



Application for Planning Approval

Land Use Planning and Approvals Act 1993

APPLICATION NO.

DA2026/037

LOCATION OF AFFECTED AREA

36 ANDREW STREET, BRIGHTON

DESCRIPTION OF DEVELOPMENT PROPOSAL

MULTIPLE DWELLINGS (2 UNITS)

A COPY OF THE DEVELOPMENT APPLICATION MAY BE VIEWED AT www.brighton.tas.gov.au AND AT THE COUNCIL OFFICES, 1 TIVOLI ROAD, OLD BEACH, BETWEEN 8:15 A.M. AND 4:45 P.M, MONDAY TO FRIDAY OR VIA THE QR CODE BELOW. ANY PERSON MAY MAKE WRITTEN REPRESENTATIONS IN ACCORDANCE WITH S.57(5) OF THE LAND USE PLANNING AND APPROVALS ACT 1993 CONCERNING THIS APPLICATION UNTIL 4:45 P.M. ON **30/04/2026**. ADDRESSED TO THE CHIEF EXECUTIVE OFFICER AT 1 TIVOLI ROAD, OLD BEACH, 7017 OR BY EMAIL AT development@brighton.tas.gov.au. REPRESENTATIONS SHOULD INCLUDE A DAYTIME TELEPHONE NUMBER TO ALLOW COUNCIL OFFICERS TO DISCUSS, IF NECESSARY, ANY MATTERS RAISED.

JAMES DRYBURGH
Chief Executive Officer



Brighton
going places

PROPOSED RESIDENTIAL DEVELOPMENT

36 ANDREW STREET

BRIGHTON

KNEST

PDH25118

BUILDING DRAWINGS

No	DRAWING
01	SITE PLAN
02	SITE DRAINAGE PLAN
03	LANDSCAPING PLAN
04	LOCALITY PLAN
05	SHADOW DIAGRAMS
06	TURNING CIRCLES

UNIT 1 BUILDING DRAWINGS

No	DRAWING
U1-01	FLOOR PLAN
U1-02	DOOR AND WINDOW SCHEDULES
U1-03	ELEVATIONS
U1-04	ELEVATIONS
U1-05	ROOF PLAN
U1-06	PERSPECTIVES

UNIT 2 BUILDING DRAWINGS

No	DRAWING
U2-01	FLOOR PLAN
U2-02	DOOR AND WINDOW SCHEDULES
U2-03	ELEVATIONS
U2-04	ELEVATIONS
U2-05	ROOF PLAN
U2-06	PERSPECTIVES



U1 POD 1 AREA	42.06	m2	(4.53	SQUARES)
U1 POD 2 AREA	42.06	m2	(4.53	SQUARES)
U2 POD 1 AREA	42.06	m2	(4.53	SQUARES)
U2 POD 2 AREA	42.06	m2	(4.53	SQUARES)
TOTAL FLOOR AREA	168.25		18.11	

GENERAL PROJECT INFORMATION

TITLE REFERENCE: 15411/13
 SITE AREA: 737 m²
 DESIGN WIND SPEED: N2
 SOIL CLASSIFICATION: P
 CLIMATE ZONE: 7
 ALPINE AREA: NO
 CORROSIVE ENVIRONMENT: N/A
 BAL RATING: N/A
 OTHER KNOWN HAZARDS: NONE KNOWN

COPYRIGHT: These drawings and designs and the copyright thereof are the sole property of Prime Design Tas PTY Ltd

REV. DATE DESCRIPTION



L: 10 Goodman Court, Invermay, 7248
 p(t) + 03 6332 3790
 H: Shop 9, 105-111 Main Road, Moonah, 7009
 p(h) + 03 6228 4575

info@primedesigntas.com.au
 Accredited Building Practitioner:



primedesigntas.com.au
 Frank Geskus -No CC246A

APRIL 2026
PLANNING

SETBACKS

REFER TO DIMENSIONS AND ELEVATIONS FOR FURTHER DETAILS.

SITE COVERAGE

BUILDING FOOTPRINT 221.65 /SITE AREA 737.0 = 0.300
TOTAL SITE COVERAGE 30.0%

PRIVATE OPEN SPACE

24m² MINIMUM,
WITH A MINIMUM DIMENSION OF 4m
GRADIENT NO STEEPER THAN 1:10

DECKS

REFER TO SITE PLAN FOR SETBACK, DECK ISN'T 1m ABOVE ESL DOES NOT REQUIRE A SCREEN TO 1.7m

DRIVEWAY GRADIENT

MAXIMUM GRADIENT 1:4 (25%)
TO AS 2890

CAR PARKING GRADIENT

PARALLEL TO PARKING ANGLE 1:20 (5%)
CROSSFALL 1:16 (6.25%)

SEWER AND WATER SERVICES

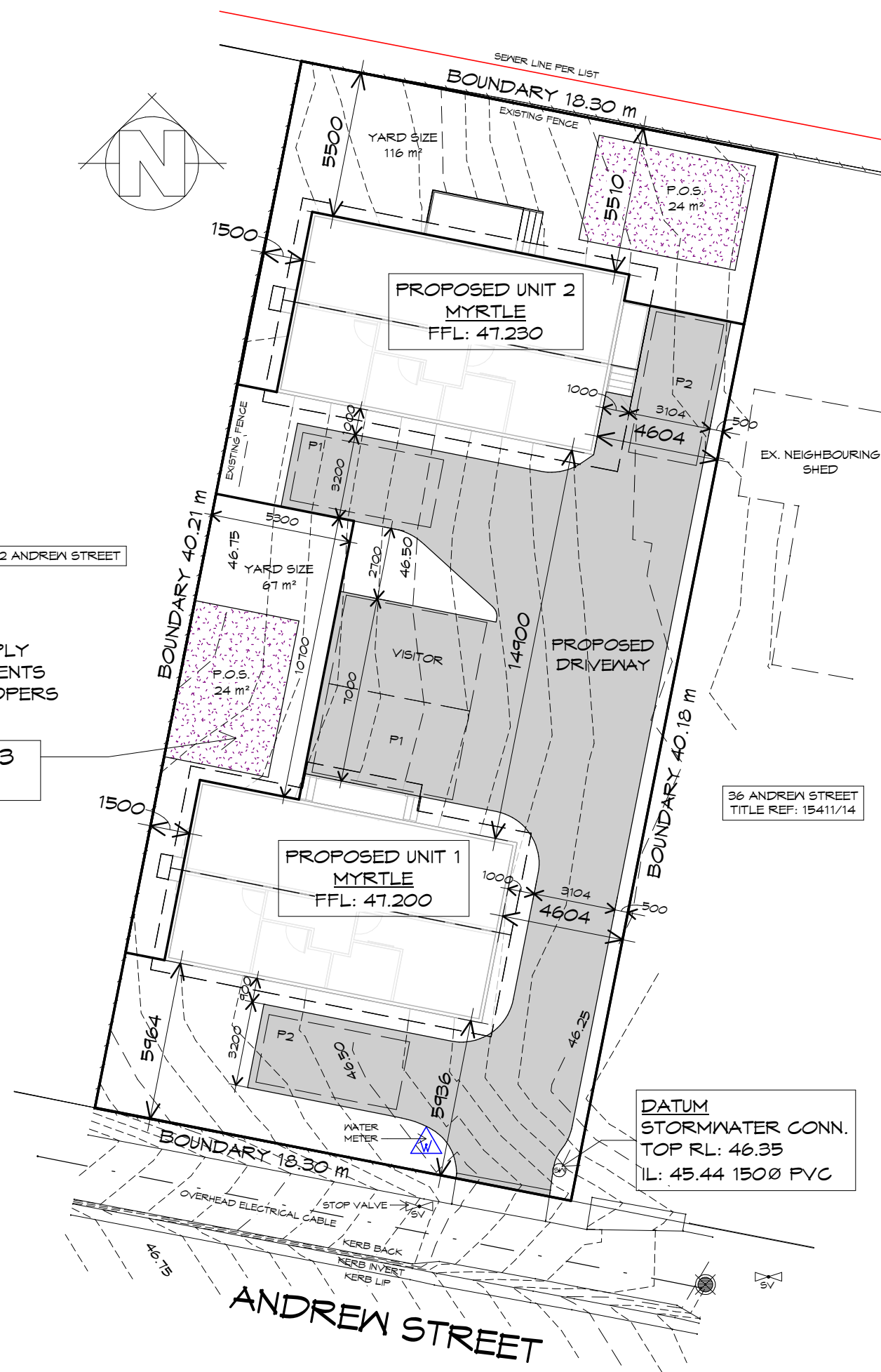
- ALL WORKS IN ACCORDANCE WITH WATER SUPPLY CODE OF AUSTRALIA AND TASWATER SUPPLEMENTS
- WORKS TO BE DONE BY TASWATER AT DEVELOPERS COST

TITLE REF: 15411/13
LOT SIZE: 737 m²

SITE PLAN

1 : 200

NOTE: DIMENSIONED BOUNDARY OFFSETS TO THE PROPOSED BUILDING ARE TO THE EXTERNAL CLADDING U.N.O.



