



Application for Planning Approval

Land Use Planning and Approvals Act 1993

APPLICATION NO.

DA2026/134

LOCATION OF AFFECTED AREA

11 TANDARA COURT, OLD BEACH

DESCRIPTION OF DEVELOPMENT PROPOSAL

SINGLE DWELLING

A COPY OF THE DEVELOPMENT APPLICATION MAY BE VIEWED AT www.brighton.tas.gov.au AND AT THE COUNCIL OFFICES, 1 TIVOLI ROAD, OLD BEACH, BETWEEN 8:15 A.M. AND 4:45 P.M, MONDAY TO FRIDAY OR VIA THE QR CODE BELOW. ANY PERSON MAY MAKE WRITTEN REPRESENTATIONS IN ACCORDANCE WITH S.57(5) OF THE LAND USE PLANNING AND APPROVALS ACT 1993 CONCERNING THIS APPLICATION UNTIL 4:45 P.M. ON **03/08/2026**. ADDRESSED TO THE CHIEF EXECUTIVE OFFICER AT 1 TIVOLI ROAD, OLD BEACH, 7017 OR BY EMAIL AT development@brighton.tas.gov.au. REPRESENTATIONS SHOULD INCLUDE A DAYTIME TELEPHONE NUMBER TO ALLOW COUNCIL OFFICERS TO DISCUSS, IF NECESSARY, ANY MATTERS RAISED.

JANINE BANKS
Acting Chief Executive
Officer

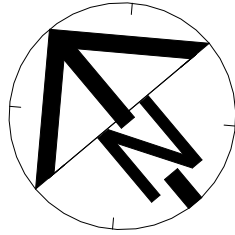


Brighton
going places



SHEET		DRAWING TITLE
01	C	SITE PLAN
01a	B	DRAINAGE PLAN
02	B	SUBFLOOR STORAGE PLAN
02a	C	GROUND FLOOR PLAN
03	C	ELEVATIONS SHEET 1
03a	C	ELEVATIONS SHEET 2
03b	C	PERSPECTIVE VIEWS

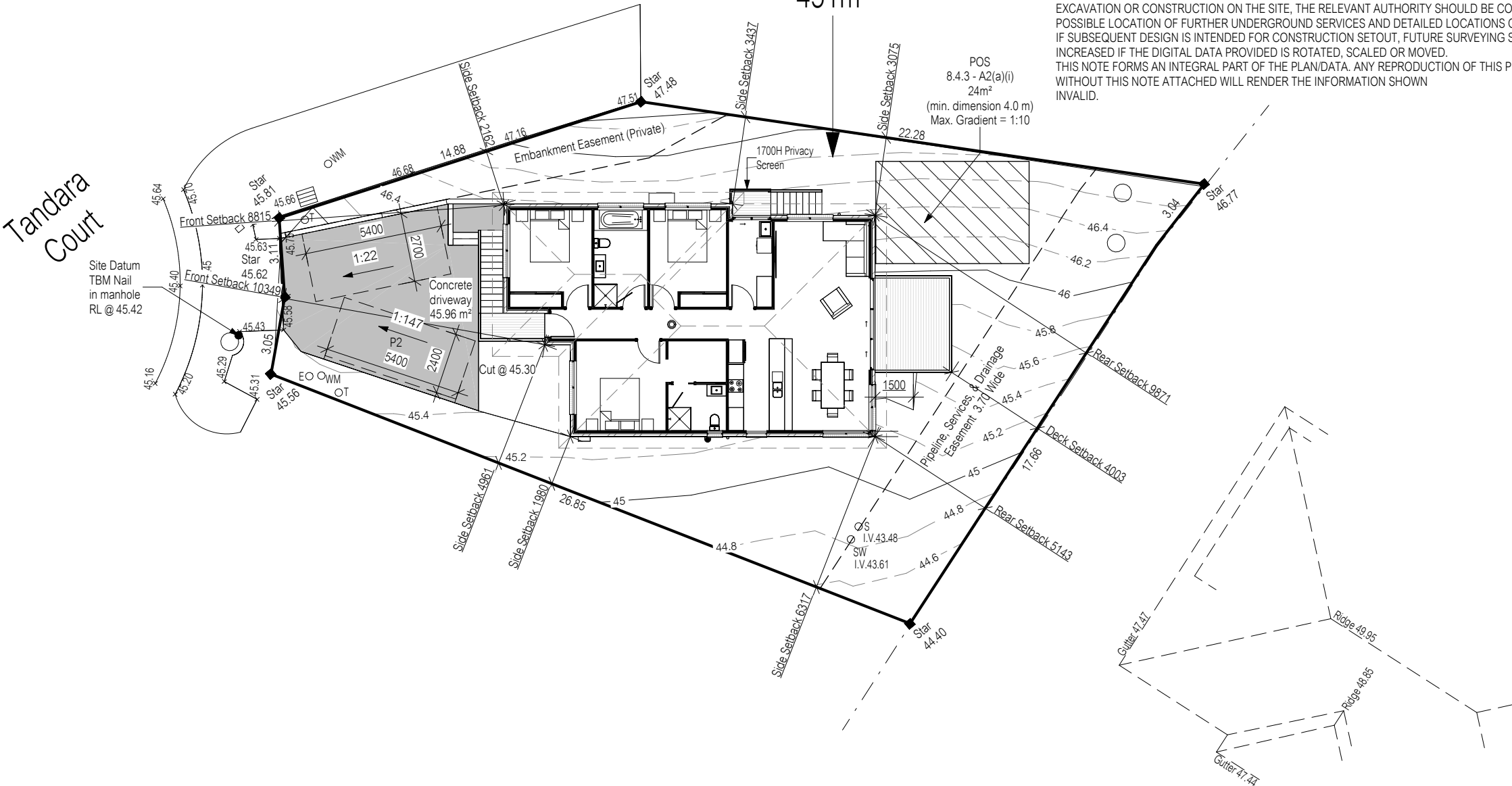
Notes • Builder to verify all dimensions and levels on site prior to commencement of work • All work to be carried out in accordance with the current National Construction Code. • All materials to be installed according to manufacturers specifications. • Do not scale from these drawings. • No changes permitted without consultation with designer.						Designer: ANOTHER PERSPECTIVE PTY LTD PO BOX 171 NORTH HOBART LIC. NO. 685230609 (S. Turvey) Ph: (03) 6231 4122 Fx: (03) 6231 4166 Email: info@anotherperspective.com.au		Client / Project info PROPOSED PAYNE & WEBSTER RESIDENCE 11 Tandara Court OLD BEACH		Soil Classification: Title Reference: Floor Areas: Porch / Deck Areas: Wind Speed: Climate Zone: Alpine Zone: Corrosion Environment: Certified BAL: Designed BAL: (Refer to Standard Notes for Explanation)		M CT184468/6 Refer to plans 23.85m² N2 7 N/A MEDIUM TBC TBC		COVER SHEET Date24 February 2026 Scale H978 Sheet 00/03	
C	W09 to be 21-08AW. Privacy screen to laundry landing.	17 Jun. 2026	JP	SF	01, 02a-03b										
B	Client change: remove windows from lower level, move and increase deck to 3m, update windows in Dining. Update all relevant plans.	14 Apr. 2026	ST	RJ	01 - 03b										
	DA PLAN SET	11 Feb. 2026	RJ	ST	01-03										
A	Floor & site plan changes as requested	05-11 Feb 2026	RJ	ST	01-03										
	PRELIM DA SET	24 Feb. 2026	RJ	N/A	01-03										
No.	Amendment	Date	Drawn	Checked	Sheet										



