



# Application for Planning Approval

## *Land Use Planning and Approvals Act 1993*

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APPLICATION NO.

**DA2026/073**

LOCATION OF AFFECTED AREA

**24 LEWIS DRIVE, OLD BEACH**

DESCRIPTION OF DEVELOPMENT PROPOSAL

**SINGLE DWELLING**

A COPY OF THE DEVELOPMENT APPLICATION MAY BE VIEWED AT [www.brighton.tas.gov.au](http://www.brighton.tas.gov.au) AND AT THE COUNCIL OFFICES, 1 TIVOLI ROAD, OLD BEACH, BETWEEN 8:15 A.M. AND 4:45 P.M, MONDAY TO FRIDAY OR VIA THE QR CODE BELOW. ANY PERSON MAY MAKE WRITTEN REPRESENTATIONS IN ACCORDANCE WITH S.57(5) OF THE LAND USE PLANNING AND APPROVALS ACT 1993 CONCERNING THIS APPLICATION UNTIL 4:45 P.M. ON **30/04/2026**. ADDRESSED TO THE CHIEF EXECUTIVE OFFICER AT 1 TIVOLI ROAD, OLD BEACH, 7017 OR BY EMAIL AT [development@brighton.tas.gov.au](mailto:development@brighton.tas.gov.au). REPRESENTATIONS SHOULD INCLUDE A DAYTIME TELEPHONE NUMBER TO ALLOW COUNCIL OFFICERS TO DISCUSS, IF NECESSARY, ANY MATTERS RAISED.

**JAMES DRYBURGH**  
**Chief Executive Officer**



**Brighton**  
going places













**EXTERIOR WINDOW & DOOR SCHEDULE** 1,2 ASSUME LOOKING FROM OUTSIDE

STOREY	ID	CODE <sup>1</sup>	TYPE	ROOM	HEIGHT	WIDTH	PERIMETER	AREA (m <sup>2</sup> )	FRAME TYPE	BAL RATING	SILL TYPE	ORIENT.	GLAZING AREA (m <sup>2</sup> )	GLAZING TYPE (SINGLE GLAZING U.N.O.)	ADDITIONAL INFORMATION <sup>2</sup>	
<b>WINDOW</b>																
GROUND FLOOR	W01	FAF1824	AWNING	BED 3	1,800	2,410	8,420	4.34	ALUMINIUM	BAL-LOW	SNAP HEADER	W	3.66	CLEAR, DOUBLE GLAZED	MP 803-803	
GROUND FLOOR	W02	A1006	AWNING	ENS	1,029	610	3,278	0.63	ALUMINIUM	BAL-LOW	ANGLED	S	0.44	OBSCURE, DOUBLE GLAZED, TOUGHENED		
GROUND FLOOR	W03	AF1515	AWNING	BED 1	1,457	1,450	5,814	2.11	ALUMINIUM	BAL-LOW	ANGLED	S	1.70	CLEAR, DOUBLE GLAZED	MP 725	
GROUND FLOOR	W04	AF1515	AWNING	BED 2	1,457	1,450	5,814	2.11	ALUMINIUM	BAL-LOW	ANGLED	S	1.70	CLEAR, DOUBLE GLAZED	MP 725	
GROUND FLOOR	W05	AF/FF1818	AWNING	LIVING	1,800	1,810	7,220	3.26	ALUMINIUM	BAL-LOW	ANGLED	E	2.65	CLEAR, DOUBLE GLAZED	BP 600, MP 905/905	
GROUND FLOOR	W06	AF/FF1818	AWNING	DINING	1,800	1,810	7,220	3.26	ALUMINIUM	BAL-LOW	ANGLED	E	2.65	CLEAR, DOUBLE GLAZED	BP 600, MP 905/905	
GROUND FLOOR	W07	AF1215	AWNING	BATH	1,200	1,450	5,300	1.74	ALUMINIUM	BAL-LOW	ANGLED	N	1.38	OBSCURE, DOUBLE GLAZED, TOUGHENED	MP 725	
							<b>43,066 mm</b>	<b>17.45</b>					<b>14.18</b>			
<b>DOOR</b>																
GROUND FLOOR	D01	HD2110L	SWINGING	ENTRY	2,100	970	6,140	2.04	ALUMINIUM	BAL-LOW	SNAP HEADER	W	1.41	CLEAR		
GROUND FLOOR	D02	SSF2121	STACKER	DINING	2,100	2,148	8,496	4.51	ALUMINIUM	BAL-LOW	SNAP HEADER	S	3.88	CLEAR, DOUBLE GLAZED, TOUGHENED		
GROUND FLOOR	D03	FS2115	SLIDING	LDRY	2,100	1,450	7,100	3.05	ALUMINIUM	BAL-LOW	SNAP HEADER	N	2.59	CLEAR, DOUBLE GLAZED, TOUGHENED		
							<b>21,736 mm</b>	<b>9.59</b>					<b>7.88</b>			
							<b>64,802 mm</b>	<b>27.04</b>					<b>22.06</b>			

Window Manufacturer: Dowell Windows			
<b>No BAL / BAL 12.5</b>			
<b>Window Type</b>	<b>WERS Code</b>	<b>U Value</b>	<b>SHGC</b>
Sliding Window	DOW-022-003	2.9	0.64
Awning Window	DOW-005-001	3.9	0.58
Fixed External Window	DOW-038-001	3.03	0.71
Sliding Door	DAR-034-001	3.97	0.63
Stacking Door	DAR-034-001	3.97	0.63
Hinged Door	DOW-017-001	4.1	0.55
Bi-Fold Door	DOW-020-001	4.1	0.54
<b>BAL 19</b>			
<b>Window Type</b>	<b>WERS Code</b>	<b>U Value</b>	<b>SHGC</b>
Sliding Window	TND-034-001	3.1	0.61
Awning Window	STG-001-066	3.91	0.54
Fixed External Window	DOW-038-005	3.02	0.66
Sliding Door	AUW-009-009	4.03	0.58
Stacking Door	AUW-009-009	4.03	0.58
Hinged Door	GRN-009-001	4.25	0.53
Bi-Fold Door	DOW-020-001	4.1	0.54
<b>BAL 29</b>			
<b>Window Type</b>	<b>WERS Code</b>	<b>U Value</b>	<b>SHGC</b>
Sliding Window	TND-034-001	3.1	0.61
Awning Window	STG-001-066	3.91	0.54
Fixed External Window	DOW-038-005	3.02	0.66
Sliding Door	AMJ-007-005	4.03	0.59
Stacking Door	AMJ-007-005	4.03	0.59
Hinged Door	GRN-009-001	4.29	0.53

NOTE:  
Windows supplied MUST HAVE Uw better and or equal to stated figures and SHGC within +/- 5% of stated figures. Restricted windows to have their openability restricted as per N.C.C 11.3.6.

