



# Application for Planning Approval

## *Land Use Planning and Approvals Act 1993*

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APPLICATION NO.

**DA2026/056**

LOCATION OF AFFECTED AREA

**9 MAGUS TERRACE, OLD BEACH**

DESCRIPTION OF DEVELOPMENT PROPOSAL

**SINGLE DWELLING**

A COPY OF THE DEVELOPMENT APPLICATION MAY BE VIEWED AT [www.brighton.tas.gov.au](http://www.brighton.tas.gov.au) AND AT THE COUNCIL OFFICES, 1 TIVOLI ROAD, OLD BEACH, BETWEEN 8:15 A.M. AND 4:45 P.M, MONDAY TO FRIDAY OR VIA THE QR CODE BELOW. ANY PERSON MAY MAKE WRITTEN REPRESENTATIONS IN ACCORDANCE WITH S.57(5) OF THE LAND USE PLANNING AND APPROVALS ACT 1993 CONCERNING THIS APPLICATION UNTIL 4:45 P.M. ON **28/04/2026**. ADDRESSED TO THE CHIEF EXECUTIVE OFFICER AT 1 TIVOLI ROAD, OLD BEACH, 7017 OR BY EMAIL AT [development@brighton.tas.gov.au](mailto:development@brighton.tas.gov.au). REPRESENTATIONS SHOULD INCLUDE A DAYTIME TELEPHONE NUMBER TO ALLOW COUNCIL OFFICERS TO DISCUSS, IF NECESSARY, ANY MATTERS RAISED.

**JAMES DRYBURGH**  
**Chief Executive Officer**



**Brighton**  
going places

# PROPOSED DWELLING

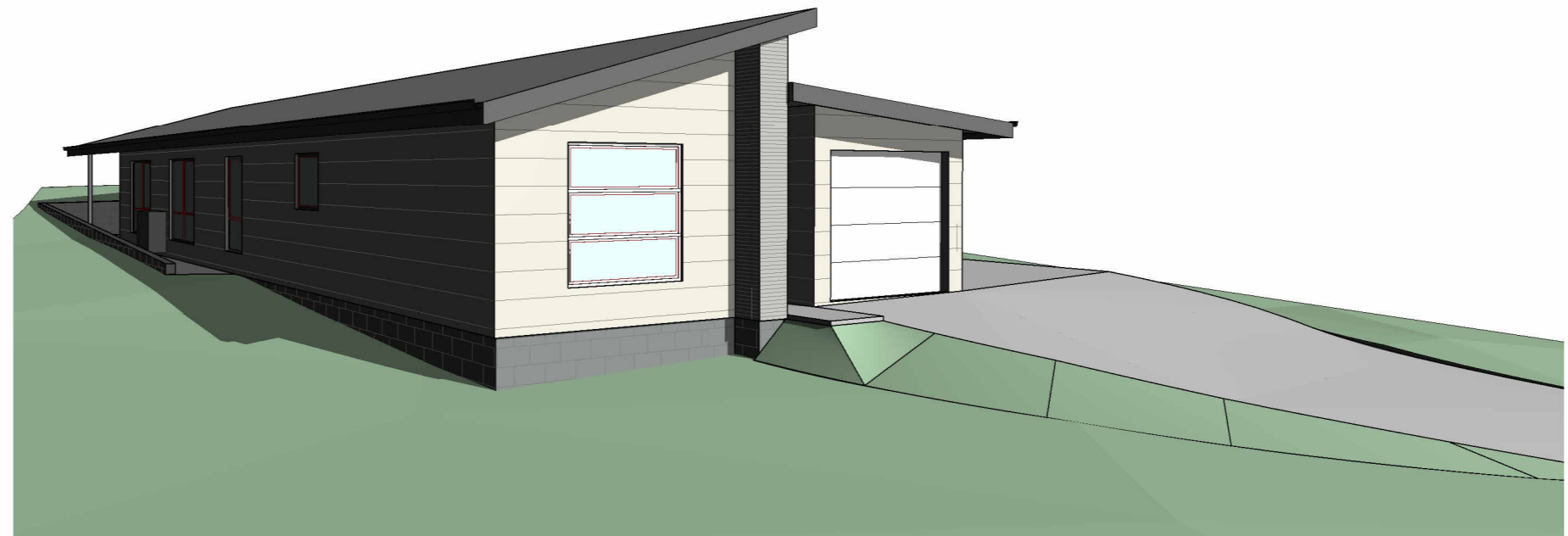
## LOT 20, 9 MAGUS COURT

### OLD BEACH

DARRYN & AIMEE PARNELL

#### BUILDING DRAWINGS

<u>No</u>	<u>DRAWING</u>
01	SITE PLAN
02	SITE DRAINAGE PLAN
03	LOCALITY PLAN
04	SOIL & WATER MANAGEMENT PLAN
05	FLOOR PLAN
06	ROOF PLAN
07	ELEVATIONS
08	ELEVATIONS
09	DOOR AND WINDOW SCHEDULES
10	ELECTRICAL/REFLECTED CEILING PLAN
11	FLOOR FINISHES PLAN
12	PERSPECTIVES



GENERAL PROJECT INFORMATION  
TITLE REFERENCE: FOLIO/VOLUME  
SITE AREA: 640m<sup>2</sup>  
DESIGN WIND SPEED: TBC  
SOIL CLASSIFICATION: TBC  
CLIMATE ZONE: 7  
ALPINE AREA: NO  
CORROSIVE ENVIRONMENT: TBC  
BAL RATING: LOW  
OTHER KNOWN HAZARDS: NONE KNOWN.

MARCH 2026

**SURVEY NOTES:**

WHILE ALL REASONABLE EFFORT HAS BEEN MADE TO LOCATE ALL VISIBLE ABOVE GROUND SERVICES, THERE MAY BE OTHER SERVICES WHICH WERE NOT LOCATED DURING THE FIELD SURVEY.  
 THE TITLE BOUNDARIES AS SHOWN ON THIS PLAN WERE NOT MARKED AT THE TIME OF THE SURVEY AND HAVE BEEN DETERMINED BY EXISTING TITLE DIMENSIONS AND OCCUPATION (WHERE AVAILABLE) ONLY AND NOT BY FIELD SURVEY, AND AS A RESULT ARE CONSIDERED APPROXIMATE ONLY. THIS PLAN SHOULD NOT BE USED FOR BUILDING TO BOUNDARY. OR TO PRESCRIBED SET-BACKS, WITHOUT FURTHER SURVEY. PRIOR TO ANY DEMOLITION, EXCAVATION, FINAL DESIGN OR CONSTRUCTION ON THIS SITE, A FULL SITE INSPECTION SHOULD BE COMPLETED BY THE RELEVANT ENGINEERS. ALL SURVEY DATA IS 3D. THE LEVEL (Z-VALUE) OF ANY SPECIFIC FEATURE CAN BE INTERROGATED WITH A SUITABLE CAD PACKAGE. SPOT HEIGHTS OF ALL FEATURES, INCLUDING PIPE INVERTS, ARE INCLUDED IN THE MODEL SPACE BUT ARE NOT DISPLAYED ON THE PDF. SPOT HEIGHTS ARE ORGANISED INTO APPROPRIATE LAYERS, AND CAN BE DISPLAYED AS REQUIRED.  
 DATUM - VERTICAL : AHD PER SPM9370 WITH REPUTED AHD LEVEL OF 8.205 FROM SURCOM ON 17/12/2025  
 AT THE TIME OF THIS SURVEY, CT.189194/20 WAS OWNED BY R.J.ATKINS  
 DATE OF SURVEY : 17/12/2025

**SITE PLAN NOTES**

- CHECK & CONFIRM ALL DIMENSIONS & LEVELS ON SITE
- ALL WORK TO BE STRICTLY IN ACCORDANCE WITH NCC 2022, ALL S.A.A. CODES & LOCAL AUTHORITY BY-LAWS
- ALL DIMENSIONS INDICATED ARE FRAME TO FRAME AND DO NOT ALLOW FOR WALL LININGS
- CONFIRM ALL FLOOR AREAS
- ALL PLUMBING WORKS TO BE STRICTLY IN ACCORDANCE WITH A.S.3500, NCC 2022 & APPROVED BY COUNCIL INSPECTOR
- BUILDER/PLUMBER TO ENSURE ADEQUATE FALL TO SITE CONNECTION POINTS IN ACCORDANCE WITH A.S.3500 FOR STORMWATER AND SEWER BEFORE CONSTRUCTION COMMENCES
- THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE ENGINEER'S STRUCTURAL DRAWINGS
- ALL WINDOWS AND GLAZING TO COMPLY WITH A.S.1288 & A.S.2047 WHERE APPLICABLE
- ALL SET OUT OF BUILDINGS & STRUCTURES TO BE CARRIED OUT BY A REGISTERED LAND SURVEYOR AND CHECKED PRIOR TO CONSTRUCTION
- IF CONSTRUCTION OF THE DESIGN IN THIS SET OF DRAWINGS DIFFER FROM THE DESIGN AND DETAIL IN THESE AND ANY ASSOCIATED DOCUMENTS BUILDER AND OWNER ARE TO NOTIFY DESIGNER
- BUILDER'S RESPONSIBILITY TO COMPLY WITH ALL PLANNING CONDITIONS
- BUILDER TO HAVE STAMPED BUILDING APPROVAL DRAWINGS AND PERMITS PRIOR TO COMMENCEMENT OF CONSTRUCTION
- DRAWINGS ARE REQUIRED TO BE VIEWED OR PRINTED IN COLOUR.
- WRITTEN DIMENSIONS TO TAKE PREFERENCE OVER SCALED

THIS PROJECT HAS BEEN DETERMINED TO HAVE A BUSHFIRE ATTACK LEVEL (BAL) OF - **BAL LOW**  
 ALL CONSTRUCTION MUST COMPLY WITH 3959.

BOUNDARY SETBACKS TO PROPOSED BUILDING ARE TO EXTERNAL CLADDING UNLESS NOTED OTHERWISE.

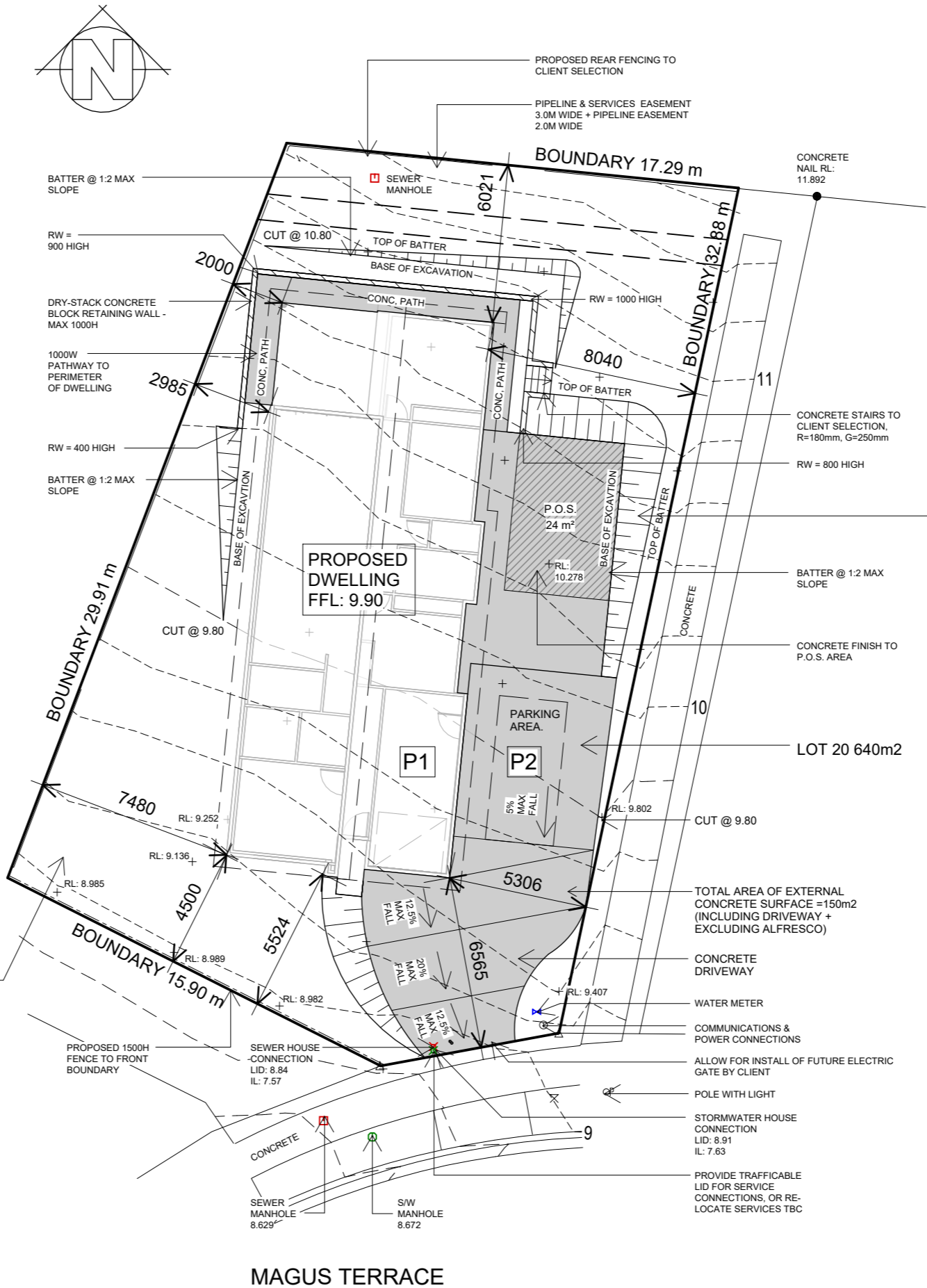
**SITE COVERAGE**  
 BUILDING FOOTPRINT 175.36  
 / SITE AREA 640 = 0.274  
 TOTAL SITE COVERAGE 27.40%