Ground Floor FFL 48.21

CT184468/6
451m²

"THIS PLAN AND ASSOCIATED DIGITAL MODEL IS PREPARED FOR CUNIC HOMES FROM A COMBINATION OF FIELD SURVEY AND EXISTING RECORDS FOR THE PURPOSE OF DESIGNING NEW CONSTRUCTIONS ON THE LAND AND SHOULD NOT BE USED FOR ANY OTHER PURPOSE.
THE TITLE BOUNDARIES AS SHOWN ON THIS PLAN WERE NOT MARKED AT THE TIME OF THE SURVEY AND HAVE BEEN DETERMINED BY PLAN DIMENSIONS ONLY AND NOT BY FIELD SURVEY. NO MEASUREMENTS OR OFFSETS ARE TO BE DERIVED BETWEEN THE FEATURES ON THIS PLAN AND THE BOUNDARY LAYER. THE RELATIONSHIP BETWEEN THE FEATURES IN THIS MODEL AND THE BOUNDARY LAYERS CANNOT BE USED FOR ANY SET OUT PURPOSES OR TO CONFIRM THE POSITION OF THE TITLE BOUNDARIES ON SITE.
DUE TO THE NATURE OF THE TITLE BOUNDARY INFORMATION, IF ANY STRUCTURES ARE DESIGNED ON OR NEAR A BOUNDARY WE WOULD RECOMMEND A RE-MARK SURVEY BE COMPLETED AND LODGED WITH THE LAND TITLES OFFICE TO SUPPORT THE BOUNDARY DEFINITION.
SERVICES SHOWN HAVE BEEN LOCATED WHERE VISIBLE BY FIELD SURVEY. SERVICES DENOTED AS BEING "PER BYDA ONLY" ARE APPROXIMATE AND FOR ILLUSTRATIVE PURPOSES ONLY. PRIOR TO ANY DEMOLITION, EXCAVATION OR CONSTRUCTION ON THE SITE, THE RELEVANT AUTHORITY SHOULD BE CONTACTED FOR POSSIBLE LOCATION OF FURTHER UNDERGROUND SERVICES AND DETAILED LOCATIONS OF ALL SERVICES. IF SUBSEQUENT DESIGN IS INTENDED FOR CONSTRUCTION SETOUT, FUTURE SURVEYING SETOUT COSTS ARE INCREASED IF THE DIGITAL DATA PROVIDED IS ROTATED, SCALED OR MOVED.
THIS NOTE FORMS AN INTEGRAL PART OF THE PLAN/DATA. ANY REPRODUCTION OF THIS PLAN/MODEL WITHOUT THIS NOTE ATTACHED WILL RENDER THE INFORMATION SHOWN INVALID.



EXPLANATORY NOTES: TASMANIAN PLANNING SCHEME - BRIGHTON COUNCIL		
8.4.3 - Site coverage and private open space for all dwellings		
A1	(a)	Site Coverage: Max. 50% of site = 225.50m ² Proposed site coverage (excl. eaves up to 0.6m): 120.52m ² (26.72%)

C	17 Jun. 2026	JP
B	14 Apr. 2026	ST
A	05-11 Feb 2026	RJ
No.	Date	Int.

Amendment changes as per cover sheet

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Designer:

ANOTHER PERSPECTIVE PTY LTD
PO BOX 171
NORTH HOBART
LIC. NO. 685230609 (S. Turvey)
Ph: (03) 6231 4122
Fx: (03) 6231 4166
Email:
info@anotherperspective.com.au

Client / Project info

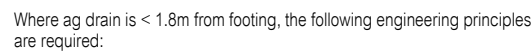
PROPOSED PAYNE & WEBSTER RESIDENCE
11 Tandara Court
OLD BEACH



SITE PLAN

Drawn	RJ	H978
Date	24 February 2026	Sheet
Scale	1:200	

01/03



-
- Diagram illustrating a cross-section of a drainage system. The layers from top to bottom are:
- Embankment
 - 300mm clay capping
 - Geotextile filter
 - Crushed rock
 - g. drain @ min. 1% gradient (circular drain)

