



Application for Planning Approval

Land Use Planning and Approvals Act 1993

APPLICATION NO.

DA2026/128

LOCATION OF AFFECTED AREA

61A LACHLAN COURT, BRIGHTON

DESCRIPTION OF DEVELOPMENT PROPOSAL

SINGLE DWELLING AND OUTBUILDING

A COPY OF THE DEVELOPMENT APPLICATION MAY BE VIEWED AT www.brighton.tas.gov.au AND AT THE COUNCIL OFFICES, 1 TIVOLI ROAD, OLD BEACH, BETWEEN 8:15 A.M. AND 4:45 P.M, MONDAY TO FRIDAY OR VIA THE QR CODE BELOW. ANY PERSON MAY MAKE WRITTEN REPRESENTATIONS IN ACCORDANCE WITH S.57(5) OF THE LAND USE PLANNING AND APPROVALS ACT 1993 CONCERNING THIS APPLICATION UNTIL 4:45 P.M. ON **20/07/2026**. ADDRESSED TO THE CHIEF EXECUTIVE OFFICER AT 1 TIVOLI ROAD, OLD BEACH, 7017 OR BY EMAIL AT development@brighton.tas.gov.au. REPRESENTATIONS SHOULD INCLUDE A DAYTIME TELEPHONE NUMBER TO ALLOW COUNCIL OFFICERS TO DISCUSS, IF NECESSARY, ANY MATTERS RAISED.

JAMES DRYBURGH
Chief Executive Officer



Brighton
going places

THIS PLAN IS ACCEPTED BY:

PLEASE NOTE: No Variations will be permitted after plans are signed by the client (with exception of Council requirements/ approvals. SIGNATURE:

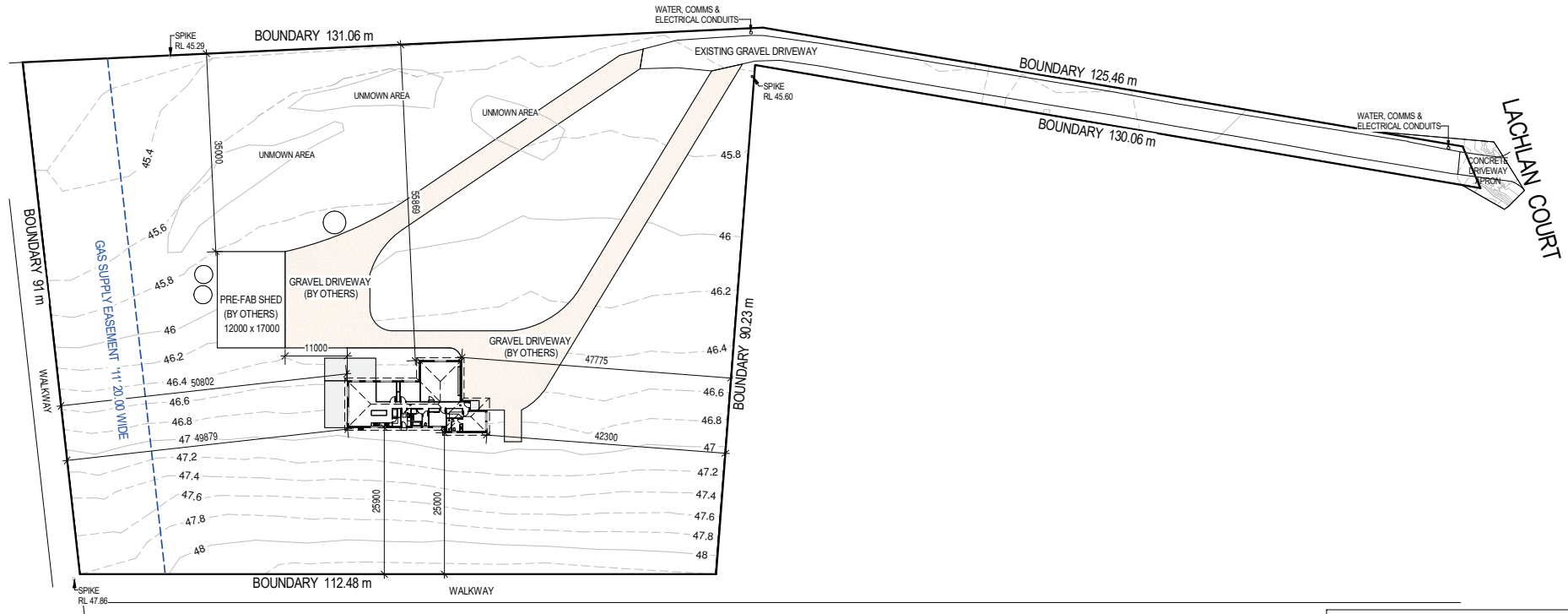
DATE:

Ground FL	47.100
CL	49.500



**RONALD
YOUNG + CO
BUILDERS**

174 Bathurst Street, Hobart, Tasmania 7000
Phone 03 6234 7633



NOTE:
Builders' responsibility to protect stormwater pipes during construction.