**INTERIOR WINDOW & DOOR SCHEDULE**

STOREY	QTY	CODE	TYPE	HEIGHT	WIDTH	GLAZING TYPE	ADDITIONAL INFORMATION
<b>DOOR</b>							
GROUND FLOOR	2	1040 SS	SQUARE SET OPENING	2,155	1,040	N/A	
GROUND FLOOR	1	1070 SS	SQUARE SET OPENING	2,155	1,070	N/A	
GROUND FLOOR	1	1090 SS	SQUARE SET OPENING	2,155	1,090	N/A	
GROUND FLOOR	1	2 x 420	SWINGING	2,040	840	N/A	
GROUND FLOOR	2	2 x 720	SWINGING	2,040	1,440	N/A	
GROUND FLOOR	7	870	SWINGING	2,040	870	N/A	
GROUND FLOOR	1	870 CSD	CAVITY SLIDING	2,040	870	N/A	
GROUND FLOOR	1	870 SS	SQUARE SET OPENING	2,155	870	N/A	
GROUND FLOOR	1	880 SS	SQUARE SET OPENING	2,155	880	N/A	

REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:  
 - SUSTAINABILITY REQUIREMENTS  
 - SITE CLASSIFICATION  
 - GENERAL BUILDING INFORMATION

NOTE: INTERNAL DOORS TO WET AREAS WITH MECHANICAL VENTILATION TO BE UNDERCUT 20mm

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**PICTURE, TV RECESS AND SS WINDOW OPENINGS**

QTY	TYPE	HEIGHT	WIDTH	AREA (m <sup>2</sup> )

**SUBJECT TO NCC 2022  
(1 MAY 2023)**  
 WATERPROOFING & PLUMBING  
 CONDENSATION MANAGEMENT

**PLAN ACCEPTANCE BY OWNER**

SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_

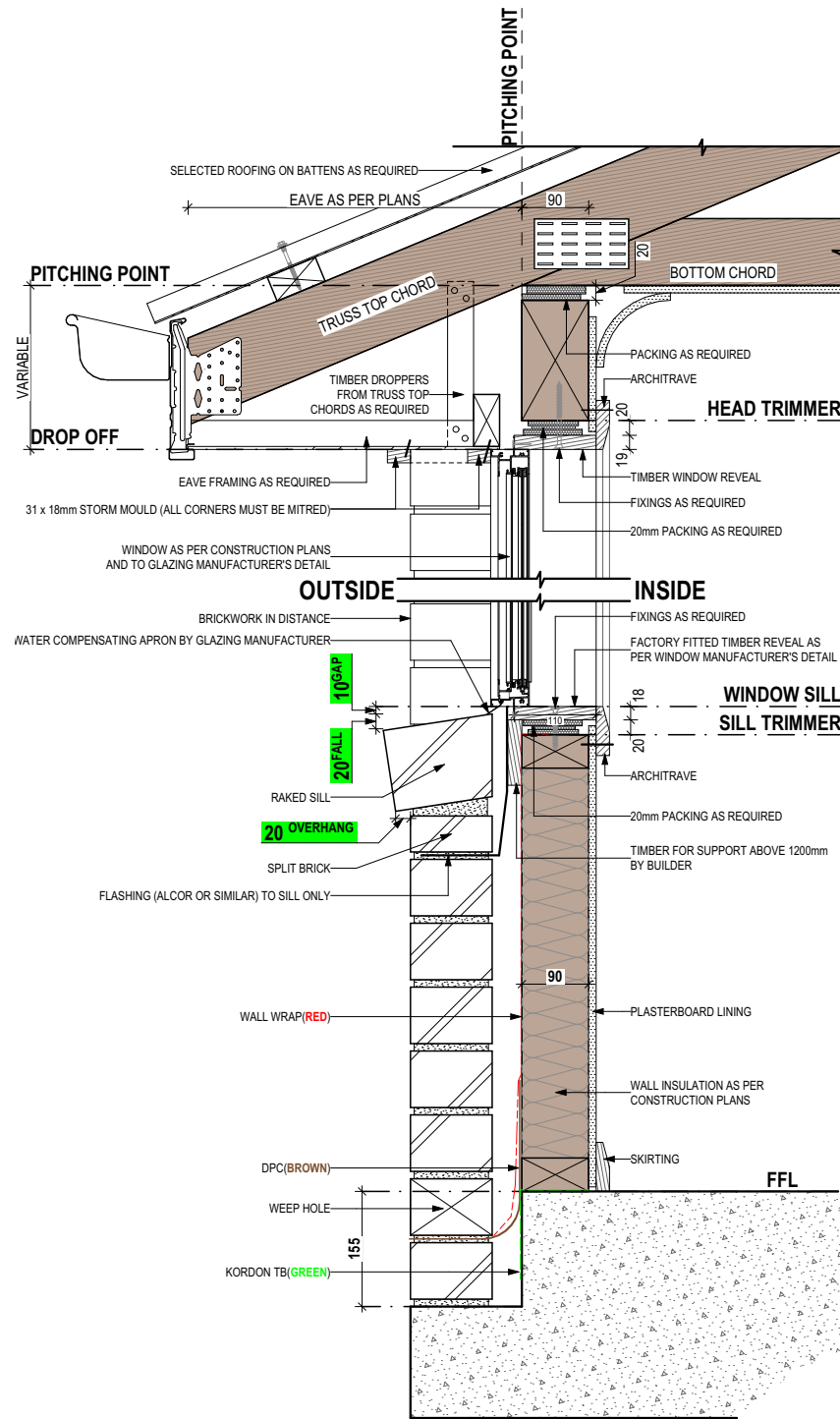
SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_

PLEASE NOTE THAT VARIATIONS WILL NOT BE ACCEPTED AFTER THIS PLAN ACCEPTANCE HAS BEEN SIGNED

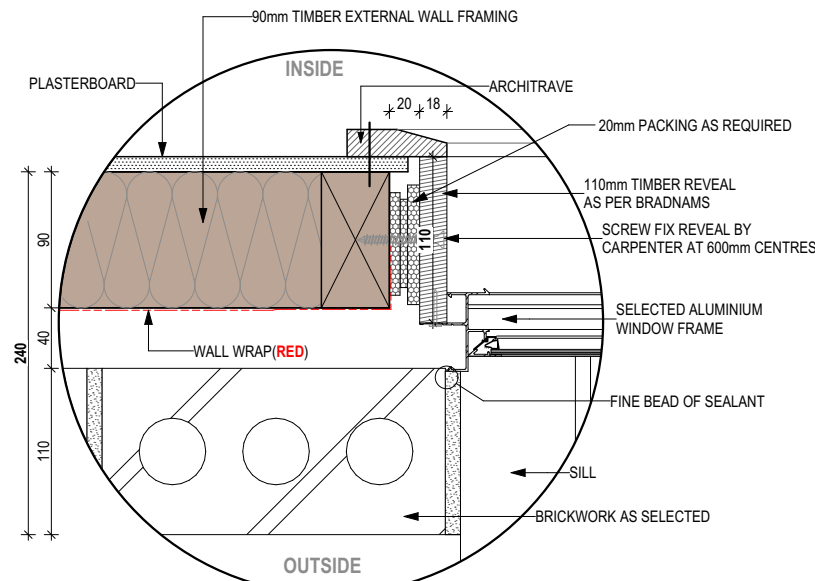


SPECIFICATION: <b>DESIGNER</b> COPYRIGHT: © 2026	REVISION		DRAWN		CLIENT:	HOUSE DESIGN:	HOUSE CODE:	DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.  <b>714588</b>
	2	NEW COMPREHENSIVE QUOTE REVISION	JJI	05/12/2025	JOSHUA ADAM KUSNEZOW	SOMERSET 17	H-WDNSMS10SA	
	3	NEW COMPREHENSIVE QUOTE REVISION	JJI	09/01/2026	ADDRESS:	FACADE DESIGN:	FACADE CODE:	
	4	NEW COMPREHENSIVE QUOTE REVISION 2	JJI	05/02/2026	24 LEWIS DR, OLD BEACH TAS 7017	CLASSIC	F-WDNSMS10CLASA	
	5	CONSOLIDATED PROPOSAL 1	JJI	11/03/2026	LOT / SECTION / CT:	SHEET TITLE:	SHEET No.:	
	6	PRELIM PLANS - INITIAL ISSUE	KPH	20/03/2026	276 / - / 189454	COUNCIL: BRIGHTON	7 / 20	