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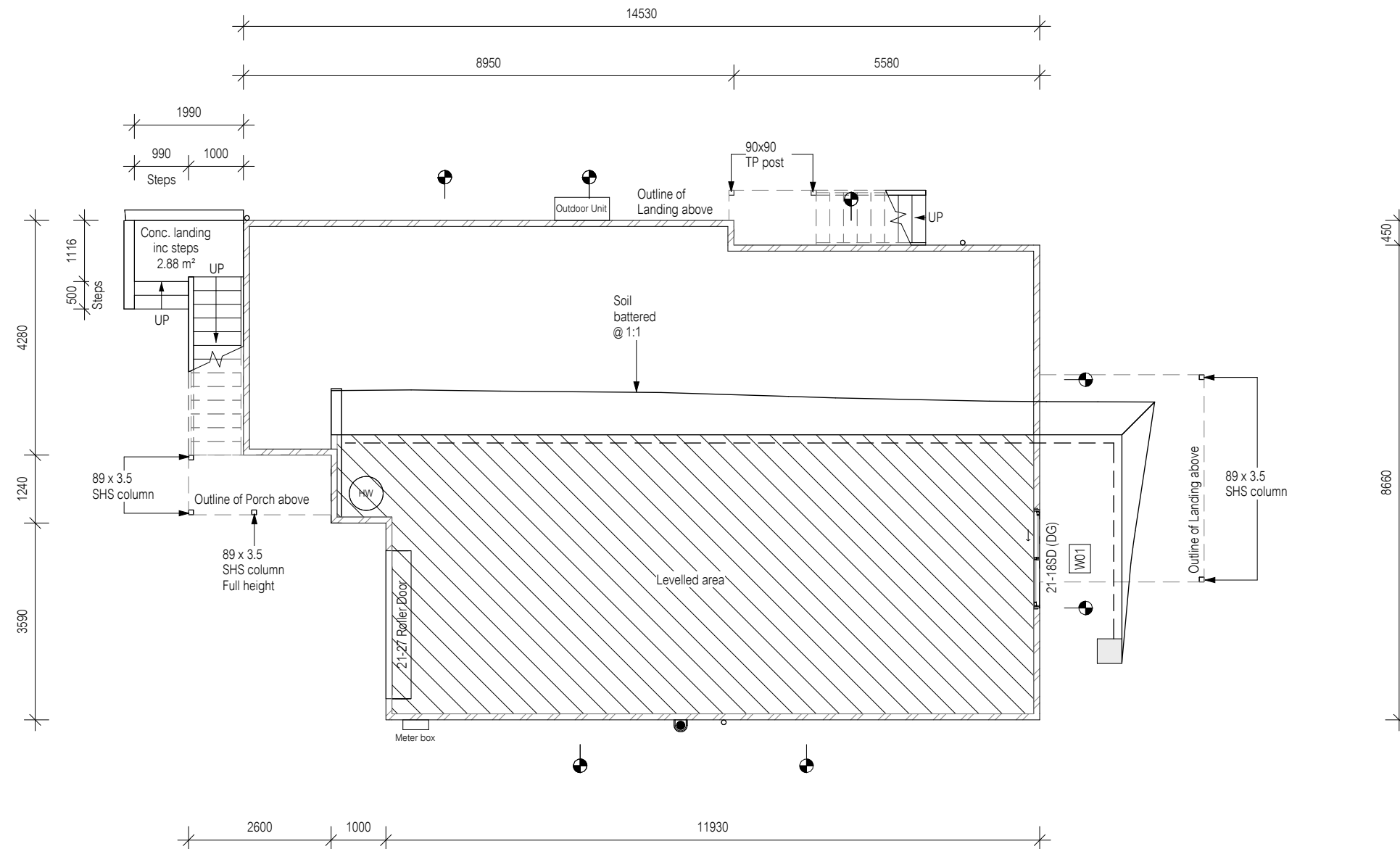
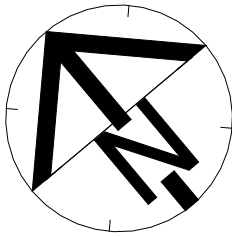
All works are to be in accordance with AS3500 & the Water Supply Code of Australia WSA 03-2011-3.1 Version 3.1 MRWA Edition V2.0 and Sewerage Code of Australia Melbourne Retail Water Agencies Code WSA 02-2014-3.1 MRWA Version 2.0 and TasWater's supplements to these codes.

ROOF DRAINAGE NOTE:
Min. medium rectangular gutter & min. 90ø downpipe specified as per N.C.C. part 7.4. These sizes and downpipe quantities are based on a max. roof catchment area of 70m²