**SETBACKS**  
 REFER TO DIMENSIONS AND ELEVATIONS FOR FURTHER DETAILS.

**PRIVATE OPEN SPACE**  
 24m<sup>2</sup> MINIMUM,  
 WITH A MINIMUM DIMENSION OF 4m  
 GRADIENT NO STEEPER THAN 1:10

**SITE PLAN**

1 : 200



**BATTER NOTE**  
 BATTER AS PER ABCB HOUSING PROVISIONS PART 3.2.1. REFER TO STANDARD DETAILS TABLE

**DRIVEWAY GRADIENT**  
 MAXIMUM GRADIENT 1:4 (25%) TO AS 2890



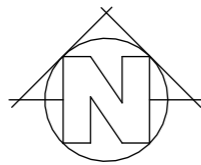
Project Address:  
**PROPOSED DWELLING**  
 LOT 20, 9 MAGUS COURT  
 OLD BEACH

Client name:  
**DARRYN & AIMEE PARNELL**

Drawing:  
**SITE PLAN**

Drafted by:  
**DB**  
 Date: 12/03/2026 Scale: 1 : 200

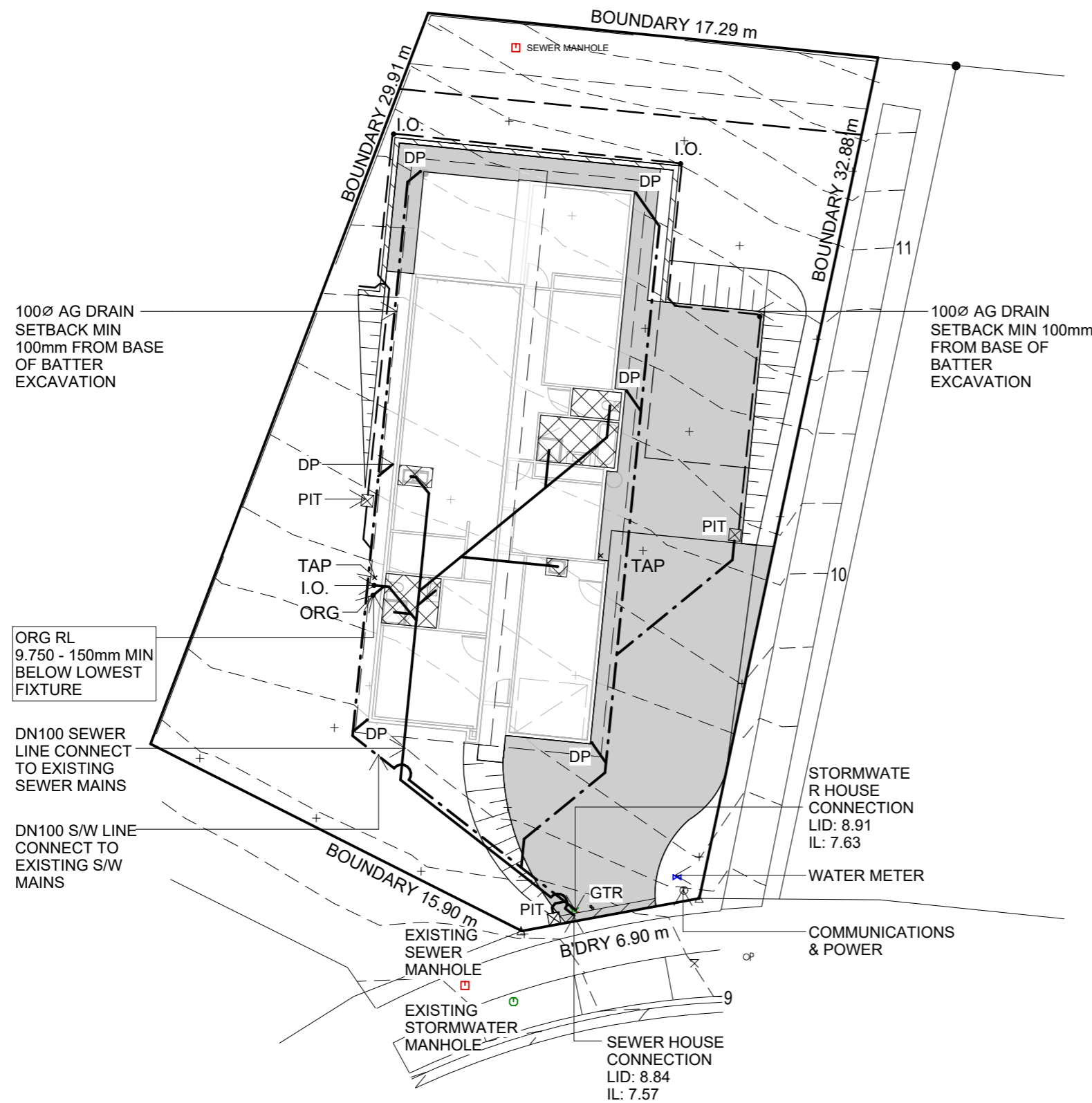
Project/Drawing no: -01 Revision: D



# LEGEND

- 450X 450 SURFACE DRAINAGE PIT
- WET AREAS
- GRATED TRENCH
- SEWER LINE
- STORMWATER LINE
- 100ø AG DRAIN
- 90ø DOWNPIPE TO STORMWATER MAINS

**PLUMBING NOTES:**  
 ALL PLUMBING / DRAINAGE WORK SHOWN IS PROVISIONAL ONLY AND IS SUBJECT TO AMENDMENTS IN ORDER TO COMPLY WITH THE REQUIREMENTS OF THE LOCAL AUTHORITIES.  
 ALL WORK IS TO COMPLY WITH THE REQUIREMENTS OF AS 3500.2021 & THE TASMANIAN PLUMBING CODE. AND MUST BE CARRIED OUT BY A LICENSED TRADESMAN ONLY.



## MAGUS TERRACE



Project:  
**PROPOSED DWELLING  
 LOT 20, 9 MAGUS COURT  
 OLD BEACH**

Drawing:  
**SITE DRAINAGE PLAN**

Client name:  
**DARRYN & AIMEE PARNELL**

Date: **12/03/2026**      Scale: **As indicated**

Drafted by:  
**DB**

Project/Drawing no: **-02**      Revision: **D**

# SITE DRAINAGE PLAN



THIS SITE IS ZONED GENERAL RESIDENTIAL AND DOES NOT REQUIRE A BUSHFIRE ASSESSMENT.  
RESIDENCE IS OVER 100m FROM UNMANAGED BUSH/GRASSLANDS GREATER THAN 1 HECTARE.

## LOCATION PLAN

1 : 2000

THIS PROJECT HAS BEEN DETERMINED TO HAVE A  
BUSHFIRE ATTACK LEVEL (BAL) OF - **BAL LOW**  
ALL CONSTRUCTION MUST COMPLY WITH 3959.



Project:  
PROPOSED DWELLING  
LOT 20, 9 MAGUS COURT  
OLD BEACH

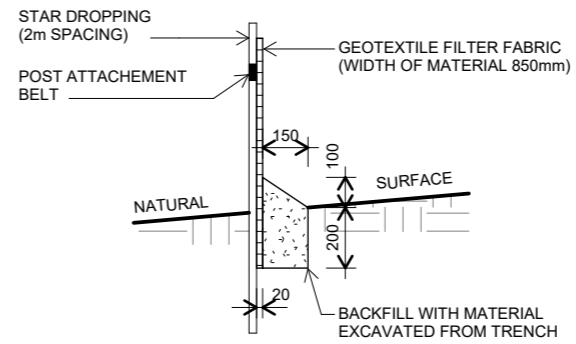
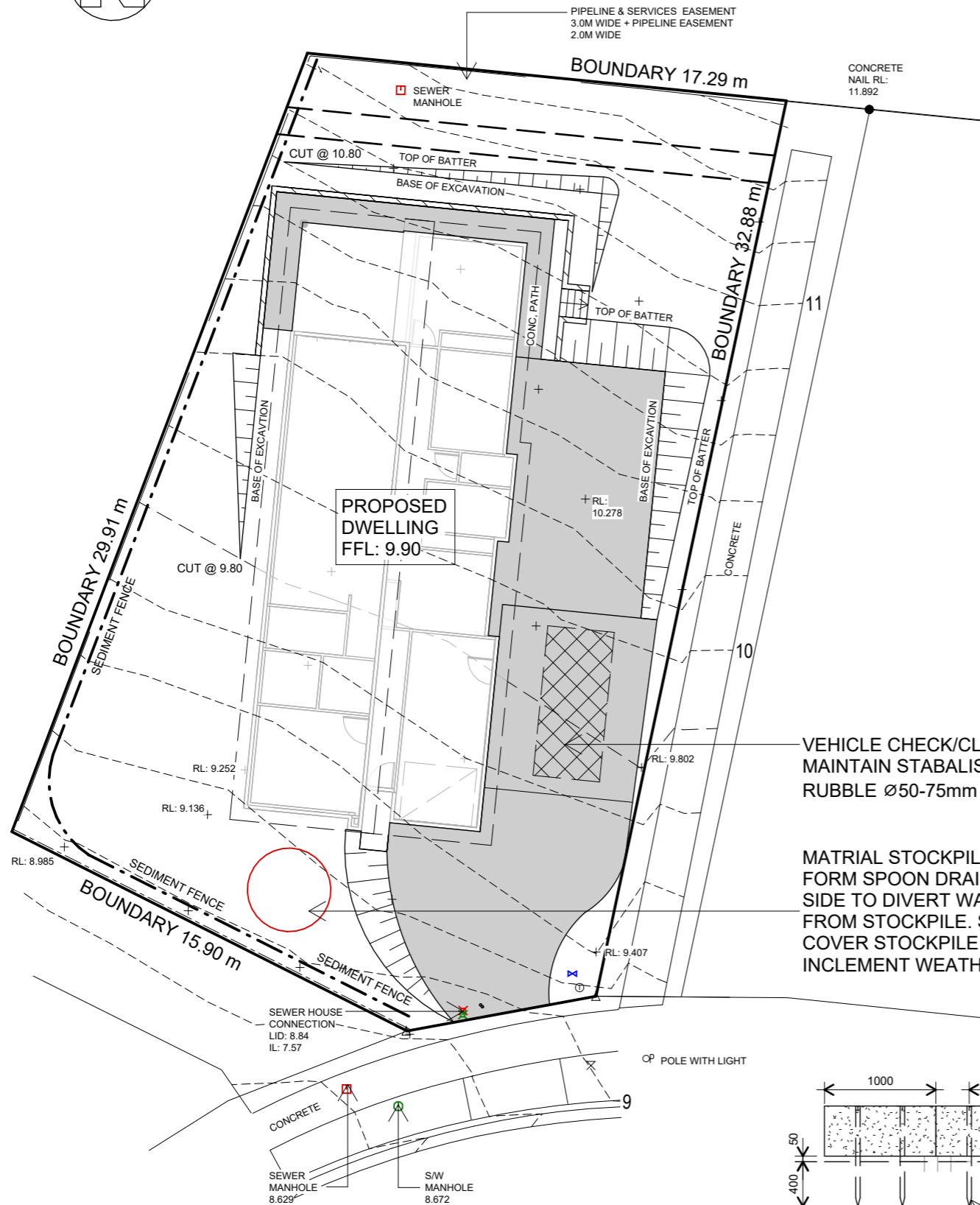
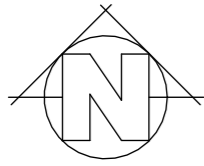
Client name:  
DARRYN & AIMEE PARNELL