GENERAL NOTES

- CHECK & VERIFY ALL DIMENSIONS & LEVELS ON SITE
- WRITTEN DIMENSIONS TO TAKE PREFERENCE OVER SCALED
- ALL WORK TO BE STRICTLY IN ACCORDANCE WITH NCC 2022, ALL S.A.A. CODES & LOCAL AUTHORITY BY-LAWS
- ALL DIMENSIONS INDICATED ARE FRAME TO FRAME AND DO NOT ALLOW FOR WALL LININGS
- CONFIRM ALL FLOOR AREAS
- ALL PLUMBING WORKS TO BE STRICTLY IN ACCORDANCE WITH A.S. 3500, NCC 2022 & APPROVED BY COUNCIL INSPECTOR
- BUILDER/PLUMBER TO ENSURE ADEQUATE FALL TO SITE CONNECTION POINTS IN ACCORDANCE WITH A.S. 3500 FOR STORMWATER AND SEWER BEFORE CONSTRUCTION COMMENCES
- THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE ENGINEER'S STRUCTURAL DRAWINGS
- ALL WINDOWS AND GLAZING TO COMPLY WITH A.S. 1288 & A.S. 2047
- ALL SET OUT OF BUILDINGS & STRUCTURES TO BE CARRIED OUT BY A REGISTERED LAND SURVEYOR AND CHECKED PRIOR TO CONSTRUCTION
- IF CONSTRUCTION OF THE DESIGN IN THIS SET OF DRAWINGS DIFFER FROM THE DESIGN AND DETAIL IN THESE AND ANY ASSOCIATED DOCUMENTS BUILDER AND OWNER ARE TO NOTIFY DESIGNER
- BUILDER'S RESPONSIBILITY TO COMPLY WITH ALL PLANNING CONDITIONS
- BUILDER TO HAVE STAMPED BUILDING APPROVAL DRAWINGS AND PERMITS PRIOR TO COMMENCEMENT OF CONSTRUCTION

SURVEYORS NOTES

- THIS PLAN HAS BEEN PREPARED FOR KNEST FROM A COMBINATION OF FIELD SURVEY AND EXISTING RECORDS FOR THE PURPOSE OF DESIGNING NEW CONSTRUCTIONS ON THE LAND AND SHOULD NOT BE USED FOR ANY OTHER PURPOSE.
- UNDERGROUND SERVICES HAVE NOT BEEN LOCATED.
- THE RELEVANT AUTHORITIES SHOULD BE CONTACTED REGARDING THE LOCATION OF UNDERGROUND UTILITIES (TELSTRA, WATER MAINS, SEWER, DRAINAGE, GAS) WHICH REQUIRE VERIFICATION ON SITE BEFORE CONSTRUCTION.
- THIS DATA IS ON A PLANE COORDINATE SYSTEM -
- DISTANCES ARE WHAT WOULD BE MEASURED ON THE GROUND USING A TAPE MEASURE. THE COORDINATES HAVE AN MGA ORIGIN AT 5PM11005 (E:520535.013 N:5272449.915 RL:61.551)
- THE COMBINED SCALE FACTOR (CSF) TO BE APPLIED TO CONVERT TO MGA2020 COORDINATE SYSTEM IS 0.99959552 USING 5PM11005 AS THE SCALE ORIGIN POINT.

1. SEWER CONNECTION COULD NOT BE FOUND. NEIGHBOUR INDICATED NO CONNECTION WAS BELIEVED TO EXIST.
2. POWER AND TELSTRA ARE IN THE STREET OVERHEAD.

BOUNDARY COMPILATION HAS BEEN CERTIFIED BY NICK CREESE OF LARKE & CREESE

DATUM
STORMWATER CONN.
TOP RL: 46.35
IL: 45.44 150Ø PVC



REV. DATE DESCRIPTION

Client name:
KNEST

PLANNING
NOTE: DO NOT SCALE OFF DRAWINGS

Project:
PROPOSED RESIDENTIAL DEVELOPMENT
36 ANDREW STREET
BRIGHTON
Drawing:
SITE PLAN



L: 10 Goodman Court, Invermay, 7248 - p+ 03 6332 3790
H: Shop 9, 105-111 Main Road, Moonah, 7009 - p+ 03 6228 4575
info@primedesigntas.com.au primedesigntas.com.au



Date: 09.04.2026
Drafted by: T.W.
Approved by: F.G.G.

Project/Drawing no: PDH25118 - 01
Scale: 1 : 200
Revision: 03

Accredited building practitioner: Frank Geskus -No CC246A
COPYRIGHT: These drawings and designs and the copyright thereof are the sole property of Prime Design Tas PTY Ltd

SITE DRAINAGE PLAN

1 : 200



REV.	DATE	DESCRIPTION

Client name:
KNEST

PLANNING
NOTE: DO NOT SCALE OFF DRAWINGS

Project:
PROPOSED RESIDENTIAL DEVELOPMENT
36 ANDREW STREET
BRIGHTON

Drawing:
SITE DRAINAGE PLAN

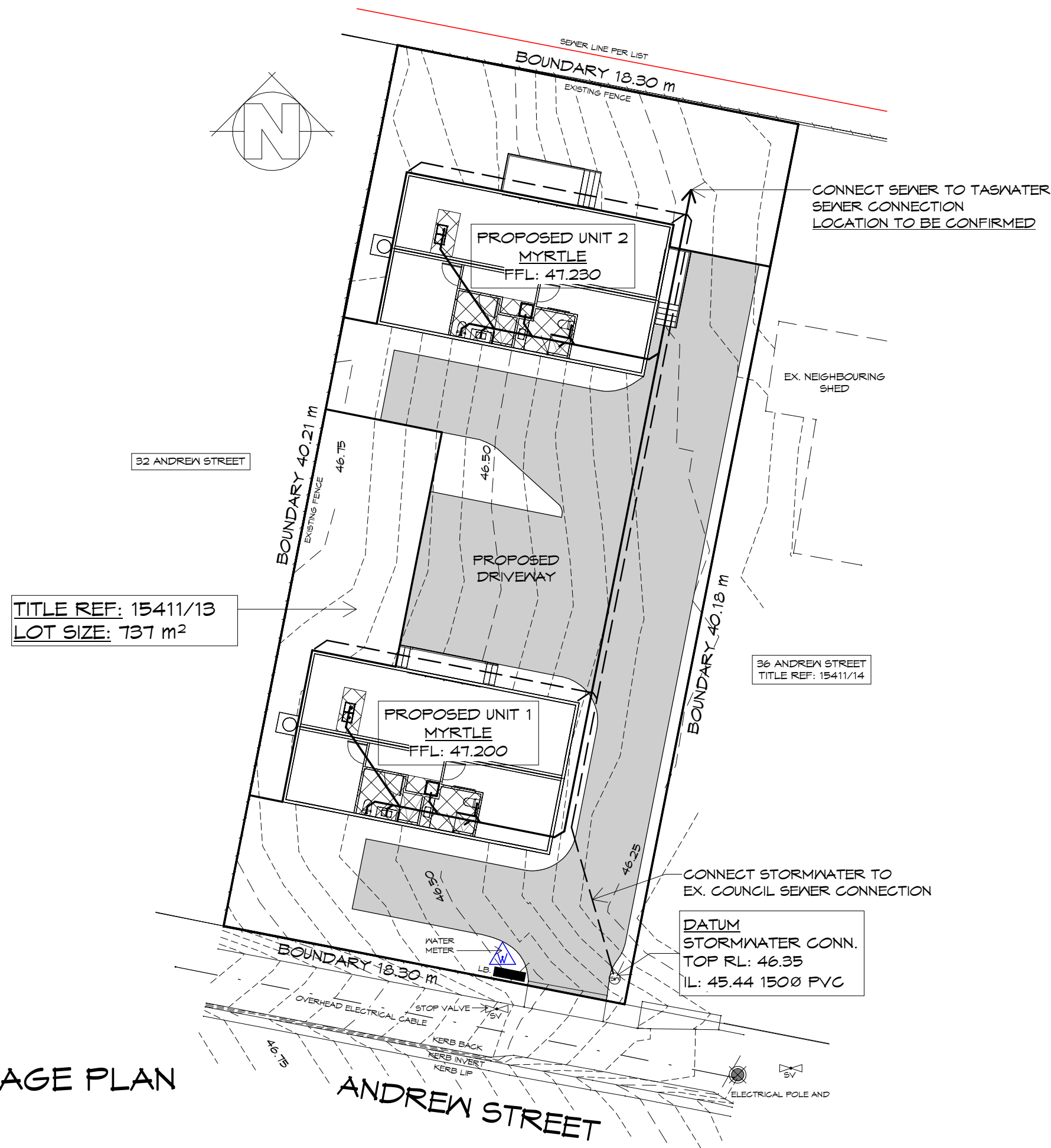


L: 10 Goodman Court, Invermay, 7248 - p+ 03 6332 3790
H: Shop 9, 105-111 Main Road, Moonah, 7009 - p+ 03 6228 4575
info@primedesigntas.com.au primedesigntas.com.au

Date: 09.04.2026	Drafted by: Author	Approved by: Approver
---------------------	-----------------------	--------------------------

Project/Drawing no: PDH25118 - 02	Scale: As indicated	Revision: 03
--------------------------------------	------------------------	-----------------

Accredited building practitioner: Frank Gekus - No CC246A
COPYRIGHT: These drawings and designs and the copyright thereof are the sole property of Prime Design Tas PTY Ltd



LEGEND

- GP 450X 450 SURFACE DRAINAGE PIT
- WET AREAS
- SEWER LINE
- STORMWATER LINE

PLUMBING NOTES:

ALL DRAINAGE WORK SHOWN IS PROVISIONAL ONLY AND IS SUBJECT TO AMENDMENT TO COMPLY WITH THE REQUIREMENTS OF THE LOCAL AUTHORITIES.

ALL WORK IS TO COMPLY WITH THE REQUIREMENTS OF AS 3500.2021 & THE TASMANIAN PLUMBING CODE. AND MUST BE CARRIED OUT BY A LICENCED TRADESMAN ONLY.