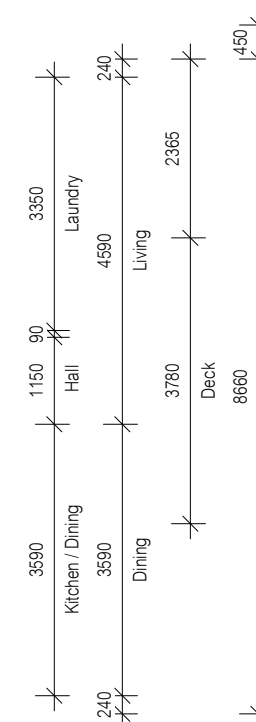
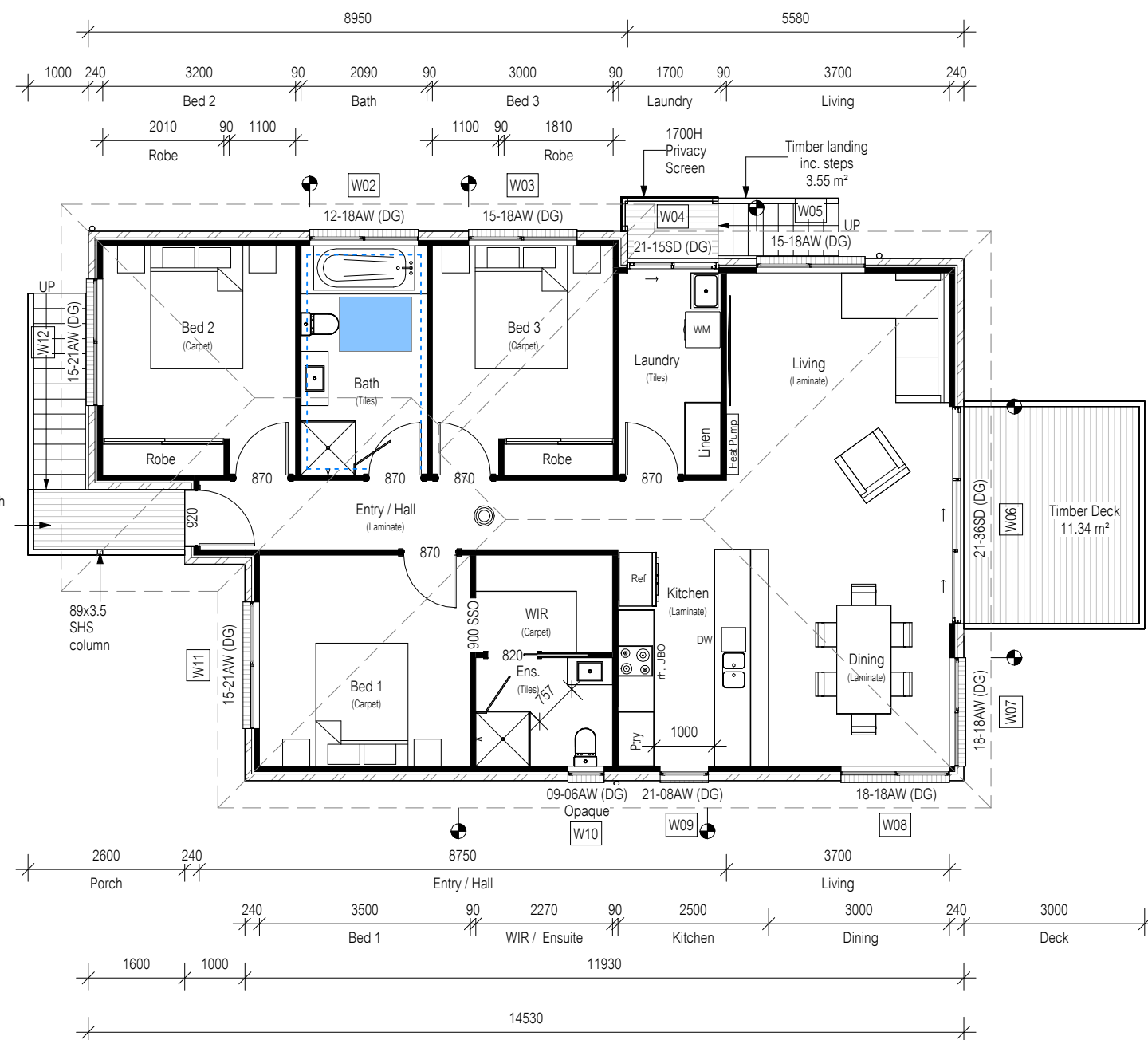
B	14 Apr. 2026	ST
No.	Date	Int.

Soil classification: M		- Wet areas to comply with NCC 10.2 and AS3740	Notes • Builder to verify all dimensions and levels on site prior to commencement of work • All work to be carried out in accordance with the current National Construction Code. • All materials to be installed according to manufacturers specifications. • Do not scale from these drawings. • No changes permitted without consultation with designer.	Designer: ANOTHER PERSPECTIVE PTY LTD PO BOX 171 NORTH HOBART LIC. NO. 685230609 (S. Turvey) Ph: (03) 6231 4122 Fx: (03) 6231 4166 Email: info@anotherperspective.com.au	Client / Project info PROPOSED PAYNE & WEBSTER RESIDENCE 11 Tandara Court OLD BEACH		DRAINAGE PLAN <table><tr><td>Drawn</td><td>RJ</td><td>H978</td></tr><tr><td>Date</td><td>12 March 2026</td><td>Sheet</td></tr><tr><td>Scale</td><td>1 : 200</td><td>01a/03</td></tr></table>	Drawn	RJ	H978	Date	12 March 2026	Sheet	Scale	1 : 200	01a/03
Drawn	RJ	H978														
Date	12 March 2026	Sheet														
Scale	1 : 200	01a/03														



B	14 Apr. 2026	ST
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Levelled Subfloor Area = 56.71m ²		All window sizes to be checked and/or confirmed on site prior to ordering glazing units		Notes		Designer:		Client / Project info				SUBFLOOR STORAGE PLAN	
 Articulation joints				• Builder to verify all dimensions and levels on site prior to commencement of work • All work to be carried out in accordance with the current National Construction Code. • All materials to be installed according to manufacturers specifications. • Do not scale from these drawings. • No changes permitted without consultation with designer.		ANOTHER PERSPECTIVE PTY LTD PO BOX 171 NORTH HOBART LIC. NO. 685230609 (S. Turvey) Ph: (03) 6231 4122 Fx: (03) 6231 4166 Email: info@anotherperspective.com.au		PROPOSED PAYNE & WEBSTER RESIDENCE 11 Tandara Court OLD BEACH				Drawn RJ H978	
 Smoke Alarm (interconnected where more than 1)												Date 24 February 2026 Sheet	
												Scale 1 : 100	
Amendment changes as per cover sheet												Copyright © 02/03	



----- Location of wall reinforcement to comply with Part 6 of the *Liveable Housing Design Standard*.

0 1 2 3 4m 1:100

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- Circulation space to comply with Part 4.2 of the *Livable Housing Design Standard*.