Drafted by:  
DB

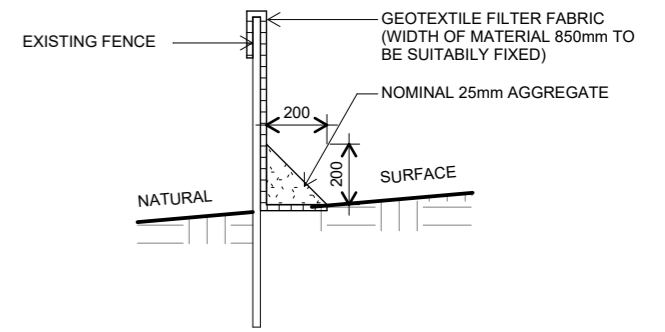
Drawing:  
LOCALITY PLAN

Date: 12/03/2026  
Scale: 1 : 2000

Project/Drawing no: -03  
Revision: D



**SILT STOP TYPE 1**  
TEMPORARY FENCE



**SILT STOP TYPE 2**  
EXISTING FENCE

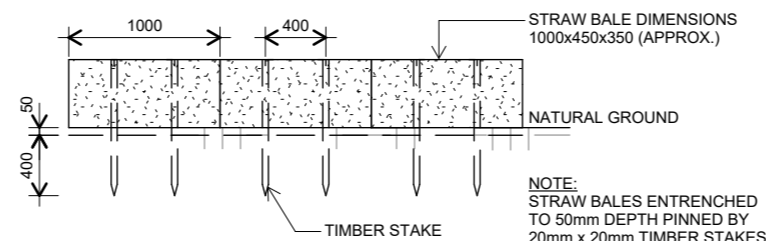
**NOTES:**  
SEDIMENT & EROSION CONTROL MEASURES SUFFICIENT TO PREVENT SEDIMENT FROM LEAVING THE SITE MUST BE INSTALLED PRIOR TO ANY DISTURBANCE TO SITE

**NOTES:**

1. ALL EROSION & SEDIMENT CONTROL STRUCTURES TO BE INSPECTED EACH WORKING DAY & MAINTAINED IN GOOD WORKING ORDER.
2. ALL GROUND COVER VEGETATION OUTSIDE THE IMMEDIATE BUILDING AREA TO BE PRESERVED DURING BUILDING PHASE.
3. ALL EROSION AND SEDIMENT CONTROL MEASURE TO BE INSTALL PRIOR TO COMMENCEMENT OF MAJOR EARTHWORKS.
4. STOCKPILES OF CLAYEY MATERIAL TO BE COVERED WITH AN IMPERVIOUS SHEET.
5. ROOF WATER DOWNPIPES TO BE CONNECTED TO THE WATER CONNECTION AS SOON AS PRACTICALE AFTER THE ROOF IS LAID

**NOTES:**

1. DIVERSION DRAINS ARE TO BE CONNECTED TO LEGAL DISCHARGE POINT (COUNCIL STORMWATER SYSTEM)
2. SEDIMENT RETENTION TRAPS INSTALLED AROUND THE INLETS TO THE STORMWATER SYSTEM TO PREVENT SEDIMENT & OTHER DEBRIS BLOCKING THE DRAINS



**STRAW BALE SEDIMENT TRAP SECTION DETAILS**  
NTS



Project Address:  
**PROPOSED DWELLING  
LOT 20, 9 MAGUS COURT  
OLD BEACH**

Client name:  
**DARRYN & AIMEE PARNELL**

Drawing:  
**SOIL & WATER MANAGEMENT  
PLAN**

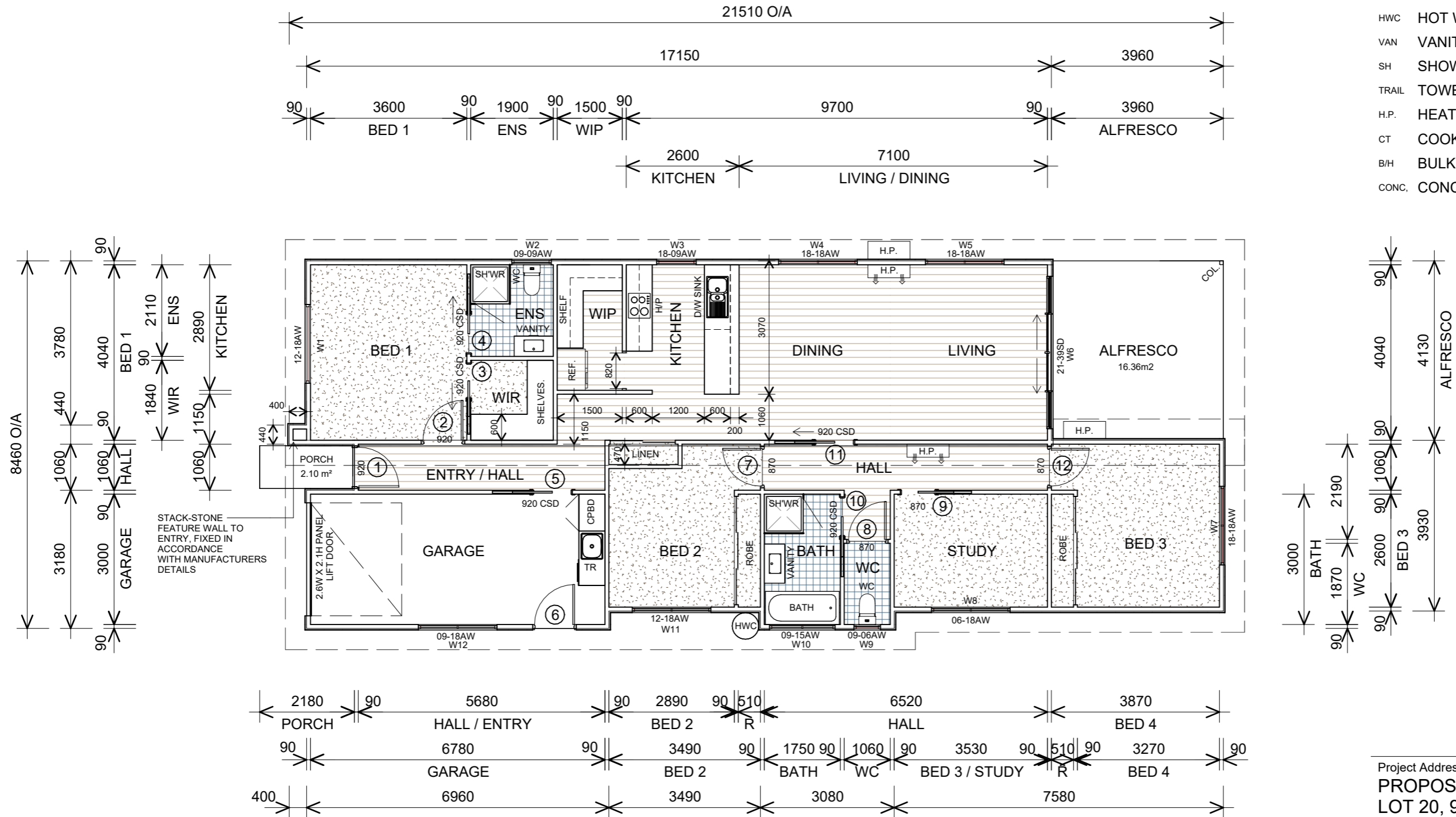
Drafted by:  
**DB**

Date: 12/03/2026  
Scale: As indicated

Project/Drawing no: -04  
Revision: D

# LEGEND

- CSD CAVITY SLIDING DOOR
- S/D SLIDING DOOR
- COL COLUMN
- HWC HOT WATER CYLINDER
- VAN VANITY UNIT
- SH SHOWER
- TRAIL TOWEL RAIL
- H.P. HEAT PUMP
- CT COOK TOP
- B/H BULKHEAD OVER
- CONC. CONCRETE FINISH



FLOOR AREA = 159.0m<sup>2</sup>  
 ALFRESCO = 16.36m<sup>2</sup>  
 PORCH = 2.0m<sup>2</sup>

## FLOOR PLAN

1 : 100



Project Address:  
**PROPOSED DWELLING**  
 LOT 20, 9 MAGUS COURT  
 OLD BEACH

Client name:  
**DARRYN & AIMEE PARNELL**

Drawing:  
**FLOOR PLAN**

Drafted by:  
**DB**  
 Date: 12/03/2026  
 Scale: 1 : 100

Project/Drawing no: -05  
 Revision: D

ROOF PLUMBING NOTES:

GUTTER INSTALLATION

TO BE IN ACCORDANCE WITH  
ABCB HOUSING PROVISIONS PART 7.4.4  
WITH FALL NO LESS THAN  
1:500 FOR EAVES GUTTER  
BOX GUTTERS IN ACCORDANCE WITH AS33500.3:2021

UNLESS FIXED TO METAL FASCIA  
EAVES GUTTER TO BE FIXED  
@ 1200 CRS MAX.

VALLEY GUTTERS ON A ROOF WITH A PITCH:

A) MORE THAN 12.5° DEGREES - MUST  
HAVE A WIDTH OF NOT LESS THAN  
400mm AND ROOF OVERHANG OF NOT  
LESS THAN 150mm EACH SIDE OF VALLEY  
GUTTER.

B) LESS THAN 12.5° DEGREES, MUST BE  
DESIGNED AS A BOX GUTTER.

LAP GUTTERS 75mm IN THE DIRECTION  
OF FLOW, RIVET & SEAL WITH AN  
APPROVED SILICONE SEALANT.

DOWNPIPE POSITIONS SHOWN ON THIS  
PLAN ARE NOMINAL ONLY.

EXACT LOCATION & NUMBER OF D.P.'S  
REQUIRED ARE TO BE IN ACCORDANCE  
WITH ABCB HOUSING PROVISIONS PART 7.4.5  
REQUIREMENTS.

SPACING BETWEEN DOWNPIPES MUST NOT  
BE MORE THAN 12m & LOCATED AS CLOSE AS POSSIBLE  
TO VALLEY GUTTERS

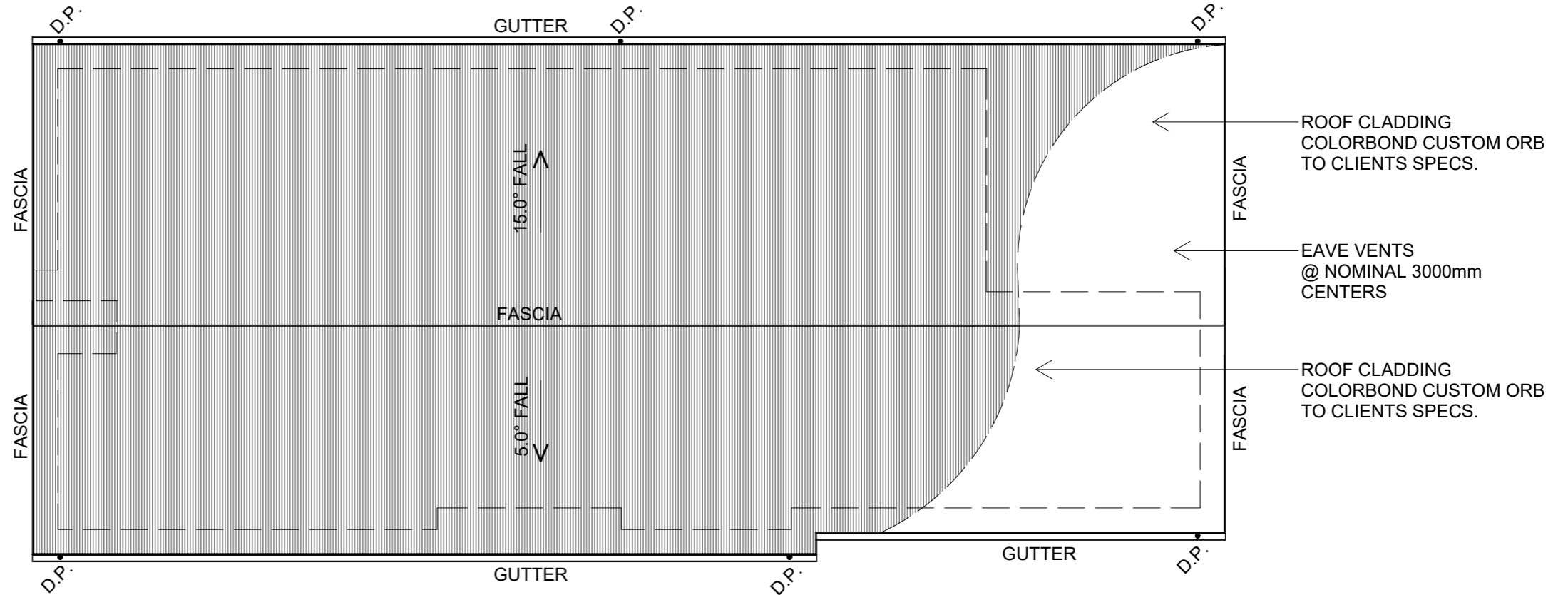
METAL ROOF

METAL SHEETING ROOF TO BE INSTALLED IN ACCORDANCE  
WITH ABCB HOUSING PROVISIONS PART 7.2. REFER TO  
TABLE 7.2.2a FOR ACCEPTABLE CORROSION PROTECTION  
FOR SHEET ROOFING, REFER TO TABLE 7.2.2b-7.2.2e FOR  
ACCEPTABILITY OF CONTACT BETWEEN DIFFERENT  
ROOFING MATERIALS. FOR FIXING, SHEET LAYING  
SEQUENCE, FASTENER FREQUENCY FOR TRANVERSE  
FLASHINGS AND CAPPINGS, ANTI CAPILLARY BREAKS,  
FLASHING DETAILS REFER TO ABCB HOUSING PROVISIONS  
PART 7.2.5- 7.2.7. ROOF PENETRATION FLASHING DETAILS.  
REFER TO TO ABCB HOUSING PROVISIONS PART 7.2.5- 7.2.7.  
ROOF SHEETING MUST OVERHANG MIN 35mm AS PER ABCB  
HOUSING PROVISIONS PART 7.2.8