- PITS:** ALL GRATED PITS SIZED AND INSTALLED PER AS/NZS 3500.2021 PART 3
- ORGS:** OVERFLOW RELIEF GULLYS TO BE BRANCHED SEPERATE AND NOT PASS THROUGH. REFER AS/NZS 3500.2021 PART 2
- S/W:** STORMWATER PIPES TO BE SIZED PER ASNZS 3500.2021 PART 3
- VENTS:** DRAINAGE VENTS TO BE LOCATED BEFORE LAST FITTING AT THE END OF THE LINE PER AS/NZS 3500.2021 PART 2

SEWER AND WATER SERVICES

- ALL WORKS IN ACCORDANCE WITH WATER SUPPLY CODE OF AUSTRALIA AND TASWATER SUPPLEMENTS
- WORKS TO BE DONE BY TASWATER AT DEVELOPERS COST

LANDSCAPING PLAN

1 : 200



REV. DATE DESCRIPTION

Client name:
KNEST

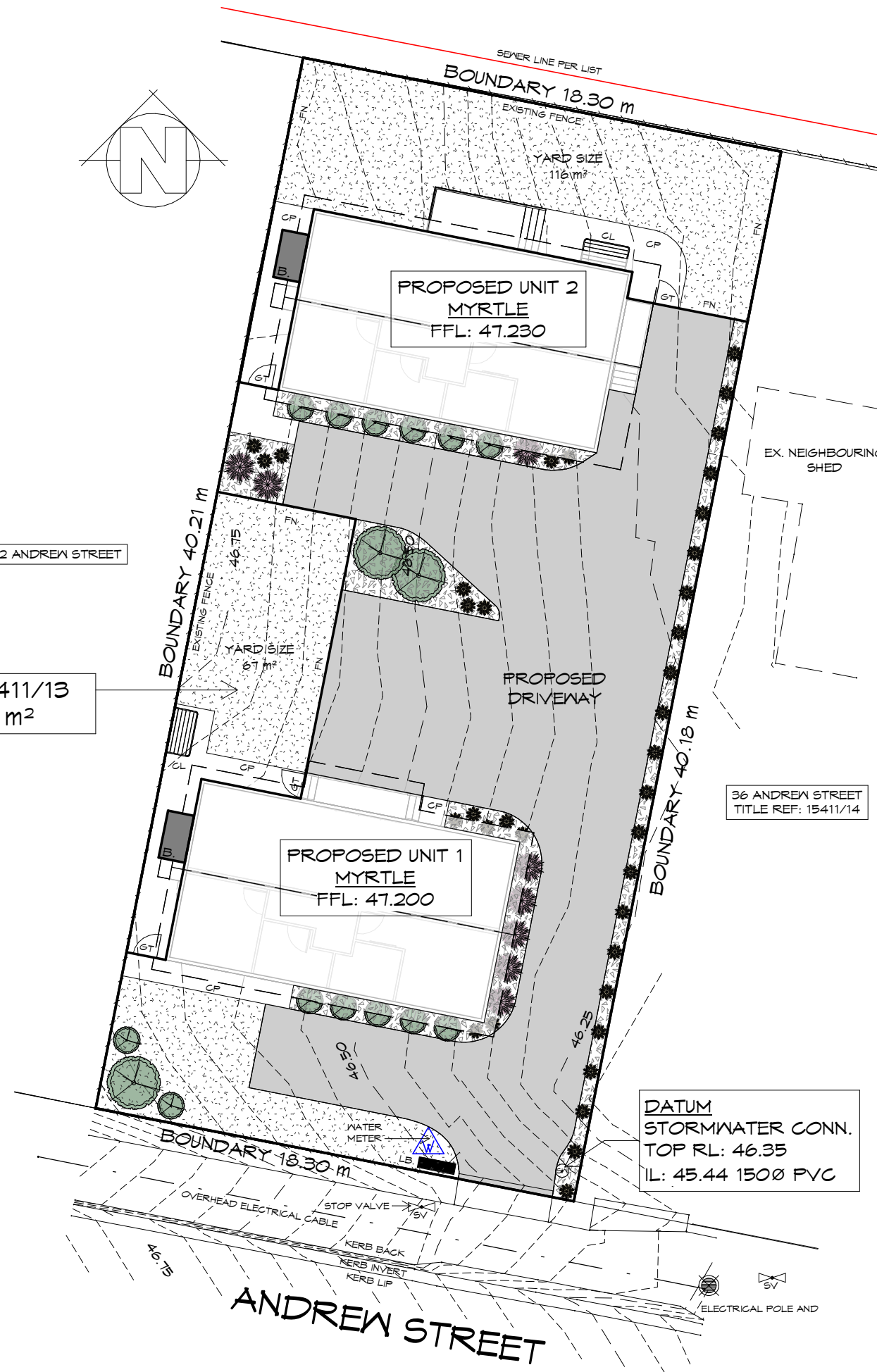
PLANNING
NOTE: DO NOT SCALE OFF DRAWINGS

Project:
PROPOSED RESIDENTIAL DEVELOPMENT
36 ANDREW STREET
BRIGHTON
Drawing:
LANDSCAPING PLAN

Date: 09.04.2026
Drafted by: T.W.
Approved by: F.G.G.

Project/Drawing no: PDH25118 - 03
Scale: 1 : 200
Revision: 03

Accredited building practitioner: Frank Geskus - No CC246A
COPYRIGHT: These drawings and designs and the copyright thereof are the sole property of Prime Design Tas PTY Ltd



LEGEND

- PROPOSED SHRUB
- PROPOSED GROUNDCOVER/GRASS
- LAWN
- MULCH OR SIMILAR
- CP. CONCRETE PATH/PAVING
- CONCRETE DRIVEWAY
- LB. LETTER BOX
- B. WASTE STORAGE 1.5m²
- GT GATE
- FN FENCE 1.8m HIGH
- CL CLOTHES LINES - WALL MOUNT
- RET. ISLAND BLOCK & PAVING FREESTONE ECO RETAINING WALL SYSTEM OR SIMILAR

SITE COVERAGE
BUILDING FOOTPRINT 221.65 /SITE AREA 737.0
= 0.300
TOTAL SITE COVERAGE 30.0%

IMPERVIOUS SURFACES
NON-IMPERVIOUS SURFACES 241.5 /SITE AREA 737.0
= 0.327
TOTAL SITE FREE FROM IMPERVIOUS SURFACES 32.7%

TOTAL IMPERVIOUS AREA: 495.5 m²



L: 10 Goodman Court, Invermay, 7248 - p+ 03 6332 3790
H: Shop 9, 105-111 Main Road, Moonah, 7009 - p+ 03 6228 4575
info@primedesigntas.com.au primedesigntas.com.au



ASSOCIATION OF AUSTRALIA



PROPOSED RESIDENTIAL DEVELOPMENT
36 ANDREW STREET,
BRIGHTON

LOCALITY PLAN
1 : 2000

THIS SITE IS ZONED **GENERAL RESIDENTIAL** AND DOES NOT FALL WITHIN A BUSHFIRE PRONE AREAS OVERLAY, THEREFORE DOES NOT REQUIRE A BUSHFIRE ASSESSMENT.



L: 10 Goodman Court, Invermay, 7248 - p+ 03 6332 3790
H: Shop 9, 105-111 Main Road, Moonah, 7009 - p+ 03 6228 4575
info@primedesigntas.com.au primedesigntas.com.au



REV.	DATE	DESCRIPTION
------	------	-------------

Client name:
KNEST

PLANNING
NOTE: DO NOT SCALE OFF DRAWINGS

Project:
PROPOSED RESIDENTIAL DEVELOPMENT
36 ANDREW STREET
BRIGHTON

Drawing:
LOCALITY PLAN

Date: 09.04.2026	Drafted by: T.W.	Approved by: F.G.G.
---------------------	---------------------	------------------------

Project/Drawing no: PDH25118 - 04	Scale: 1 : 2000	Revision: 03
--------------------------------------	--------------------	-----------------

Accredited building practitioner: Frank Geskus - No CC246A
COPYRIGHT: These drawings and designs and the copyright thereof are the sole property of Prime Design Tas PTY Ltd



SHADOW DIAGRAM - 9AM

1 : 250



SHADOW DIAGRAM - 12PM

1 : 250



SHADOW DIAGRAM - 3PM

1 : 250



REV.	DATE	DESCRIPTION
------	------	-------------

Client name:
KNEST

PLANNING
NOTE: DO NOT SCALE OFF DRAWINGS

Project:
PROPOSED RESIDENTIAL DEVELOPMENT
36 ANDREW STREET
BRIGHTON
Drawing:
SHADOW DIAGRAMS



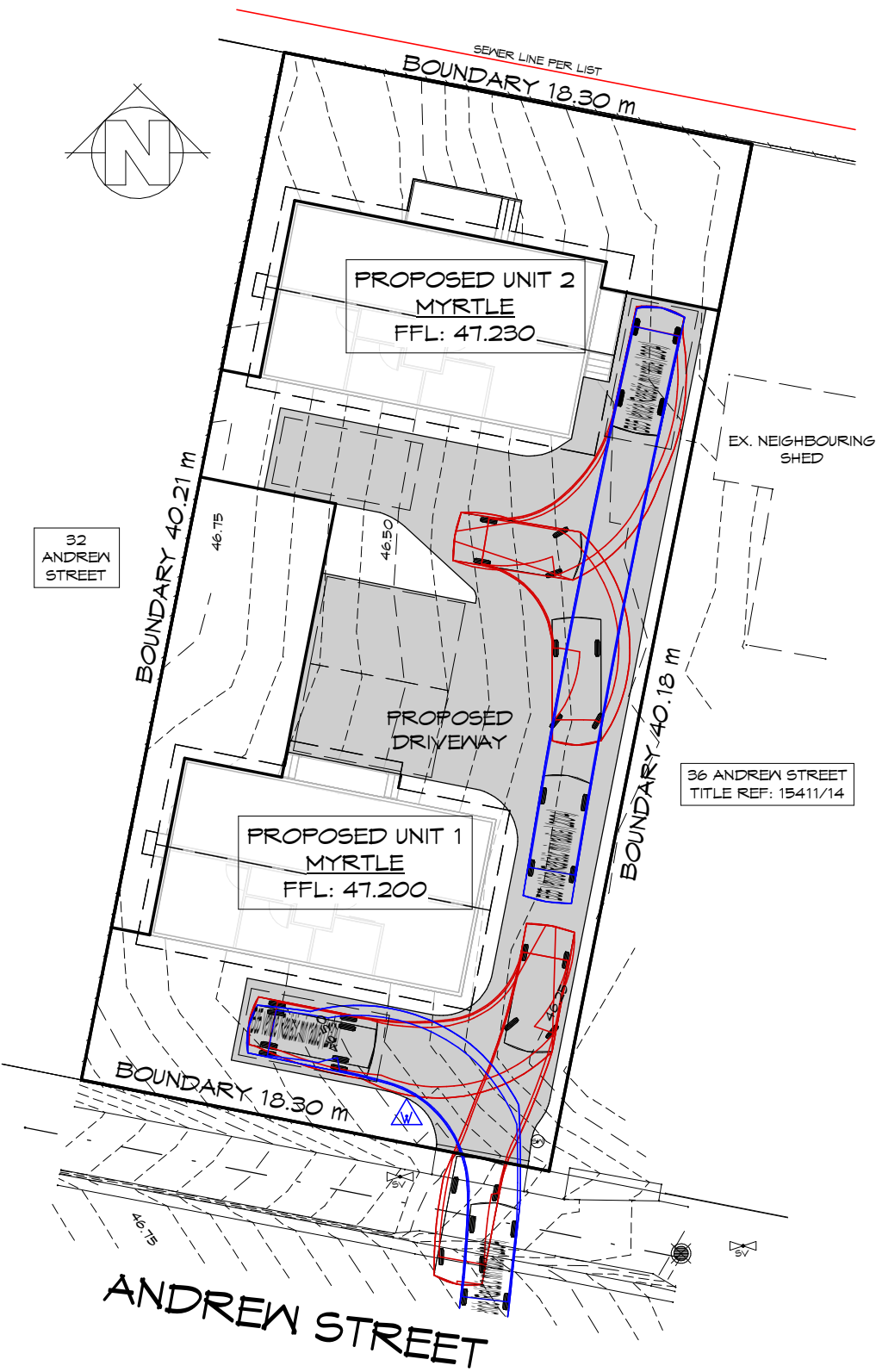
L: 10 Goodman Court, Invermay, 7248 - p+ 03 6332 3790
H: Shop 9, 105-111 Main Road, Moonah, 7009 - p+ 03 6228 4575
info@primedesigntas.com.au primedesigntas.com.au