GLAZING NOTE:
All windows are Double glazed

BAL : 12.5

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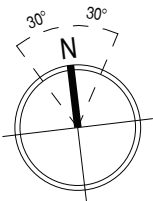
DRAWING: SITE PLAN_OVERALL

DATE: 12.06.2026

FILE NAME: 2399

DRAWN BY: RK

DWG No:



Scale: 1 : 750

**PROPOSED DWELLING FOR MART
AT 61A LACHLAN COURT, BRIGHTON**

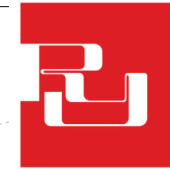
Rev.	Date	Revision Description	Drawn
A	08.06.2026	Modified as Client markups	RK
	26.05.2026	BA PLANS	RK

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Ground FL	47.100
CL	49.500



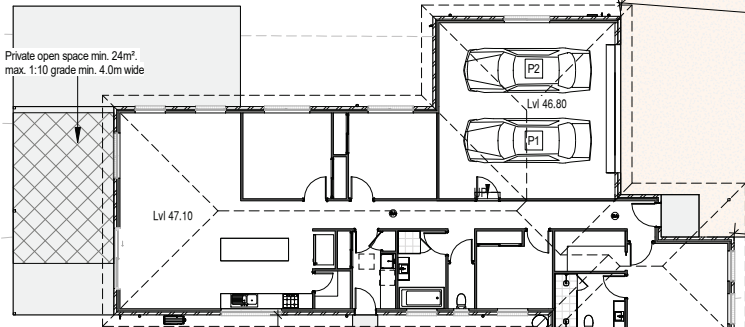
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GRAVEL DRIVEWAY
(BY OTHERS)

GRAVEL DRIVEWAY
(BY OTHERS)

Private open space min. 24m².
max. 1:10 grade min. 4.0m wide



47775
FRONT SETBACK

42606
FRONT SETBACK

42300
FRONT SETBACK

25000
SIDE SETBACK

25000
SIDE SETBACK

25000
SIDE SETBACK

AREA SCHEDULE

Site Area : 1.220 Hac

Ground Floor : 217.4 m²

NOTE:
Builders' responsibility to protect stormwater pipes during construction.

GLAZING NOTE:
All windows are Double glazed

BAL : 12.5

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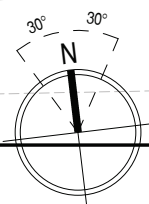
DRAWING: SITE PLAN

DATE: 12.06.2026

FILE NAME: 2399

DRAWN BY: RK

DWG No:



Scale: 1 : 200

**PROPOSED DWELLING FOR MART
AT 61A LACHLAN COURT, BRIGHTON**

A	08.06.2026	Modified as Client markups	RK
	26.05.2026	BA PLANS	RK
Rev.	Date	Revision Description	Drawn

01A

THIS PLAN IS ACCEPTED BY:

