



Application for Planning Approval

Land Use Planning and Approvals Act 1993

APPLICATION NO.

DA2026/107

LOCATION OF AFFECTED AREA

9 TANDARA COURT, OLD BEACH

DESCRIPTION OF DEVELOPMENT PROPOSAL

SINGLE DWELLING

A COPY OF THE DEVELOPMENT APPLICATION MAY BE VIEWED AT www.brighton.tas.gov.au AND AT THE COUNCIL OFFICES, 1 TIVOLI ROAD, OLD BEACH, BETWEEN 8:15 A.M. AND 4:45 P.M, MONDAY TO FRIDAY OR VIA THE QR CODE BELOW. ANY PERSON MAY MAKE WRITTEN REPRESENTATIONS IN ACCORDANCE WITH S.57(5) OF THE LAND USE PLANNING AND APPROVALS ACT 1993 CONCERNING THIS APPLICATION UNTIL 4:45 P.M. ON **05/08/2026**. ADDRESSED TO THE CHIEF EXECUTIVE OFFICER AT 1 TIVOLI ROAD, OLD BEACH, 7017 OR BY EMAIL AT development@brighton.tas.gov.au. REPRESENTATIONS SHOULD INCLUDE A DAYTIME TELEPHONE NUMBER TO ALLOW COUNCIL OFFICERS TO DISCUSS, IF NECESSARY, ANY MATTERS RAISED.

JANINE BANKS
Acting Chief Executive
Officer



Brighton
going places

ALL VEGETATION OUTSIDE THE BUILDING ZONE WILL BE MAINTAINED.

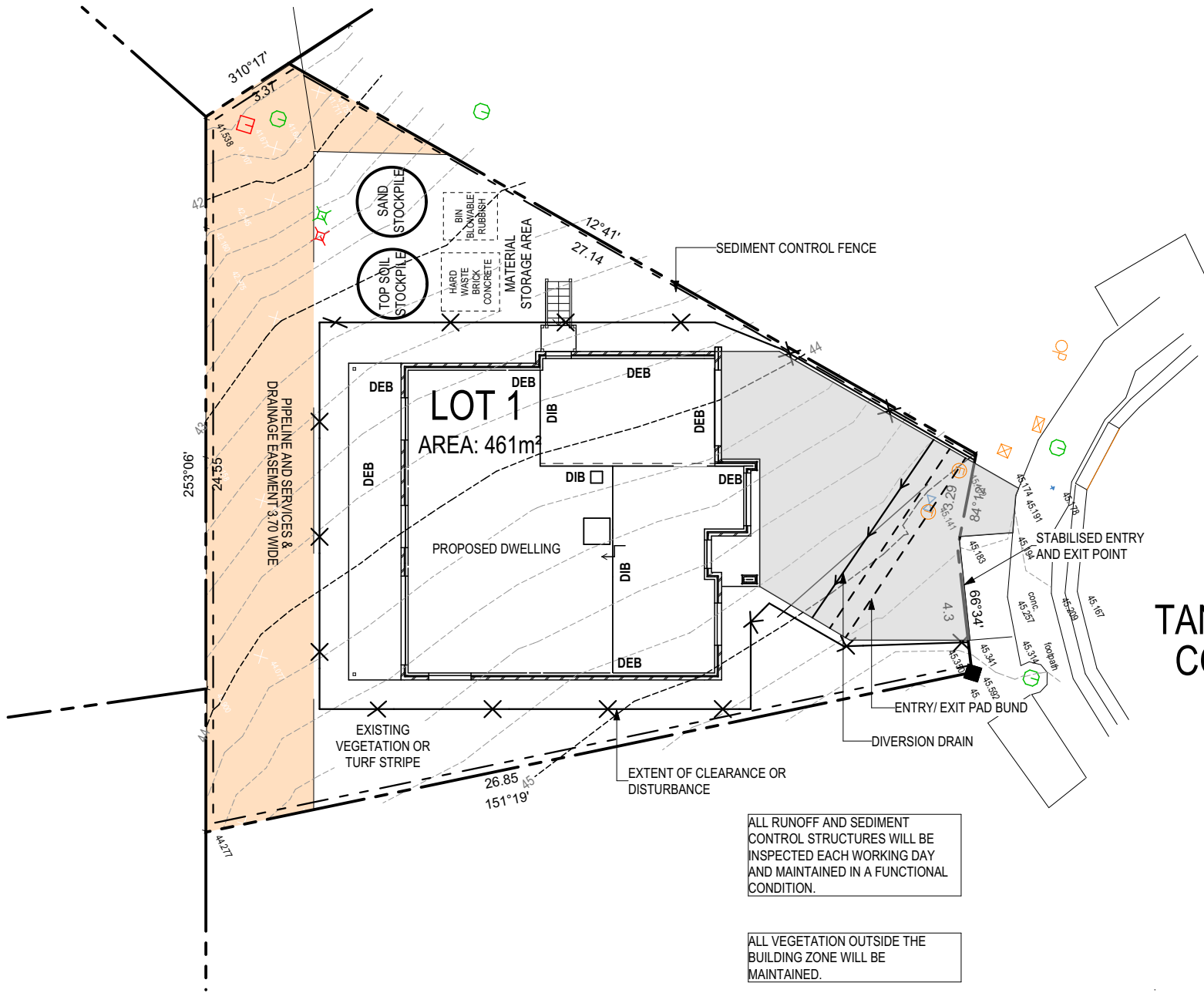
OWNER TO STABILISE THE SITE ON COMPLETION OF THE BUILD WITH TURF LAWNS, GRASS SEEDS, NATIVE GROUND COVERS AND/ OR MULCH SPREAD TO A DEPTH OF 75-100mm

THE FOLLOWING IS A STANDARD APPROACH. SEDIMENT AND EROSION CONTROL MEASURES WILL BE REVIEWED PRIOR TO COMMENCING WORK AND INSTALLED BASED ON THE OUTCOME OF THAT REVIEW.

