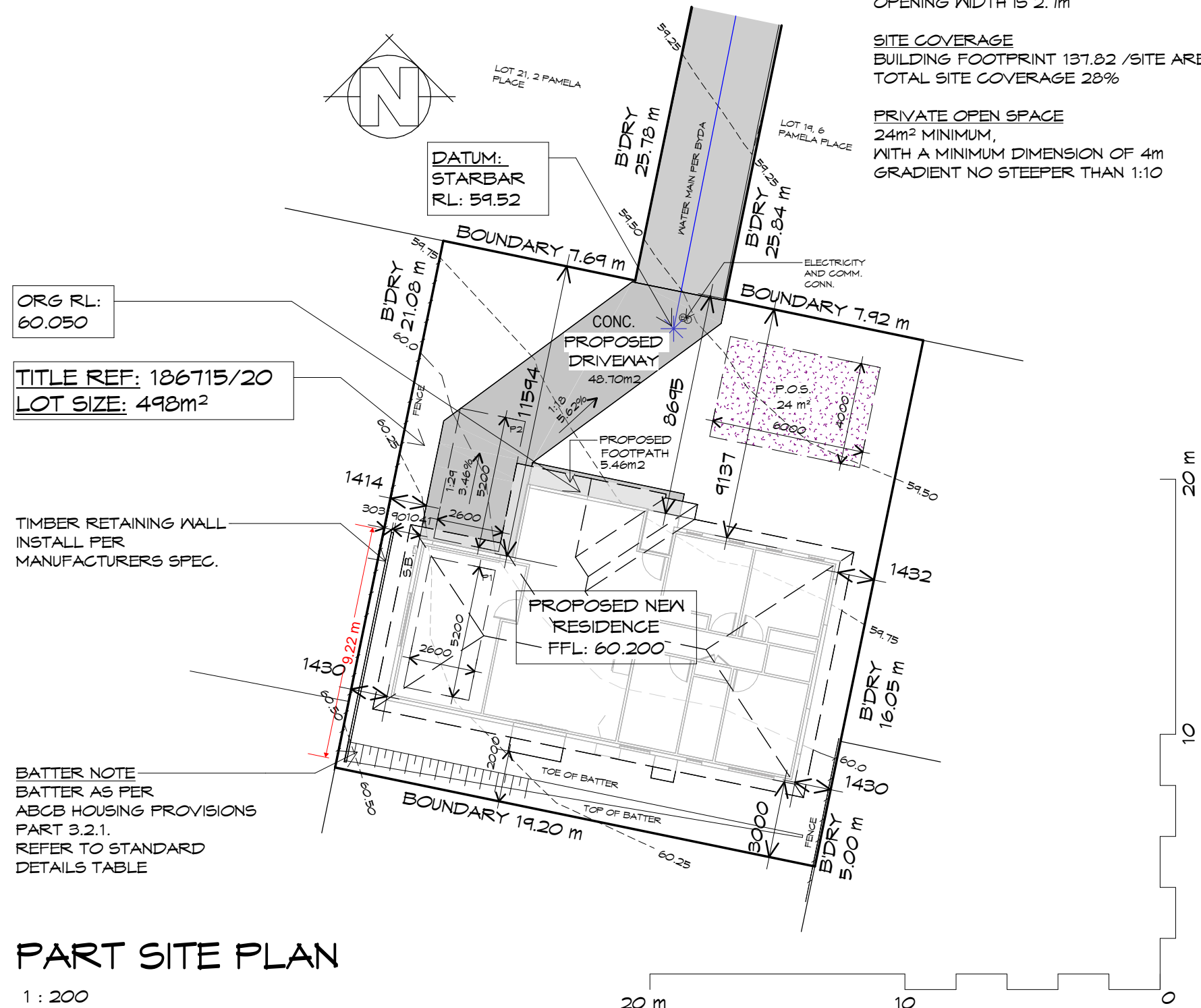
GARAGE IS LOCATED WITHIN 12m OF THE PRIMARY FRONTAGE, OPENING WIDTH IS 2.7m

SITE COVERAGE

BUILDING FOOTPRINT 137.82 /SITE AREA 498.00 = 0.276
TOTAL SITE COVERAGE 28%

PRIVATE OPEN SPACE

24m² MINIMUM,
WITH A MINIMUM DIMENSION OF 4m
GRADIENT NO STEEPER THAN 1:10



PART SITE PLAN

1 : 200

SEWER AND WATER SERVICES

- ALL WORKS IN ACCORDANCE WITH WATER SUPPLY CODE OF AUSTRALIA AND TASWATER SUPPLEMENTS
- WORKS TO BE DONE BY TASWATER AT DEVELOPERS COST

NOTE: DIMENSIONED BOUNDARY OFFSETS TO THE PROPOSED BUILDING ARE TO THE EXTERNAL CLADDING U.N.O.

DRIVEWAY GRADIENT

MAXIMUM GRADIENT 1:4 (25%)
TO AS 2890

CAR PARKING GRADIENT

PARALLEL TO PARKING ANGLE 1:20 (5%)
CROSSFALL 1:16 (6.25%)



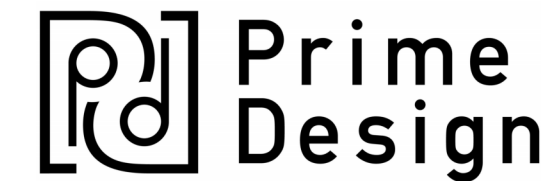
REV.	DATE	DESCRIPTION

Client name:
SASANKA P. C. RANCHAGODAGE DON &
BIMSARA K. DULLEWA

PLANNING
NOTE: DO NOT SCALE OFF DRAWINGS

Project:
PROPOSED NEW RESIDENCE
4 PAMELA PLACE,
BRIGHTON

Drawing:
PART SITE PLAN



L: 10 Goodman Court, Invermay, 7248 - p+ 03 6332 3790
H: Shop 9, 105-111 Main Road, Moonah, 7009 - p+ 03 6228 4575
info@primedesigntas.com.au primedesigntas.com.au