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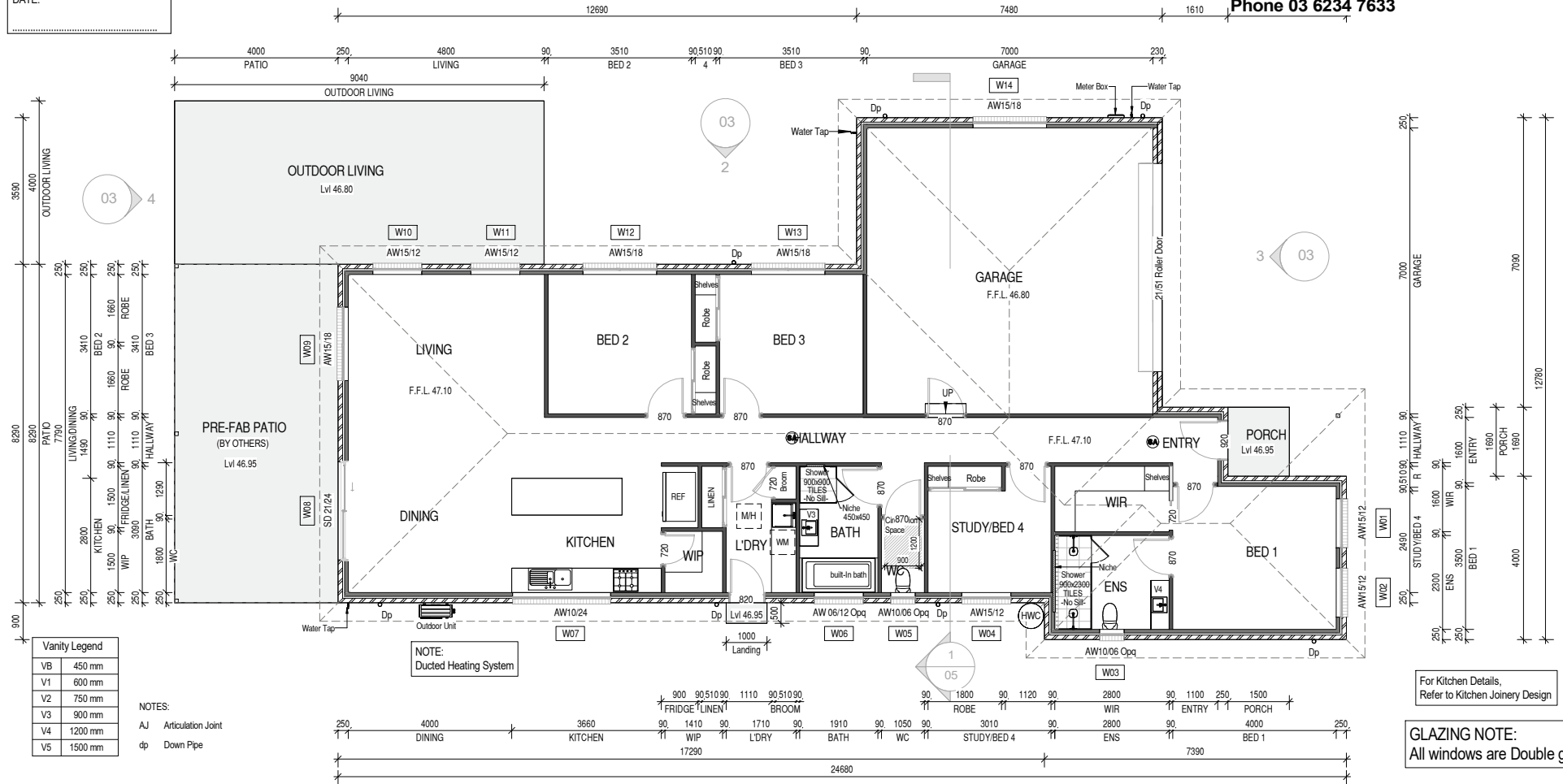
DATE:

Ground FL	47.100
CL	49.500



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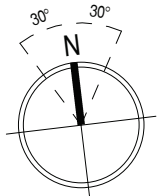
174 Bathurst Street, Hobart, Tasmania 7000
Phone 03 6234 7633



Vanity Legend	
VB	450 mm
V1	600 mm
V2	750 mm
V3	900 mm
V4	1200 mm
V5	1500 mm

NOTES:
AJ Articulation Joint
dp Down Pipe

AREA SCHEDULE
Site Area : 1.220 Hac
Ground Floor : 217.4 m²



Scale: 1 : 100

PROPOSED DWELLING FOR MART
AT 61A LACHLAN COURT, BRIGHTON

Rev.	Date	Revision Description	Drawn
A	08.06.2026	Modified as Client markings	RK
	26.05.2026	BA PLANS	RK

For Kitchen Details,
Refer to Kitchen Joinery Design

GLAZING NOTE:
All windows are Double glazed

BAL : 12.5

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DRAWING: GROUND FLOOR PLAN

DATE: 12.06.2026

FILE NAME: 2399

DRAWN BY: RK

DWG No:

THIS PLAN IS ACCEPTED BY:

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SIGNATURE:

DATE:



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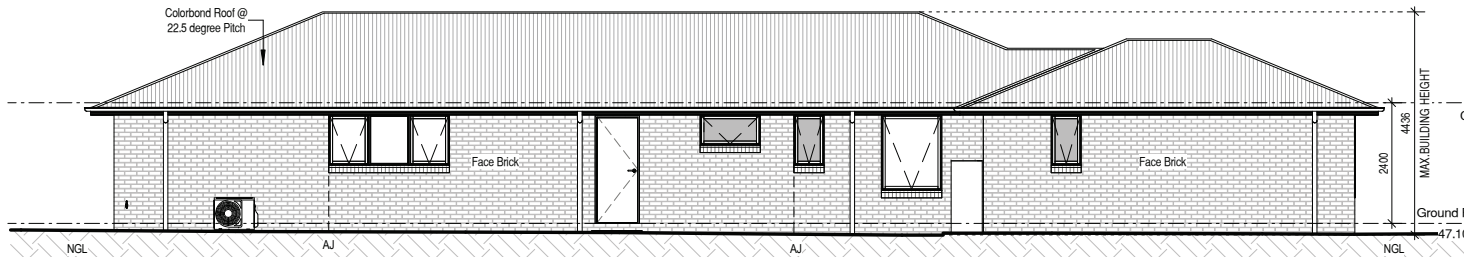
174 Bathurst Street, Hobart, Tasmania 7000
Phone 03 6234 7633



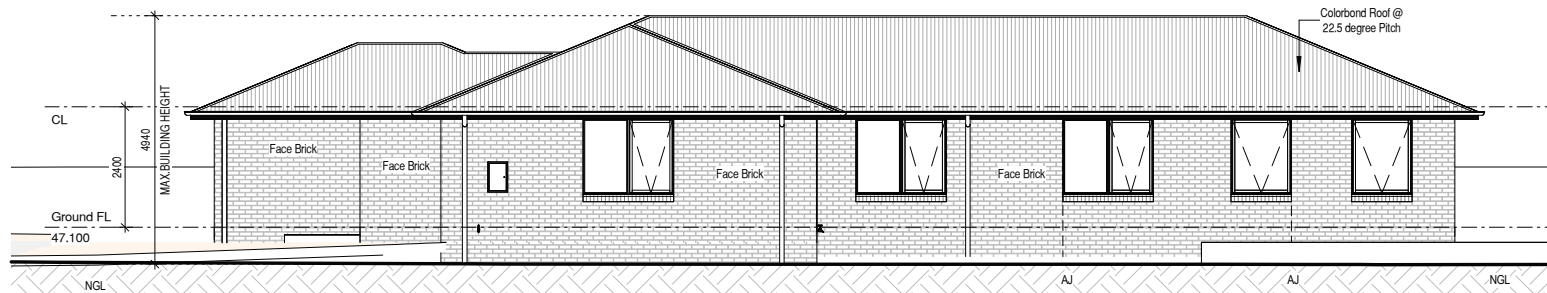
East Elevation



West Elevation



South Elevation



North Elevation

NOTE:
ADD EMBER GUARD TO ALL GUTTERS

GLAZING NOTE:
All windows are Double glazed

BAL : 12.5

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DRAWING: ELEVATIONS

DATE: 12.06.2026

FILE NAME: 2399

DRAWN BY: RK

DWG No:

Scale: 1 : 100

PROPOSED DWELLING FOR MART
AT 61A LACHLAN COURT, BRIGHTON

Rev.	Date	Revision Description	Drawn
A	08.06.2026	Modified as Client markups	RK
	26.05.2026	BA PLANS	RK

03

THIS PLAN IS ACCEPTED BY:

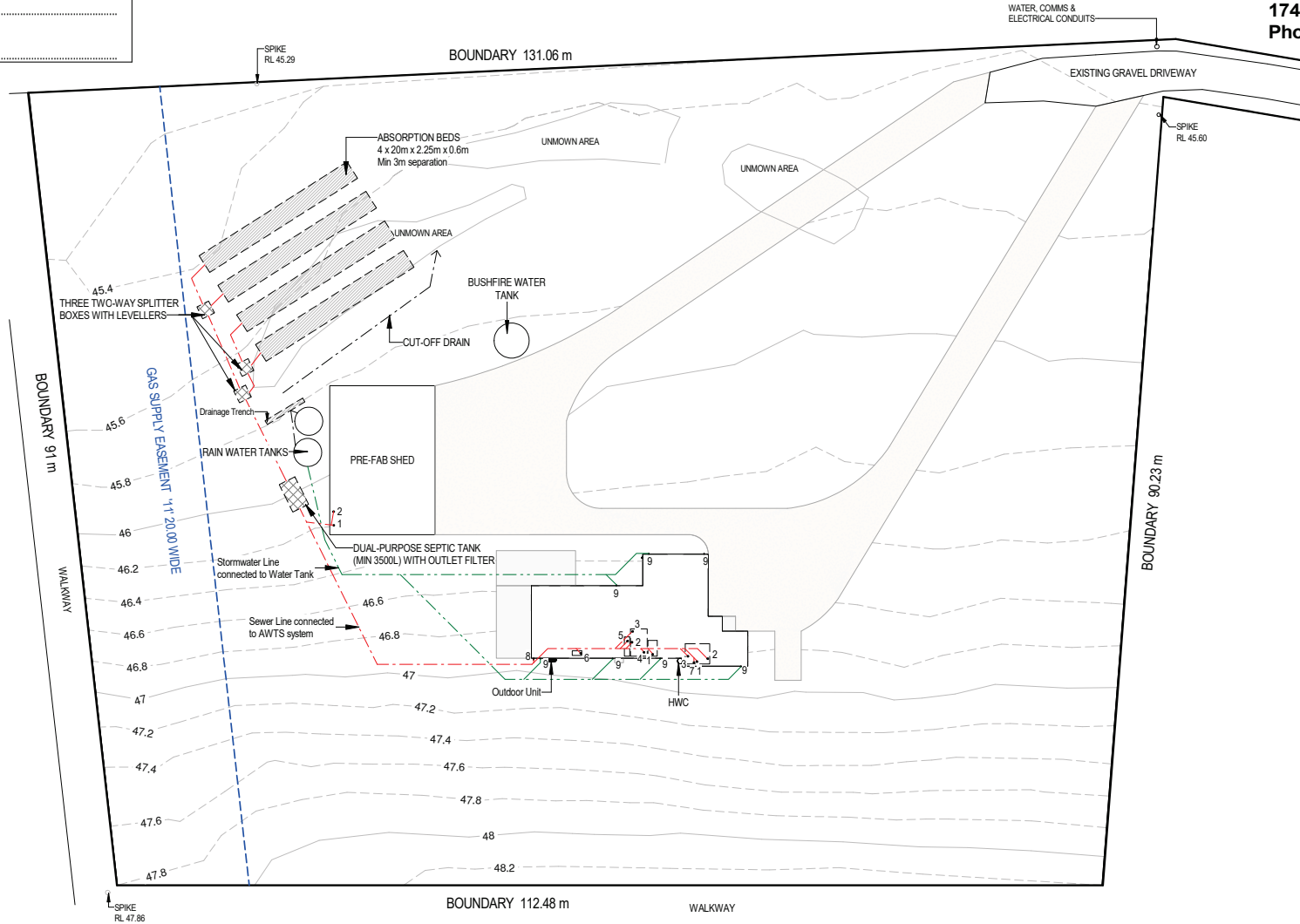
PLEASE NOTE: No Variations will be permitted after plans are signed by the client (with exception of Council requirements/ approvals.
SIGNATURE:

DATE:

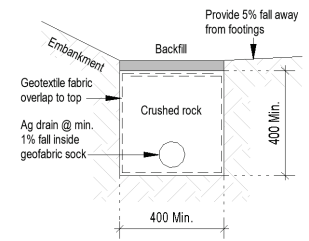


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LEGEND		
Abbr.	TYPE	Min. Ø Outlet size
1	Water closet pan	100
2	HandBasin	40
3	Shower	50
4	Bath	40
5	Laundry Trough	50
6	Kitchen Sink	50
7	Vent	50
8	Tap Charged ORG min. 150mm below FFL	
9	Downpipe	90
10	Tap	
l.o.	Inspection Opening to Ground Lvl	
flw	Floor Waste	
Sewer line 100Ø UPVC U.N.O. Stormwater line 100Ø UPVC U.N.O.		



AG Drain (Typical)

NOTE:
Builders' responsibility to protect stormwater pipes during construction.

BAL : 12.5

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DRAWING: DRAINAGE PLAN
DATE: 12.06.2026

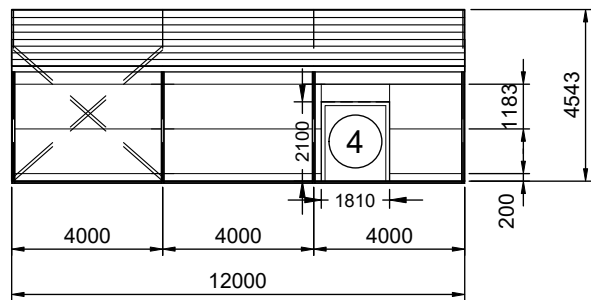
FILE NAME: 2399
DRAWN BY: RK

DWG No:

Scale: 1 : 500

PROPOSED DWELLING FOR MART
AT 61A LACHLAN COURT, BRIGHTON

B	12.06.2026	WC/Basin added in Shed	RK
A	08.06.2026	Modified as Client markups	RK
	26.05.2026	BA PLANS	RK
Rev.	Date	Revision Description	Drawn

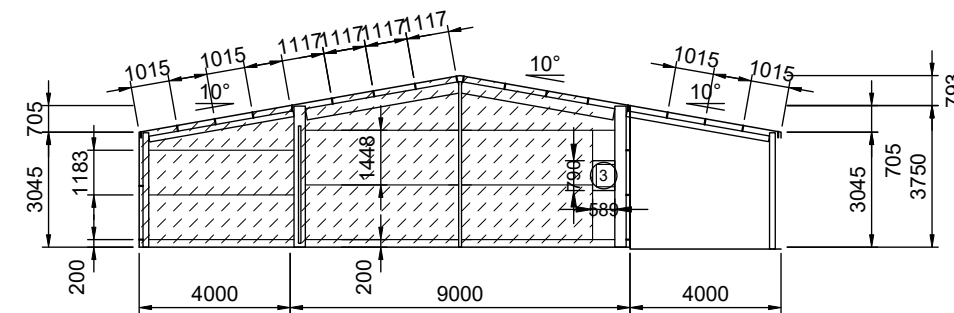


2 SIDEWALL B FRAMING ELEVATION

3 SCALE: 1:200

DIAPHRAGM SCHEDULE
SHEETING IN DIAPHRAGM SECTIONS (SHOWN AS HATCHED AREA ON ELEVATIONS) NOT TO BE CUT UNDER ANY CIRCUMSTANCES

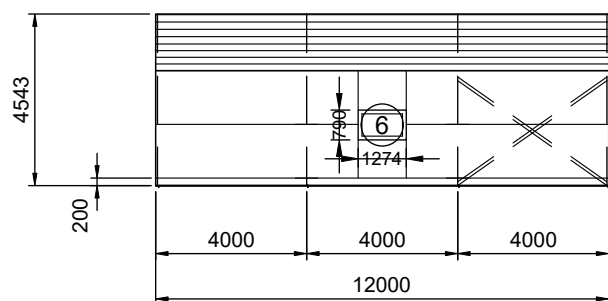
WALL	DISTANCE FROM WALL EDGE
Endwall 'B'	0-12009