NOTES:

1. ALL EROSION AND SEDIMENT CONTROL STRUCTURES TO BE INSPECTED EACH WORKING DAY AND MAINTAINED IN GOOD WORKING ORDER.
2. ALL GROUND COVER VEGETATION OUTSIDE THE IMMEDIATE BUILDING AREA TO BE PRESERVED DURING THE BUILDING PHASE.
3. ALL EROSION AND SEDIMENT CONROL MEASURES TO BE INSTALLED PRIOR TO COMMENCEMENT OF MAJOR EARTHWORKS.
4. STOCKPILES OF CLAYEY MATERIAL TO BE COVERED WITH AN IMPERVIOUS SHEET.
5. ROOF WATER DOWNPIPES TO BE CONNECTED TO THE PERMANENT UNDERGROUND STORMWATER DRAINAGE SYSTEM AS SOON AS PRACTICAL AFTER THE ROOF IS LAID.

6. DIVERSION DRAINS ARE TO BE CONNECTED TO A LEAGAL DISCHARGE POINT (COUNCIL STORMWATER SYSTEM, WATERCOURSE OR ROAD DRAIN).
7. SEDIMENT RETENTION TRAPS INSTALLED AROUND THE INLETS TO THE STORMWATER SYSTEM TO PREVENT SEDIMENT & OTHER DEBRIS BLOCKING THE DRAINS.

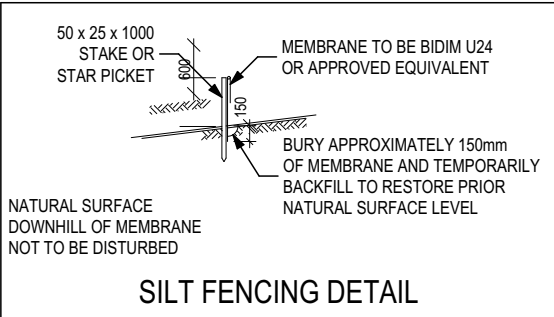


APPROX. NAT. GREY CONC. DRIVEWAY
BY BUILDER
64m² TOTAL
(65m² TO BDY)

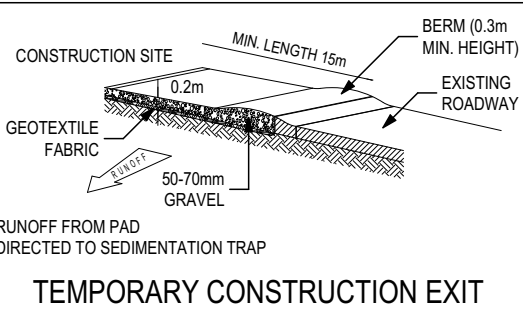
TANDARA
COURT

ALL RUNOFF AND SEDIMENT
CONTROL STRUCTURES WILL BE
INSPECTED EACH WORKING DAY
AND MAINTAINED IN A FUNCTIONAL
CONDITION.

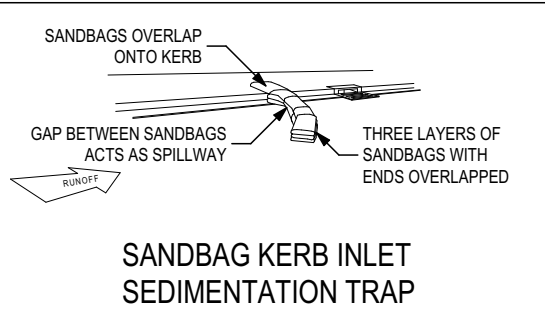
ALL VEGETATION OUTSIDE THE
BUILDING ZONE WILL BE
MAINTAINED.



SILT FENCING DETAIL



TEMPORARY CONSTRUCTION EXIT



SANDBAG KERB INLET
SEDIMENTATION TRAP

**SUBJECT TO NCC 2022
(1 MAY 2023)
WATERPROOFING & PLUMBING
LIVABLE HOUSING**

PLAN ACCEPTANCE BY OWNER

SIGNATURE: DATE:

SIGNATURE: DATE:

PLEASE NOTE THAT VARIATIONS WILL NOT BE ACCEPTED
AFTER THIS PLAN ACCEPTANCE HAS BEEN SIGNED



SPECIFICATION:	DESIGNER	8	PRELIM PLANS - VARI 001 - 003	PL1	05/04/2026	CLIENT:	NICHOLAS PHILIP CLEAVER & JENNIFER LAR. NO CLAYTON-CLEAVER	HOUSE DESIGN:	BEECHFORD 25	HOUSE CODE:	H-WDNBFD10DA	DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.
COPYRIGHT:	© 2026	9	PRELIM PLANS - SHOW DIAGRAM	PL1	14/05/2026	ADDRESS:	9 TANDARA CT, OLD BEACH TAS 7017	FACADE DESIGN:	NOLAN	FACADE CODE:	F-WDNBFD10NOLNA	
		10	PRELIM PLAN - COLOUR & VAR. REF. 002, 004, 005 UPDATE	NVO	13/04/2026	LOT / SECTION / CT:	7 / - / 184468	SHEET TITLE:	SOIL & WATER MANAGEMENT PLAN	SHEET No.:	3 / 33	
		11	PRELIM PLANS - UPDATE RETAINING WALL AND DRIVEWAY	TDO	11/06/2026	COUNCIL:	BRIGHTON	SCALES:	1:200			714534
		12	PRELIM PLANS - PLAN CORRECTIONS	TRV	06/07/2026							