Date: 09.04.2026	Drafted by: Author	Approved by: Approver
---------------------	-----------------------	--------------------------

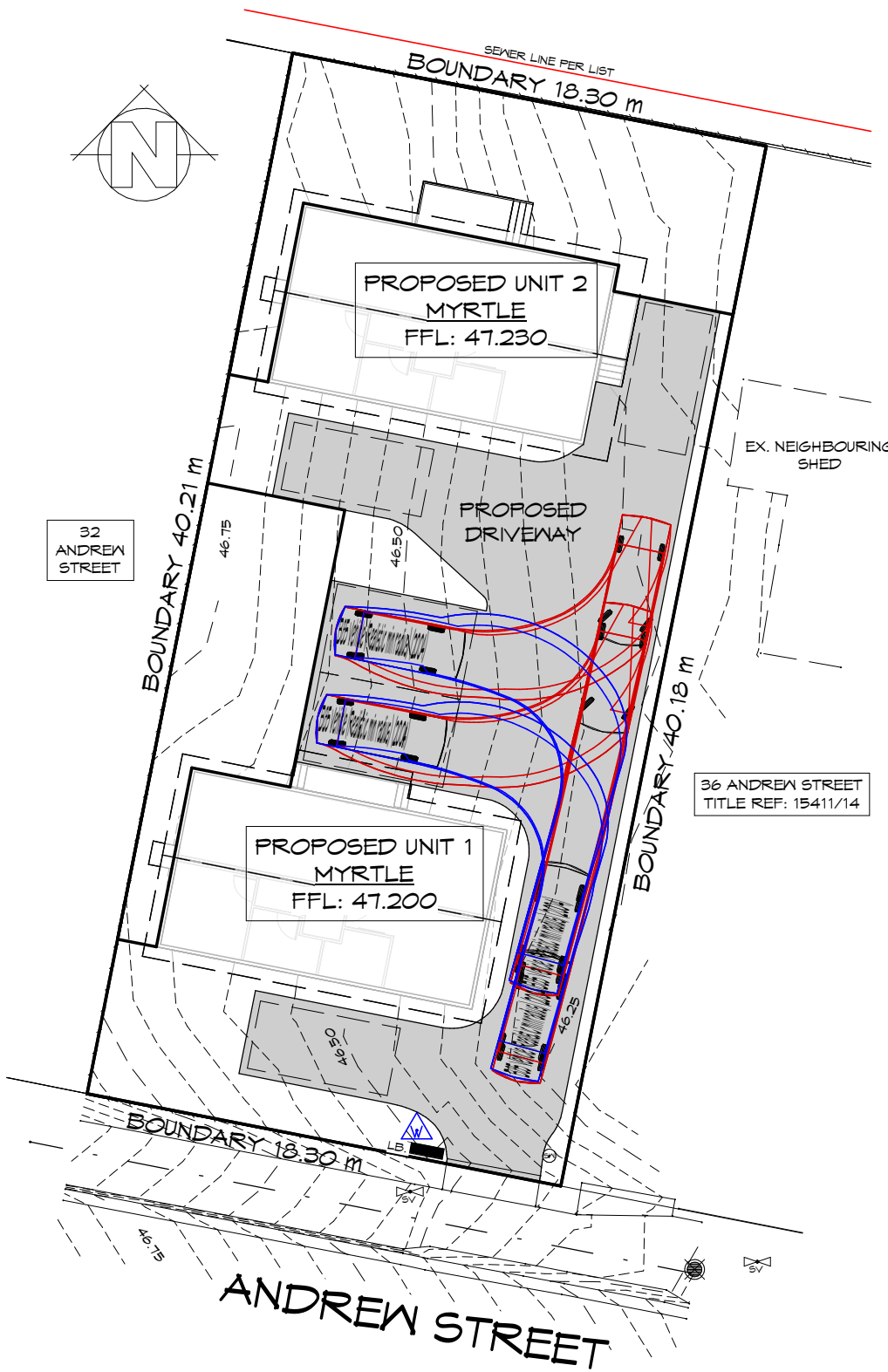
Project/Drawing no: PDH25118 - 05	Scale: As indicated	Revision: 03
--------------------------------------	------------------------	-----------------

Accredited building practitioner: Frank Geskus - No CC246A
COPYRIGHT: These drawings and designs and the copyright thereof are the sole property of Prime Design Tas PTY Ltd



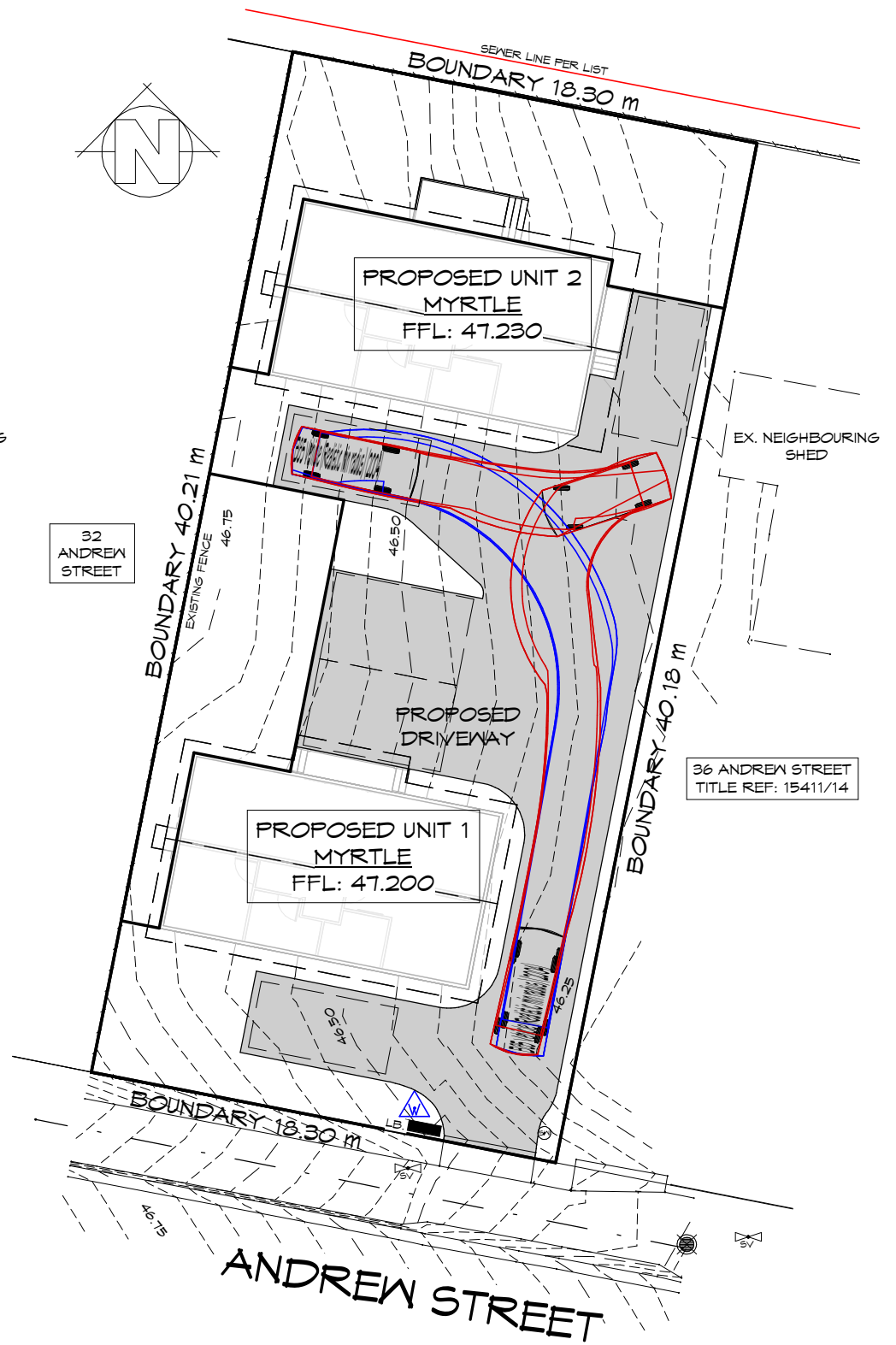
TURNING CIRCLE 1

1 : 250



TURNING CIRCLE 2

1 : 250



TURNING CIRCLE 3

1 : 250



REV.	DATE	DESCRIPTION
------	------	-------------

Client name:
KNEST

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS

Project:
PROPOSED RESIDENTIAL DEVELOPMENT
36 ANDREW STREET
BRIGHTON

Drawing:
TURNING CIRCLES



L: 10 Goodman Court, Invermay, 7248 - p+ 03 6332 3790
H: Shop 9, 105-111 Main Road, Moonah, 7009 - p+ 03 6228 4575
info@primedesigntas.com.au primedesigntas.com.au