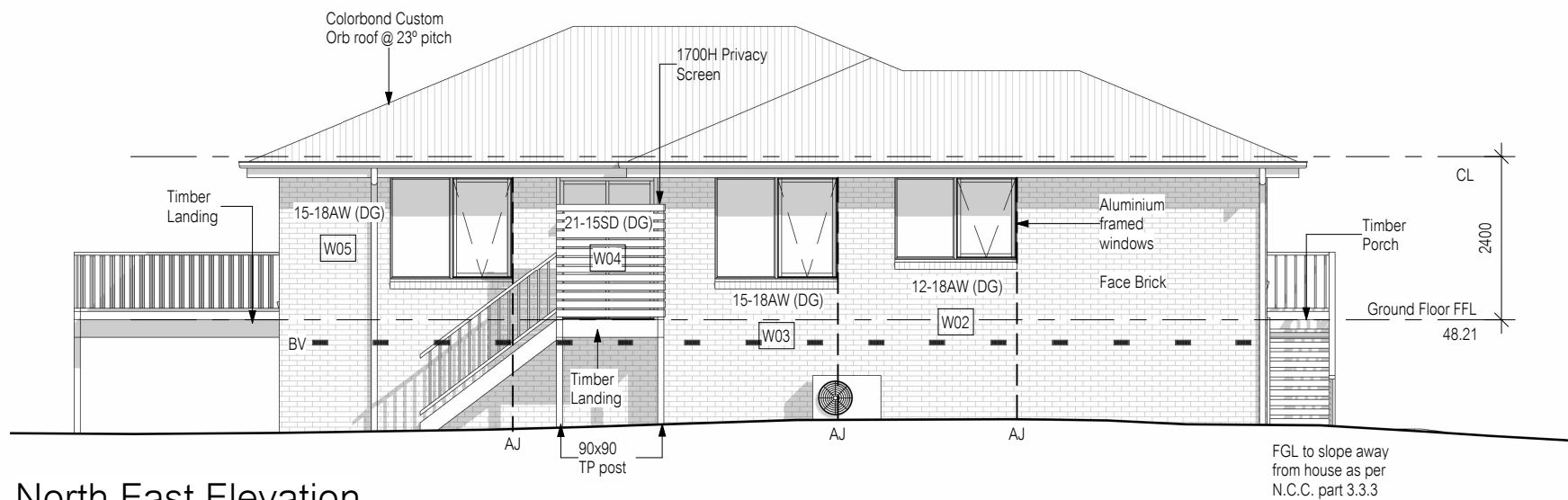
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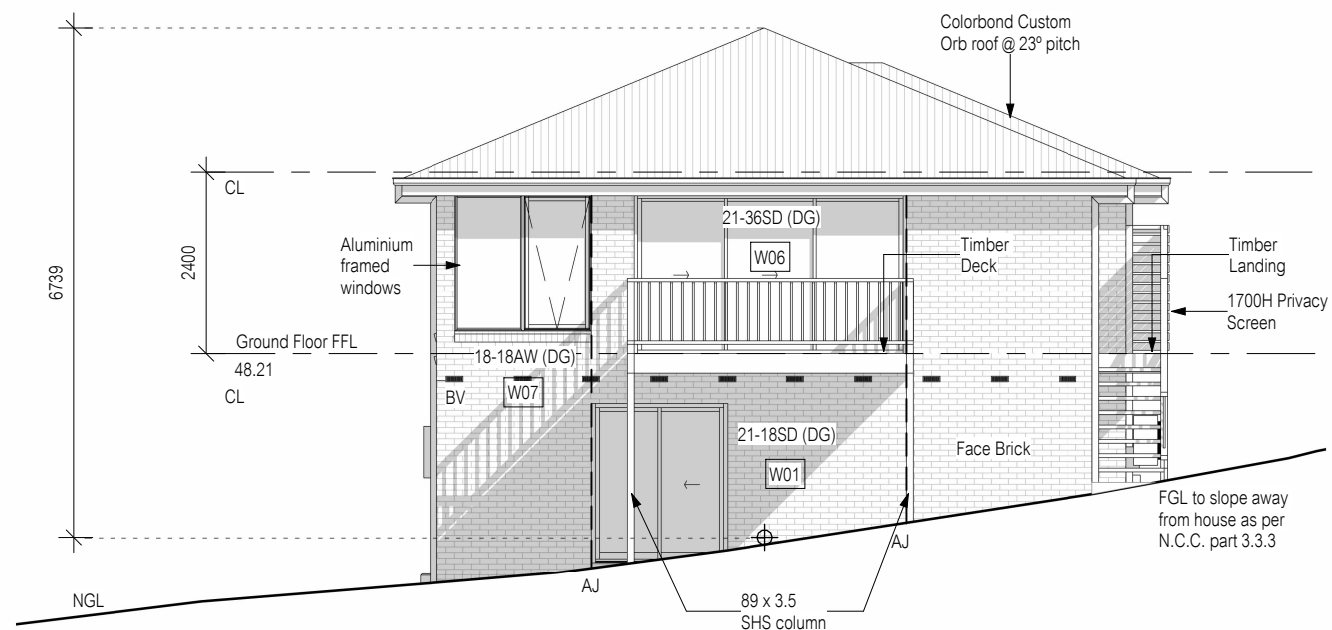
CUNIC
homes
Built for you

Drawn	RJ	H978
Date	24 February 2026	Sheet
Scale	1 : 100	00

02a/03



North East Elevation



South East Elevation

SUB-FLOOR VENTILATION CALCULATIONS (as per N.C.C. 6.2.1)

- Minimum Sub-floor Ventilation 6000mm² per metre of subfloor perimeter (for Climatic Zone C where ground isn't sealed with impervious membrane)
 - Vents to be evenly spaced around perimeter of dwelling.
 - Vents to be located within 600mm of corners.
 - If located within a bushfire prone area, vents to be BAL compliant as per AS3959.
- e.g. Pryda 230 x 75 metal vent spaced every 1048mm around subfloor perimeter.