BAL-12.5 BUSHFIRE REQUIREMENTS
SEE SHEET 1 (COVER SHEET) FOR DETAILS

REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:

- SUSTAINABILITY REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

ALL MECHANICAL VENTILATION TO BE DISCHARGED TO OUTDOOR AIR AS PER NCC 2022 REQUIREMENTS

FIRE RESISTANT PLASTERBOARD TO BE INSTALLED BEHIND COOKTOP

ALL GROUND FLOOR BULKHEAD AND SQUARE SET OPENING FRAMES TO BE 2155 ABOVE FFL UNLESS NOTED OTHERWISE

REFER TO WINDOW AND DOOR SCHEDULES FOR FULL DETAILS OF ALL WINDOWS AND DOORS. PLEASE NOTE WINDOW AND DOOR SIZES ARE BASED ON MANUFACTURERS SPECIFICATIONS AT DEPOSIT STAGE AND MAY DIFFER SLIGHTLY TO THE SIZES NOMINATED IN THE SCOPE OF WORKS DUE TO MANUFACTURING CHANGES AT THE TIME OF CONSTRUCTION.

FINAL WINDOW AND EXTERIOR DOOR LOCATIONS MAY BE ADJUSTED ON SITE TO SUIT BRICKWORK GAUGE

ALL STAIR TREADS TO PROVIDE A MINIMUM SLIP RESISTANCE TO MEET NCC 2022 REQUIREMENTS

UNLESS NOTED OTHERWISE ALL ROOMS ARE REFERENCED AS FOLLOWS:



LEGEND

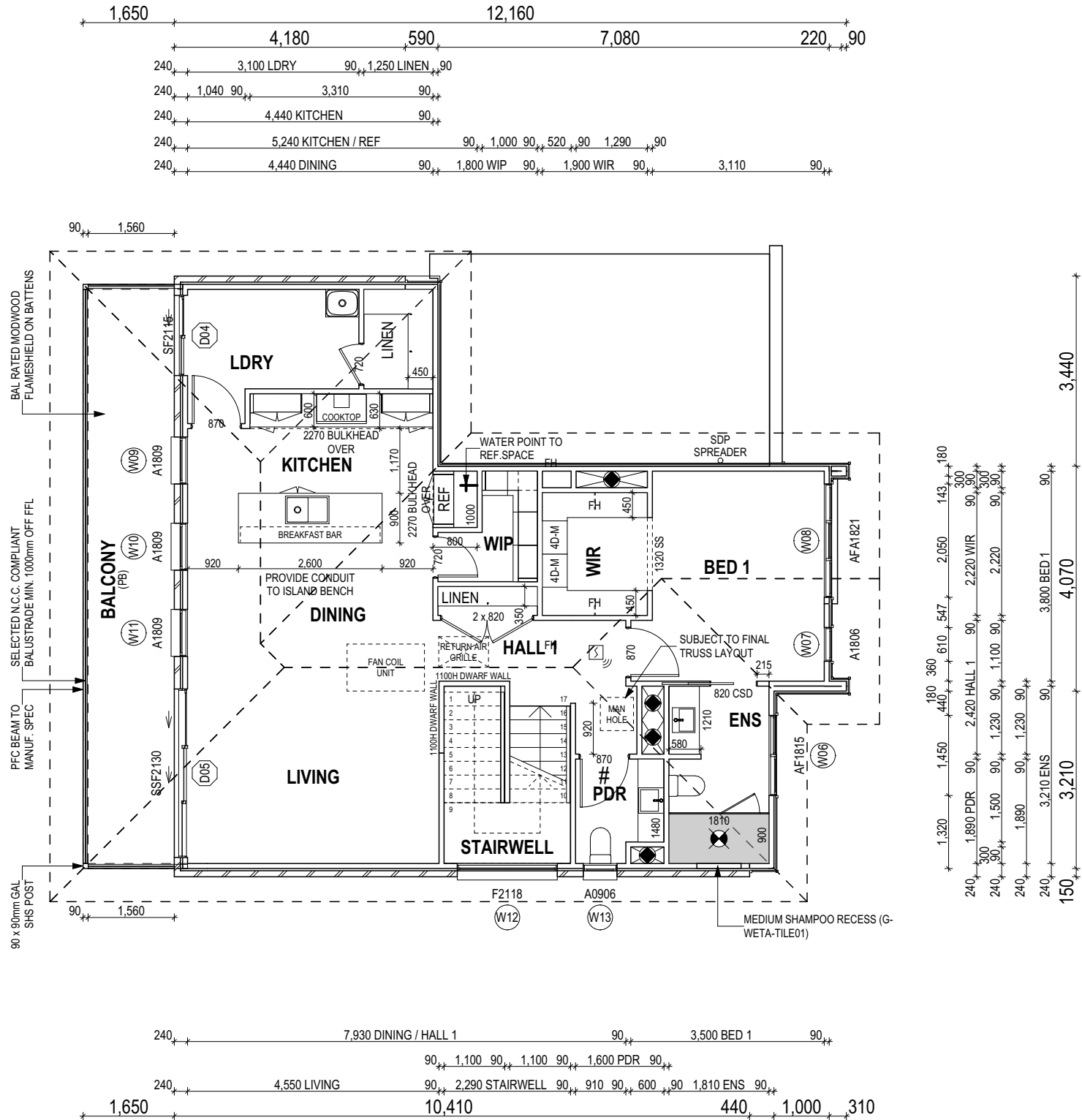
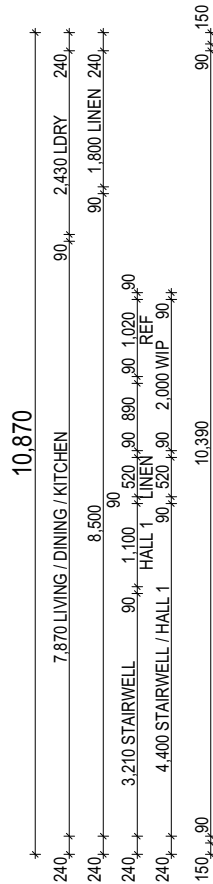
HS / WS	HOB SPOUT / WALL SPOUT
	FACE BRICK / COMMON BRICK
	RENDER
	SOUND INSULATION
AJ	BRICK ARTICULATION JOINT
SDP	STANDARD DOWNSPIPE
CDP	CHARGED DOWNSPIPE
3D	DENOTES DRAWER SIDE
	MECHANICAL VENTILATION
L.B.W	LOAD BEARING WALL
PB	PLASTERBOARD
FC	FIBRE CEMENT
	THIS DOOR OPENS FIRST
	SMOKE ALARM
#	LIFT OFF HINGE
+	WATER POINT
	FLOOR WASTE
	GAS BAYONET