**SECTIONS**  
SCALE: 1:10



**DETAILS**  
SCALE: 1:5

STANDARD BRICK								STANDARD BRICK															
BRICKWORK DIMENSIONS				Bricks per m <sup>2</sup> in wall = 48.5 approx.				all dimensions in mm				BRICKWORK DIMENSIONS				Bricks per m <sup>2</sup> in wall = 48.5 approx.				all dimensions in mm			
FORMAT SIZE:		MANUFACTURING SIZE:		VERTICAL GAUGE:		FORMAT SIZE:		MANUFACTURING SIZE:		VERTICAL GAUGE:		FORMAT SIZE:		MANUFACTURING SIZE:		VERTICAL GAUGE:							
240x120x86mm		230x110x76mm		7 Courses to 600mm		240x120x86mm		230x110x76mm		7 Courses to 600mm		240x120x86mm		230x110x76mm		7 Courses to 600mm							
NO. OF BRICKS	LENGTH	OPENING	HEIGHT	NO. OF BRICKS	LENGTH	OPENING	HEIGHT	NO. OF BRICKS	LENGTH	OPENING	HEIGHT	NO. OF BRICKS	LENGTH	OPENING	HEIGHT	NO. OF BRICKS	LENGTH	OPENING	HEIGHT				
1	230	250	86	26	6230	6250	2229	11	2630	2650	943	36 <sup>1</sup> / <sub>2</sub>	8630						3086				
1 <sup>1</sup> / <sub>2</sub>	350	370		26 <sup>1</sup> / <sub>2</sub>	6350	6370		11 <sup>1</sup> / <sub>2</sub>	2750	2770		36 <sup>1</sup> / <sub>2</sub>	8750						3172				
2	470	490	172	27	6470	6490	2314	12	2870	2890	1029	37	8870						3257				
2 <sup>1</sup> / <sub>2</sub>	590	610		27 <sup>1</sup> / <sub>2</sub>	6590	6610		12 <sup>1</sup> / <sub>2</sub>	2990	3010		37 <sup>1</sup> / <sub>2</sub>	8990						3343				
3	710	730	257	28	6710	6730	2400	13	3110	3130	1114	38	9110						3429				
3 <sup>1</sup> / <sub>2</sub>	830	850		28 <sup>1</sup> / <sub>2</sub>	6830	6850		13 <sup>1</sup> / <sub>2</sub>	3230	3250		38 <sup>1</sup> / <sub>2</sub>	9230						3514				
4	950	970	343	29	6950	6970	2486	14	3350	3370	1200	39	9350						3600				
4 <sup>1</sup> / <sub>2</sub>	1070	1090		29 <sup>1</sup> / <sub>2</sub>	7070	7090		14 <sup>1</sup> / <sub>2</sub>	3470	3490		39 <sup>1</sup> / <sub>2</sub>	9470						3686				
5	1190	1210	429	30	7190	7210	2572	15	3590	3610	1286	40	9590						3772				
5 <sup>1</sup> / <sub>2</sub>	1310	1330		30 <sup>1</sup> / <sub>2</sub>	7310	7330		15 <sup>1</sup> / <sub>2</sub>	3710	3730		40 <sup>1</sup> / <sub>2</sub>	9710						3857				
6	1430	1450	514	31	7430	7450	2657	16	3830	3850	1372	41	9830						3943				
6 <sup>1</sup> / <sub>2</sub>	1550	1570		31 <sup>1</sup> / <sub>2</sub>	7550	7570		16 <sup>1</sup> / <sub>2</sub>	3950	3970		41 <sup>1</sup> / <sub>2</sub>	9950						4029				
7	1670	1690	600	32	7670	7690	2743	17	4070	4090	1457	42	10070						4114				
7 <sup>1</sup> / <sub>2</sub>	1790	1810		32 <sup>1</sup> / <sub>2</sub>	7790	7810		17 <sup>1</sup> / <sub>2</sub>	4190	4210		42 <sup>1</sup> / <sub>2</sub>	10190						4200				
8	1910	1930	686	33	7910	7930	2829	18	4310	4330	1543	43	10310						4286				
8 <sup>1</sup> / <sub>2</sub>	2030	2050		33 <sup>1</sup> / <sub>2</sub>	8030	8050		18 <sup>1</sup> / <sub>2</sub>	4430	4450		43 <sup>1</sup> / <sub>2</sub>	10430						4372				
9	2150	2170	772	34	8150	8170	2914	19	4550	4570	1629	44	10550						4457				
9 <sup>1</sup> / <sub>2</sub>	2270	2290		34 <sup>1</sup> / <sub>2</sub>	8270	8290		19 <sup>1</sup> / <sub>2</sub>	4670	4690		44 <sup>1</sup> / <sub>2</sub>	10670						4543				
10	2390	2410	857	35	8390	8400	3000	20	4790	4810	1714	45	10790						4629				
									20 <sup>1</sup> / <sub>2</sub>	4910	4930		45 <sup>1</sup> / <sub>2</sub>	10910					4714				
									21	5030	5050	1800	46	11030					4800				
									21 <sup>1</sup> / <sub>2</sub>	5150	5170		46 <sup>1</sup> / <sub>2</sub>	11150					4886				
									22	5270	5290	1886	47	11270					4972				
									22 <sup>1</sup> / <sub>2</sub>	5390	5410		47 <sup>1</sup> / <sub>2</sub>	11390					5057				
									23	5510	5530	1972	48	11510					5143				
									23 <sup>1</sup> / <sub>2</sub>	5630	5650		48 <sup>1</sup> / <sub>2</sub>	11630					5229				
									24	5750	5770	2057	49	11750					5314				
									24 <sup>1</sup> / <sub>2</sub>	5870	5890		49 <sup>1</sup> / <sub>2</sub>	11870					5400				
									25	5990	6010	2143	50	11990					5486				
									25 <sup>1</sup> / <sub>2</sub>	6110	6130		50	12110					5572				

NOT OFTEN REQUIRED. IF NEEDED ADD 20 TO LENGTH.