Date: 17.06.2026
Drafted by: Q.V.
Approved by: D.D.H

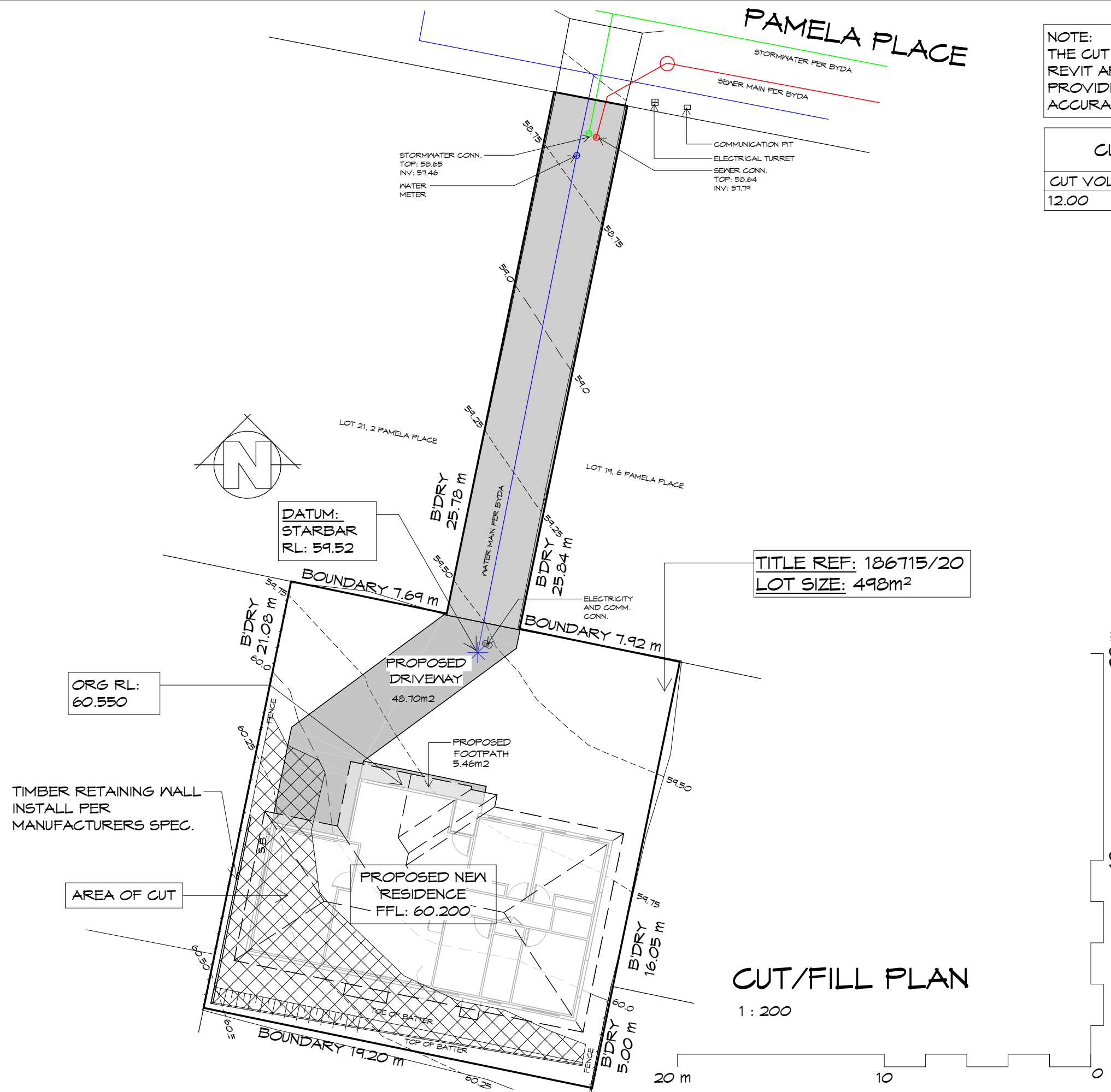
Project/Drawing no: PD26242 - 02
Scale: 1 : 200
Revision: 02

Accredited building practitioner: Frank Geskus -No CC246A
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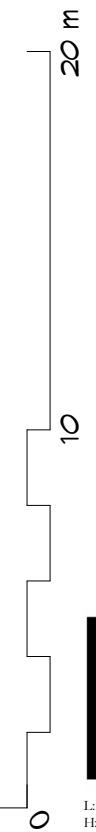
PAMELA PLACE

NOTE:
THE CUT AND FILL VOLUMES CALCULATED BY
REVIT ARE APPROXIMATE, GENERALLY
PROVIDING RESULTS WITH +/- 1% TO 2%
ACCURACY

CUT/FILL SCHEDULE	
CUT VOLUME (m3)	FILL VOLUME (m3)
12.00	0.00



CUT/FILL PLAN
1 : 200



REV.	DATE	DESCRIPTION

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BIMSARA K. DULLEWA**

Project:
**PROPOSED NEW RESIDENCE
4 PAMELA PLACE,
BRIGHTON**

Drawing:
CUT/FILL PLAN

Date: 17.06.2026
Drafted by: Q.V.
Approved by: D.D.H

Project/Drawing no: PD26242 - 04
Scale: 1 : 200
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LOCALITY PLAN

1 : 2000

THIS SITE IS ZONED **GENERAL RESIDENTIAL** AND DOES NOT FALL WITHIN A BUSHFIRE PRONE AREAS OVERLAY, THEREFORE DOES NOT REQUIRE A BUSHFIRE ASSESSMENT.