MAIN DWELLING, GROUND FLOOR

ALFRESCO	19.57
GARAGE	24.05
LIVING	92.29
LIVING (GROUND FLOOR)	7.93
PORCH	3.64
	147.48 m²

MAIN DWELLING, FIRST FLOOR

BALCONY	17.42
LIVING	93.68
LIVING (FIRST FLOOR)	7.47
	118.57 m²
	266.05 m²



ALL DIMENSIONS ARE FRAME DIMENSIONS

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PROVIDE AND INSTALL SINGLE PHASE REVERSE CYCLE AIR CONDITIONING SYSTEM. NUMBER AND POSITIONING OF OUTLETS AND THE FINAL LOCATION OF THE RETURN AIR GRILLE WILL BE DETERMINED ON SITE BY THE AIR CONDITIONING CONTRACTOR AND IS SUBJECT TO TRUSS LAYOUT AND ANY OTHER CONSTRUCTION CONSTRAINTS.

FRAME MANUFACTURER TO PROVIDE CLEARANCE FOR PASSAGE OF FAN COIL UNIT FROM RETURN AIR OPENING TO FINAL FAN COIL LOCATION.

ANY PART OF THE FASCIA, GUTTERING OR DOWNPIPE THAT IS WITHIN 450mm OF ANY BOUNDARY IS TO BE NON-COMBUSTIBLE IN ACCORDANCE WITH NCC 2022

ALL EXTERIOR SLABS TO BE GRADED BY CONCRETE TO ACHIEVE APPROX. 1:100 FALL TO OUTSIDE EDGE WITH MAXIMUM CROSSFALL OF 30mm OVER ENTIRE SLAB.