**SUBJECT TO NCC 2022  
(1 MAY 2023)  
WATERPROOFING & PLUMBING  
CONDENSATION MANAGEMENT**

**PLAN ACCEPTANCE BY OWNER**

SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_

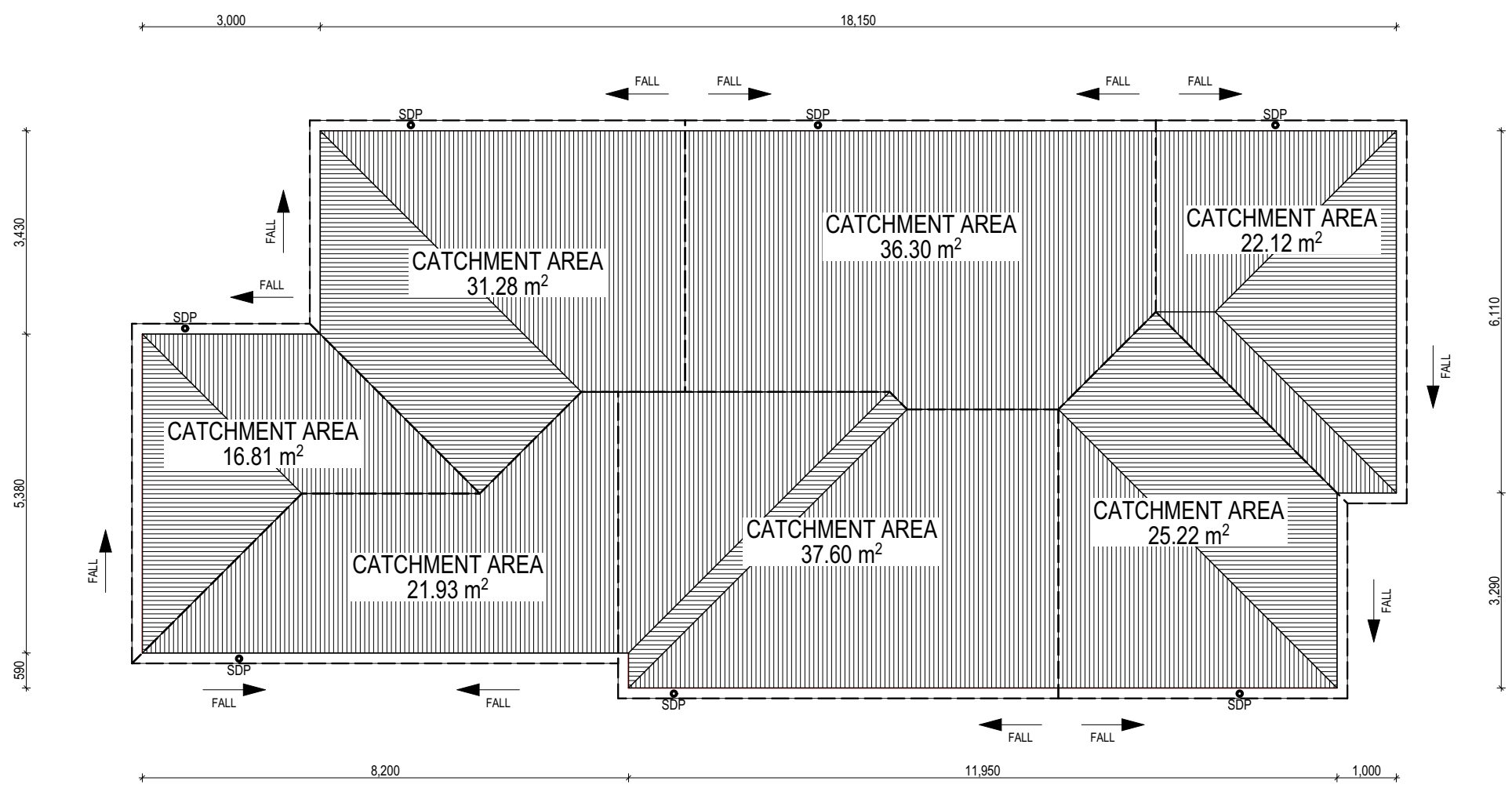
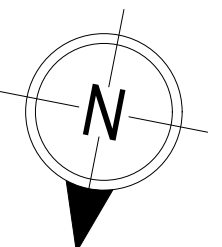
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REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:  
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- SITE CLASSIFICATION  
- GENERAL BUILDING INFORMATION

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	DESIGNER		2	JJI 05/12/2025	JOSHUA ADAM KUSNEZOW	SOMERSET 17	H-WDNSMS10SA	
	COPYRIGHT:		3	JJI 09/01/2026	ADDRESS:	CLASSIC	FACADE CODE:	
	© 2026		4	JJI 05/02/2026	24 LEWIS DR, OLD BEACH TAS 7017		F-WDNSMS10CLASA	
			5	JJI 11/03/2026	LOT / SECTION / CT:	DETAILS (FACE BRICKWORK)	SCALES:	
			6	KPH 20/03/2026	276 / - / 189454	BRIGHTON	9 / 20	
							714588	



WHERE DOWNPIPES ARE FURTHER THAN 1.2m AWAY FROM VALLEY REFER TO N.C.C. 7.3.5(2)

POSITION AND QUALITY OF DOWNPIPES ARE NOT TO BE ALTERED WITHOUT CONSULTATION WITH DESIGNER.

AREAS SHOWN ARE SURFACE AREAS/ CATCHMENT AREAS, NOT PLAN AREAS

Roofing Data		
	180.39	Flat Roof Area (excluding gutter and slope factor) (m <sup>2</sup> )
	195.97	Roof Surface Area (includes slope factor, excludes gutter) (m <sup>2</sup> )
Downpipe roof calculations (as per AS/NZA3500.3:2021)		
Ah	191.26	Area of roof catchment (including 115mm Slotted Quad Gutter) (m <sup>2</sup> )
Ac	231.42	Ah x Catchment Area Multiplier for slope (Table 3.4.3.2 from AS/NZS 3500.3:2021) (1.21 for 23° pitch) (m <sup>2</sup> )
Ae	6300	Cross sectional area of 57 x 115 Slotted Quad Gutter (mm <sup>2</sup> )
DRI	83	Design Rainfall Intensity (determined from Table E1 from AS/NZS 3500.3:2021)
Acdp	64	Catchment area per Downpipe (determined from Figure 3.5(A) from AS/NZS 3500.3:2021) (m <sup>2</sup> )
Required Downpipes	3.62	Ac / Acdp
Downpipes Provided	7	

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CONDENSATION MANAGEMENT

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SPECIFICATION:	REVISION	DRAWN	CLIENT:
DESIGNER	2 NEW COMPREHENSIVE QUOTE REVISION	JII 05/12/2025	JOSHUA ADAM KUSNEZOW
COPYRIGHT:	3 NEW COMPREHENSIVE QUOTE REVISION	JII 09/01/2026	ADDRESS:
© 2026	4 NEW COMPREHENSIVE QUOTE REVISION 2	JII 05/02/2026	24 LEWIS DR, OLD BEACH TAS 7017
	5 CONSOLIDATED PROPOSAL 1	JII 11/03/2026	LOT / SECTION / CT:
	6 PRELIM PLANS - INITIAL ISSUE	KPH 20/03/2026	276 / - / 189454
			COUNCIL:
			BRIGHTON

HOUSE DESIGN:	HOUSE CODE:
SOMERSET 17	H-WDNSMS10SA
FACADE DESIGN:	FACADE CODE:
CLASSIC	F-WDNSMS10CLASA
SHEET TITLE:	SHEET No.:
ROOF DRAINAGE PLAN	10 / 20

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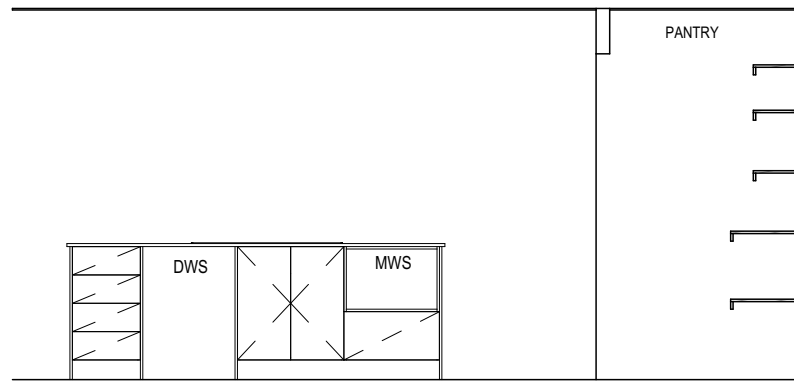
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Template Version: 24.041