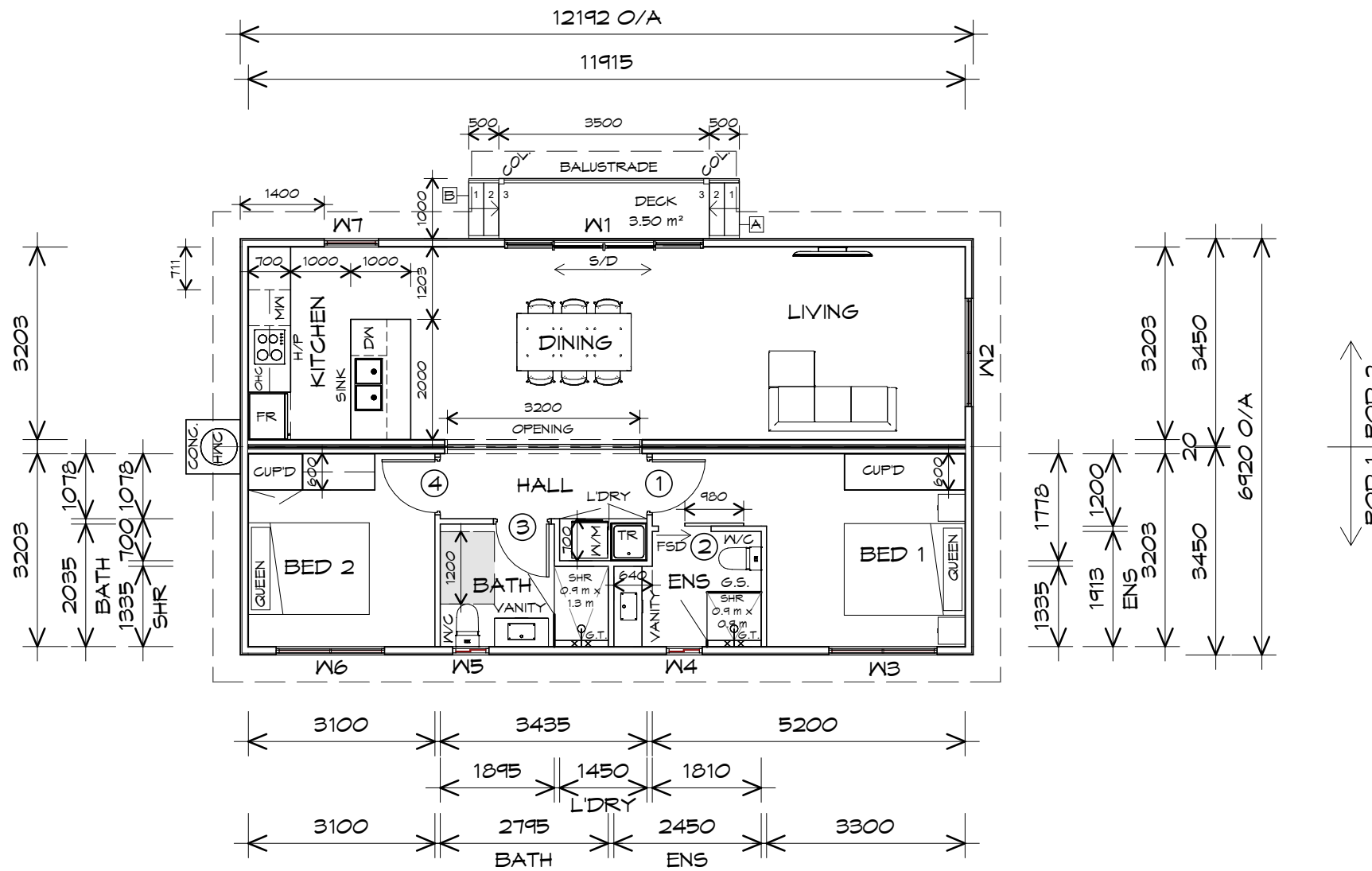
Date: 09.04.2026
Drafted by: Author
Approved by: Approver

Project/Drawing no: PDH25118 - 06
Scale: 1 : 250
Revision: 03

Accredited building practitioner: Frank Geskus - No CC246A
COPYRIGHT: These drawings and designs and the copyright thereof are the sole property of Prime Design Tas PTY Ltd

LEGEND

- FSD FACE SLIDING DOOR
- S/D SLIDING DOOR
- G.S. GLASS SCREEN
- G.T. GRATED TRENCH
- MW MICROWAVE
- DW DISHWASHER
- HWC HOT WATER CYLINDER
900X900 CONC. BASE
- COL COLUMN



FLOOR PLAN

1 : 100

U1 POD 1 AREA	42.06	m ²	(4.53 SQUARES)
U1 POD 2 AREA	42.06	m ²	(4.53 SQUARES)
TOTAL FLOOR AREA	84.12		9.06

NOTE:
FLOOR AREAS INCLUDE TO EXTERNAL FACE OF BUILDING AND GARAGE, UNLESS OTHERWISE STATED. DECKS AND OUTDOOR AREAS ARE CALCULATED SEPARATELY.

STAIRS

STAIR	No RISERS	RISER H'T	TREAD DEPTH
A	3	133	250
B	3	133	250

NON SLIP TO COMPLY NCC 2022



L: 10 Goodman Court, Invermay, 7248 - p+ 03 6332 3790
H: Shop 9, 105-111 Main Road, Moonah, 7009 - p+ 03 6228 4575
info@primedesigntas.com.au primedesigntas.com.au



Date: 09.04.2026
Drafted by: T.W.
Approved by: F.G.G.

Project/Drawing no: PDH25118 - U1-01
Scale: 1 : 100
Revision: 03

Accredited building practitioner: Frank Geskus - No CC246A
COPYRIGHT: These drawings and designs and the copyright thereof are the sole property of Prime Design Tas PTY Ltd



REV. DATE DESCRIPTION

UNIT 1 Client name: KNEST

Project: PROPOSED RESIDENTIAL DEVELOPMENT
36 ANDREW STREET
BRIGHTON

Drawing: FLOOR PLAN

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS



DOOR SCHEDULE			
MARK	WIDTH	TYPE	REMARKS
1	880	INTERNAL TIMBER DOOR	
2	880	FACE SLIDING DOOR	
3	880	INTERNAL TIMBER DOOR	
4	880	INTERNAL TIMBER DOOR	

WINDOW SCHEDULE				
MARK	HEIGHT	WIDTH	TYPE	REMARKS
W1	2100	3300	DOUBLE SLIDING DOOR	
W2	600	1800	AWNING WINDOW	
W3	1200	1800	AWNING WINDOW	
W4	900	600	SLIDING WINDOW	OPAQUE
W5	900	600	SLIDING WINDOW	OPAQUE
W6	1200	1800	AWNING WINDOW	
W7	1800	900	AWNING WINDOW	

ALUMINIUM WINDOWS **DOUBLE GLAZING** COMPLETE
WITH FLY SCREENS.
ALL WINDOW MEASUREMENTS TO BE VERIFIED ON SITE
PRIOR TO ORDERING



REV. DATE DESCRIPTION

UNIT 1

Client name:
KNEST

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS

Project:
PROPOSED RESIDENTIAL DEVELOPMENT
36 ANDREW STREET
BRIGHTON

Drawing:
DOOR AND WINDOW SCHEDULES



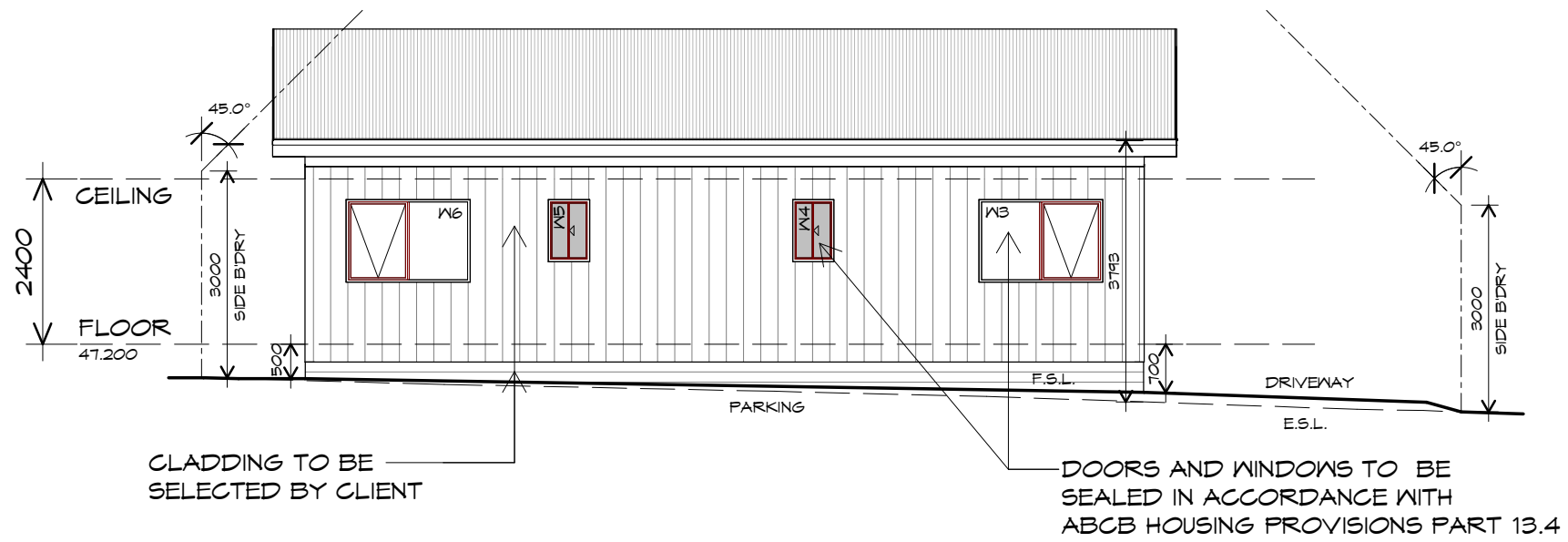
L: 10 Goodman Court, Invermay, 7248 - p+ 03 6332 3790
H: Shop 9, 105-111 Main Road, Moonah, 7009 - p+ 03 6228 4575
info@primedesigntas.com.au primedesigntas.com.au



Date: 09.04.2026
Drafted by: T.W.
Approved by: F.G.G.