PROPOSED NEW RESIDENCE
4 PAMELA PLACE,
BRIGHTON



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4 PAMELA PLACE,
BRIGHTON

Drawing:
LOCALITY PLAN



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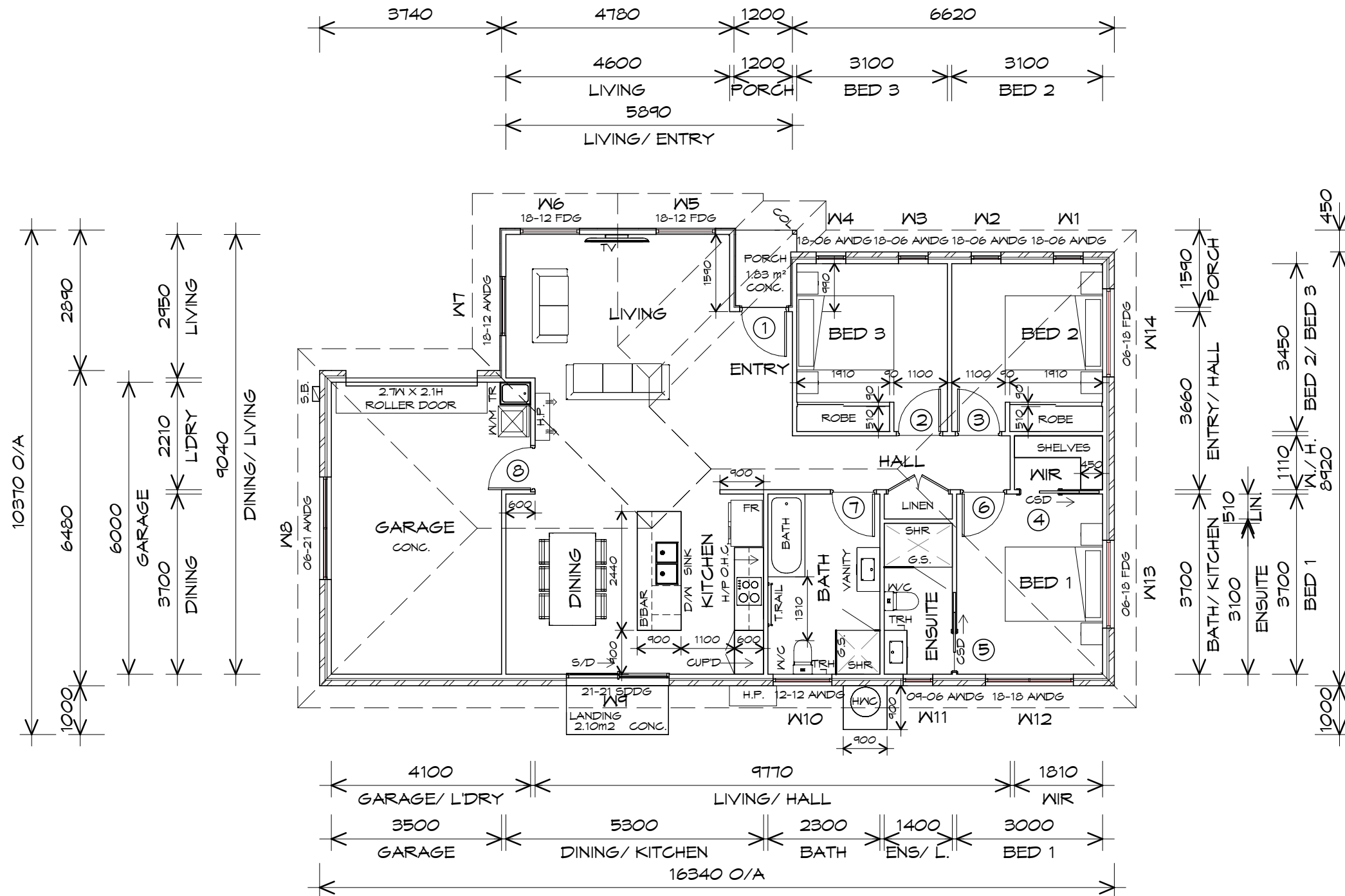
Date: 17.06.2026	Drafted by: Q.V.	Approved by: D.D.H
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LEGEND

- CSD CAVITY SLIDING DOOR
- S/D SLIDING DOOR
- COL COLUMN
- G.S. GLASS SCREEN
- O.H.C. OVERHEAD CUPBOARDS
- HWC HOT WATER CYLINDER
- H.P. HEAT PUMP
- S.B. SWITCH BOX



FLOOR PLAN

1 : 100

GARAGE AREA	25.90	m ²	(2.79	SQUARES)
FLOOR AREA	111.91	m ²	(12.05	SQUARES)
TOTAL AREA	137.82	m ²	14.83	SQUARES

NOTE:
 FLOOR AREAS INCLUDE TO EXTERNAL FACE OF BUILDING AND GARAGE, UNLESS OTHERWISE STATED. DECKS AND OUTDOOR AREAS ARE CALCULATED SEPARATELY.



REV. DATE DESCRIPTION

Client name:
 SASANKA P. C. RANCHAGODAGE DON &
 BIMSARA K. DULLEWA

PLANNING
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Project:
 PROPOSED NEW RESIDENCE
 4 PAMELA PLACE,
 BRIGHTON
 Drawing:
 FLOOR PLAN



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DOOR SCHEDULE			
MARK	WIDTH	TYPE	REMARKS
1	920	EXTERNAL SOLID DOOR	
2	870	INTERNAL TIMBER DOOR	
3	870	INTERNAL TIMBER DOOR	
4	820	CAVITY SLIDING DOOR	
5	820	CAVITY SLIDING DOOR	
6	870	INTERNAL TIMBER DOOR	
7	870	INTERNAL TIMBER DOOR	
8	870	INTERNAL TIMBER DOOR	

WINDOW SCHEDULE				
MARK	HEIGHT	WIDTH	TYPE	REMARKS
W1	1800	610	AWNING WINDOW	
W2	1800	610	AWNING WINDOW	
W3	1800	610	AWNING WINDOW	
W4	1800	610	AWNING WINDOW	
W5	1800	1210	FIXED WINDOW	
W6	1800	1210	FIXED WINDOW	
W7	1800	1210	AWNING WINDOW	
W8	600	2110	AWNING WINDOW	
W9	2100	2110	SLIDING DOOR	
W10	1200	1210	AWNING WINDOW	OPAQUE
W11	900	610	AWNING WINDOW	OPAQUE
W12	1800	1810	AWNING WINDOW	
W13	600	1810	FIXED WINDOW	
W14	600	1810	FIXED WINDOW	

ALUMINIUM WINDOWS DOUBLE GLAZING COMPLETE WITH FLY SCREENS.
ALL WINDOW MEASUREMENTS TO BE VERIFIED ON SITE PRIOR TO ORDERING



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Drawing:
DOOR AND WINDOW SCHEDULES