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LEGEND:
AJ - Articulation Joint
BV - Brick Vent

Shadows shown for stylisation purposes only

All window sizes to be checked and/or confirmed on site prior to ordering glazing units

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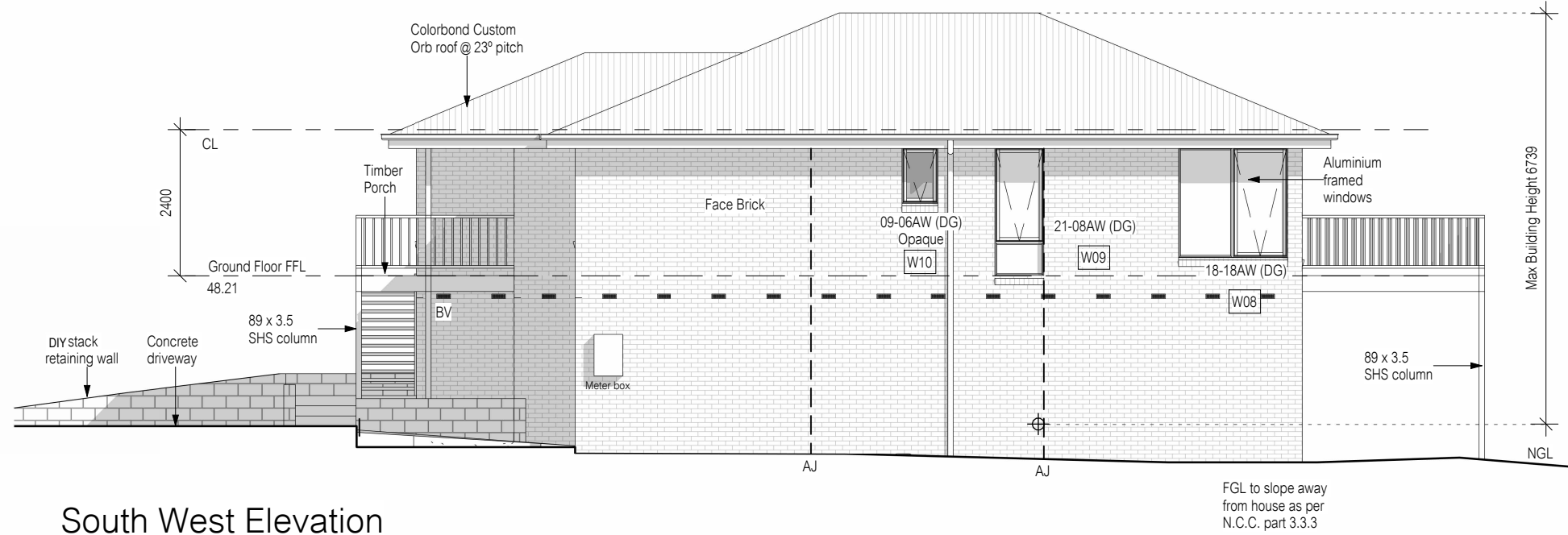


ELEVATIONS SHEET 1

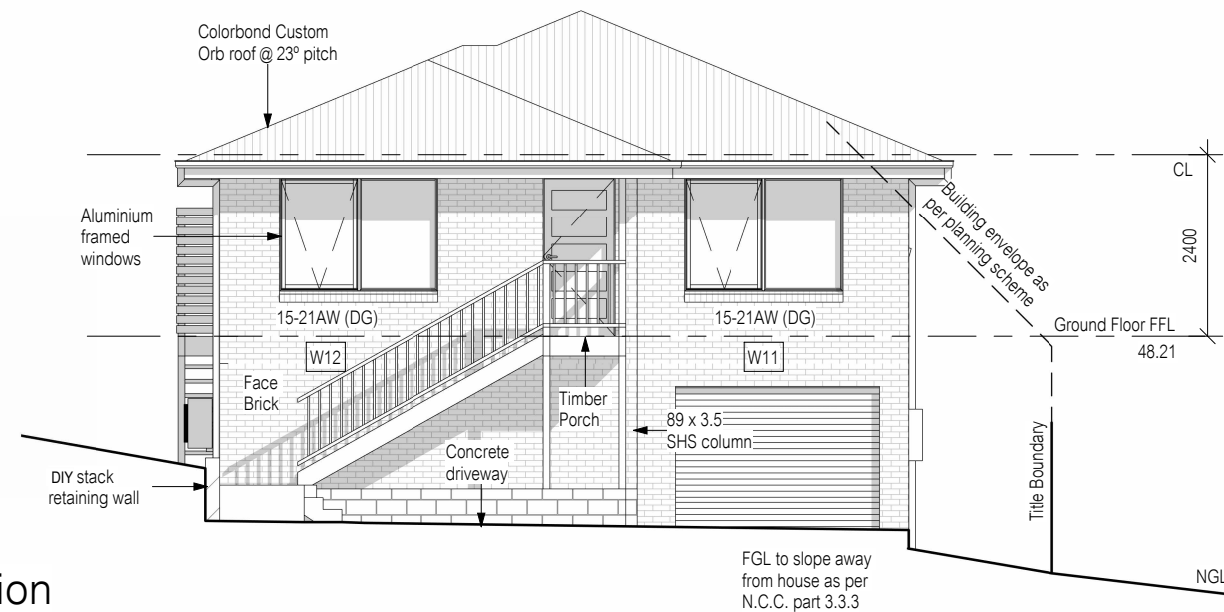
Drawn	RJ	H978
Date	24 February 2026	Sheet
Scale	1 : 100	

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03/03



South West Elevation



North West Elevation

SUB-FLOOR VENTILATION CALCULATIONS (as per N.C.C. 6.2.1)	
- Minimum Sub-floor Ventilation 6000mm ² per metre of subfloor perimeter (for Climatic Zone C where ground isn't sealed with impervious membrane)	
- Vents to be evenly spaced around perimeter of dwelling.	
- Vents to be located within 600mm of corners.	
- If located within a bushfire prone area, vents to be BAL compliant as per AS3959.	
e.g. Pryda 230 x 75 metal vent spaced every 1048mm around subfloor perimeter.	