SUBJECT TO NCC 2022
(1 MAY 2023)
WATERPROOFING & PLUMBING
LIVABLE HOUSING

PLAN ACCEPTANCE BY OWNER

SIGNATURE: _____ DATE: _____

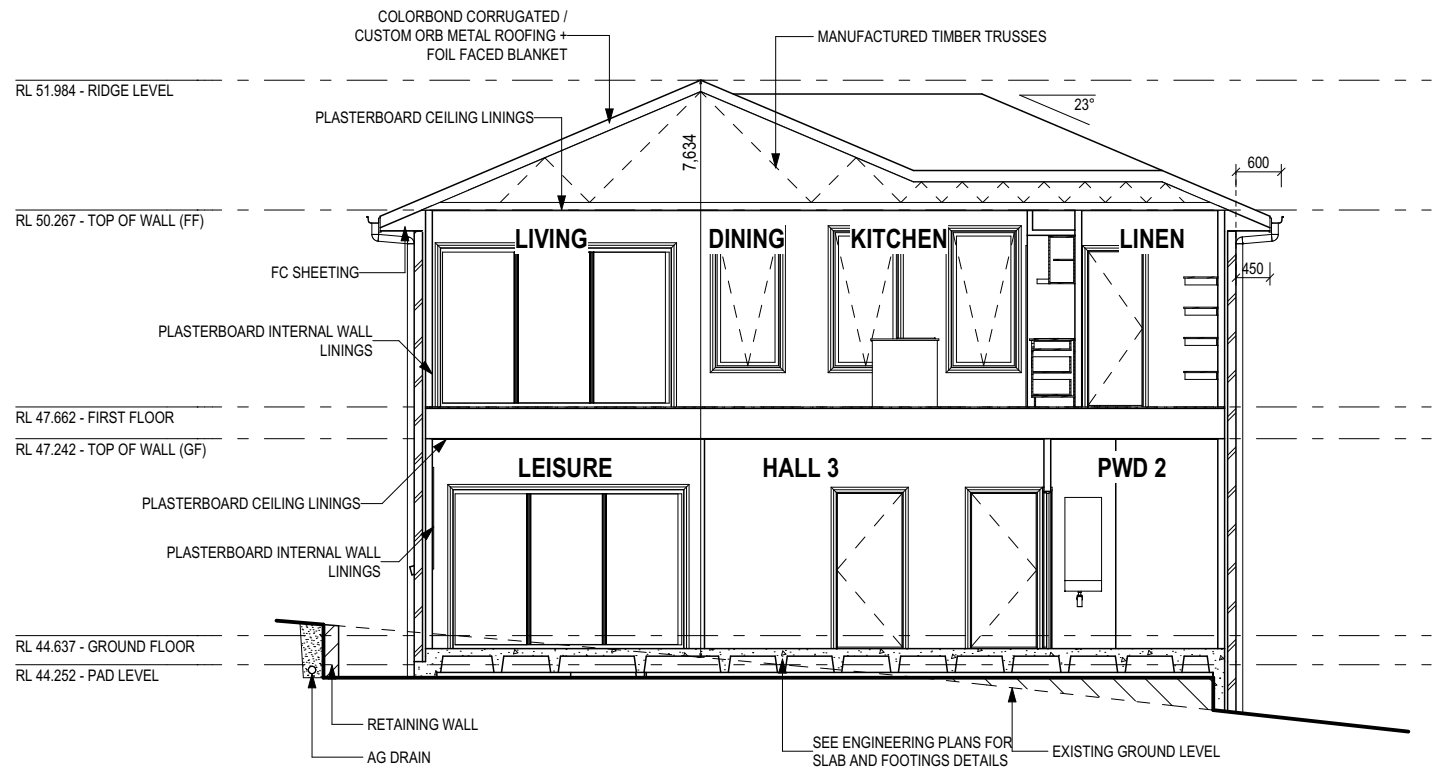
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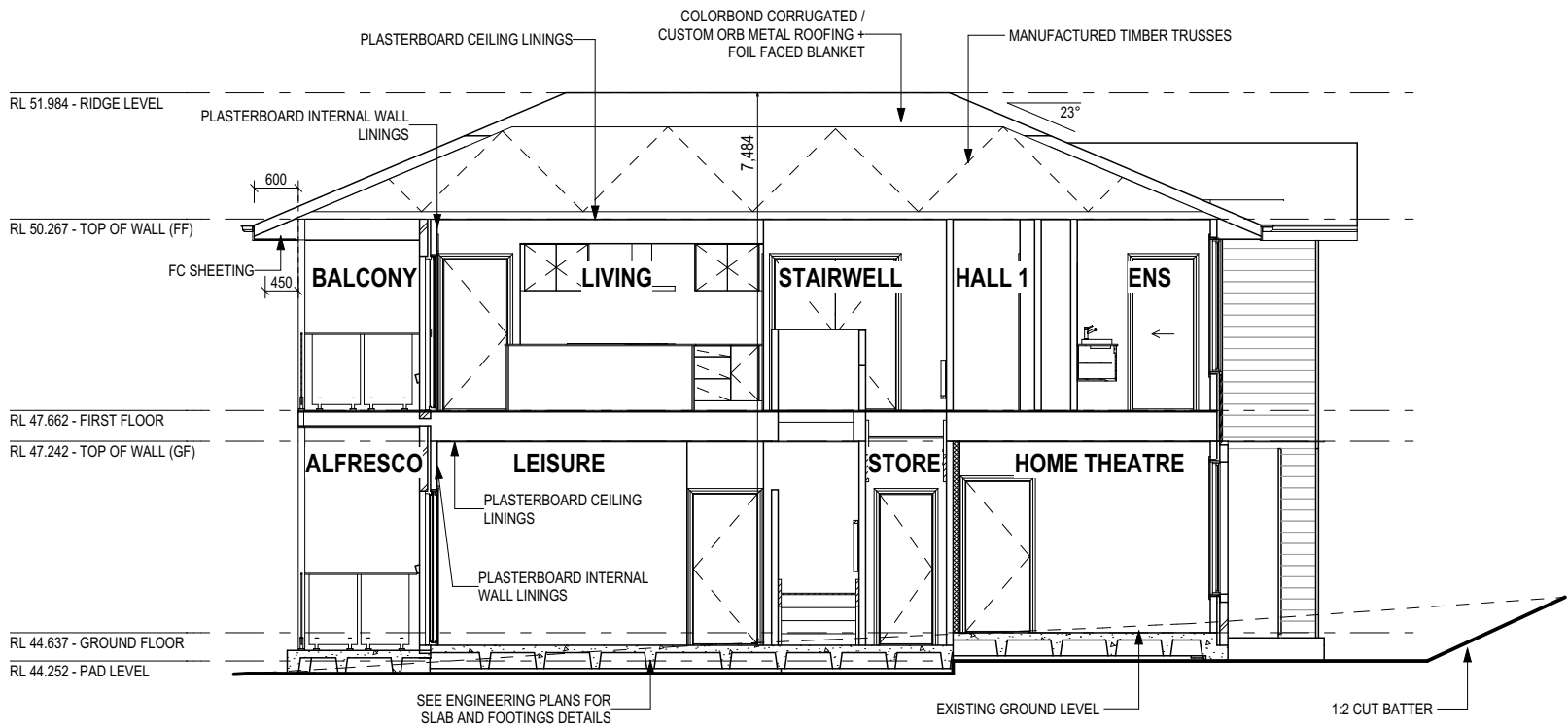