OVERFLOW MEASURES

INSTALL **FRONT FACE SLOTTED GUTTER OR**

10mm CONTROLLED BACK GAP, STAND OFF  
BRACKET WITH SPACER.  
BACK OF GUTTER INSTALLED A MINIMUM OF 10mm  
BELOW THE TOP OF FASCIA  
INSTALL IN ACCORDANCE WITH ABCB HOUSING  
PROVISIONS PART 7.4.6



# ROOF PLAN

1 : 100



Project Address:  
**PROPOSED DWELLING  
LOT 20, 9 MAGUS COURT  
OLD BEACH**

Client name:  
**DARRYN & AIMEE PARNELL**

Drawing:  
**ROOF PLAN**

Drafted by:  
**DB**

Date: **12/03/2026** Scale: **1 : 100**

Project/Drawing no: **-06** Revision: **D**

**DAMP PROOF COURSE**

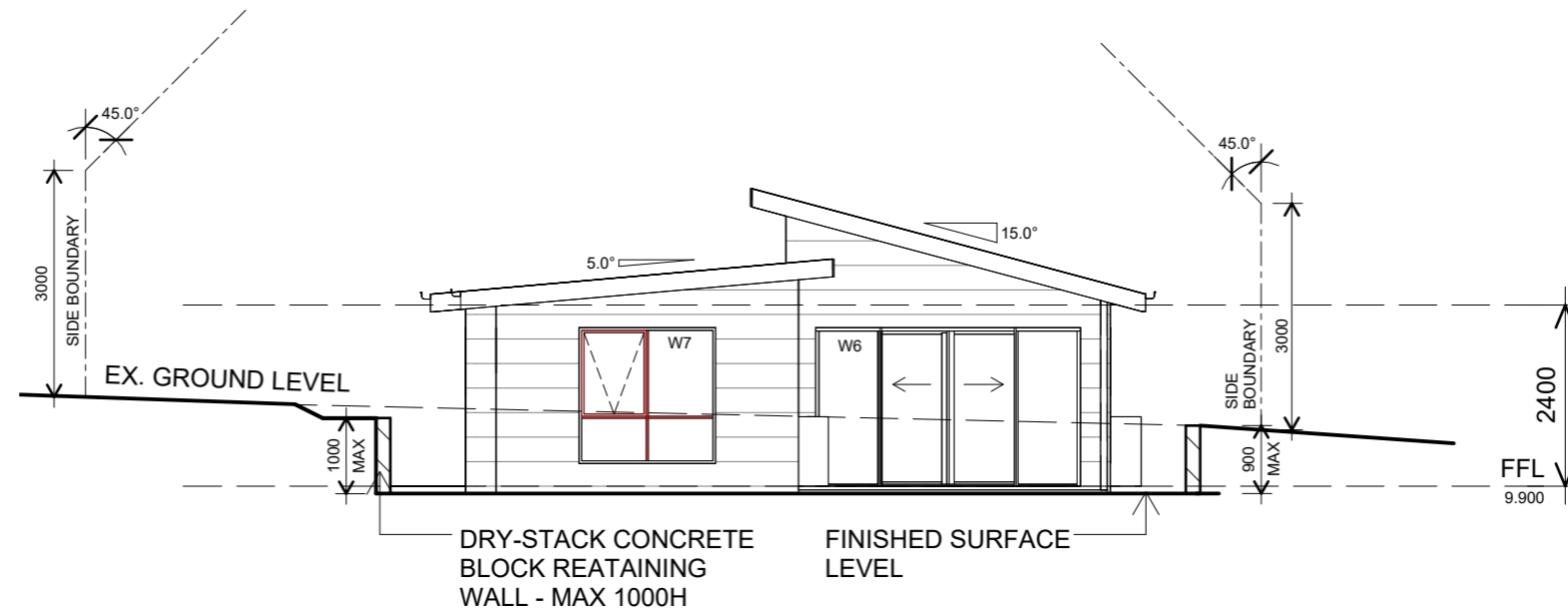
TO BE INSTALLED UNDER EXTERNAL MASONRY ON SLABS OR FOOTINGS, SHALL BE OF SUFFICIENT WIDTH TO PROJECT PAST THE EXTERNAL FACE OF THE WALL.  
ABCB HOUSING PROVISIONS PART 5.7.3 & 5.7.4

**FLASHINGS TO WALL OPENINGS**

OPENINGS IN EXTERNAL WALL CLADDING EXPOSED TO WEATHER MUST BE FLASHED WITH MATERIAL COMPLYING WITH AS/NZS 2904 TO TOP, BOTTOM & SIDES OF OPENINGS. FLASHINGS MUST BE SUITABLE FOR FRAMING & CLADDING USED. TO COMPLY ABCB HOUSING PROVISIONS PART 7.5.6

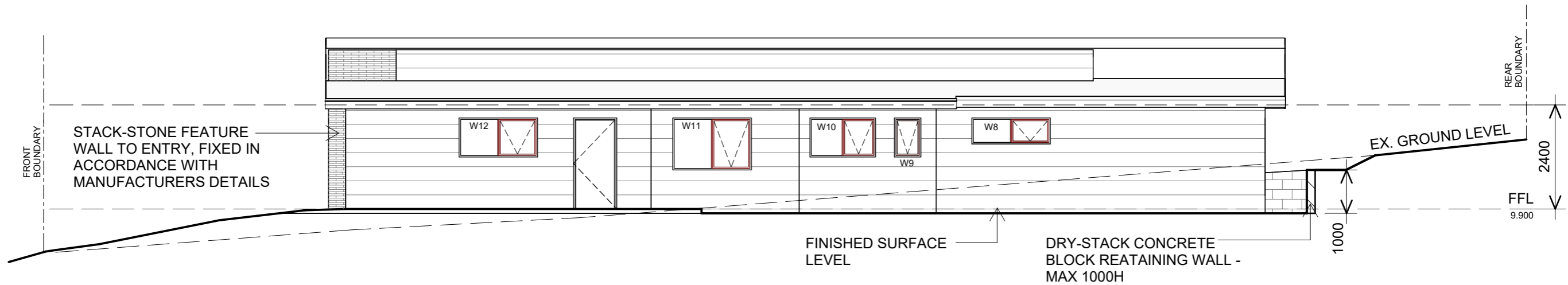
**FASCIA**

COLORBOND FOLDED METAL  
-GUTTER TO CLIENTS SPEC  
-FASCIA TRIM ALL ROUND  
INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.  
COLOUR TO BE SELECTED



**NORTH ELEVATION**

1 : 100



**EAST ELEVATION**

1 : 100

**EAVES**

OVER HANG ROOF 450mm U.N.O.  
FRAME FOR LEVEL EAVES  
LINE ALL SOFFITS  
WITH HARDIFLEX SHEETING.  
IN ACCORDANCE WITH ABCB HOUSING PROVISIONS PART 7.5.5

**WINDOWS**

POWDER COATED ALUMINIUM WINDOW FRAMES **AWNING** OPENING REVEALS AND TRIMS TO CLIENTS SPEC. ALL FLASHING TO MANUFACTURERS SPECIFICATION  
BRICK ON EDGE EXTERNAL SILLS  
REFER AS 1288, AS 2047 & ABCB HOUSING PROVISIONS PART 8.2

**BUILDING MEMBRANE**

IN ACCORDANCE WITH ABCB HOUSING PROVISIONS PART 10.8.1  
PLIABLE BUILDING MEMBRANE INSTALLED TO EXTERIOR OF FRAMEWORK, TO BE VAPOUR PERMEABLE TO COMPLY WITH AS4200.1 & BE INSTALLED TO AS4200.2



Project:  
**PROPOSED DWELLING  
LOT 20, 9 MAGUS COURT  
OLD BEACH**

Client name:  
**DARRYN & AIMEE PARNELL**

Drafted by:  
**DB**

Drawing:  
**ELEVATIONS**

Date: **12/03/2026** Scale: **1 : 100**

Project/Drawing no: **-07** Revision: **D**

**DAMP PROOF COURSE**

TO BE INSTALLED UNDER EXTERNAL MASONRY ON SLABS OR FOOTINGS, SHALL BE OF SUFFICIENT WIDTH TO PROJECT PAST THE EXTERNAL FACE OF THE WALL.  
ABCB HOUSING PROVISIONS PART 5.7.3 & 5.7.4

**FLASHINGS TO WALL OPENINGS**

OPENINGS IN EXTERNAL WALL CLADDING EXPOSED TO WEATHER MUST BE FLASHED WITH MATERIAL COMPLYING WITH AS/NZS 2904 TO TOP, BOTTOM & SIDES OF OPENINGS. FLASHINGS MUST BE SUITABLE FOR FRAMING & CLADDING USED. TO COMPLY ABCB HOUSING PROVISIONS PART 7.5.6

**BUILDING MEMBRANE**

IN ACCORDANCE WITH ABCB HOUSING PROVISIONS PART 10.8.1  
PLIABLE BUILDING MEMBRANE INSTALLED TO EXTERIOR OF FRAMEWORK, TO BE VAPOUR PERMEABLE TO COMPLY WITH AS4200.1 & BE INSTALLED TO AS4200.2

**GLAZING**

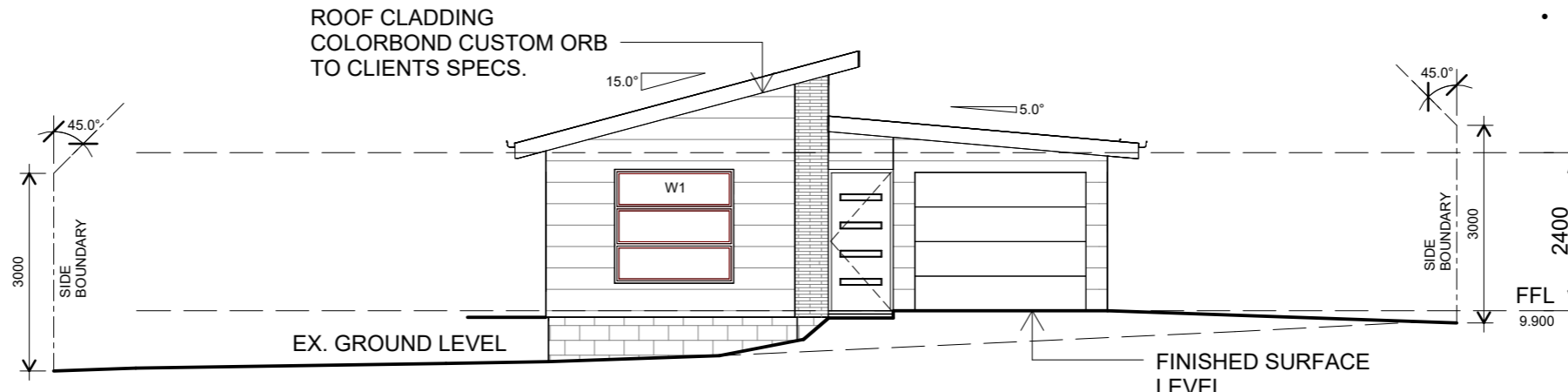
ALL GLAZING IS TO COMPLY WITH ABCB HOUSING PROVISIONS PART 8  
IN PARTICULAR THAT THE GLAZING IN THE WINDOW LOCATED OVER THE BATH/SHOWER INSTALLATION TO COMPLY WITH HUMAN IMPACT SAFETY REQUIREMENTS, SECTION 5.8 OF AS1288  
WINDOWS TO BE SEALED IN ACCORDANCE WITH AS2047  
ALL GLASS INSTALLATIONS INCLUDING ROOFS, WINDOW AND DOORS TO BE TAGGED ON-SITE OR GLAZIER TO SUPPLY COMPLIANCE CERTIFICATE AT FINAL INSPECTION.