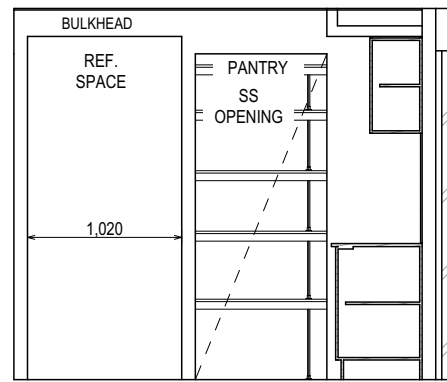


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 - SUSTAINABILITY REQUIREMENTS  
 - SITE CLASSIFICATION  
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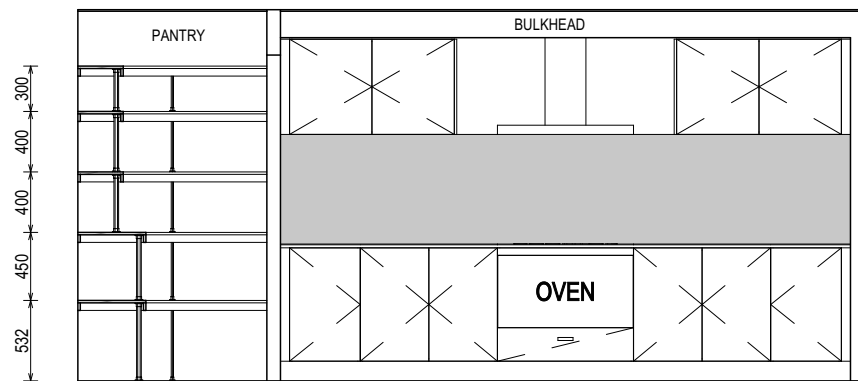
DETAILS DEPICTED ON THIS SHEET ARE A REPRESENTATION ONLY. JOINER MAY ADJUST CABINETS AS REQUIRED.



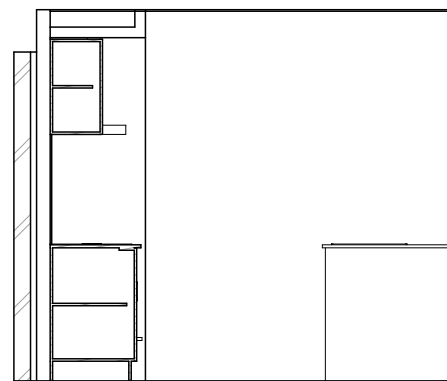
ELEVATION A  
SCALE: 1:50



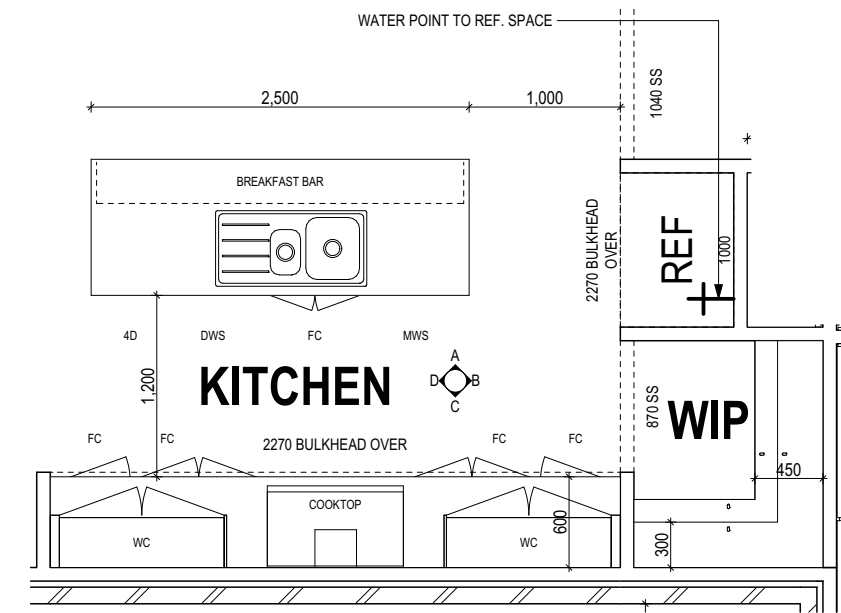
ELEVATION B  
SCALE: 1:50



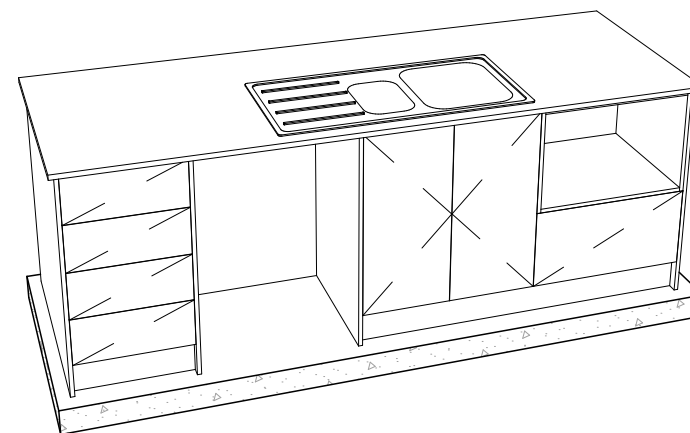
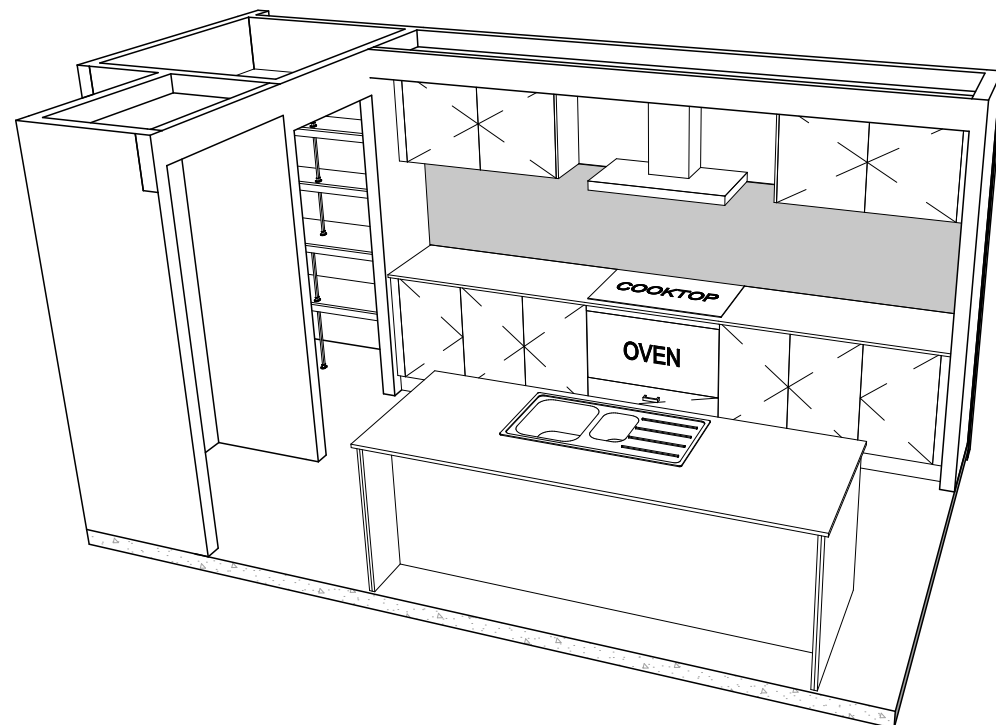
ELEVATION C  
SCALE: 1:50