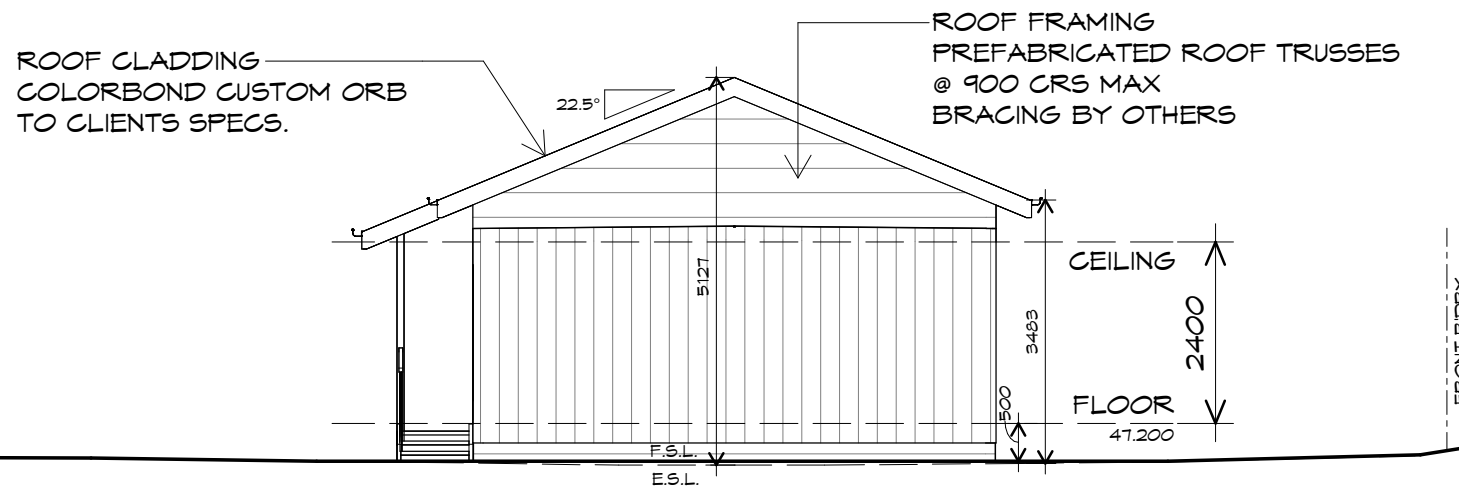
Project/Drawing no: PDH25118 - U1-02
Scale:
Revision: 03

Accredited building practitioner: Frank Geskus -No CC246A
COPYRIGHT: These drawings and designs and the copyright thereof are the sole property of Prime Design Tas PTY Ltd



SOUTHERN ELEVATION

1 : 100



WESTERN ELEVATION

1 : 100



REV. DATE DESCRIPTION

UNIT 1

Client name:
KNEST

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS

Project:
PROPOSED RESIDENTIAL DEVELOPMENT
36 ANDREW STREET
BRIGHTON

Drawing:
ELEVATIONS



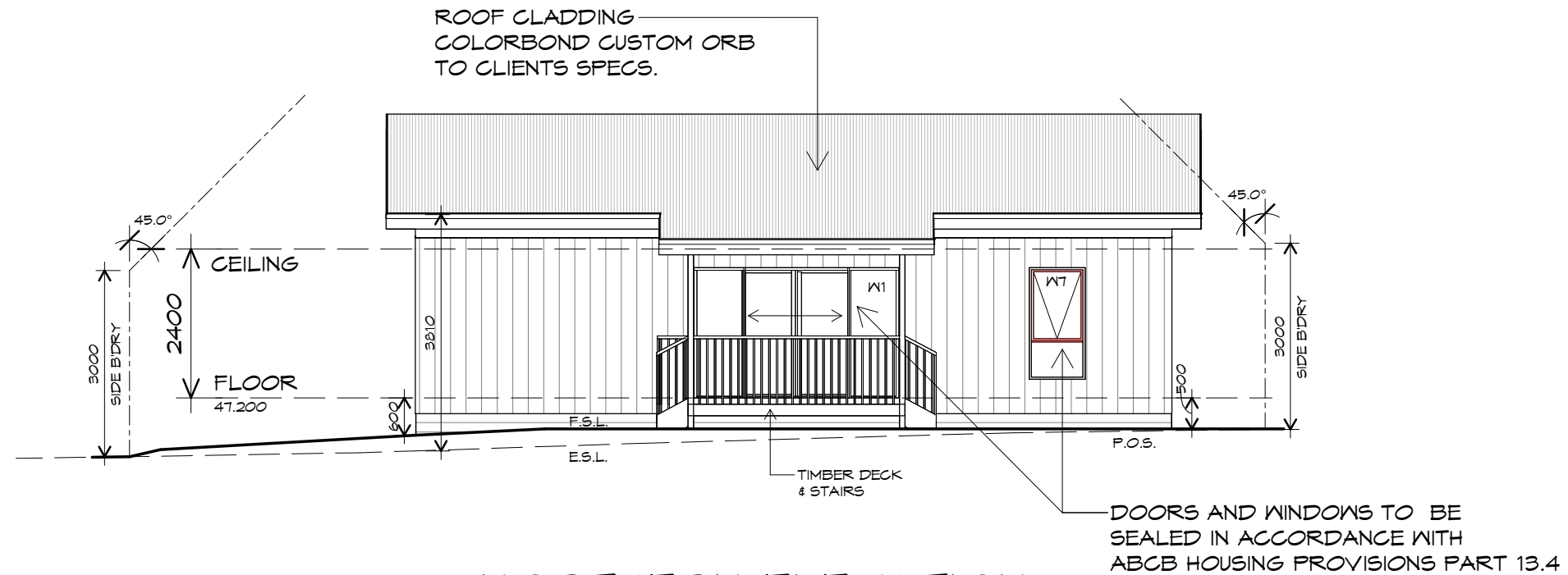
L: 10 Goodman Court, Invermay, 7248 - p+ 03 6332 3790
H: Shop 9, 105-111 Main Road, Moonah, 7009 - p+ 03 6228 4575
info@primedesigntas.com.au primedesigntas.com.au



Date: 09.04.2026
Drafted by: T.W.
Approved by: F.G.G.

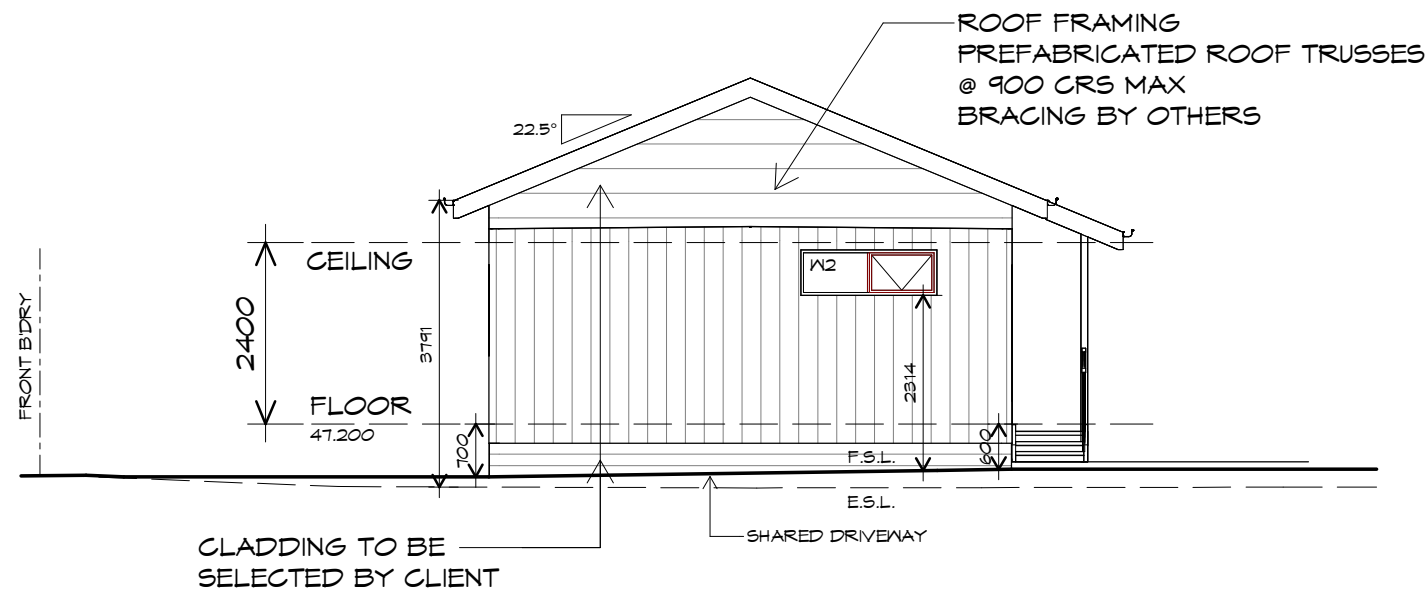
Project/Drawing no: PDH25118 - U1-03
Scale: 1 : 100
Revision: 03

Accredited building practitioner: Frank Geskus - No CC246A
COPYRIGHT: These drawings and designs and the copyright thereof are the sole property of Prime Design Tas PTY Ltd



NORTHERN ELEVATION

1 : 100



EASTERN ELEVATION

1 : 100



REV. DATE DESCRIPTION

UNIT 1

Client name:
KNEST

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS

Project:
PROPOSED RESIDENTIAL DEVELOPMENT
36 ANDREW STREET
BRIGHTON

Drawing:
ELEVATIONS



L: 10 Goodman Court, Invermay, 7248 - p+ 03 6332 3790
H: Shop 9, 105-111 Main Road, Moonah, 7009 - p+ 03 6228 4575
info@primedesigntas.com.au primedesigntas.com.au



Date: 09.04.2026
Drafted by: T.W.
Approved by: F.G.G.

Project/Drawing no: PDH25118 - U1-04
Scale: 1 : 100
Revision: 03

Accredited building practitioner: Frank Geskus - No CC246A
COPYRIGHT: These drawings and designs and the copyright thereof are the sole property of Prime Design Tas PTY Ltd

ADDITIONAL ROOF LOAD
 NO SOLAR P.V. SYSTEM HAS BEEN ALLOWED FOR,
 NO SOLAR HOT WATER HAS BEEN ALLOWED FOR.