**EAVES**

OVER HANG ROOF 450mm U.N.O.  
FRAME FOR LEVEL EAVES  
LINE ALL SOFFITS  
WITH HARDIFLEX SHEETING.  
IN ACCORDANCE WITH ABCB HOUSING PROVISIONS PART 7.5.5

**WINDOWS**

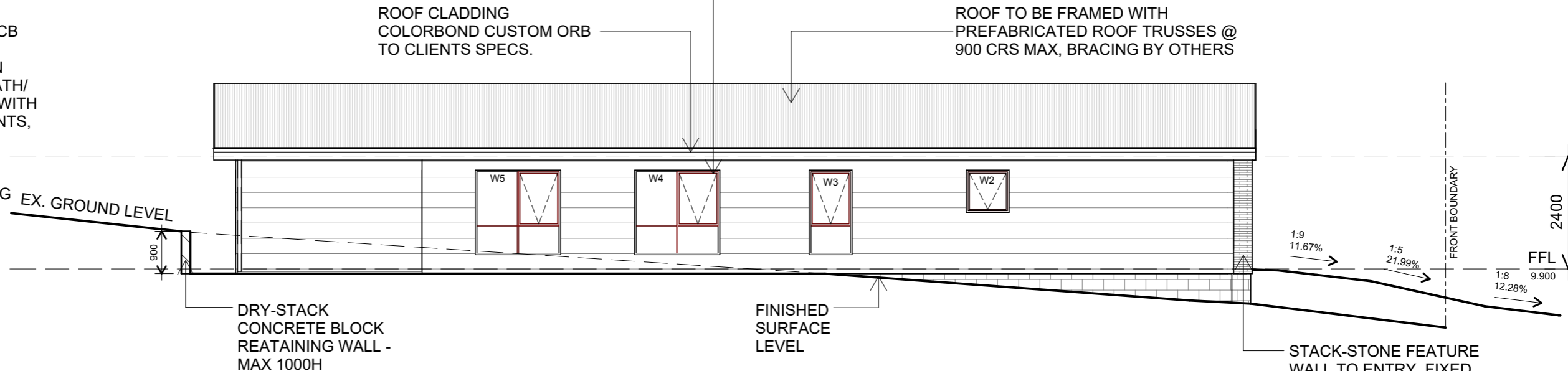
POWDER COATED ALUMINIUM WINDOW FRAMES **AWNING** OPENING  
REVEALS AND TRIMS TO CLIENTS SPEC.  
ALL FLASHING TO MANUFACTURERS SPECIFICATION  
BRICK ON EDGE EXTERNAL SILLS  
REFER AS 1288, AS 2047 & ABCB HOUSING PROVISIONS PART 8.2



**SOUTH ELEVATION**

1 : 100

DOORS AND WINDOWS TO BE SEALED IN ACCORDANCE WITH ABCB HOUSING PROVISIONS PART 13.4



**WEST ELEVATION**

1 : 100

**FASCIA**

COLORBOND FOLDED METAL -GUTTER TO CLIENTS SPEC  
-FASCIA TRIM ALL ROUND  
INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.  
COLOUR TO BE SELECTED



**PROTECTION OF WINDOWS**

- PROTECTION IS TO BE PROVIDED TO A BEDROOM WINDOW IF THE FINISHED FLOOR LEVEL OF THE BEDROOM HAS A HEIGHT GREATER THAN 2M FROM THE FINISHED GROUND LEVEL AND WHERE THE LOWEST LEVEL OF THE WINDOW OPENING IS WITHIN 1.7M MEASURED FROM THE FINISHED FLOOR LEVEL OF THE BEDROOM FLOOR.
- ALL BARRIERS, DEVICES AND OPERATION OF PROTECTED WINDOWS ARE TO COMPLY WITH ABCB HOUSING PROVISIONS PART 11.3.7

Project:  
**PROPOSED DWELLING  
LOT 20, 9 MAGUS COURT  
OLD BEACH**

Client name:  
**DARRYN & AIMEE PARNELL**

Drafted by:  
**DB**

Drawing:  
**ELEVATIONS**

Date: **12/03/2026** Scale: **1 : 100**

Project/Drawing no: **-08** Revision: **D**

DOOR SCHEDULE			
MARK	WIDTH	TYPE	REMARKS
1	920	EXTERNAL ENTRY DOOR	
2	920	INTERNAL TIMBER DOOR	
3	820	CAVITY SLIDING DOOR	
4	920	CAVITY SLIDING DOOR	
5	920	CAVITY SLIDING DOOR	
6	920	EXTERNAL SOLID DOOR	
7	870	INTERNAL TIMBER DOOR	
8	870	INTERNAL TIMBER DOOR	
9	820	CAVITY SLIDING DOOR	
10	920	CAVITY SLIDING DOOR	
11	920	CAVITY SLIDING DOOR	
12	870	INTERNAL TIMBER DOOR	

WINDOW SCHEDULE				
MARK	HEIGHT	WIDTH	TYPE	REMARKS
W1	1800	1810	TBC	
W2	900	910	AWNING WINDOW	OBSCURE
W3	1800	910	AWNING WINDOW	
W4	1800	1810	AWNING WINDOW	
W5	1800	1810	AWNING WINDOW	
W6	2100	3510	DOUBLE SLIDING DOOR	
W7	1800	1810	AWNING WINDOW	
W8	600	1810	AWNING WINDOW	
W9	900	610	AWNING WINDOW	OBSCURE
W10	900	1510	AWNING WINDOW	OBSCURE
W11	1200	1810	AWNING WINDOW	
W12	900	1810	AWNING WINDOW	

ALUMINIUM WINDOWS **DOUBLE GLAZING** COMPLETE WITH FLY SCREENS TO SUIT **TBC BAL** RATING. ALL WINDOW MEASUREMENTS TO BE VERIFIED ON SITE PRIOR TO ORDERING



Project:  
**PROPOSED DWELLING  
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 OLD BEACH**

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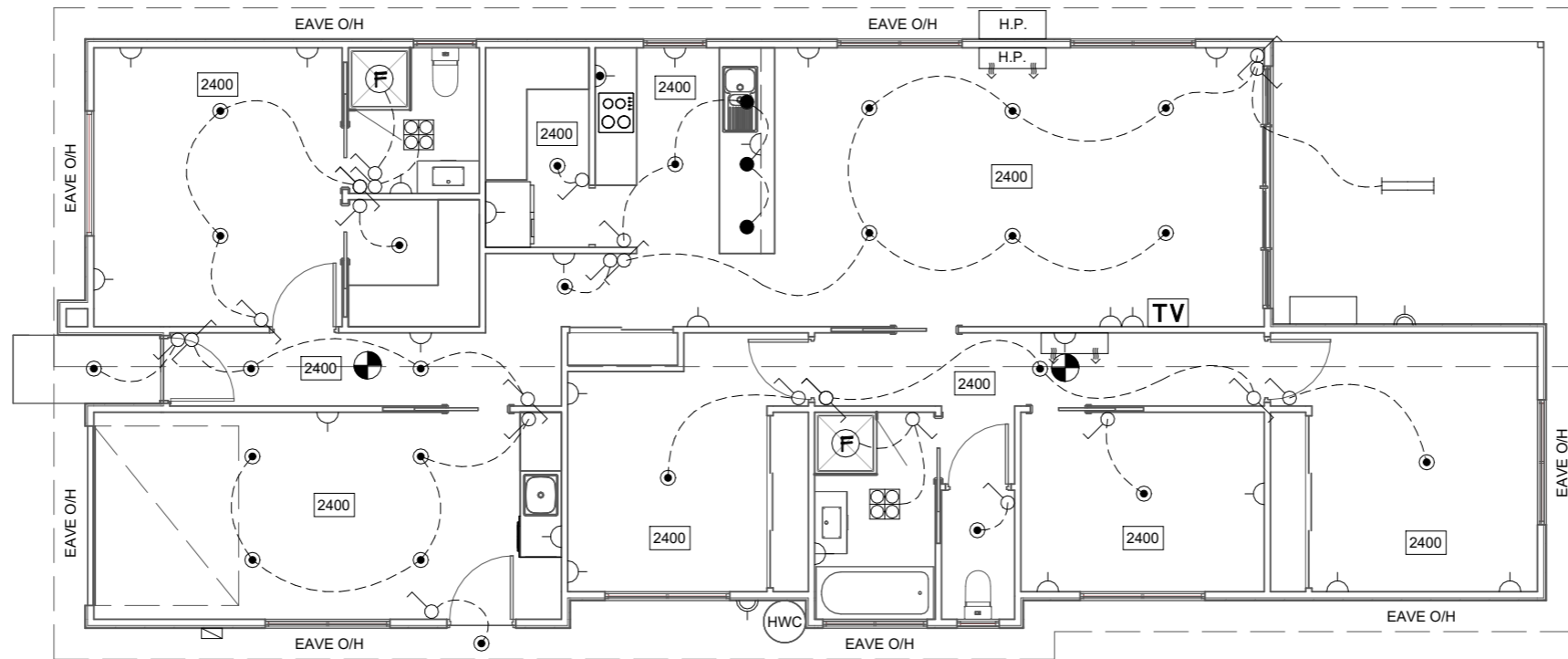
Drafted by:  
**DB**

Drawing:  
**DOOR AND WINDOW  
 SCHEDULES**

Date: **12/03/2026** Scale:

Project/Drawing no:  
**-09**

Revision:  
**D**



## ELECTRICAL / REFLECTED CEILING PLAN

1 : 100

### ELECTRICAL INDEX



#### LIGHTING

- CEILING LIGHT OUTLET
- WEATHER PROOF CEILING LIGHT
- TWO LIGHT, 3 IN 1 BATHROOM LIGHT C/W DAMPER, EXHAUST TO OUTSIDE\*
- FOUR LIGHT, 3 IN 1 BATHROOM LIGHT C/W DAMPER, EXHAUST TO OUTSIDE\*
- L.E.D. - SEALED DOWN LIGHT \*
- TWIN TUBE FLUORESCENT LIGHT
- HANGING PENDANT
- WEATHERPROOF WALL LIGHT
- WALL LIGHT
- SECURITY LIGHT
- STAIR LIGHT
- WATERPROOF CEILING POOL LIGHT

\*INSTALL AS PER MANUFACTURERS SPECIFICATION

#### SWITCH TYPE

- ONE-WAY SWITCH
- TWO-WAY SWITCH
- DIMMER SWITCH
- MOTION SENSOR

#### WALL OUTLETS

- GENERAL PURPOSE OUTLET (DOUBLE)
- WEATHER PROOF OUTLET
- HOTPLATE SAFETY CUT-OFF
- DATA (CAT 6)
- T.V. OUTLET
- PHONE OUTLET

NOTE:  
POWER POINT TO BE 300mm AWAY  
FROM EDGE OF WATER SOURCE

#### HEATING

- H.P. HEAT PUMP
- H.P. HEAT PUMP, OUTDOOR UNIT
- P/H PANEL HEATER
- C.O. HEAT PUMP, CEILING OUTLET
- R.A. HEAT PUMP, RETURN AIR
- C.U. HEAT PUMP, CEILING UNIT

#### CEILING

- DENOTES CEILING HEIGHT
- H.P. HIGH POINT
- L.P. LOW POINT
- SLOPE
- B.H. BULK HEAD
- O/H ROOF OVERHANG/EAVES

#### OTHER

- 240v SMOKE ALARM
- SWITCH BOX
- EXHAUST FAN, VENT TO OUTSIDE AIR, PROVIDE POWER
- Wi-Fi
- DATA RACK
- R/H RANGE HOOD, VENT TO OUTSIDE AIR, PROVIDE POWER