ELEVATION D  
SCALE: 1:50



KITCHEN PLAN  
SCALE: 1:50



PRELIMINARY

**SUBJECT TO NCC 2022  
(1 MAY 2023)  
WATERPROOFING & PLUMBING  
CONDENSATION MANAGEMENT**

**PLAN ACCEPTANCE BY OWNER**

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			6	PRELIM PLANS - INITIAL ISSUE	KPH 20/03/2026	276 / - / 189454	KITCHEN DETAILS		13 / 20
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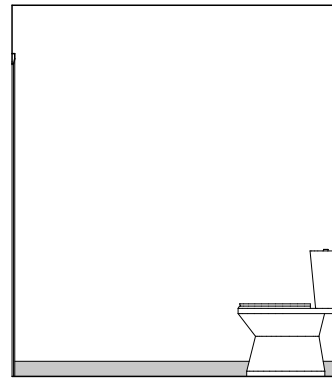


REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:  
 - SUSTAINABILITY REQUIREMENTS  
 - SITE CLASSIFICATION  
 - GENERAL BUILDING INFORMATION

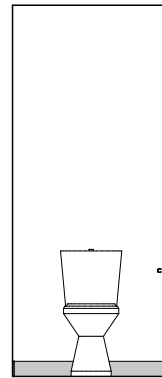
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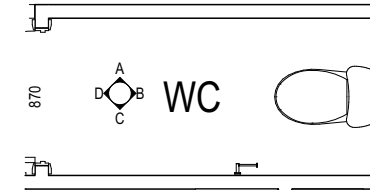
- RSHR RAIL SHOWER
- ROSE SHOWER ROSE
- ELBW SHOWER ELBOW CONNECTION
- MIX MIXER TAP
- HT HOT TAP
- CT COLD TAP
- HS HOB SPOUT
- WS WALL SPOUT
- SC STOP COCK
- TRH TOILET ROLL HOLDER
- TR-S TOWEL RAIL - SINGLE
- TR-D TOWEL RAIL - DOUBLE
- TL TOWEL LADDER
- TH TOWEL HOLDER
- TR TOWEL RACK
- TMB TUMBLER HOLDER
- RNG TOWEL RING
- RH ROBE HOOK
- SHLF SHELF
- SR SHAMPOO RECESS
- SOAP SOAP HOLDER



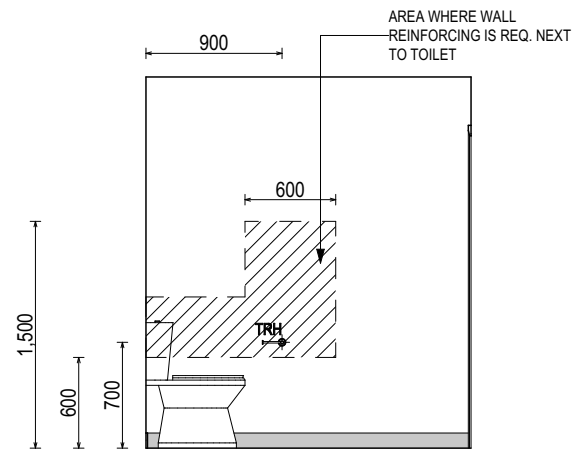
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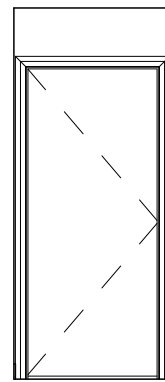
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PRELIMINARY