3 REAR FRAMING ELEVATION

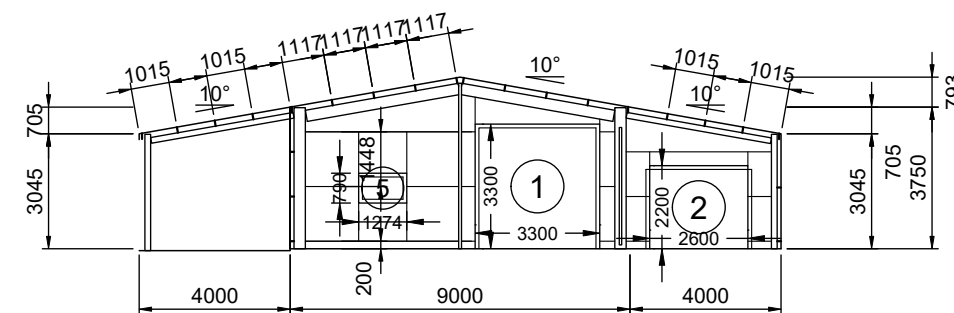
3 SCALE: 1:200

FRAME #4



1 SIDEWALL A FRAMING ELEVATION

3 SCALE: 1:200

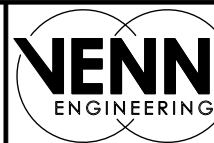


4 FRONT FRAMING ELEVATION

3 SCALE: 1:200

FRAME #1

REV	DATE	DESCRIPTION
A	13-02-2026	-

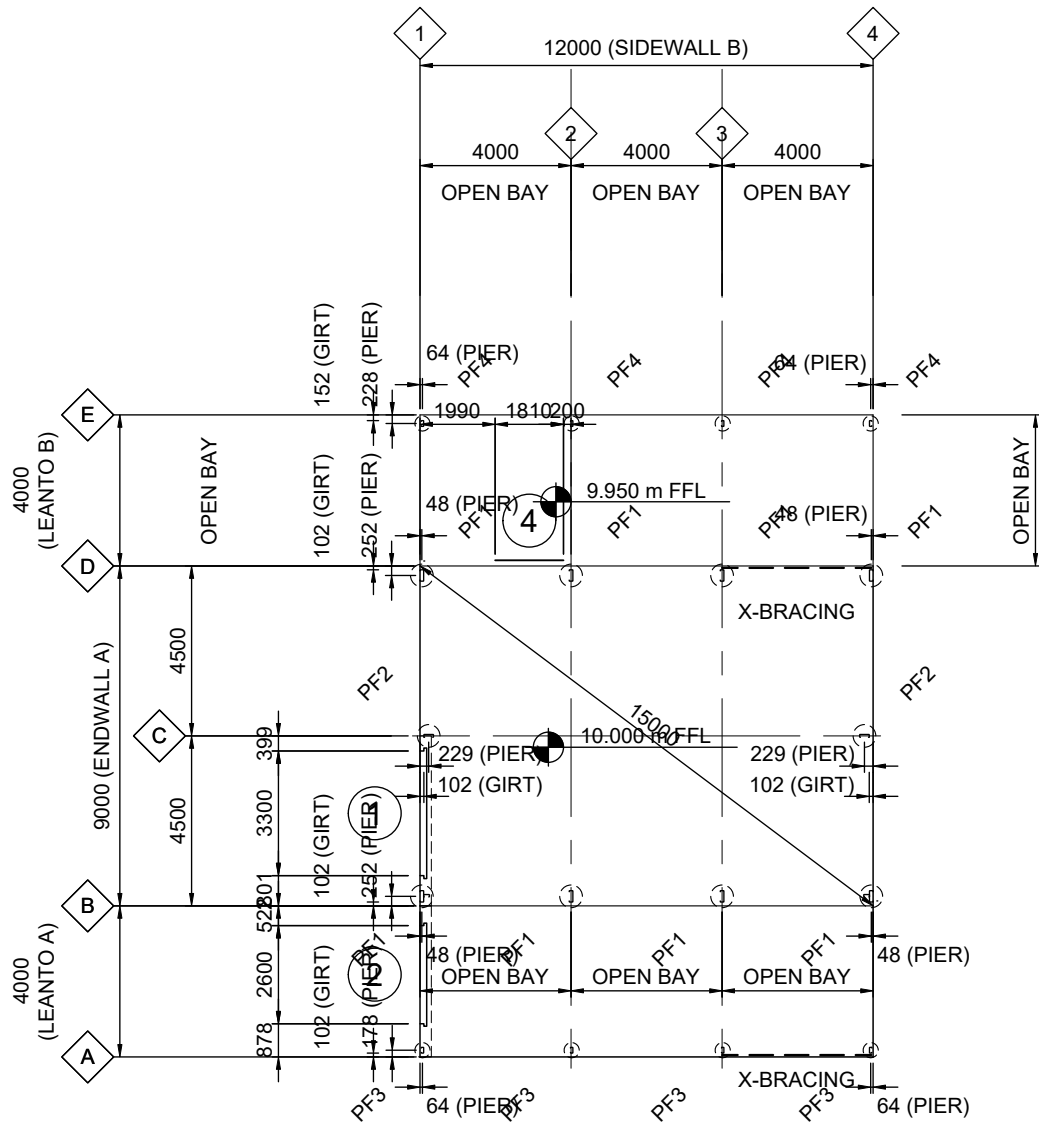


PO Box 3084
THIRROUL NSW 2515
sheds@venn.engineering
ABN 39 626 802 257

Signed *[Signature]* Date 13-02-2026
Grant J Wood MIEAust CPEng NER RPEQ
Registered EA Chartered Professional Engineer (No. 2383009)
Registered Professional Engineer QLD (No. 14384)
Registered Civil Engineer Building Practitioner VIC (No. PE0002499)
Registered Certifying Engineer (structural) NT (No. 306371ES)
Building Services Provider (Engineer Civil) TAS (No. 69933425)