Project Address:  
**PROPOSED DWELLING  
LOT 20, 9 MAGUS COURT  
OLD BEACH**

Client name:  
**DARRYN & AIMEE PARNELL**




Drawing:  
**ELECTRICAL/REFLECTED  
CEILING PLAN**

Drafted by:  
**DB**



Date: **12/03/2026** Scale: **1 : 100**

Project/Drawing no: **-10** Revision: **D**

**LEGEND**

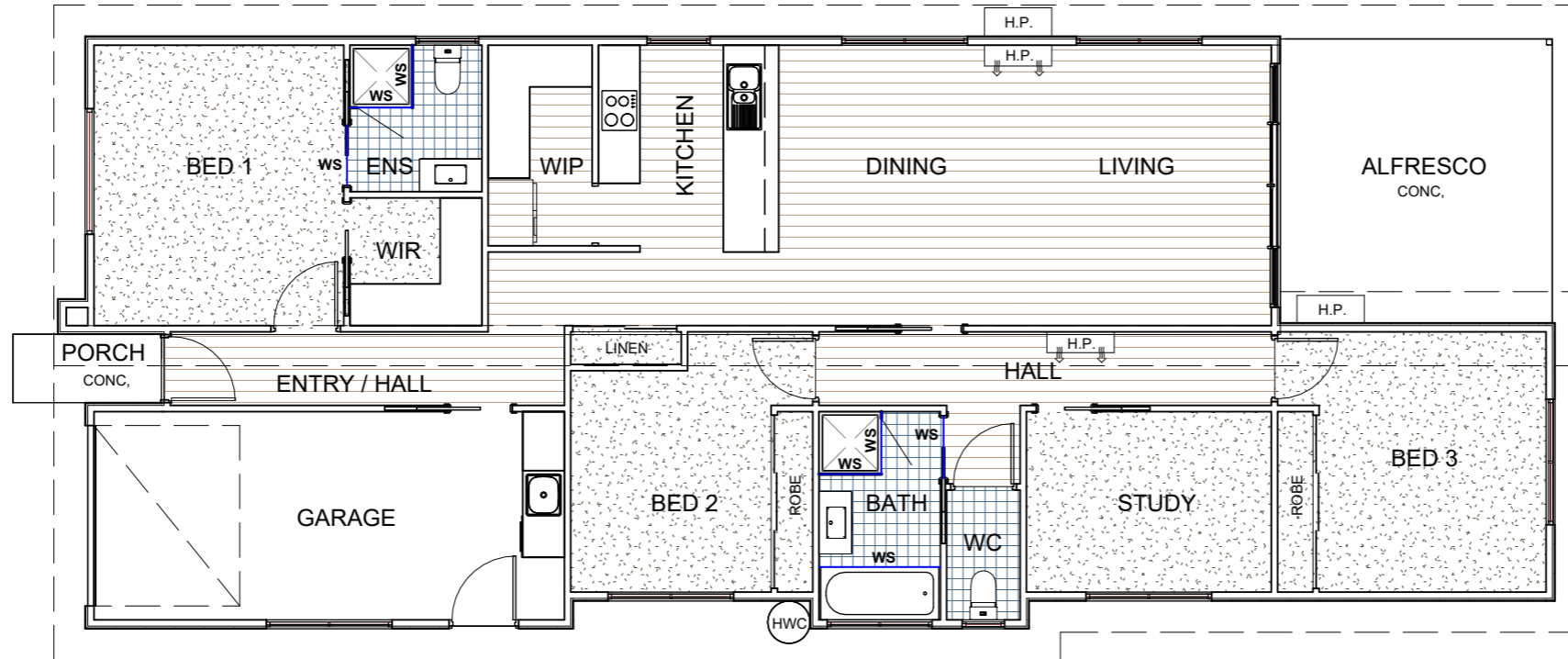
-  CARPET
-  TILES
-  TIMBER

**LEGEND**

-  WS WATERSTOP
-  WALL FINISHES - REFER CLIENT SPEC

**IMPORTANT NOTE:**

- REFER TO WATERPROOFING DETAILS
- NO ALLOWANCE GIVEN FOR HANDHELD SPRAY DEVICES ON SHOWERS, BATH OR W/C'S U.N.O.



Project Address:  
**PROPOSED DWELLING  
 LOT 20, 9 MAGUS COURT  
 OLD BEACH**

Client name:  
**DARRYN & AIMEE PARNELL**

Drawing:  
**FLOOR FINISHES PLAN**

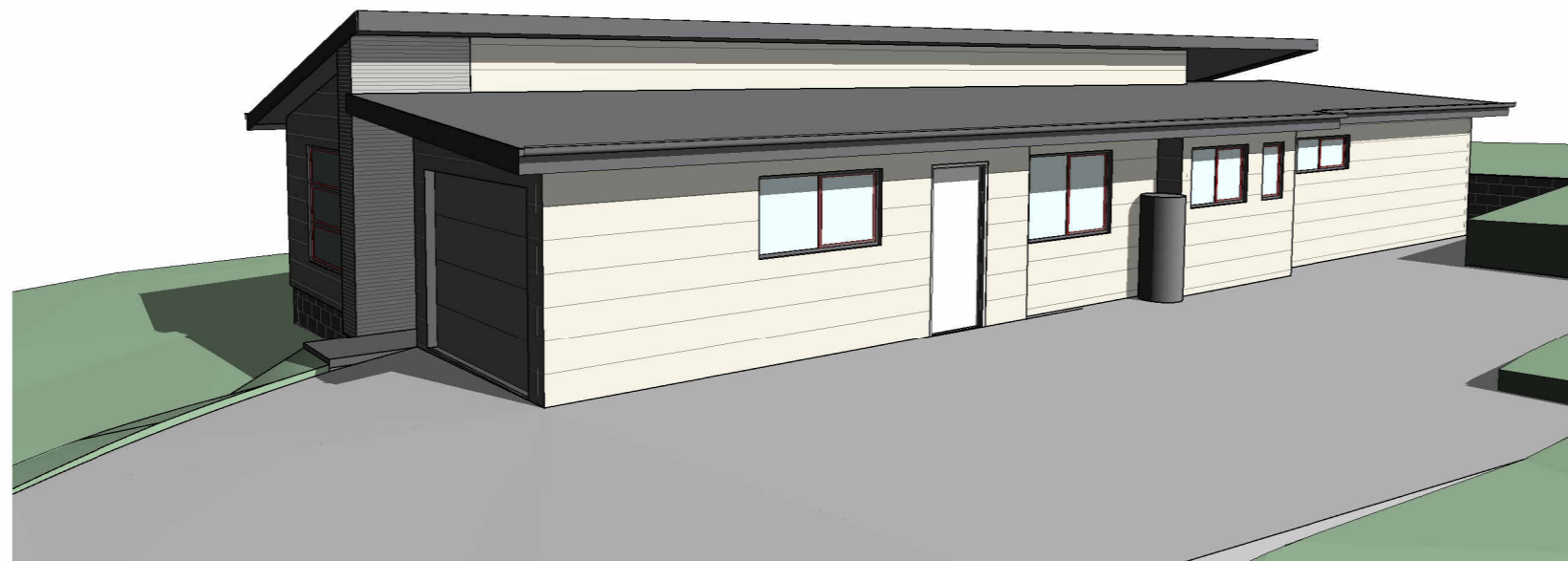
Drafted by:  
**DB**

Date: **12/03/2026**      Scale: **1 : 100**

Project/Drawing no: **-11**      Revision: **D**

**FLOOR FINISHES PLAN**

1 : 100



---

Project Address:  
PROPOSED DWELLING  
LOT 20, 9 MAGUS COURT  
OLD BEACH

Client name:  
DARRYN & AIMEE PARNELL

---

Drawing:  
PERSPECTIVES

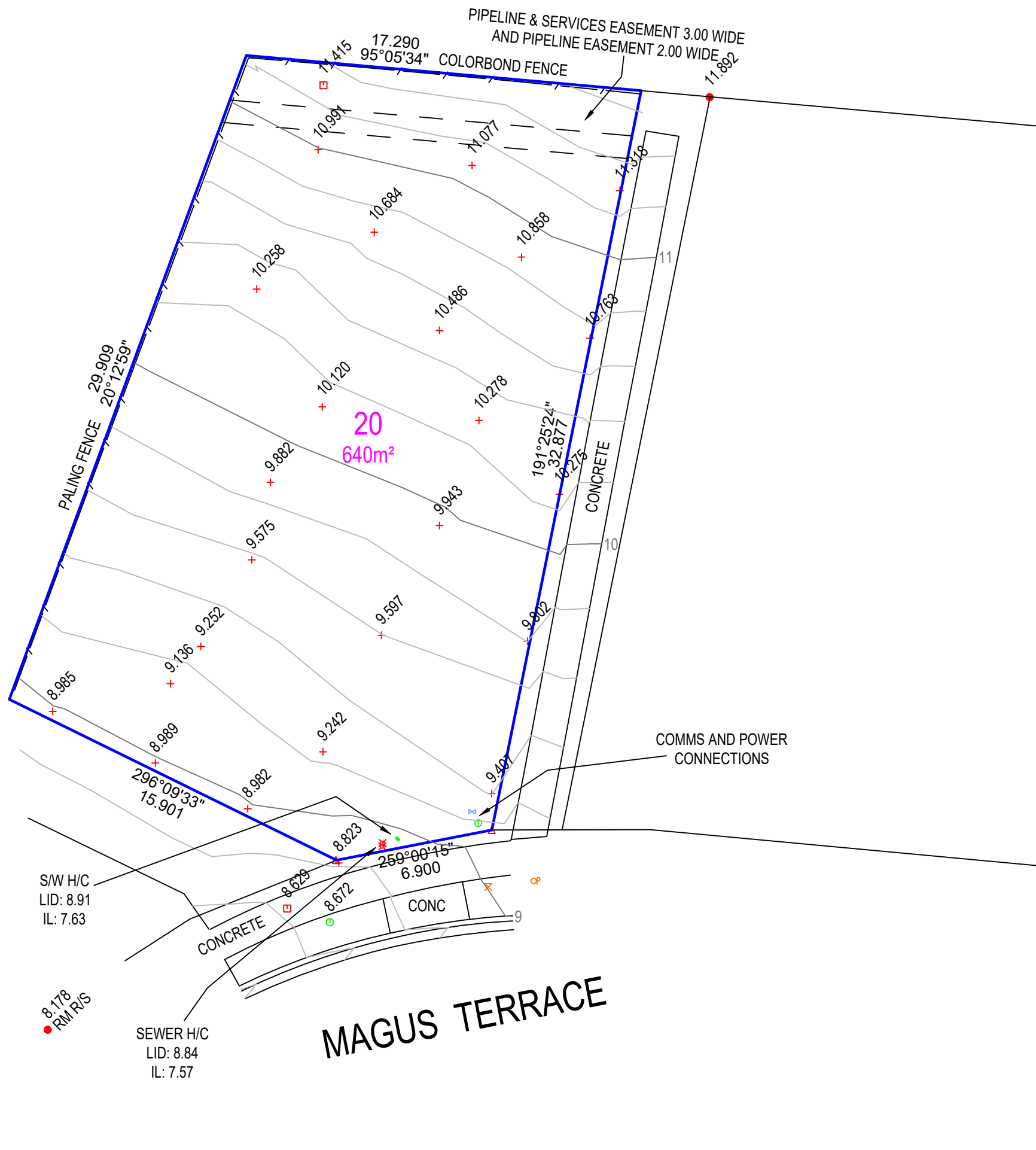
Drafted by:  
DB

Date: 12/03/2026  
Scale:

---

Project/Drawing no: -12  
Revision: D

---



**NOTES:**

While all reasonable effort has been made to locate all visible above ground services, there may be other services which were not located during the field survey.

The title boundaries as shown on this plan were not marked at the time of the survey and have been determined by existing title dimensions and occupation (where available) only and not by field survey, and as a result are considered approximate only. This plan should not be used for building to boundary, or to prescribed set-backs, without further survey.

Prior to any demolition, excavation, final design or construction on this site, a full site inspection should be completed by the relevant engineers.

All survey data is 3D. The level (z-value) of any specific feature can be interrogated with a suitable CAD package. Spot heights of all features, including pipe inverts, are included in the model space but are not displayed on the PDF. Spot heights are organised into appropriate layers, and can be displayed as required.