ROOF PLUMBING NOTES:

GUTTER INSTALLATION
 TO BE IN ACCORDANCE WITH
 ABCB HOUSING PROVISIONS PART 7.4.4
 WITH FALL NO LESS THAN
 1:500 FOR EAVES GUTTER
 BOX GUTTERS IN ACCORDANCE WITH
 AS33500.3:2021

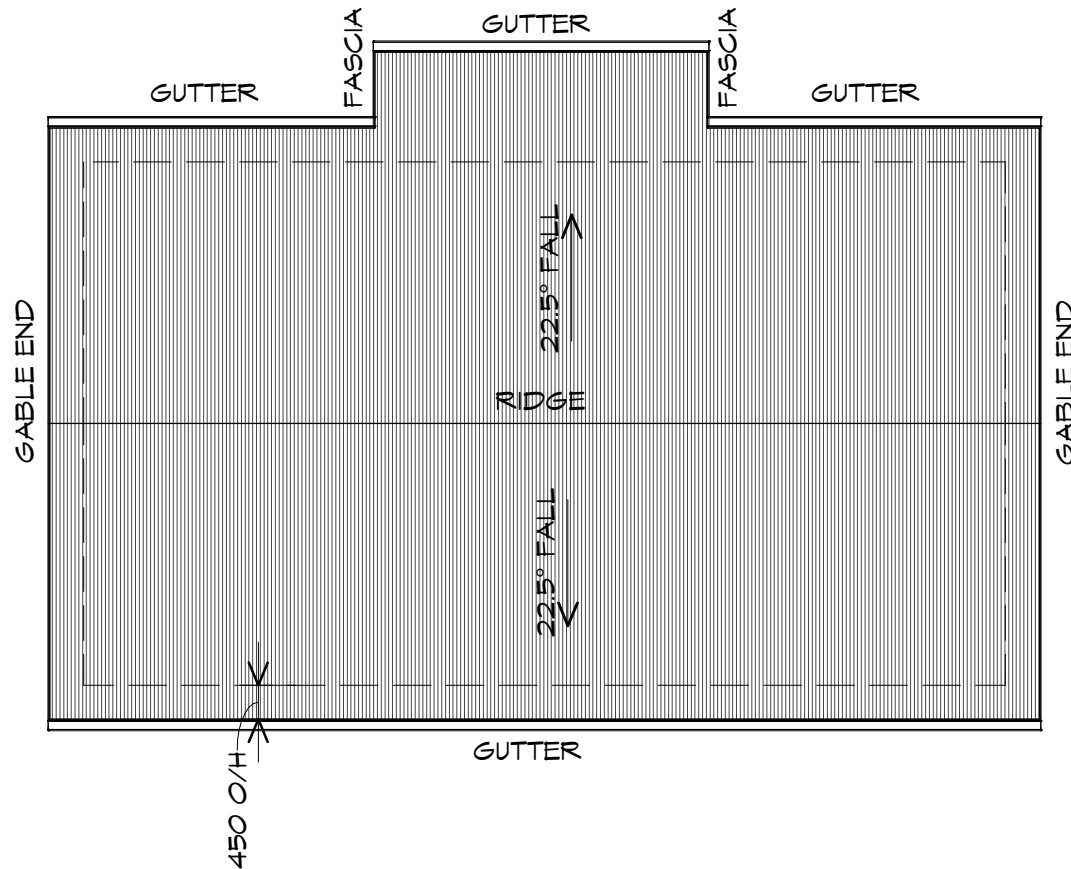
UNLESS FIXED TO METAL FASCIA
 EAVES GUTTER TO BE FIXED
 @ 1200 CRS MAX.

VALLEY GUTTERS ON A ROOF WITH A PITCH:
 A) MORE THAN 12.5° DEGREES - MUST
 HAVE A WIDTH OF NOT LESS THAN
 400mm AND ROOF OVERHANG OF NOT
 LESS THAN 150mm EACH SIDE OF VALLEY
 GUTTER.
 B) LESS THAN 12.5° DEGREES, MUST BE
 DESIGNED AS A BOX GUTTER.

LAP GUTTERS 75mm IN THE DIRECTION
 OF FLOW, RIVET & SEAL WITH AN
 APPROVED SILICONE SEALANT.

DOWNPIPE POSITIONS SHOWN ON THIS
 PLAN ARE NOMINAL ONLY.
 EXACT LOCATION & NUMBER OF D.P.'S
 REQUIRED ARE TO BE IN ACCORDANCE
 WITH ABCB HOUSING PROVISIONS PART 7.4.5
 REQUIREMENTS.
 SPACING BETWEEN DOWNPIPES MUST NOT
 BE MORE THAN 12m & LOCATED AS CLOSE AS
 POSSIBLE TO VALLEY GUTTERS

METAL ROOF
 METAL SHEETING ROOF TO BE INSTALLED IN
 ACCORDANCE WITH ABCB HOUSING PROVISIONS PART
 7.2. REFER TO TABLE 7.2.2a FOR ACCEPTABLE
 CORROSION PROTECTION FOR SHEET ROOFING,
 REFER TO TABLE 7.2.2b-7.2.2e FOR ACCEPTABILITY
 OF CONTACT BETWEEN DIFFERENT ROOFING
 MATERIALS. FOR FIXING, SHEET LAYING SEQUENCE,
 FASTENER FREQUENCY FOR TRANVERSE FLASHINGS
 AND CAPPINGS, ANTI CAPILLARY BREAKS, FLASHING
 DETAILS REFER TO ABCB HOUSING PROVISIONS PART
 7.2.5- 7.2.7. ROOF PENETRATION FLASHING DETAILS.
 REFER TO TO ABCB HOUSING PROVISIONS PART
 7.2.5- 7.2.7. ROOF SHEETING MUST OVERHANG MIN
 35mm AS PER ABCB HOUSING PROVISIONS PART 7.2.8



ROOF PLAN

1 : 100



L: 10 Goodman Court, Invermay, 7248 - p+ 03 6332 3790
 H: Shop 9, 105-111 Main Road, Moonah, 7009 - p+ 03 6228 4575
 info@primedesigntas.com.au primedesigntas.com.au



UNIT 1

Client name:
 KNEST

Project:
 PROPOSED RESIDENTIAL DEVELOPMENT
 36 ANDREW STREET
 BRIGHTON

Drawing:
 ROOF PLAN

Date: 09.04.2026
 Drafted by: T.W.
 Approved by: F.G.G.

Project/Drawing no: PDH25118 - U1-05
 Scale: 1 : 100
 Revision: 03

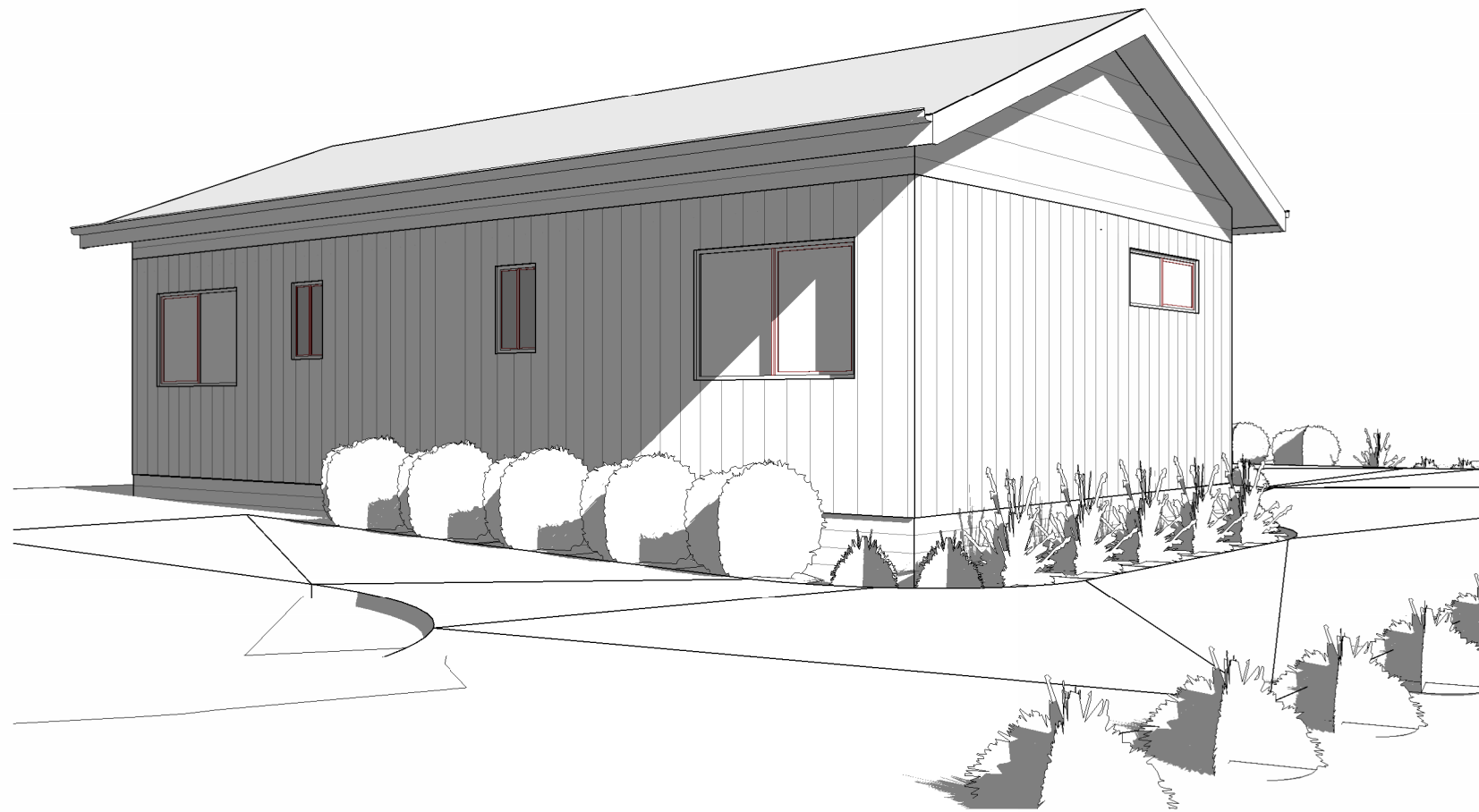
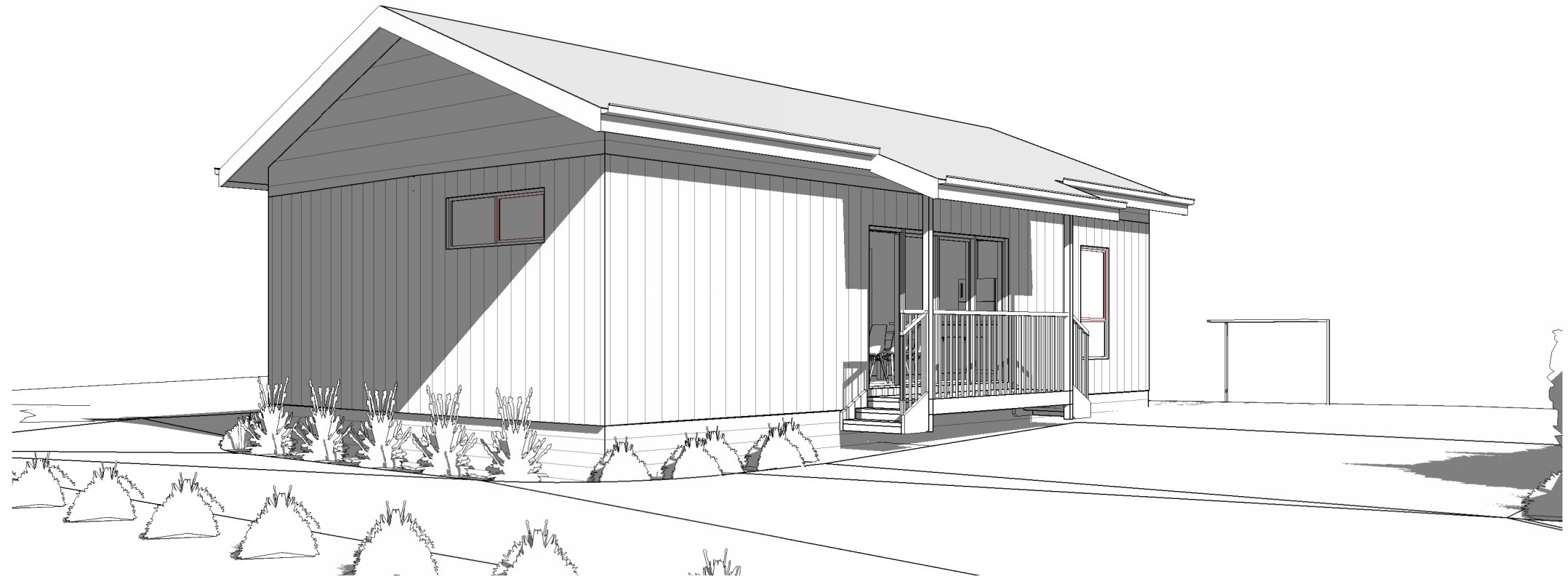
Accredited building practitioner: Frank Geskus -No CC246A
 COPYRIGHT: These drawings and designs and the copyright thereof are the sole
 property of Prime Design Tas PTY Ltd