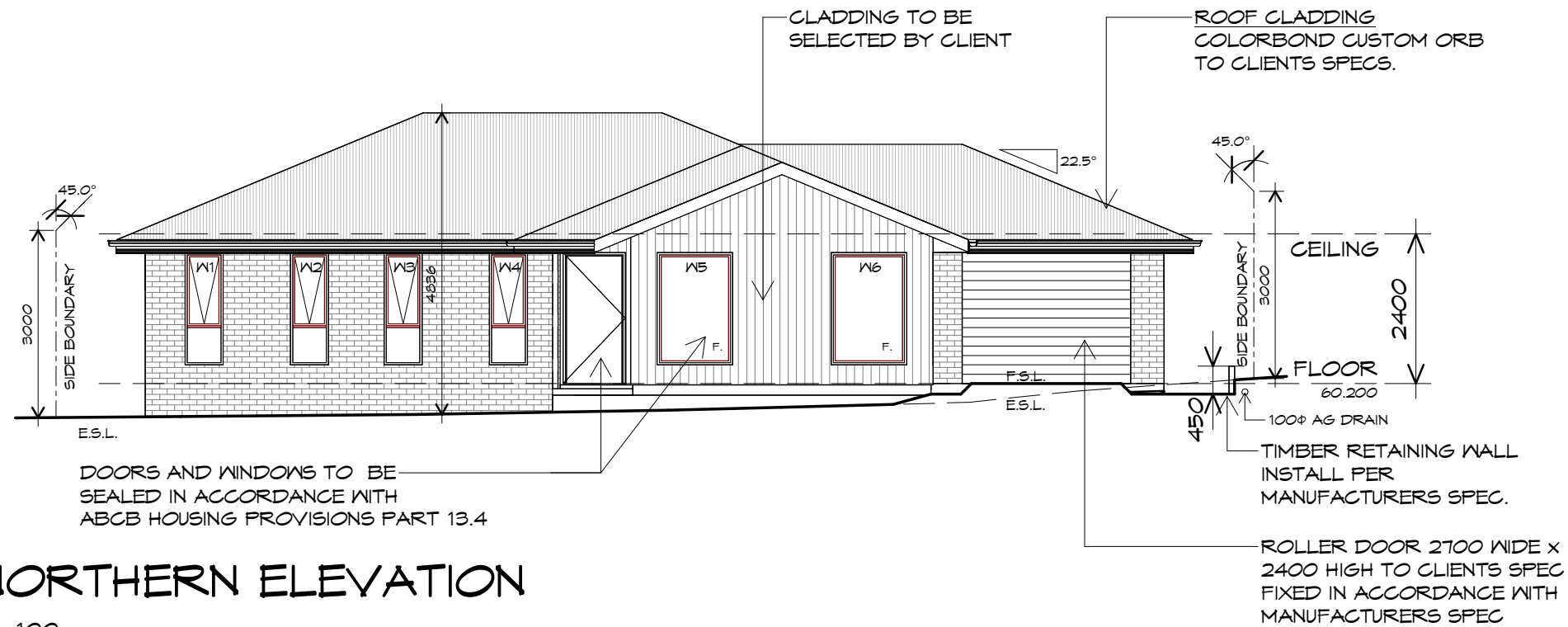
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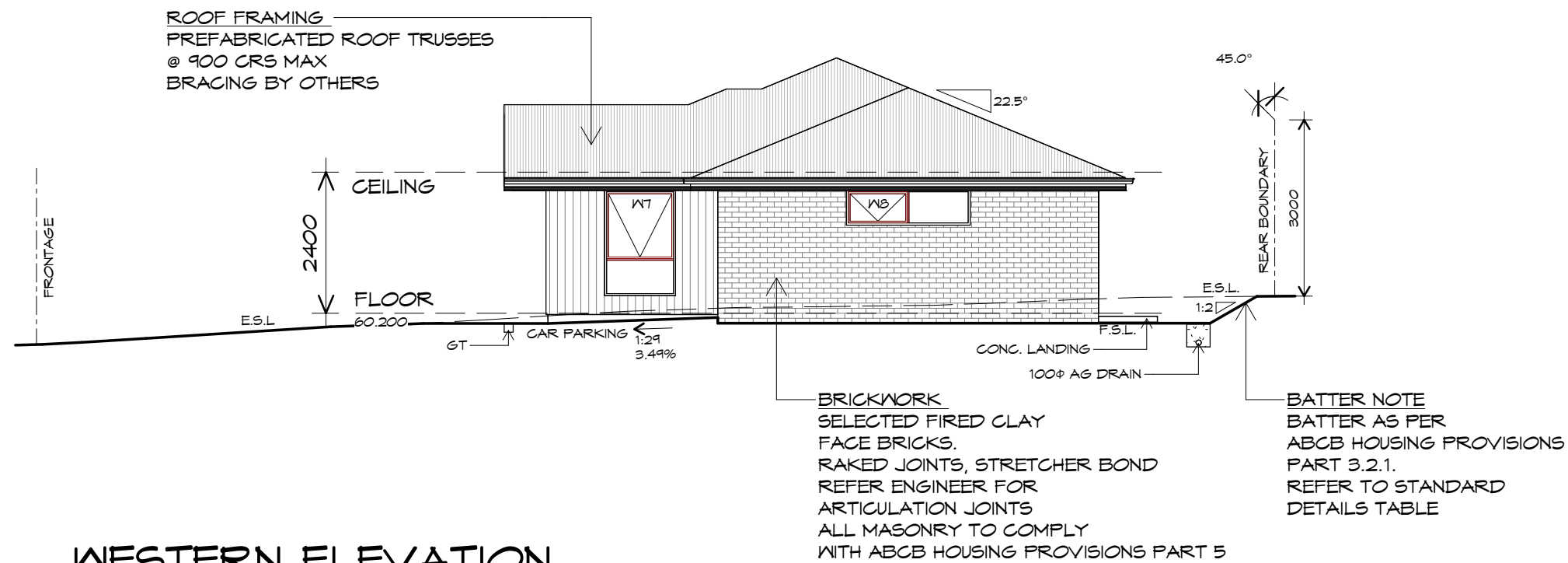
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NORTHERN ELEVATION