DATUM - Vertical : AHD per SPM9370 with reputed AHD level of 8.205 from SURCOM on 17/12/2025

At the time of this survey, CT.189194/20 was owned by R.J.ATKINS

Date of Survey : 17/12/2025

- ▲ STAR
  - NAIL
  - CONCRETE NAIL
  - + NATURAL SURFACE
  - STORMWATER MANHOLE
  - STORWATER HOUSE CONNECTION
  - × ELECTRICITY MAIN
  - ⊕ POLE WITH LIGHT
  - CABLE COMMS UNDERGROUND
  - SEWER MANHOLE
  - × SEWER HOUSE CONNECTION
  - ⊕ METER WATER
- LOT BOUNDARY
  - - - EASEMENT BOUNDARY
  - KERB LIP
  - KERB INVERT
  - KERB BACK
  - FOOTPATH
  - CONCRETE SLAB
  - / - / - FENCE

AMENDMENTS		
No.	Revision/Issue	Date

**LEARY COX & CRIPPS**  
LAND & ENGINEERING SURVEYORS

Unit G04 40 Molle Street,  
HOBART TAS 7000  
P 03 6118 2030  
E admin@lccsurvey.com

Project Name and Address  
**9 MAGUS TERRACE  
OLD BEACH**

Drawing Title  
**DETAIL PLAN**

Client  
SJM PROPERTY DEVELOPMENTS Pty Ltd  
CT. 189194 / 20

SCALE  
0 1 2 3 4 6 8  
1:200 at A3

Contour Interval  
0.20 m

Date  
17 / 12 / 25

THIS DOCUMENT IS, AND SHALL REMAIN, THE PROPERTY OF LEARY, COX & CRIPPS, LAND & ENGINEERING SURVEYORS. THE DOCUMENT MAY ONLY BE USED FOR THE PURPOSE FOR WHICH IT WAS COMMISSIONED AND IN ACCORDANCE WITH THE TERMS OF ENGAGEMENT FOR THE COMMISSION. UNAUTHORISED USE OF THE DOCUMENT IN ANY WAY IS PROHIBITED.

SHEET 1 of 1		Geocivil Ref 1486101_detail
DRAWN ML	CHKD ML	AutoCAD Ref 1486101_detail
DATE 17/12/25		Horz: MGA2020
DATE 17/12/25		Vert: AHD

# **AS2870:2011 SITE ASSESSMENT**

**9 Magus Terrace**

**Old Beach**

**December 2025**



GEO-ENVIRONMENTAL  

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S O L U T I O N S

Disclaimer: The author does not warrant the information contained in this document is free from errors or omissions. The author shall not in any way be liable for any loss, damage or injury suffered by the User consequent upon, or incidental to, the existence of errors in the information.

**Investigation Details**

<b>Client:</b>	SJM Property Developments (Aus) Pty Ltd
<b>Site Address:</b>	9 Magus Terrace, Old Beach
<b>Date of Inspection:</b>	11/12/2025
<b>Proposed Works:</b>	New house
<b>Investigation Method:</b>	Geoprobe 540UD - Direct Push
<b>Inspected by:</b>	C. Cooper

**Site Details**

<b>Certificate of Title (CT):</b>	189194/20
<b>Title Area:</b>	Approx. 633.3 m <sup>2</sup>
<b>Applicable Planning Overlays:</b>	No planning scheme overlays identified
<b>Slope &amp; Aspect:</b>	5° S facing slope
<b>Vegetation:</b>	Grass & Weeds

**Background Information**

<b>Geology Map:</b>	MRT
<b>Geological Unit:</b>	Quaternary Sediments
<b>Climate:</b>	Annual rainfall 600mm
<b>Water Connection:</b>	Mains
<b>Sewer Connection:</b>	Serviced-Mains
<b>Testing and Classification:</b>	AS2870:2011, AS1726:2017 & AS4055:2021

## Investigation

A number of bore holes were completed to identify the distribution and variation of the soil materials at the site, bore hole locations are indicated on the site plan. See soil profile conditions presented below. Tests were conducted across the site to obtain bearing capacities of the material at the time of this investigation.

### **Soil Profile Summary**

BH 1 Depth (m)	BH 2 Depth (m)	USCS	Description
0.00-0.20	0.00-0.20	SM	<b>Silty SAND:</b> grey, brown, dry, medium dense,
0.20-1.20	0.20-1.30	CI	<b>Silty CLAY:</b> medium plasticity, grey, brown, slightly moist, stiff,
1.20-1.80	1.30-1.40	GC	<b>Clayey GRAVEL:</b> yellow, brown, slightly moist, very dense, refusal on rock/boulder.

## Site Notes

Soils on the site are developing from quaternary sediments, the clay fraction is likely to show moderate ground surface movement with moisture fluctuations.

## Site Classification

The site has been assessed and classified in accordance with AS2870:2011 “*Residential Slabs and Footings*”.

The site has been classified as:

### **Class M**

$y_s$  range: **20-40mm**

Notes: that is a moderately reactive clay.

## Wind Loading Classification

According to “AS4055:2021 - Wind Loads for Housing” the house site is classified below:

<b>Wind Classification:</b>	<b>N3</b>
Region:	A
Terrain Category:	1.0
Shielding Classification:	PS
Topographic Classification:	T1
Wind Classification:	N3
Design Wind Gust Speed – m/s ( $V_{h,u}$ ):	50

## Construction Notes & Recommendations

The site has been classified as **Class M** - Moderately reactive clay or silt site, which may experience moderate ground movement from moisture changes.

It is recommended the foundations be placed on the underlying bedrock to minimise the potential for significant foundation movement.

All earthworks on site must comply with AS3798:2007, and I further recommend that consideration be given to drainage and sediment control on site during and after construction. Care should also be taken to ensure there is adequate drainage in the construction area to avoid the potential for weak bearing and foundation settlement associated with excessive soil moisture.

I also recommend that during construction that I and/or the design engineer be notified of any major variation to the foundation conditions as predicted in this report.



Dr John Paul Cumming B.Agr.Sc (hons) PhD CPSS GAICD

*Director*

## Explanatory Notes

### 1 Scope of Works

The methods of description and classification of soils used in this report are based largely on Australian Standard 1726 – Geotechnical Site Investigations (AS1726:2017), with reference to Australian Standard 1289 – Methods for testing soils for engineering purposes (AS1289), for eventual Site Classification according to Australian Standard 2870 (AS2870:2011) – Residential Slabs and Footings and Australian Standard 1547 (AS1547:2012) On-site domestic wastewater management.

#### 1.1 Site Classification AS2870:2011

Site classification with reference to the above Australian Standards are based on site reactivity.

Class	Foundation Conditions	Characteristic Surface Movement
<b>A</b>	Most sand and rock sites with little or no ground movement from moisture changes.	<b>0mm</b>
<b>S</b>	Slightly reactive clay sites, which may experience only slight ground movement from moisture changes.	<b>0 – 20mm</b>
<b>M</b>	Moderately reactive clay or silt sites, which may experience moderate ground movement from moisture changes.	<b>20 – 40mm</b>
<b>H-1</b>	Highly reactive clay sites, which may experience high ground movement from moisture changes.	<b>40 – 60mm</b>
<b>H-2</b>	Highly reactive clay sites, which may experience very high ground movement from moisture changes.	<b>60 – 75mm</b>
<b>E</b>	Extremely reactive sites, which may experience extreme ground movement from moisture changes.	<b>&gt;75mm</b>

*Note: Soils where foundation performance may be significantly affected by factors other than reactive soil movement are classified as **Class P**.*

A site is classified as **Class P** when:

- The bearing capacity of the soil profile in the foundation zone is generally less than 100kpa
- If excessive foundation settlement may occur due to loading on the foundation.
- The site contains uncontrolled fill greater than 0.8m in depth for sandy sites and 0.4m in depth for other soil materials.
- The site is subject to mine subsistence, landslip, collapse activity or coastal erosion.
- The site is underlain by highly dispersive soils with significant potential for erosion
- If the site is subject to abnormal moisture conditions which can affect foundation performance

## 1.2 Soil Characterisation

This information explains the terms of phrase used within the soil description area of the report.

It includes terminology for cohesive and non-cohesive soils and includes information on how the Unified Soil Classification Scheme (USCS) codes are determined.

<b>NON COHSIVE – SAND &amp; GRAVEL</b>		
<b>Consistency Description</b>	<b>Field Test</b>	<b>Dynamic Cone Penetrometer blows/100 mm</b>
Very loose (VL)	Easily penetrated with 13 mm reinforcing rod pushed by hand.	0 - 1
Loose (L)	Easily penetrated with 13 mm reinforcing rod pushed by hand. Can be excavated with a spade; 50 mm wooden peg can be easily driven.	1 - 3
Medium dense (MD)	Penetrated 300 mm with 13 mm reinforcing rod driven with 2 kg hammer, - hard shovelling.	3 - 8
Dense (D)	Penetrated 300 mm with 13 mm reinforcing rod driven with 2 kg hammer, requires pick for excavation; 50 mm wooden peg hard to drive.	8 - 15
Very dense (VD)	Penetrated only 25 - 50 mm with 13 mm reinforcing rod driven with 2 kg hammer.	>15

<b>COHESIVE - SILT &amp; CLAY</b>		
<b>Consistency Description</b>	<b>Field Test</b>	<b>Indicative undrained shear strength kPa</b>
Very soft	Easily penetrated >40 mm by thumb. Exudes between thumb and fingers when squeezed in hand.	<12
Soft	Easily penetrated 10 mm by thumb. Moulded by light finger pressure	>12 and <25
Firm	Impression by thumb with moderate effort. Moulded by strong finger pressure	>25 and <50
Stiff	Slight impression by thumb cannot be moulded with finger.	>50 and <100
Very Stiff	Very tough. Readily indented by thumbnail.	>100 and <200
Hard	Brittle. Indented with difficulty by thumbnail.	>200

### 1.3 USCS Material Descriptions

Soils for engineering purposes are the unconsolidated materials above bedrock, they can be residual, alluvial, colluvial or aeolian in origin.

Major Divisions	Particle size mm	USCS Group Symbol	Typical Names	Laboratory Classification						
				% < 0.075 mm (2)	Plasticity of fine fraction	$C_u = \frac{D_{60}}{D_{10}}$	$C_c = \frac{(D_{30})^2}{(D_{10})(D_{60})}$	NOTES		
COARSE GRAINED SOILS (more than half of material less than 63 mm & larger than 0.075 mm)	BOULDERS _____ 200									
	COBBLES _____ 63									
	GRAVELS (more than half of coarse fraction is larger than 2.36 mm)	coarse _____ 20	GW	Well graded gravels and gravel-sand mixtures, little or no fines	0-5	—	>4	Between 1 and 3	(1) Identify fines by the method given for fine-grained soils.  (2) Borderline classifications occur when the percentage of fines (fraction smaller than 0.075 mm size) is greater than 5% and less than 12%. Borderline classifications require the use of SP-SM, GW-GC.	
		medium _____ 6	GP	Poorly graded gravels and gravel-sand mixtures, little or no fines, uniform gravels	0-5	—	Fails to comply with above			
		fine _____ 2.36	GM	Silty gravels, gravel-sand-silt mixtures (1)	12-50	Below 'A' line or PI<4	—	—		
			GC	Clayey gravels, gravel-sand-clay mixtures (1)	12-50	Above 'A' line and PI>7	—	—		
	SANDS (more than half of coarse fraction is smaller than 2.36 mm)	coarse _____ 0.6	SW	Well graded sands and gravelly sands, little or no fines	0-5	—	>6	Between 1 and 3		
		medium _____ 0.2	SP	Poorly graded sands and gravelly sands, little or no fines	0-5	—	Fails to comply with above			
		fine 0.075	SM	Silty sands, sand silt mixtures (1)	12-50	Below 'A' line or PI<4	—	—		
			SC	Clayey sands, sand-clay mixtures (1)	12-50	Above 'A' line and PI>7	—	—		
	FINE GRAINED SOILS (more than half of material less than 63 mm & smaller than 0.075 mm)	SILTS & CLAYS (Liquid Limit ≤50%)	ML	Inorganic silts, very fine sands, rock flour, silty or clayey fine sands or clayey silts with slight plasticity	<div style="text-align: center;"> <b>Plasticity Chart</b>                      For classification of fine grained soils and fine fraction of coarse grained soils.                 </div> <p>The Plasticity Chart plots Plastic Index (%) on the y-axis (0 to 60) against Liquid Limit (%) on the x-axis (0 to 100). Key features include:                      - Vertical lines at LL=40 (Low), LL=50 (Medium), and LL=60 (High).                      - A dashed 'U-line' (A<sub>u</sub>) and a solid 'C-line' (A<sub>c</sub>).                      - Classification regions: CL (low plasticity inorganic clays), CH (high plasticity inorganic clays), MH (medium plasticity inorganic silts), OH (high plasticity organic silts), ML (low plasticity inorganic silts), OL (low plasticity organic silts), and PT (peat and other highly organic soils).                      - A note: 'Use the gradation curve of material passing 63 mm for classification of fractions according to the criteria given in Major Divisions'.</p>					
			CL	Inorganic clays of low to medium plasticity, gravelly clays, sandy clays, silty clays, lean clays						
OL			Organic silts and clays of low plasticity							
SILTS & CLAYS (Liquid Limit >50%)		MH	Inorganic silts, micaceous or diatomaceous fine sands or silts, elastic silts							
		CH	Inorganic clays of high plasticity, fat clays							
		OH	Organic silts and clays of high plasticity							
HIGHLY ORGANIC SOILS		PT	Peat and other highly organic soils							

Grain size analysis is performed by two processes depending on particle size. Sand silt and clay particles are assessed using a standardised hydrometer test, and coarse sand and larger is assessed through sieving by USCS certified sieves. For more detail see the following section.