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	DESIGNER	8	PRELIM PLANS - VARI 001 - 003	PL1 05/04/2026				
	COPYRIGHT: © 2026	9	PRELIM PLANS - SHOW DIAGRAM	PL1 14/05/2026				
		10	PRELIM PLAN - COLOUR & VAR. REF. 002, 004, 005 UPDATE	NVO 13/04/2026				
		11	PRELIM PLANS - UPDATE RETAINING WALL AND DRIVEWAY	TD0 11/06/2026				

BAL-12.5 BUSHFIRE REQUIREMENTS
SEE SHEET 1 (COVER SHEET) FOR DETAILS



SECTION A-A
SCALE: 1:100



SECTION B-B
SCALE: 1:100

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REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:
- SUSTAINABILITY REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

SOME DETAILS ON THIS SHEET ARE INDICATIVE ONLY FOR EXAMPLE BRICKWORK AND CLADDING (EXPANSION JOINTS, ORIENTATION AND LAYOUT) AND ARE SUBJECT TO CHANGE.

SH = SNAP HEADER SILL

FIRST FLOOR WINDOW OPENINGS TO BE RESTRICTED AS REQUIRED BY NCC 2022

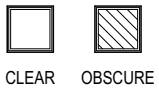
BEDROOM WINDOW OPENINGS ABOVE 2m OFF THE SURFACE BENEATH TO BE RESTRICTED AS REQUIRED BY NCC 11.3.7 (VOLUME TWO)

ROOMS OTHER THAN BEDROOM WINDOW OPENINGS ABOVE 4m OFF THE SURFACE BENEATH TO BE RESTRICTED AS REQUIRED BY NCC 11.3.7 (VOLUME TWO)