Customer Name: Steve Mart
Site Address: 61A Lachlan Court
Brighton,
TAS, 7030

DATE 13-02-2026
JOB NO. HGOR1023020020
SHEET 3 of 11



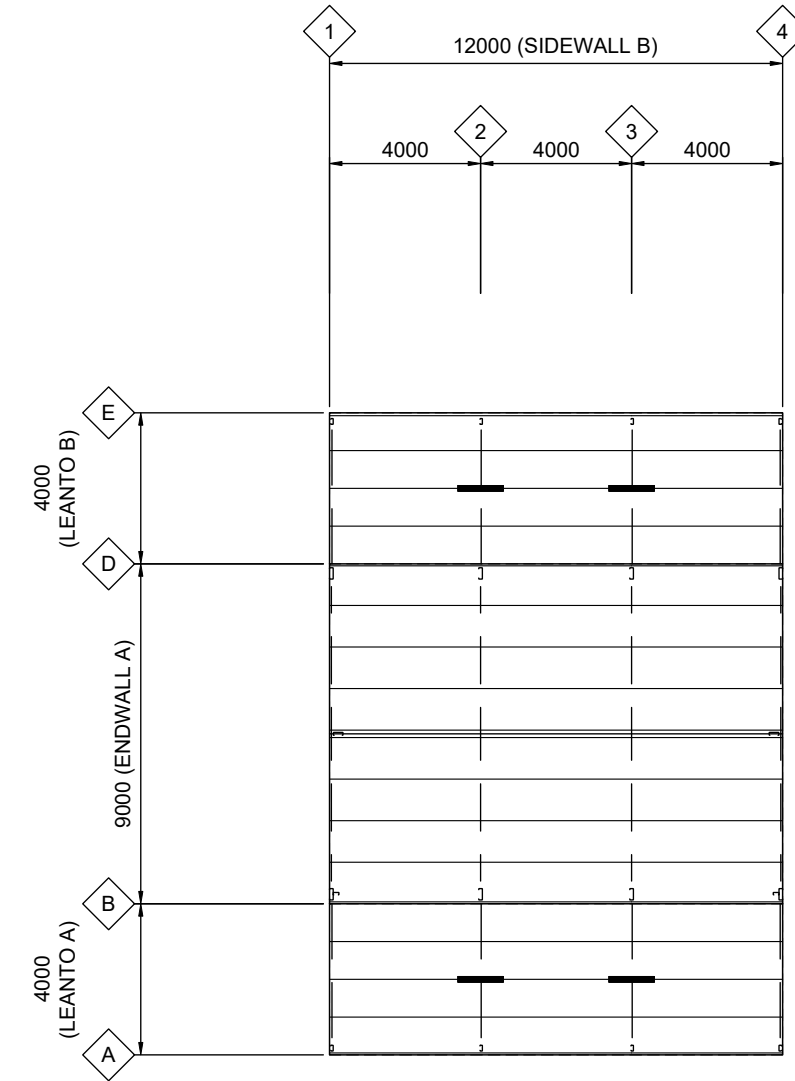
1 FOOTING/SLAB FLOOR PLAN

SCALE: 1:200
 PF1 - 600Ø REINFORCED CONCRETE PIERS TO DETAIL
 PF2 - 600Ø REINFORCED CONCRETE PIERS TO DETAIL
 PF3 - 400Ø REINFORCED CONCRETE PIERS TO DETAIL
 PF4 - 400Ø REINFORCED CONCRETE PIERS TO DETAIL

SLAB IS DESIGNED FOR CARS AND LIGHT VANS
 NOT EXCEEDING 3500kg GROSS MASS

CONCRETE CONTROL JOINTS SHALL BE PROVIDED IN SLAB TO DETAIL AT
 NOT MORE THAN 10m CENTRES IN EACH DIRECTION, APPROXIMATELY
 EQUALLY SPACED AND LOCATED APPROXIMATELY MIDWAY BETWEEN
 COLUMNS/MULLIONS

NOTE: FINISH FLOOR LEVEL IS ASSUMED TO BE
 10.000 m UNLESS NOTED OTHERWISE

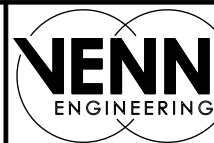


2 ROOF FRAMING PLAN

SCALE: 1:200

ROOF SHEETING IS USED AS DIAPHRAGM TO BRACE THE
 BUILDING AND IS NOT TO BE CUT UNDER ANY CIRCUMSTANCES

REV	DATE	DESCRIPTION
A	13-02-2026	-



PO Box 3084
 THIRROUL NSW 2515
 sheds@venn.engineering
 ABN 39 626 802 257

Signed *[Signature]* Date 13-02-2026
 Grant J Wood MIEAust CPEng NER RPEQ
 Registered EA Chartered Professional Engineer (No. 2383009)
 Registered Professional Engineer QLD (No. 14384)
 Registered Civil Engineer Building Practitioner VIC (No. PE0002499)
 Registered Certifying Engineer (structural) NT (No. 306371ES)
 Building Services Provider (Engineer Civil) TAS (No. 699339425)

Customer Name: Steve Mart
 Site Address: 61A Lachlan Court
 Brighton,
 TAS, 7030

DATE 13-02-2026
 JOB NO. HGOR1023020020
 SHEET 4 of 11