**SUBJECT TO NCC 2022  
(1 MAY 2023)  
WATERPROOFING & PLUMBING  
CONDENSATION MANAGEMENT**

**PLAN ACCEPTANCE BY OWNER**

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**WET AREA NOTES**

VESSELS OR AREA WHERE THE FIXTURE IS INSTALLED	FLOORS AND HORIZONTAL SURFACES	WALLS	WALL JUNCTIONS AND JOINTS	PENETRATIONS
ENCLOSED SHOWER WITH HOB	WATERPROOF ENTIRE ENCLOSED SHOWER AREA INCLUDING HOB.	WATERPROOF TO NOT LESS THAN 150mm ABOVE THE SHOWER FLOOR SUBSTRATE OR NOT LESS THAN 25mm ABOVE THE MAXIMUM RETAINED WATER LEVEL WHICH EVER IS THE GREATER WITH THE REMAINDER BEING WATERPROOF TO A HEIGHT OF NOT LESS THAN 1800mm ABOVE THE FINISHED FLOOR LEVEL.	WATERPROOF INTERNAL AND EXTERNAL CORNERS AND HORIZONTAL JOINTS WITHIN A HEIGHT OF 1800mm ABOVE THE FLOOR LEVEL WITH NOT LESS THAN 40mm WIDTH EITHER SIDE OF THE JUNCTION.	WATERPROOF ALL PENETRATIONS.
ENCLOSED SHOWER WITHOUT HOB	WATERPROOF ENTIRE ENCLOSED SHOWER AREA, INCLUDING WATERSTOP.	WATERPROOF TO NOT LESS THAN 150mm ABOVE THE SHOWER FLOOR SUBSTRATE WITH THE REMAINDER BEING WATERPROOF TO A HEIGHT OF NOT LESS THAN 1800mm ABOVE THE FINISHED FLOOR LEVEL.	WATERPROOF INTERNAL AND EXTERNAL CORNERS AND HORIZONTAL JOINTS WITHIN A HEIGHT OF 1800mm ABOVE THE FLOOR LEVEL WITH NOT LESS THAN 40mm WIDTH EITHER SIDE OF THE JUNCTION.	WATERPROOF ALL PENETRATIONS.
ENCLOSED SHOWER WITH STEPDOWN	WATERPROOF ENTIRE ENCLOSED SHOWER AREA INCLUDING THE STEPDOWN.	WATERPROOF TO NOT LESS THAN 150mm ABOVE THE SHOWER FLOOR SUBSTRATE OR NOT LESS THAN 25mm ABOVE THE MAXIMUM RETAINED WATER LEVEL WHICHEVER IS THE GREATER WITH THE REMAINDER BEING WATERPROOF TO A HEIGHT OF NOT LESS THAN 1800mm ABOVE THE FINISHED FLOOR LEVEL.	WATERPROOF INTERNAL AND EXTERNAL CORNERS AND HORIZONTAL JOINTS WITHIN A HEIGHT OF 1800mm ABOVE THE FLOOR LEVEL WITH NOT LESS THAN 40mm WIDTH EITHER SIDE OF THE JUNCTION.	WATERPROOF ALL PENETRATIONS.
ENCLOSED SHOWER WITH PRE-FORMED SHOWER BASE	N/A	WATERPROOF TO A HEIGHT OF NOT LESS THAN 1800mm ABOVE FINISHED FLOOR LEVEL.	WATERPROOF INTERNAL AND EXTERNAL CORNERS AND HORIZONTAL JOINTS WITHIN A HEIGHT OF 1800mm ABOVE THE FLOOR LEVEL WITH NOT LESS THAN 40mm WIDTH EITHER SIDE OF THE JUNCTION.	WATERPROOF ALL PENETRATIONS.
UNENCLOSED SHOWERS	WATERPROOF ENTIRE UNCLOSED SHOWER AREA.	WATERPROOF TO NOT LESS THAN 150mm ABOVE THE SHOWER FLOOR SUBSTRATE OR NOT LESS THAN 25mm ABOVE THE MAXIMUM RETAINED WATER LEVEL WHICH EVER IS THE GREATER WITH THE REMAINDER BEING WATERPROOF TO A HEIGHT OF NOT LESS THAN 1800mm ABOVE THE FINISHED FLOOR LEVEL.	WATERPROOF INTERNAL AND EXTERNAL CORNERS AND HORIZONTAL JOINTS WITHIN A HEIGHT OF 1800mm ABOVE THE FLOOR LEVEL WITH NOT LESS THAN 40mm WIDTH EITHER SIDE OF THE JUNCTION.	WATERPROOF ALL PENETRATIONS.
AREAS OUTSIDE THE SHOWER AREA FOR CONCRETE AND COMPRESSED FIBRE CEMENT SHEET FLOORING	WATER RESISTANT TO ENTIRE FLOOR.	N/A	WATERPROOF ALL WALL/FLOOR JUNCTIONS. WHERE A FLASHING IS USED THE HORIZONTAL LEG MUST BE NOT LESS THAN 40mm.	N/A
AREAS OUTSIDE THE SHOWER AREA FOR TIMBER FLOORS INCLUDING PARTICLEBOARD, PLYWOOD AND OTHER TIMBER BASED FLOORING MATERIALS	WATERPROOF ENTIRE FLOOR.	N/A	WATERPROOF ALL WALL/FLOOR JUNCTIONS. WHERE A FLASHING IS USED THE HORIZONTAL LEG MUST BE NOT LESS THAN 40mm.	N/A
AREAS ADJACENT TO BATHS AND SPAS FOR CONCRETE AND COMPRESSED FIBRE CEMENT SHEET FLOORING.	WATER RESISTANT TO ENTIRE FLOOR.	WATERPROOF TO A HEIGHT OF NOT LESS THAN 150mm ABOVE THE VESSEL AND EXPOSED SURFACES BELOW THE VESSEL LIP TO FLOOR LEVEL.	WATERPROOF EDGES OF THE VESSEL AND JUNCTION OF BATH ENCLOSURE WITH FLOOR. WHERE THE LIP OF THE BATH IS SUPPORTED BY A HORIZONTAL SURFACE, THIS MUST BE WATERPROOF FOR SHOWERS OVER BATH AND WATER RESISTANT FOR ALL OTHER CASES.	WATERPROOF ALL TAP AND SPOUT PENETRATIONS WHERE THEY OCCUR IN A HORIZONTAL SURFACE.
AREAS ADJACENT TO BATHS AND SPAS (SEE NOTE 1) FOR TIMBER FLOORS INCLUDING PARTICLEBOARD, PLYWOOD AND OTHER TIMBER BASED FLOORING MATERIALS.	WATERPROOF ENTIRE FLOOR.	WATERPROOF TO A HEIGHT OF NOT LESS THAN 150mm ABOVE THE VESSEL AND EXPOSED SURFACES BELOW THE VESSEL LIP TO FLOOR LEVEL.	WATERPROOF EDGES OF THE VESSEL AND JUNCTION OF BATH ENCLOSURE WITH FLOOR. WHERE THE LIP OF THE BATH IS SUPPORTED BY A HORIZONTAL SURFACE, THIS MUST BE WATERPROOF FOR SHOWERS OVER BATH AND WATER RESISTANT FOR ALL OTHER CASES.	WATERPROOF ALL TAP AND SPOUT PENETRATIONS WHERE THEY OCCUR IN A HORIZONTAL SURFACE.
INSERTED BATHS	N/A FOR FLOOR UNDER BATH. ANY SHELF AREA ADJOINING THE BATH OR SPA MUST BE WATERPROOF AND INCLUDE A WATERSTOP UNDER THE VESSEL LIP.	N/A FOR WALL UNDER BATH. WATERPROOF TO NOT LESS THAN 150mm ABOVE THE LIP OF THE BATH.	N/A FOR WALL UNDER BATH. WATERPROOF TO NOT LESS THAN 150 mm ABOVE THE LIP OF A BATH OR SPA.	WATERPROOF ALL TAP AND SPOUT PENETRATIONS WHERE THEY OCCUR IN A HORIZONTAL SURFACE.
WALLS ADJOINING OTHER VESSELS (EG. SINKS, LAUNDRY TUBS AND BASINS)	N/A	WATERPROOF TO A HEIGHT OF NOT LESS THAN 150mm ABOVE THE VESSEL IF THE VESSEL IS WITHIN 75mm OF THE WALL.	WHERE THE VESSEL IS FIXED TO A WALL, WATERPROOF EDGES FOR EXTENT OF VESSEL.	WATERPROOF ALL TAP AND SPOUT PENETRATIONS WHERE THEY OCCUR IN A HORIZONTAL SURFACE.
LAUNDRIES AND WCS	WATER RESISTANT TO ENTIRE FLOOR.	WATERPROOF ALL WALL/FLOOR JUNCTIONS TO NOT LESS THAN 25mm ABOVE THE FINISHED FLOOR LEVEL, SEALED TO FLOOR.	WATERPROOF ALL WALL/FLOOR JUNCTIONS. WHERE A FLASHING IS USED THE HORIZONTAL LEG MUST BE NOT LESS THAN 40mm.	N/A

THE ABOVE INFORMATION IS FOR GENERAL GUIDANCE AND IS INDICATIVE ONLY. WATERPROOFING INSTALLERS TO COMPLY WITH ALL CURRENT CODES OF LEGISLATION WHICH TAKE PRECEDENCE OVER THIS SPECIFICATION.

WET AREA WAERPROOFING BY LICENSED AND ACCREDITED INSTALLER. CERTIFICATION TO BE PROVIDED TO BUILDING SURVEYOR. CONTRACTOR OR BUILDER TO DETERMINE THE APPROPRIATE WATERPROOFING IN ACCORDANCE WITH AS3740 PART 10.2 OF N.C.C AND TO NOTIFY THE BUILDING SURVEYOR FOR INSPECTION ARRANGEMENTS DURING INSTALLATION.

**ENERGY EFFICIENCY - GENERAL**

STATED R VALUES ARE FOR ADDITIONAL INSULATION REQUIRED AND ARE NOT RT VALUES (TOTAL SYSTEM VALUE)

WAFFLE POD ALLOWANCES:

- R0.6 - 175mm DEEP
- R0.7 - 225mm DEEP
- R0.8 - 300mm DEEP
- R0.9 - 375mm DEEP

INSULATION TO BE INSTALLED TO MANUFACTURERS SPECIFICATIONS AND ANY RELEVANT STANDARDS

BULK INSULATION IS NOT TO BE COMPRESSED AS THIS REDUCES THE EFFECTIVE R RATING

**N.C.C 2022 TAS PART H6**

IN TASMANIA, FOR NCC PART H6 REFER TO NCC 2019 AMENDMENT 1 PART 2.6; FOR NCC PART 13.1 REFER TO NCC 2019 PART 3.12

**N.C.C 2019 3.12.0 (A)**

PERFORMANCE REQUIREMENT P2.6.1 FOR THE THERMAL PERFORMANCE OF THE BUILDING IS SATISFIED BY COMPLYING WITH:

**3.12.0.1 - FOR REDUCING THE HEATING AND COOLING LOADS**

TO REDUCE HEATING AND COOLING LOADS MUST ACHIEVE AN ENERGY RATING USING HOUSING ENERGY RATING SOFTWARE OF NOT LESS THAN 6 STARS.