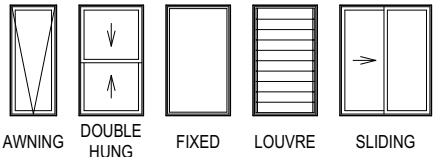
REFER TO THE FOLLOWING DETAILS:
BRICK COURSING W-BRIC-001

**SUBJECT TO NCC 2022
(1 MAY 2023)
WATERPROOFING & PLUMBING
LIVABLE HOUSING**

GLASS TYPE LEGEND



WINDOW TYPE LEGEND



PLAN ACCEPTANCE BY OWNER

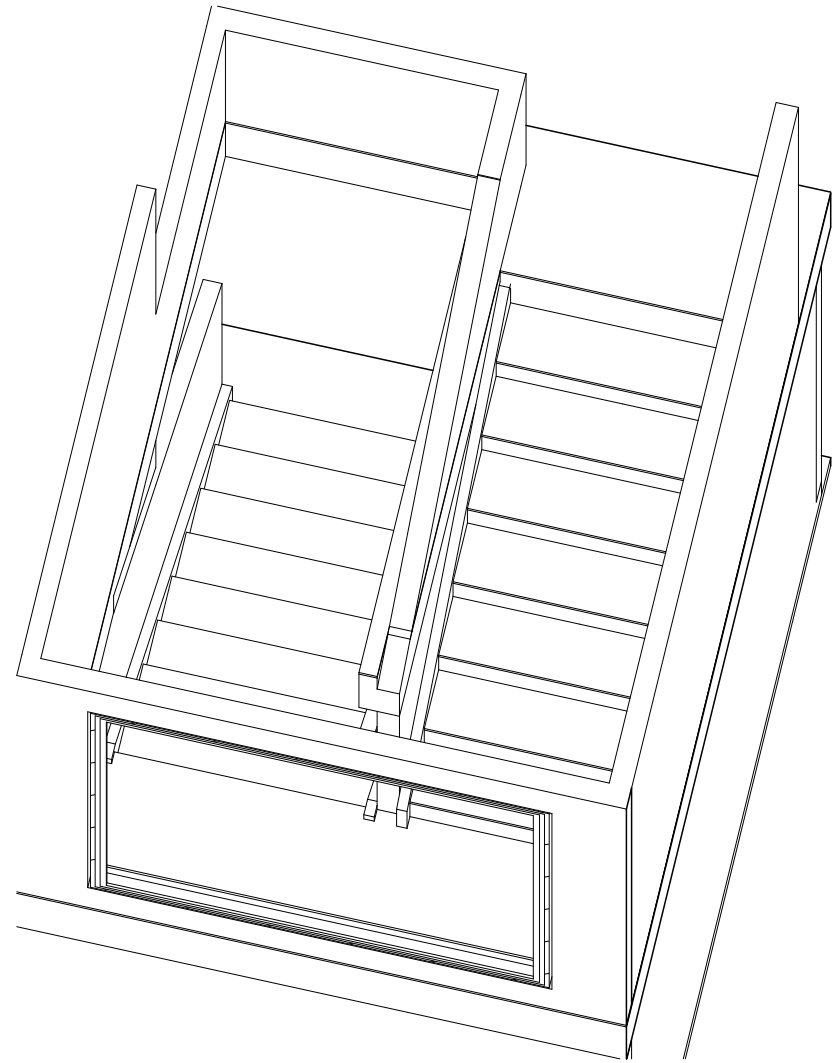
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	8	PRELIM PLANS - VARI 001 - 003	PL1	05/04/2026				
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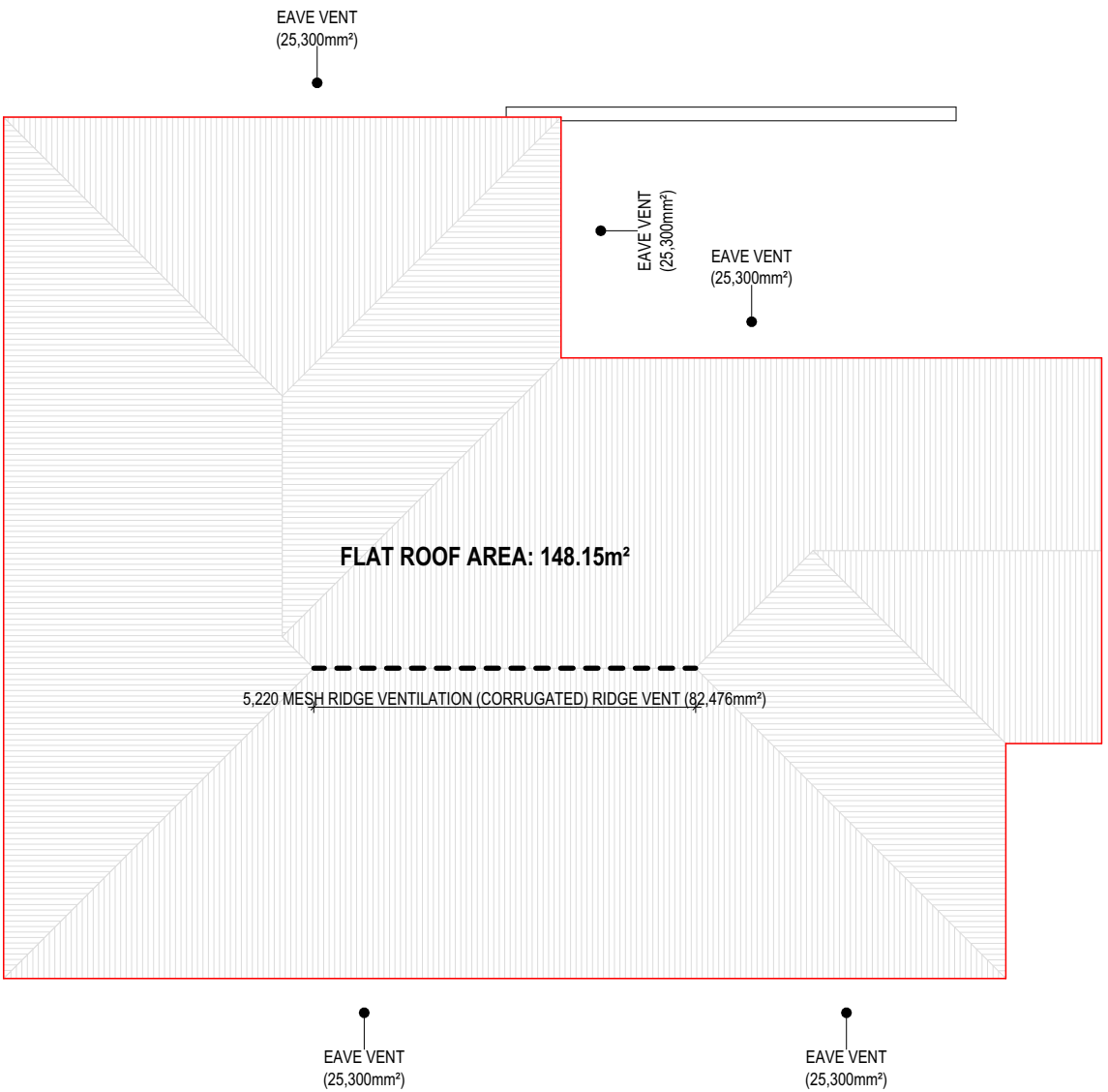
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	© 2026	10	PRELIM PLAN - COLOUR & VAR.REF.002, 004, 005 UPDATE	NVO	13/04/2026	9 TANDARA CT, OLD BEACH TAS 7017		NOLAN		F-WDNBFD10NOLNA			
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FIRST FLOOR 23° ROOF (ID 2)
ROOF LENGTH: 15.010m
ROOF PITCH: 23.0°
CEILING: FLAT
HIGH LEVEL VENTILATION REQUIRED: 75,045mm²
LOW LEVEL VENTILATION REQUIRED: 105,063mm²

ROOF SPACE VENTILATION			
REFER TO ROOF PLAN FOR VENTILATION LOCATIONS			
GROUND FLOOR 3Â° ROOF			
LONGEST HORIZONTAL ROOF LENGTH		6.158m	
ROOF PITCH		3.00°	
END 1 VENTILATION	REQUIRED	153,925mm² (25,000 x 6.158m)	
	PROVIDED	180,840mm²	
END 2 VENTILATION	REQUIRED	153,925mm² (25,000 x 6.158m)	
	PROVIDED	185,361mm²	
FIRST FLOOR 23Â° ROOF			
LONGEST HORIZONTAL ROOF LENGTH		15.010m	
ROOF PITCH		23.00°	
HIGH LEVEL VENTILATION	REQUIRED	75,045mm² (5,000 x 15.010m)	
	PROVIDED	82,476mm²	
LOW LEVEL VENTILATION	REQUIRED	105,063mm² (7,000 x 15.010m)	
	PROVIDED	126,500mm²	
NO OF EAVE VENTS	REQUIRED	4.15	
	PROVIDED	5	