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All window sizes to be checked and/or confirmed on site prior to ordering glazing units	
LEGEND: AJ - Articulation Joint BV - Brick Vent	
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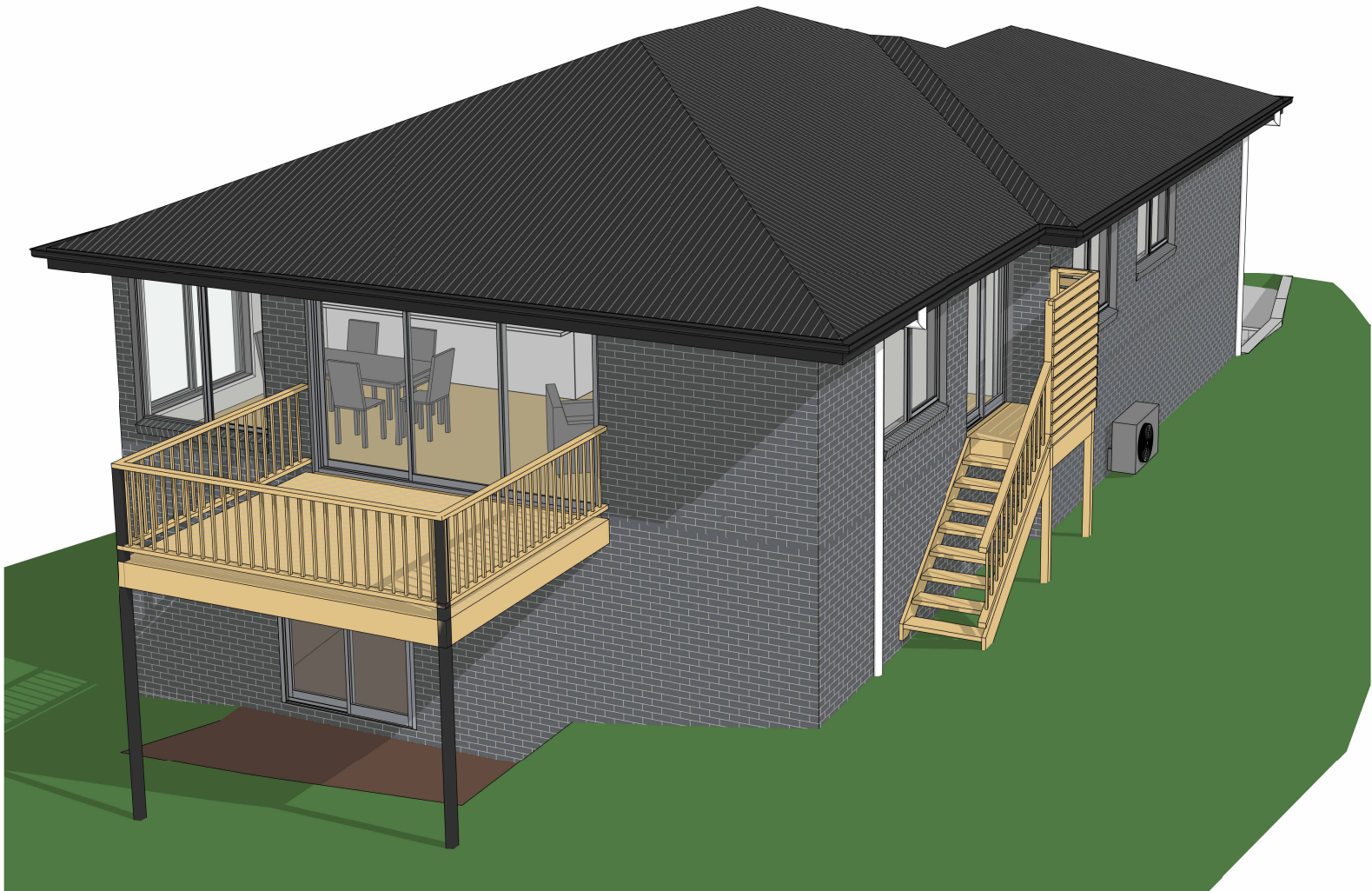
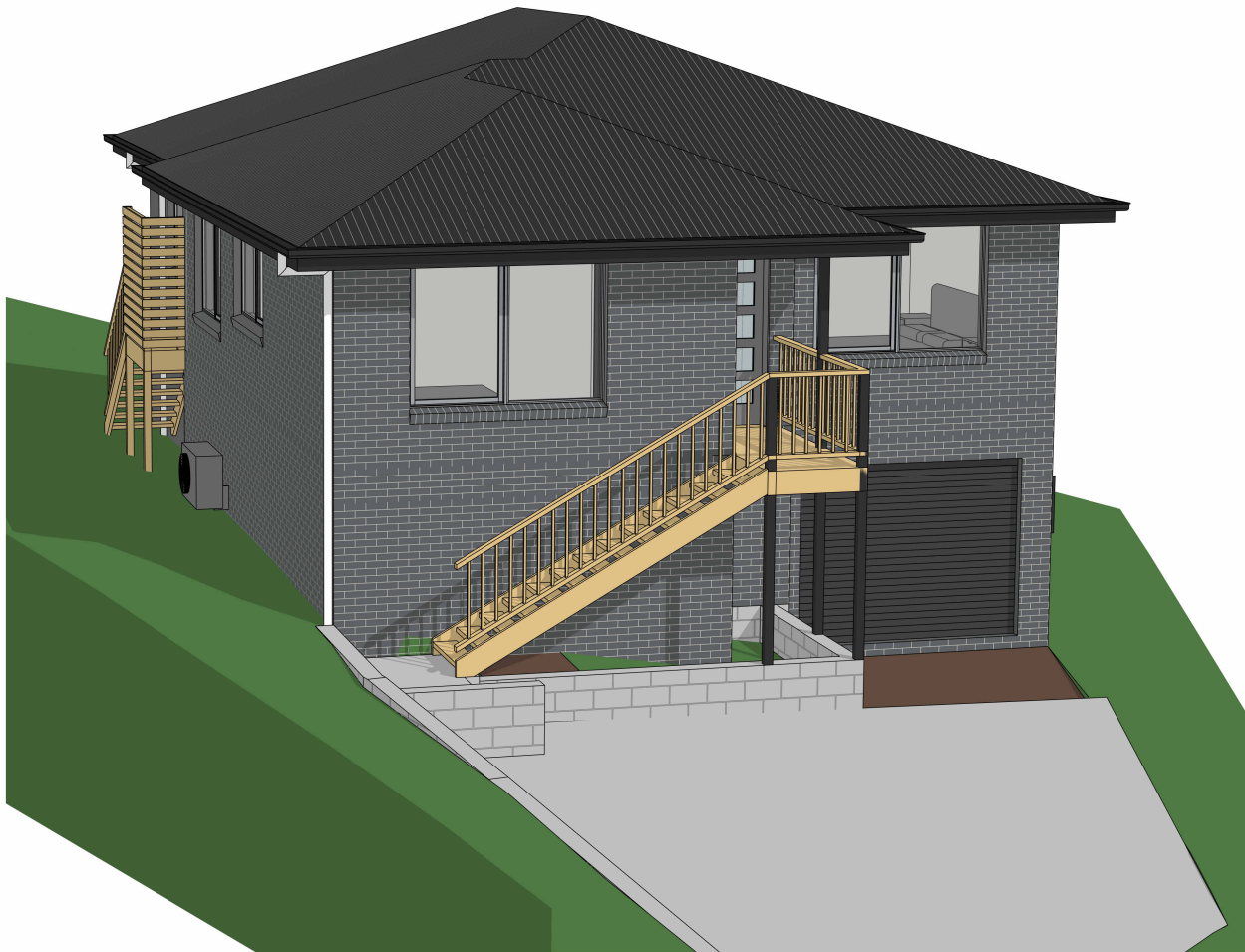
PROPOSED PAYNE & WEBSTER RESIDENCE