Soil Classification	Particle Size
Clay	Less than 0.002mm
Silt	0.002 – 0.06mm
Fine/Medium Sand	0.06 – 2.0mm
Coarse Sand	2.0mm – 4.75mm
Gravel	4.75mm – 60.00mm

#### 1.4 Bearing Capacities and DCP testing.

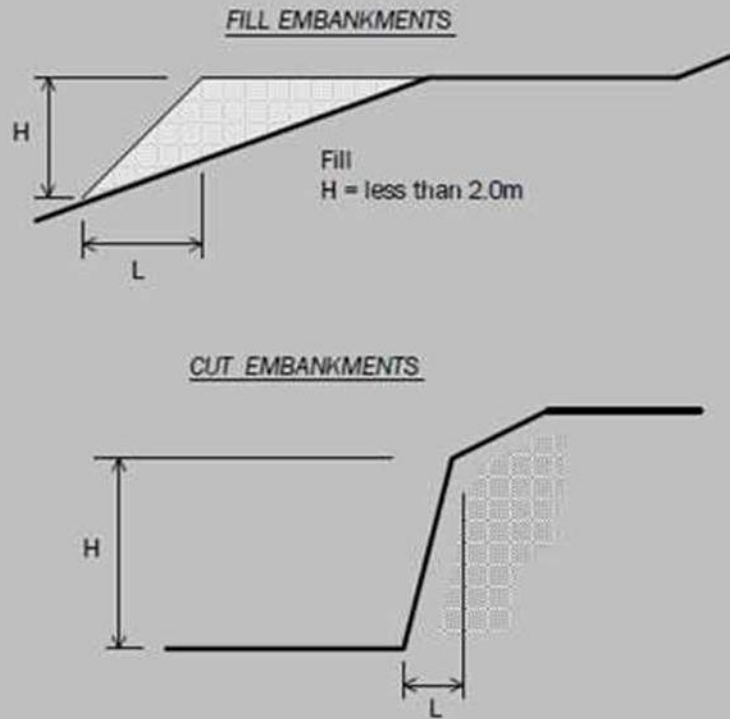
DCP and PSP weighted penetrometer tests – Dynamic Cone Penetrometer (DCP) and Perth Sand Penetrometer (PSP) tests are carried out by driving a rod into the ground with a falling weight hammer and measuring the blows for successive 100mm increments of penetration. Normally, there is a depth limitation of 1.2m but this may be extended in certain conditions by the use of extension rods. The methods for the two tests are quite similar.

- Dynamic Cone Penetrometer – a 16mm rod with a 20mm diameter cone end is driven with a 9kg hammer dropping 510mm (AS 1289, Test 6.3.2).
- Perth Sand Penetrometer – a 16mm diameter flat-ended rod is driven with a 9kg hammer, dropping 600mm (AS 1289 Test 6.3.3). This test was developed for testing the density of sands and is mainly used in granular soils and filling.

Site Anomalies – During construction GES will need to be notified of any major variation to the foundation conditions as predicted in this report.

**1.5 Batter Angles for Embankments (Guide Only)**

Note : Retaining walls or other form of soil retaining methods must be adopted where the slope ratio is greater than that indicated in the table below :-



MATERIAL TYPE (refer soils report)		EMBANKMENT SLOPES (Height : Length)	
		Compacted Fill	Cutting
Stable Rock (A*)		2 : 3	6 : 1
Sand (A*)		1 : 2	2 : 3
Silt (P*)		1 : 4	1 : 4
Clay	Firm Clay	1 : 2	1 : 1
	Soft Clay	Not Suitable	2 : 3
Soft Soils (P*)		Not Suitable	Not Suitable

## Glossary of Terms

**Bearing Capacity** – Maximum bearing pressure that can be sustained by the foundation from the proposed footing system under service loads which should avoid failure or excessive settlement.

**Clay** – (Mineral particles less than 0.002mm in diameter). Fine grained cohesive soil with plastic properties when wet. Also includes sandy clays, silty clays, and gravelly clays.

**Dynamic Cone Penetrometer (DCP)** – Field equipment used to determine underlying soil strength and therefore bearing capacity (kPa) by measuring the penetration of the device into the soil after each hammer blow.

**Dispersive soil** – A soil that has the ability to pass rapidly into suspension in water.

**Footing** – Construction which transfers the load from the building to the foundation.

**Foundation** – Ground which supports the building

**Landslip** – Foundation condition on a sloping site where downhill foundation movement or failure is a design consideration.

**Qualified Engineer** – A professional engineer with academic qualifications in geotechnical or structural engineering who also has extensive experience in the design of the footing systems for houses or similar structures.

**Reactive Site** – Site consisting of clay soil which swells on wetting and shrinks on drying by an amount that can damage buildings on light strip footings or unstiffened slabs. Includes sites classified as S, M, H-1, H-2 & E in accordance with AS2870-2011.

**Sand** – (Mineral particles greater than 0.02mm in diameter). Granular non-cohesive, non-plastic soil that may contain fines including silt or clay up to 15%.

**Services** – Means all underground services to the site including but not limited to power, telephone, sewerage, water & storm water.

**Silt** – (Mineral particles 0.002 – 0.02mm in diameter). Fine grained non-cohesive soil, non-plastic when wet. Often confers a silky smoothness of field texture, regularly includes clay and sand to form clayey silts, sandy silts and gravelly silts.

**Site** – The site title, as denoted by address, lot number, or Certificate of Title (CT) number, or Property Identification Number (PID).

**Surface Movement (Ys)** – Design movement (mm) at the surface of a reactive site caused by moisture changes.

## **Disclaimer**

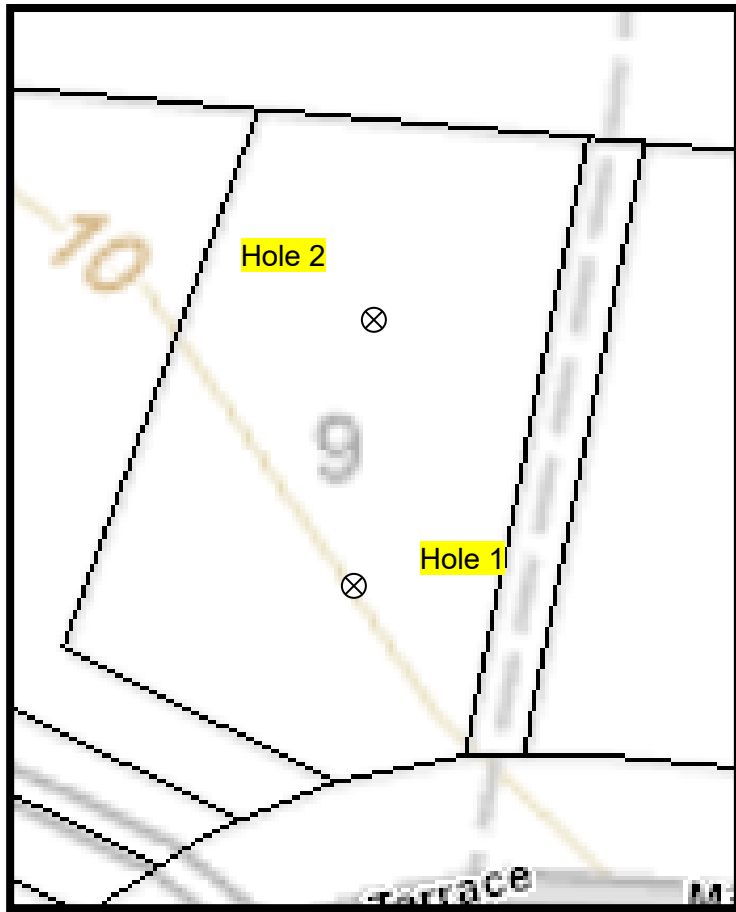
This Report has been prepared in accordance with the scope of services between Geo-Environmental Solutions Pty. Ltd. (GES) and the Client. To the best of GES's knowledge, the information presented herein represents the client's requirements at the time of printing of the Report. However, the passage of time, manifestation of latent conditions or impacts of future events may result in findings differing from that discussed in this Report. In preparing this Report, GES has relied upon data, surveys, analyses, designs, plans and other information provided by the Client and other individuals and organisations referenced herein. Except as otherwise stated in this Report, GES has not verified the accuracy or completeness of such data, surveys, analyses, designs, plans and other information.

The scope of this study does not allow for the review of every possible geotechnical parameter or the soil conditions over the whole area of the site. Soil and rock samples collected from the investigation area are assumed to be representative of the areas from where they were collected and not indicative of the entire site. The conclusions discussed within this report are based on observations and/or testing at these investigation points.

This report does not purport to provide legal advice. Readers of the report should engage professional legal practitioners for this purpose as required.

No responsibility is accepted for use of any part of this report in any other context or for any other purpose by a third party.

**Site Plan**



## APPENDIX 1 - DCP Results Table

Dynamic Cone Penetration (DCP) Conversion to Californian Bearing Ratio  
 (ref: Australian Standard AS 1289.6.3.2 - 1997)

DCP Location                      BH1

Depth (mm)	DCP (Blows/100mm)	DCP (mm/Blow)	DCP Resistance (mPa)	Allowable Bearing Capacity (kPa)	CBR (Rounded Up)
0-100	4	25.0	1.3	139	8
100-200	7	14.3	2.2	243	15
200-300	4	25.0	1.3	139	8
300-400	3	33.3	0.9	104	6
400-500	3	33.3	0.9	104	6
500-600	5	20.0	1.6	174	10
600-700	6	16.7	1.9	208	13
700-800	9	11.1	2.8	313	20
800-900	12	8.3	3.8	417	27
900-1000	15	6.7	4.7	521	35
1000-1100	20	5.0	6.3	694	48

**Appendix 2 – Site Photos**



**CERTIFICATE OF QUALIFIED PERSON – ASSESSABLE ITEM**

**Section 321**

Form **55**

To:  *Owner /Agent*  
 *Address*  
  *Suburb/postcode*

**Qualified person details:**

Qualified person:   
Address:     
Licence No:  Email address:   
Phone No:   
Fax No:

Qualifications and Insurance details:  *(description from Column 3 of the Director's Determination - Certificates by Qualified Persons for Assessable Items)*

Speciality area of expertise:  *(description from Column 4 of the Director's Determination - Certificates by Qualified Persons for Assessable Items)*

**Details of work:**

Address:    Lot No:   
Certificate of title No:

The assessable item related to this certificate:  *(description of the assessable item being certified)*  
*Assessable item includes –*  

- a material;
- a design
- a form of construction
- a document
- testing of a component, building system or plumbing system
- an inspection, or assessment, performed

**Certificate details:**

Certificate type:  *(description from Column 1 of Schedule 1 of the Director's Determination - Certificates by Qualified Persons for Assessable Items n)*

This certificate is in relation to the above assessable item, at any stage, as part of - (tick one)  
building work, plumbing work or plumbing installation or demolition work   
or  
a building, temporary structure or plumbing installation:

In issuing this certificate the following matters are relevant –

Documents:	The attached soil report for the address detailed above in 'details of work'
Relevant calculations:	Reference the above report.
References:	AS2870:2011 residential slabs and footings AS1726:2017 Geotechnical site investigations CSIRO Building technology file – 18.

*Substance of Certificate: (what it is that is being certified)*

Site Classification consistent with AS2870-2011.

*Scope and/or Limitations*

The classification applies to the site as inspected and does not account for future alteration to foundation conditions as a result of earth works, drainage condition changes or variations in site maintenance.

**I, John-Paul Cumming certify the matters described in this certificate.**

Qualified person:

*Signed:*

*Certificate No:*

*Date:*

J12509

16/12/2025



A handwritten signature in black ink, appearing to read 'John Paul Cumming', written over a light grey background.