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PLAN ACCEPTANCE BY OWNER	
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		12	PRELIM PLANS - PLAN CORRECTIONS	TRV	06/07/2026	7 / - / 184468	BRIGHTON	ROOF VENTILATION PLAN (FF)	16 / 33	SCALES: 1:100	
										714534	

BAL-12.5 BUSHFIRE REQUIREMENTS
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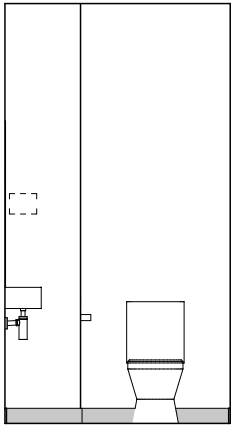
REFER TO THE FOLLOWING DETAILS:
VANITY DETAILS G-VANI-001
WINDOW OVER BATH HOB D-WIND-ALU001
STANDARD BATH HOB D-WETA-BATH003
WET AREA TILING LAYOUTS D-WETA-TILE002
SQUARE SET WINDOWS G-WIND-SSET02
FULL HEIGHT TILING D-LINI-WETA

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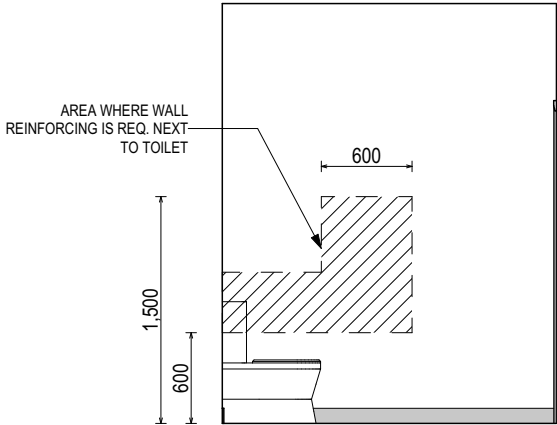
DETAILS DEPICTED ON THIS SHEET ARE A
REPRESENTATION ONLY

LEGEND

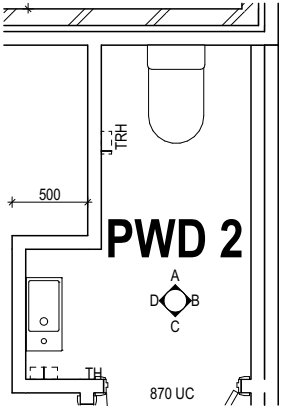
- RSHR RAIL SHOWER
ROSE SHOWER ROSE
ELBW SHOWER ELBOW
CONNECTION
MIX MIXER TAP
HT HOT TAP
CT COLD TAP
HS HOB SPOUT
WS WALL SPOUT
SC STOP COCK
TRH TOILET ROLL HOLDER
TR-S TOWEL RAIL - SINGLE
TR-D TOWEL RAIL - DOUBLE
TL TOWEL LADDER
TH TOWEL HOLDER
TR TOWEL RACK
TMB TUMBLER HOLDER
RNG TOWEL RING
RH ROBE HOOK
SHLF SHELF
SR SHAMPOO RECESS
SOAP SOAP HOLDER



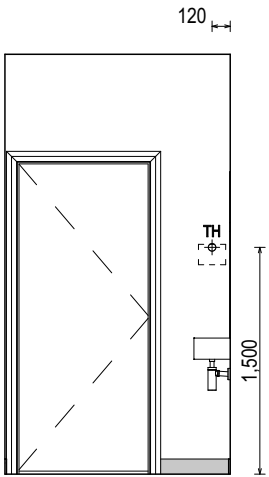
ELEVATION A
SCALE: 1:50



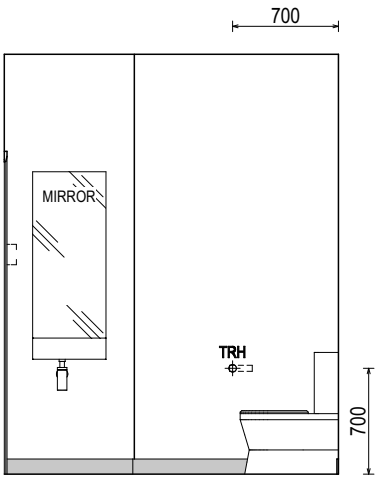
ELEVATION B
SCALE: 1:50



POWDER ROOM PLAN
SCALE: 1:50



ELEVATION C
SCALE: 1:50



ELEVATION D
SCALE: 1:50

SUBJECT TO NCC 2022
(1 MAY 2023)
WATERPROOFING & PLUMBING
LIVABLE HOUSING

PLAN ACCEPTANCE BY OWNER

SIGNATURE: DATE:

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		10	PRELIM PLAN - COLOUR & VAR. REF. 002, 004, 005 UPDATE	NVO	13/04/2026	LOT / SECTION / CT:	7 / - / 184468	SHEET TITLE:	POWDER ROOM 2 DETAILS	SHEET No.:	24 / 33	714534
		11	PRELIM PLANS - UPDATE RETAINING WALL AND DRIVEWAY	TDO	11/06/2026	COUNCIL:	BRIGHTON	SCALES:	1:50			
		12	PRELIM PLANS - PLAN CORRECTIONS	TRV	06/07/2026							