11 Tandara Court
OLD BEACH



ELEVATIONS SHEET 2	
Drawn	RJ
Date	24 February 2026
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Sheet
03a/03



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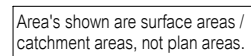
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Client / Project info
PROPOSED PAYNE & WEBSTER RESIDENCE 11 Tandara Court OLD BEACH



PERSPECTIVE VIEWS		
Drawn	RJ	H978
Date	24 February 2026	Sheet
Scale		03b/03
Copyright ©		

Colorbond fixings:
50mm M6 11 x 50 EPDM
seal to comply with AS3566
or refer to AS3566 for
alternatives.



EAVES VENT NOTE:
BRADFORD CSR METAL EAVE VENT (34,600mm²).
4 VENTS EVENLY SPACED

ROOF DRAINAGE NOTE:
Min. medium rectangular gutter & min. 90ø downpipe specified as per N.C.C. part 7.4. These sizes and downpipe quantities are based on a max. roof catchment area of 70m²

<table><tr><td>No.</td><td>Date</td><td>Int.</td></tr><tr><td colspan="3">Amendment changes as per cover sheet</td></tr></table>			No.	Date	Int.	Amendment changes as per cover sheet			Notes • Builder to verify all dimensions and levels on site prior to commencement of work • All work to be carried out in accordance with the current National Construction Code. • All materials to be installed according to manufacturers specifications. • Do not scale from these drawings. • No changes permitted without consultation with designer.	Designer:	Client / Project info		ROOF PLAN	
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					Date	12 March 2026	Sheet							
Scale	1 : 100	11/03												

19 June 2026

Att: Planning Department
Brighton Council

Via email: admin@brighton.tas.gov.au

Dear Sir/Madam

Application for development – 11 Tandara Court, Old Beach

Please find enclosed application for development for a single residential dwelling development 11 Tandara Court, Old Beach, and supporting documentation:

- Completed application form
- Title documents (Folio Text, Folio Plan, Schedule of Easements for SP184468)
- DA plans
- DA review and submission checklist

We have undertaken an internal review of this application and note this application is to be assessed as a “discretionary” application under the General Residential Zone, for the following reasons:

- Retaining wall setbacks
- Building envelope

The proposed development includes retaining walls which are located within the 1500mm side setback and we provide the following response to 8.4.2 P3 in support of the application:

- The retaining wall along the northern boundary facilitates necessary site level adjustments due to slope. The retaining wall supports a cut, and therefore no overshadowing is caused to the property to the north of the retaining wall. The proposal can meet P3.

The proposed development is outside the building envelope on North West boundary. We provide the following response to 8.4.3 P3 in support of the application:

The proposed dwelling, while including an encroachment into the building envelope along the north-west elevation, will not result in any unreasonable impact the on adjoining properties to the west due to the minor nature of encroachment. The development is consistent with bulk scale of existing dwellings in the area. It is our view that the minor encroachment will not lead to any adverse outcomes and can meet the requirement to comply P3.

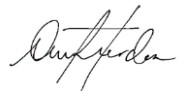
The proposed development is located on an allotment subject to the Bushfire-Prone Areas Overlay.

- The dwelling will be constructed to the assessed bushfire attack level, details of the construction requirements will be included within the building documents.

It is our assessment that in all other aspects this proposed development complies with the requirements of the Tasmanian Planning Scheme.

Please contact me via email should you require any additional information to assist Council's assessment of the application.

Yours faithfully
Cunic Homes



Domonee van Heerden
Planning & Building Manager