1 : 100



WESTERN ELEVATION

1 : 100



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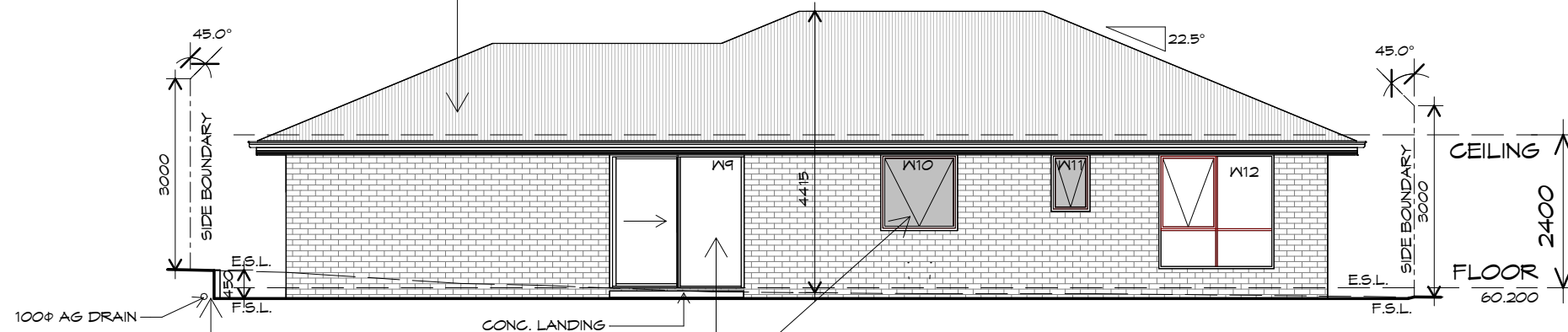
bdoo
BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA

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PD26242 - 08	1 : 100	02

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ROOF CLADDING
COLORBOND CUSTOM ORB
TO CLIENTS SPECS.



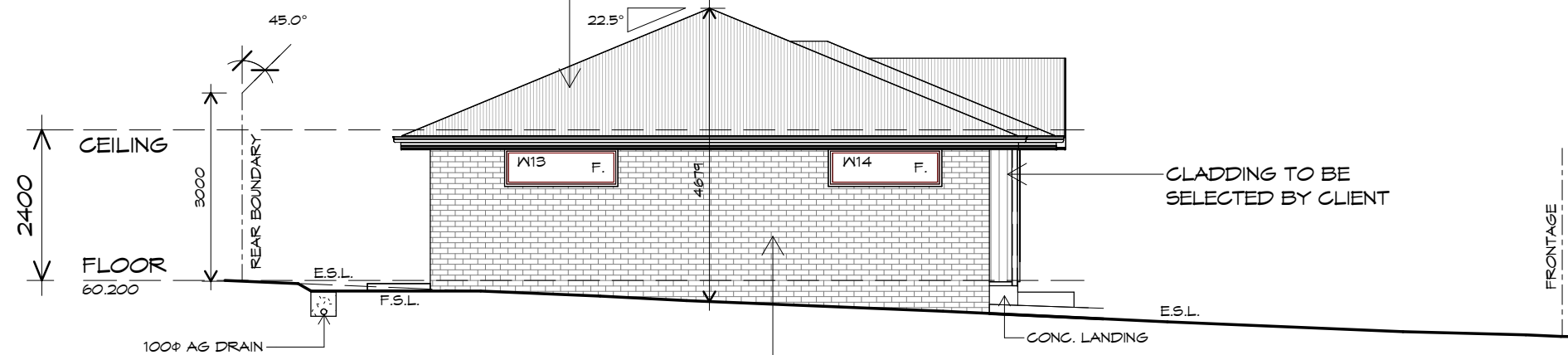
TIMBER RETAINING WALL
INSTALL PER
MANUFACTURERS SPEC.

DOORS AND WINDOWS TO BE
SEALED IN ACCORDANCE WITH
ABCB HOUSING PROVISIONS PART 13.4

SOUTHERN ELEVATION

1 : 100

ROOF FRAMING
PREFABRICATED ROOF TRUSSES
@ 900 CRS MAX
BRACING BY OTHERS



CLADDING TO BE
SELECTED BY CLIENT

BRICKWORK
SELECTED FIRED CLAY
FACE BRICKS.
RAKED JOINTS, STRETCHER BOND
REFER ENGINEER FOR
ARTICULATION JOINTS
ALL MASONRY TO COMPLY
WITH ABCB HOUSING PROVISIONS PART 5

EASTERN ELEVATION

1 : 100



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PLANNING
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Drawing:
ELEVATIONS

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ROOF PLUMBING NOTES:

GUTTER INSTALLATION

TO BE IN ACCORDANCE WITH
 ABCB HOUSING PROVISIONS PART 7.4.4
 WITH FALL NO LESS THAN
 1:500 FOR EAVES GUTTER
 BOX GUTTERS IN ACCORDANCE WITH AS33500.3:2021

UNLESS FIXED TO METAL FASCIA
 EAVES GUTTER TO BE FIXED
 @ 1200 CRS MAX.

VALLEY GUTTERS ON A ROOF WITH A PITCH:

- A) MORE THAN 12.5° DEGREES - MUST HAVE A WIDTH OF NOT LESS THAN 400mm AND ROOF OVERHANG OF NOT LESS THAN 150mm EACH SIDE OF VALLEY GUTTER.
- B) LESS THAN 12.5° DEGREES, MUST BE DESIGNED AS A BOX GUTTER.

LAP GUTTERS 75mm IN THE DIRECTION OF FLOW, RIVET & SEAL WITH AN APPROVED SILICONE SEALANT.