**3.12.1.1 - FOR BUILDING FABRIC THERMAL INSULATION**

BUILDER TO ENSURE THAT ALL INSULATION COMPLIES WITH AS/NZS 4859.1 AND BE INSTALLED TO N.C.C 3.12.1.1.

**3.12.1.2(e) - FOR COMPENSATING FOR A LOSS OF CEILING INSULATION**

REFER TO ATTACHED THERMAL PERFORMANCE CERTIFICATE

- (i) IF ALLOWANCE HAS BEEN MADE FOR CEILING PENETRATIONS IN NATHERS (FIRST RATE 5) CERTIFICATION PROCESS THEN NO FURTHER ACTION REQUIRED.
- (ii) IF NO ALLOWANCE HAS BEEN MADE FOR CEILING PENETRATIONS IN NATHERS (FIRST RATE 5) CERTIFICATION PROCESS THEN CEILING PENETRATION AREA MUST BE CALCULATED AND THE NECESSARY ADJUSTMENT MADE TO THE SPECIFIED INSULATION AS PER TABLE 3.12.1.1B OF NCC

**3.12.1.5(c) AND 3.12.1.5(d) - FOR FLOOR EDGE INSULATION**

FOR CONCRETE SLAB ON GROUND WITH IN SLAB HEATING OR COOLING.

**3.12.3 - FOR BUILDING SEALING**

**3.12.3.1 - CHIMNEYS AND FLUES**

THE CHIMNEY OR FLUE OF AN OPEN SOLID FUEL BURNING APPLIANCE MUST BE PROVIDED WITH A DAMPER OR FLAP THAT CAN BE CLOSED TO SEAL THE CHIMNEY OR FLUE.

**3.12.3.2 - ROOF LIGHTS**

(a) A ROOF LIGHT MUST BE SEALED, OR CAPABLE OF BEING SEALED WHEN SERVING:

- (i) A CONDITIONED SPACE; OR
- (ii) A HABITABLE ROOM IN CLIMATE ZONES 4, 5, 6, 7 OR 8

(b) A ROOF LIGHT REQUIRED BY (a) TO BE SEALED, OR CAPABLE OF BEING SEALED MUST BE CONSTRUCTED WITH:

- (i) AN IMPERFORATE CEILING DIFFUSER OR THE LIKE INSTALLED AT A CEILING OR INTERNAL LINING LEVEL; OR
- (ii) A WATERPROOF SEAL; OR
- (iii) A SHUTTER SYSTEM READILY OPERATED MANUALLY, MECHANICALLY OR ELECTRONICALLY BY THE OCCUPANT.

**3.12.0.1 - EXTERNAL WINDOWS AND DOORS**

(a) A SEAL TO RESTRICT AIR INFILTRATION MUST BE FITTED TO EACH OF AN EXTERNAL DOOR, OPENABLE WINDOW AND OTHER SUCH OPENING:

- (i) WHEN SERVING A CONDITIONED SPACE; OR
- (ii) IN CLIMATE ZONES 4, 5, 6, 7 OR 8, WHEN SERVING A HABITABLE ROOM.

(b) A WINDOW COMPLYING WITH THE MAXIMUM AIR INFILTRATION RATES SPECIFIED IN AS2047 NEED NOT COMPLY WITH (a).

(c) A SEAL REQUIRED BY (a)

- (i) FOR THE BOTTOM EDGE OF AN INTERNAL SWING DOOR, MUST BE A DRAFT PROTECTION DEVICE; AND
- (ii) FOR THE OTHER EDGES OF AN EXTERNAL SWING DOOR OR THE EDGES OF AN OPENABLE WINDOW OR OTHER SUCH OPENING, MAY BE A FOAM OR RUBBER COMPRESSIBLE STRIP, FIBROUS SEAL OR THE LIKE.

**3.12.3.4 - EXHAUST FANS**

AN EXHAUST FAN MUST BE FITTED WITH A SEALING DEVICE SUCH AS A SELF CLOSE DAMPER, FILTER OR THE LIKE WHEN SERVING:

- (a) A CONDITIONED SPACE; OR
- (b) A HABITABLE ROOM IN THE CLIMATE ZONES 4, 5, 6, 7 OR 8.

**3.12.3.5 - CONSTRUCTION OF ROOF, WALLS AND FLOORS**

(a) ROOFS, EXTERNAL WALLS, EXTERNAL FLOORS AND AN OPENING SUCH AS A WINDOW FRAME, DOOR FRAME, ROOF LIGHT FRAME OR THE LIKE MUST BE CONSTRUCTED TO MINIMISE AIR LEAKAGE IN ACCORDANCE WITH (b) WHEN FORMING PART OF THE EXTERNAL FABRIC OF:

- (i) A CONDITIONED SPACE; OR
- (ii) A HABITABLE ROOM IN CLIMATE ZONE 4, 5, 6, 7 OR 8.

(b) CONSTRUCTION REQUIRED BY (a) MUST BE:

- (i) ENCLOSED BY AN INTERNAL LINING SYSTEM THAT ARE CLOSE FITTING AT CEILING, WALL AND FLOOR JUNCTIONS; OR
- (ii) SEALED BY CAULKING, SKIRTING, ARCHITRAVES, CORNICES OR THE LIKE.

**3.12.3.6 - EVAPORATIVE COOLERS**

AN EVAPORATIVE COOLER MUST BE FITTED WITH A SELF CLOSING DAMPER OR THE LIKE WHEN SERVING:

- (a) A HEATED SPACE; OR
- (b) A HABITABLE ROOM IN CLIMATE ZONES 4, 5, 6, 7 OR 8.

**3.12.5.5 - ARTIFICIAL LIGHTING**

(a) LAMP POWER DENSITY OR ILLUMINATION POWER DENSITY OF AN ARTIFICIAL LIGHT, EXCLUDING HEATING THAT EMITS LIGHT, MUST NOT EXCEED THE ALLOWANCE OF:

- (i) 5W/m<sup>2</sup> IN A CLASS 1 BUILDING
- (ii) 4W/m<sup>2</sup> ON A VERANDAH, BALCONY OR THE LIKE ATTACHED TO A CLASS 1 BUILDING (NOT EXCLUDING EAVE PERIMETER LIGHTS);
- (iii) 3W/m<sup>2</sup> IN A CLASS 10A BUILDING ASSOCIATED WITH A CLASS 1 BUILDING.

(b) THE ILLUMINATION POWER DENSITY ALLOWANCE IN (a) MAY BE INCREASED BY DIVIDING IT BY THE ILLUMINATION POWER DENSITY ADJUSTMENT FACTOR FOR A CONTROL DEVICE AS PER N.C.C TABLE 3.12.5.3.

**SUBJECT TO NCC 2022  
(1 MAY 2023)  
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CONDENSATION MANAGEMENT**


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