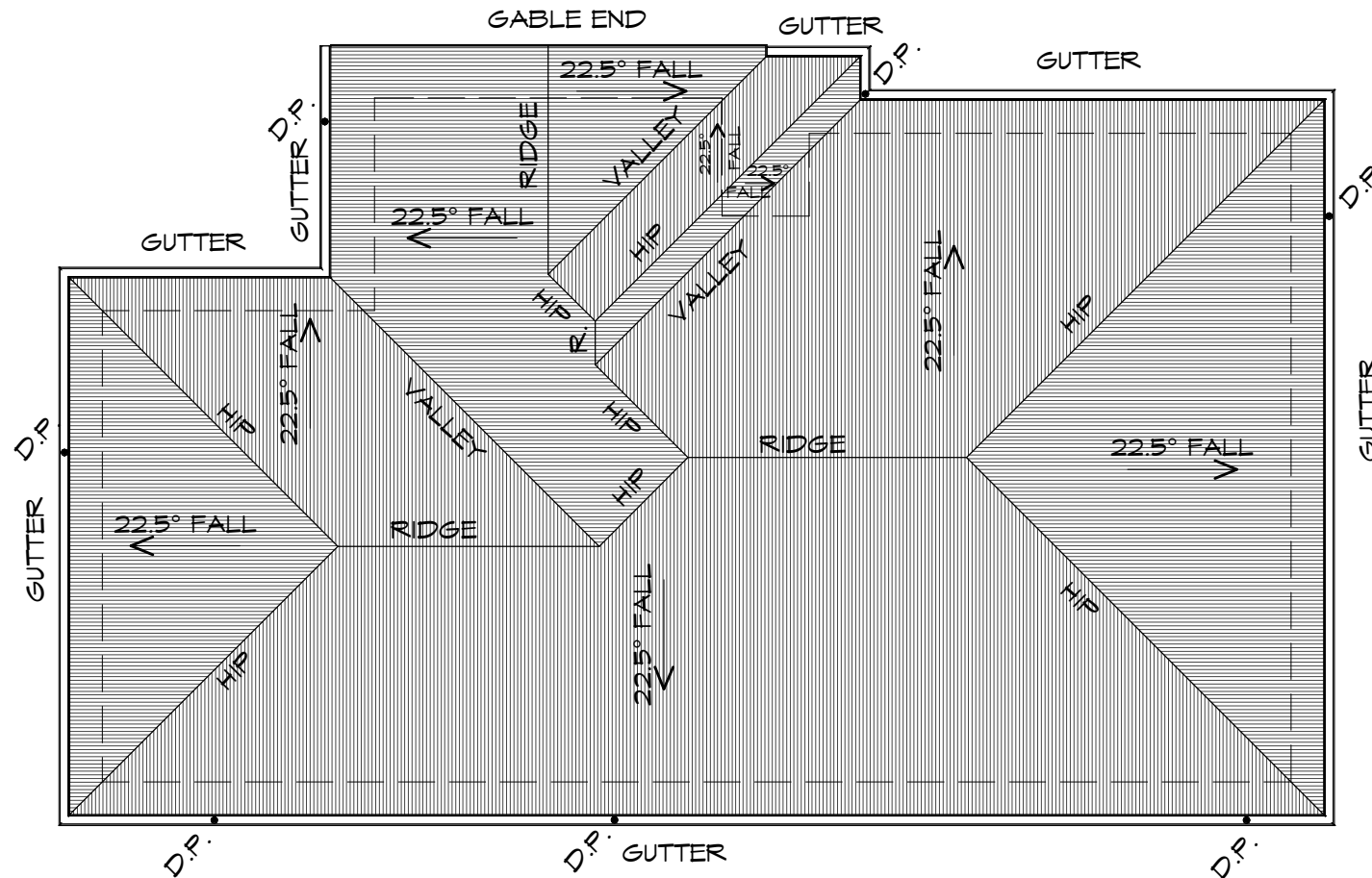
DOWNPIPE POSITIONS SHOWN ON THIS PLAN ARE NOMINAL ONLY. EXACT LOCATION & NUMBER OF D.P.'S REQUIRED ARE TO BE IN ACCORDANCE WITH ABCB HOUSING PROVISIONS PART 7.4.5 REQUIREMENTS. SPACING BETWEEN DOWNPIPES MUST NOT BE MORE THAN 12m & LOCATED AS CLOSE AS POSSIBLE TO VALLEY GUTTERS

METAL ROOF

METAL SHEETING ROOF TO BE INSTALLED IN ACCORDANCE WITH ABCB HOUSING PROVISIONS PART 7.2. REFER TO TABLE 7.2.2a FOR ACCEPTABLE CORROSION PROTECTION FOR SHEET ROOFING, REFER TO TABLE 7.2.2b-7.2.2e FOR ACCEPTABILITY OF CONTACT BETWEEN DIFFERENT ROOFING MATERIALS. FOR FIXING, SHEET LAYING SEQUENCE, FASTENER FREQUENCY FOR TRANVERSE FLASHINGS AND CAPPINGS, ANTI CAPILLARY BREAKS, FLASHING DETAILS REFER TO ABCB HOUSING PROVISIONS PART 7.2.5- 7.2.7. ROOF PENETRATION FLASHING DETAILS. REFER TO TO ABCB HOUSING PROVISIONS PART 7.2.5- 7.2.7. ROOF SHEETING MUST OVERHANG MIN 35mm AS PER ABCB HOUSING PROVISIONS PART 7.2.8

ADDITIONAL ROOF LOAD

NO SOLAR P.V. SYSTEM HAS BEEN ALLOWED FOR,
 NO SOLAR HOT WATER HAS BEEN ALLOWED FOR.



ROOF PLAN

1 : 100

OVERFLOW MEASURES

INSTALL FRONT FACE SLOTTED GUTTER OR
 10mm CONTROLLED BACK GAP, STAND OFF
 BRACKET WITH SPACER.
 BACK OF GUTTER INSTALLED A MINIMUM OF
 10mm BELOW THE TOP OF FASCIA
 INSTALL IN ACCORDANCE WITH ABCB HOUSING
 PROVISIONS PART 7.4.6



REV.	DATE	DESCRIPTION

Client name:
 SASANKA P. C. RANCHAGODAGE DON &
 BIMSARA K. DULLEWA

PLANNING
 NOTE: DO NOT SCALE OFF DRAWINGS

Project:
 PROPOSED NEW RESIDENCE
 4 PAMELA PLACE,
 BRIGHTON

Drawing:
 ROOF PLAN



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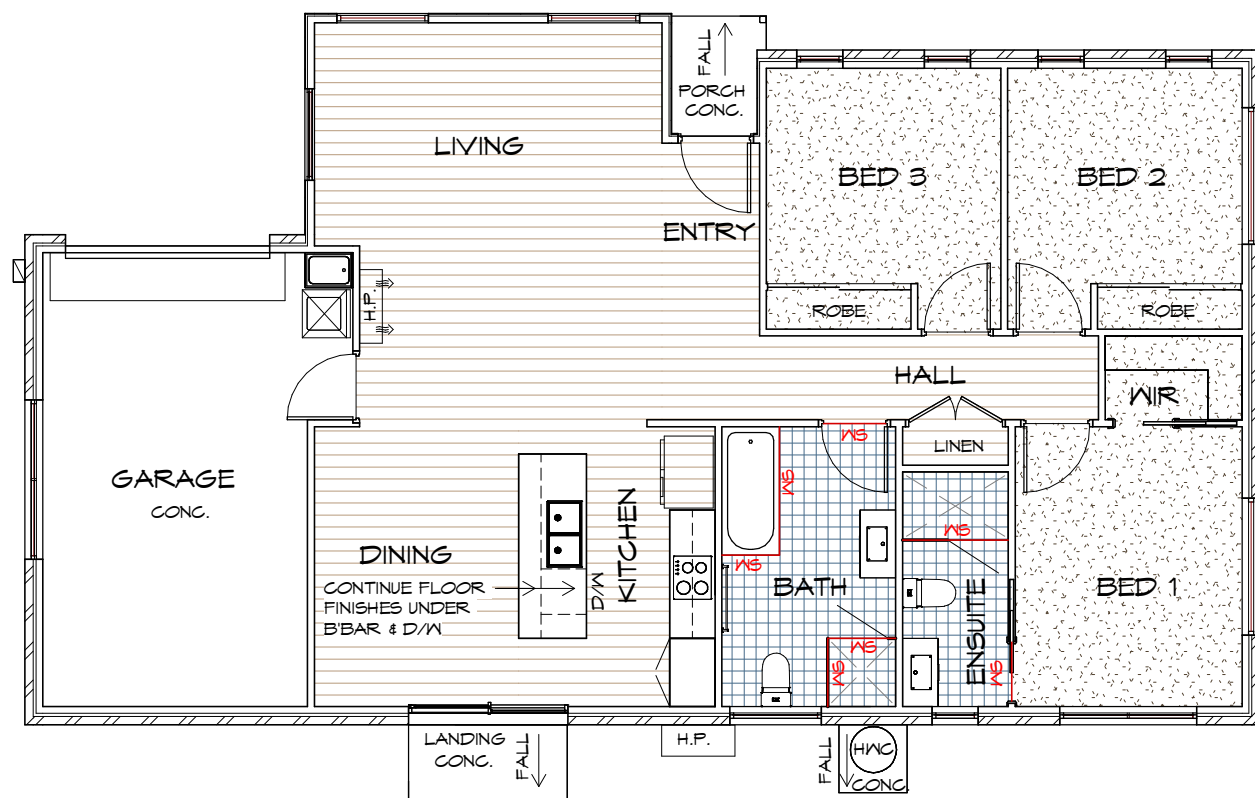


Date: 17.06.2026	Drafted by: Q.V.	Approved by: D.D.H
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


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LEGEND

-  CARPET
-  TILES
-  HYBRID FLOORING
-  WATERSTOP
-  FLOOR WASTE

FLOOR FINISHES PLAN

1 : 100

- FLOOR WASTE**
WHERE A FLOOR WASTE IS INSTALLED—
- THE MINIMUM CONTINUOUS FALL OF A FLOOR PLANE TO THE WASTE MUST BE 1:80; AND
 - THE MAXIMUM CONTINUOUS FALL OF A FLOOR PLANE TO THE WASTE MUST BE 1:50. TO COMPLY ABCB HOUSING PROVISIONS PART 10.2.12

NOTE: ALL WATERPROOFING WORK MUST COMPLY WITH THE REQUIREMENTS OF THE ABCB HOUSING PROVISIONS PART 10.2.1-10.2.32 IN FULL AND MUST BE CARRIED OUT BY A LICENSED TRADESPERSON ONLY.

IMPORTANT:
PLEASE REFER TO ENERGY ASSESSMENT REPORT FOR FULL DETAILS.
ENERGY ASSESSMENT IS BASED ON FLOOR TYPES AS NOTED IN THE REPORT.

IF AN ALTERNATIVE FLOORING IS CHOSEN OR ANY OTHER ASPECT OF THE BUILDING IS MODIFIED, A NEW ENERGY ASSESSMENT WILL BE REQUIRED.

REFER TO ELECTRICAL PLAN AND REFLECTED CEILING PLAN FOR CEILING PENETRATIONS.



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REV.	DATE	DESCRIPTION
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Client name:
SASANKA P. C. RANCHAGODAGE DON &
BIMSARA K. DULLEWA

PLANNING
NOTE: DO NOT SCALE OFF DRAWINGS

Project:
PROPOSED NEW RESIDENCE
4 PAMELA PLACE,
BRIGHTON

Drawing:
FLOOR FINISHES PLAN



Date: 17.06.2026	Drafted by: Q.V.	Approved by: D.D.H.
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

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ELECTRICAL INDEX






LIGHTING

-  FOUR LIGHT, 3 IN 1 BATHROOM LIGHT C/W DAMPER, EXHAUST TO OUTSIDE*
-  L.E.D. - SEALED DOWN LIGHT *
- *INSTALL AS PER MANUFACTURERS SPECIFICATION

SWITCH TYPE


-  ONE-WAY SWITCH
-  TWO-WAY SWITCH

WALL OUTLETS



-  GENERAL PURPOSE OUTLET (DOUBLE)
-  WEATHER PROOF OUTLET
-  HOTPLATE SAFETY CUT-OFF
-  T.V. OUTLET
-  NBN OUTLET

NOTE:
POWER POINT TO BE 300mm AWAY FROM EDGE OF WATER SOURCE





CEILING

-  DENOTES CEILING HEIGHT
- H.P. HIGH POINT
- O/H ROOF OVERHANG/EAVES

HEATING

- H.P.  HEAT PUMP
- H.P.  HEAT PUMP, OUTDOOR UNIT

OTHER

-  240V SMOKE ALARM
-  SWITCH BOX
-  EXHAUST FAN, VENT TO OUTSIDE AIR, PROVIDE POWER
- R/H  RANGE HOOD, VENT TO OUTSIDE AIR, PROVIDE POWER

ARTIFICIAL LIGHTING
RESIDENCES TO BE IN COMPLIANCE WITH NCC 2019 PART 3.12.5.5.

- ARTIFICIAL LIGHTING MUST NOT EXCEED:
- 5W/m² FOR CLASS 1 BUILDING
 - 4W/m² FOR VERANDAHS & BALCONIES
 - 3W/m² FOR CLASS 10A ASSOCIATED WITH CLASS 1 BUILDING

REFER TO LIGHTING CALCULATOR FOR FURTHER DETAILS.

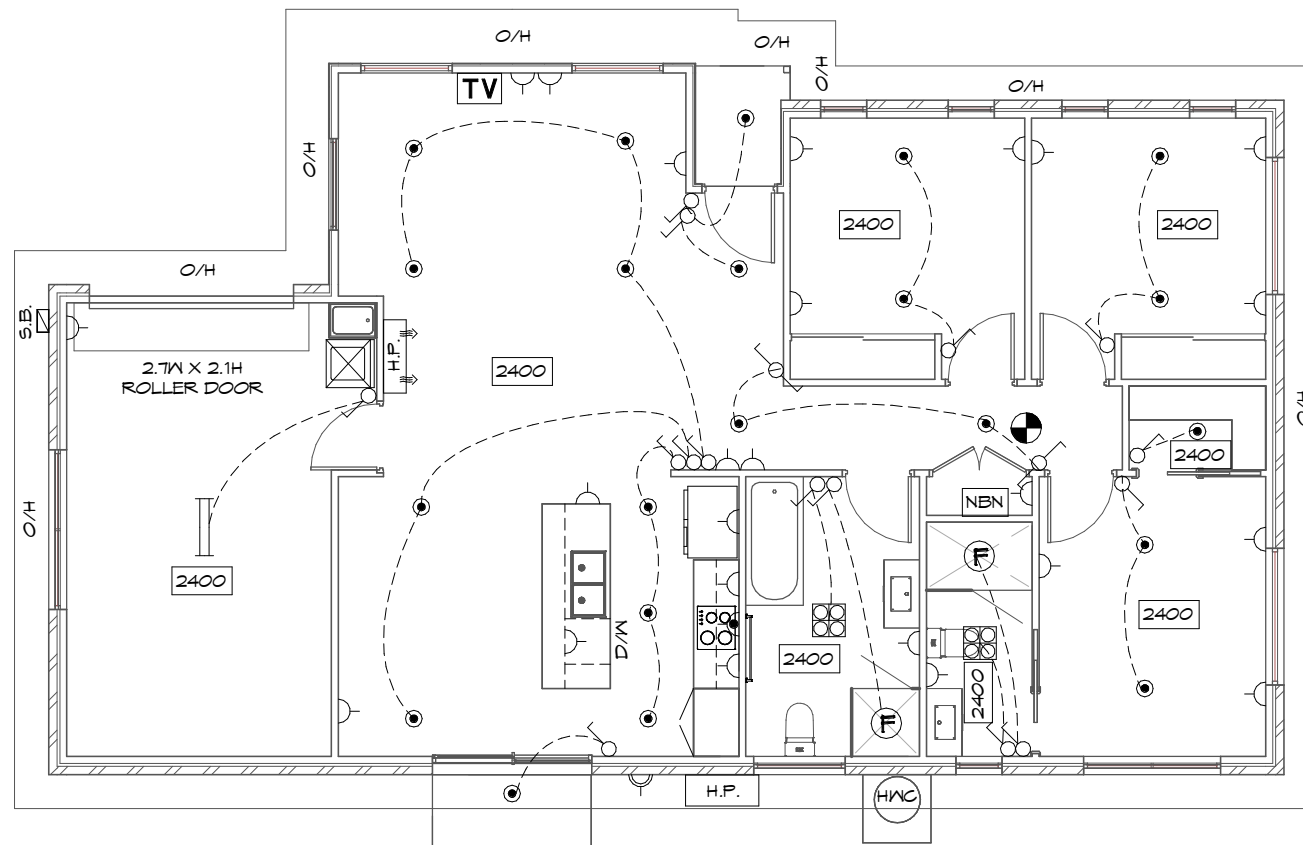
ELECTRICAL
ALL ELECTRICAL WORKS TO BE CARRIED OUT BY A GRADE ELECTRICAL CONTRACTOR. ALL WORKS TO COMPLY WITH LOCAL AUTHORITIES AND AS3000

EXHAUST FANS
EXHAUST FANS TO ACHIEVE FLOW RATE TO COMPLY WITH HOUSING PROVISIONS 10.8.2

- SMOKE ALARMS**
- ALL ALARMS TO BE INTERCONNECTED WHERE MORE THAN ONE ALARM IS INSTALLED.
 - SMOKE ALARMS TO BE LOCATED ON ALL FLOORS IN ACCORDANCE WITH THE ABCB HOUSING PROVISIONS 9.5.1, 9.5.2 AND 9.5.4.

IMPORTANT:
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BATHROOMS WITHOUT NATURAL VENTILATION
EXHAUST FAN WITH 10 MINUTE TIMED FAN CONNECTED TO LIGHT SWITCH. UNDERCUT DOOR 20mm TO PROVIDE MAKE UP AIR, TO COMPLY WITH HOUSING PROVISIONS 10.8.2



ELECTRICAL/REFLECTED CEILING PLAN

1 : 100



REV.	DATE	DESCRIPTION

Client name:
SASANKA P. C. RANCHAGODAGE DON &
BIMSARA K. DULLEWA

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS

Project:
PROPOSED NEW RESIDENCE
4 PAMELA PLACE,
BRIGHTON

Drawing:
ELECTRICAL/REFLECTED CEILING PLAN

Date:	Drafted by:	Approved by:
17.06.2026	Q.V.	D.D.H

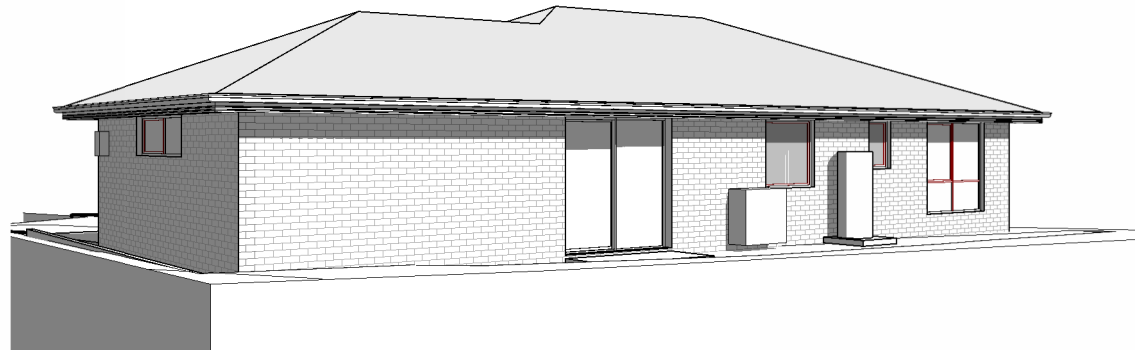
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REV. DATE	DESCRIPTION
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Client name:
**SASANKA P. C. RANCHAGODAGE DON &
 BIMSARA K. DULLEWA**

PLANNING
 NOTE: DO NOT SCALE OFF DRAWINGS

Project:
**PROPOSED NEW RESIDENCE
 4 PAMELA PLACE,
 BRIGHTON**

Drawing:
PERSPECTIVES



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