REV. DATE DESCRIPTION

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS





REV.	DATE	DESCRIPTION

UNIT 1

Client name:
KNEST

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS

Project:
PROPOSED RESIDENTIAL DEVELOPMENT
36 ANDREW STREET
BRIGHTON

Drawing:
PERSPECTIVES



L: 10 Goodman Court, Invermay, 7248 - p+ 03 6332 3790
H: Shop 9, 105-111 Main Road, Moonah, 7009 - p+ 03 6228 4575
info@primedesigntas.com.au primedesigntas.com.au



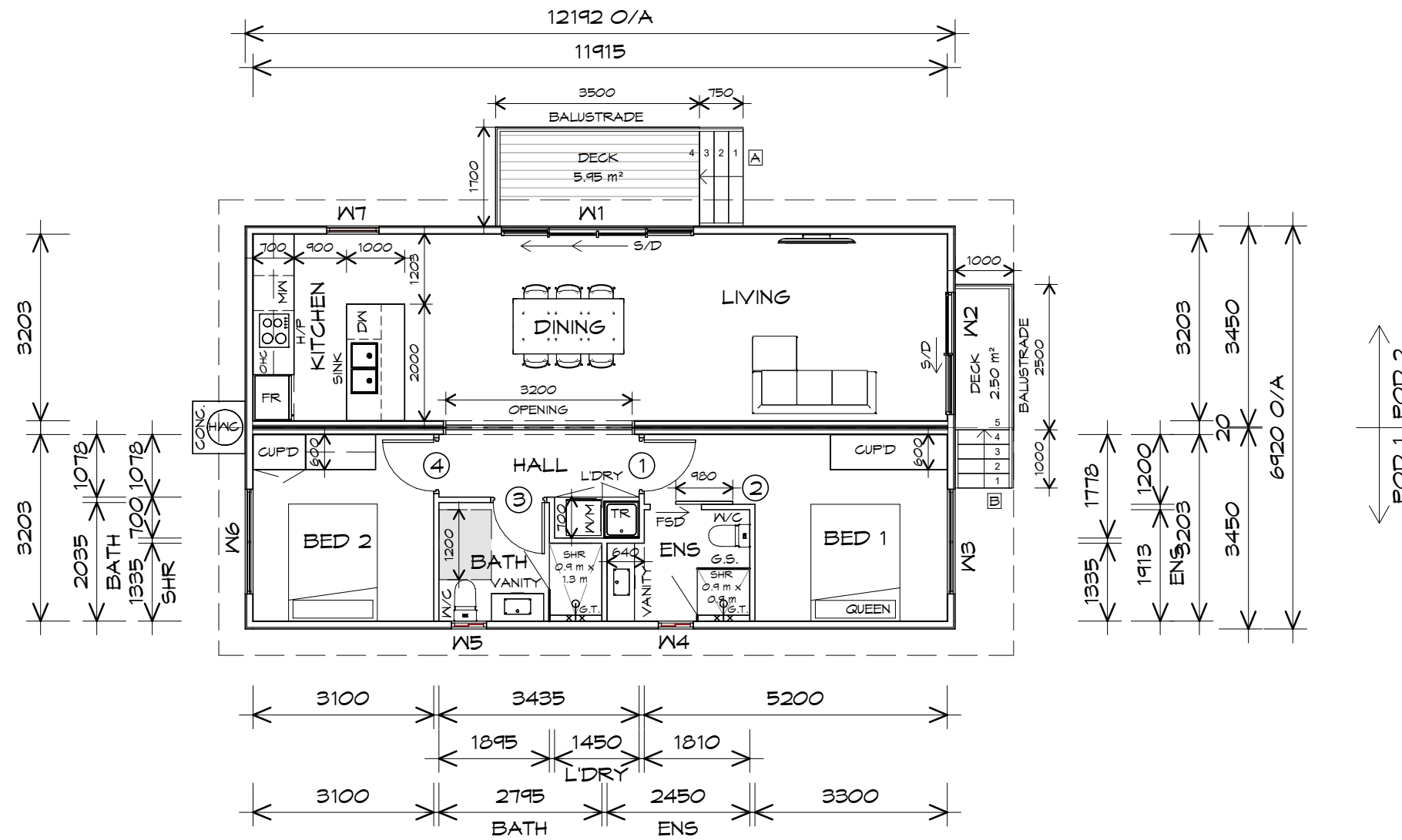
Date: 09.04.2026	Drafted by: T.W.	Approved by: F.G.G.
---------------------	---------------------	------------------------

Project/Drawing no: PDH25118 - U1-06	Scale:	Revision: 03
---	--------	-----------------

Accredited building practitioner: Frank Geskus -No CC246A
COPYRIGHT: These drawings and designs and the copyright thereof are the sole property of Prime Design Tas PTY Ltd

LEGEND

- FSD FACE SLIDING DOOR
- S/D SLIDING DOOR
- G.S. GLASS SCREEN
- G.T. GRATED TRENCH
- MW MICROWAVE
- DW DISHWASHER
- HWC HOT WATER CYLINDER
900X900 CONC. BASE



FLOOR PLAN

1 : 100

U2 POD 1 AREA	42.06	m ²	(4.53 SQUARES)
U2 POD 2 AREA	42.06	m ²	(4.53 SQUARES)
TOTAL FLOOR AREA	84.12		9.06

NOTE:
FLOOR AREAS INCLUDE TO EXTERNAL FACE OF BUILDING AND GARAGE, UNLESS OTHERWISE STATED. DECKS AND OUTDOOR AREAS ARE CALCULATED SEPARATELY.

STAIRS

STAIR	No RISERS	RISER H'T	TREAD DEPTH
B	5	174	250
A	4	190	250

NON SLIP TO COMPLY NCC 2022



L: 10 Goodman Court, Invermay, 7248 - p+ 03 6332 3790
H: Shop 9, 105-111 Main Road, Moonah, 7009 - p+ 03 6228 4575
info@primedesigntas.com.au primedesigntas.com.au



Date: 09.04.2026
Drafted by: T.W.
Approved by: F.G.G.

Project/Drawing no: PDH25118 - U2-01
Scale: 1 : 100
Revision: 03

Accredited building practitioner: Frank Geskus - No CC246A
COPYRIGHT: These drawings and designs and the copyright thereof are the sole property of Prime Design Tas PTY Ltd



REV. DATE DESCRIPTION

UNIT 2

Client name:
KNEST

Project:
PROPOSED RESIDENTIAL DEVELOPMENT
36 ANDREW STREET
BRIGHTON

Drawing:
FLOOR PLAN

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS



DOOR SCHEDULE			
MARK	WIDTH	TYPE	REMARKS
1	880	INTERNAL TIMBER DOOR	
2	880	FACE SLIDING DOOR	
3	880	INTERNAL TIMBER DOOR	
4	880	INTERNAL TIMBER DOOR	

WINDOW SCHEDULE				
MARK	HEIGHT	WIDTH	TYPE	REMARKS
W1	2100	3300	DOUBLE SLIDING DOOR	
W2	2100	2100	SLIDING DOOR	
W3	1200	1800	AWNING WINDOW	
W4	900	600	SLIDING WINDOW	OPAQUE
W5	900	600	SLIDING WINDOW	OPAQUE
W6	1200	1800	AWNING WINDOW	
W7	1800	900	AWNING WINDOW	

ALUMINIUM WINDOWS **DOUBLE GLAZING** COMPLETE
WITH FLY SCREENS.
ALL WINDOW MEASUREMENTS TO BE VERIFIED ON SITE
PRIOR TO ORDERING



UNIT 2

Client name:
KNEST

Project:
PROPOSED RESIDENTIAL DEVELOPMENT
36 ANDREW STREET
BRIGHTON

Drawing:
DOOR AND WINDOW SCHEDULES



L: 10 Goodman Court, Invermay, 7248 - p+ 03 6332 3790
H: Shop 9, 105-111 Main Road, Moonah, 7009 - p+ 03 6228 4575
info@primedesigntas.com.au primedesigntas.com.au



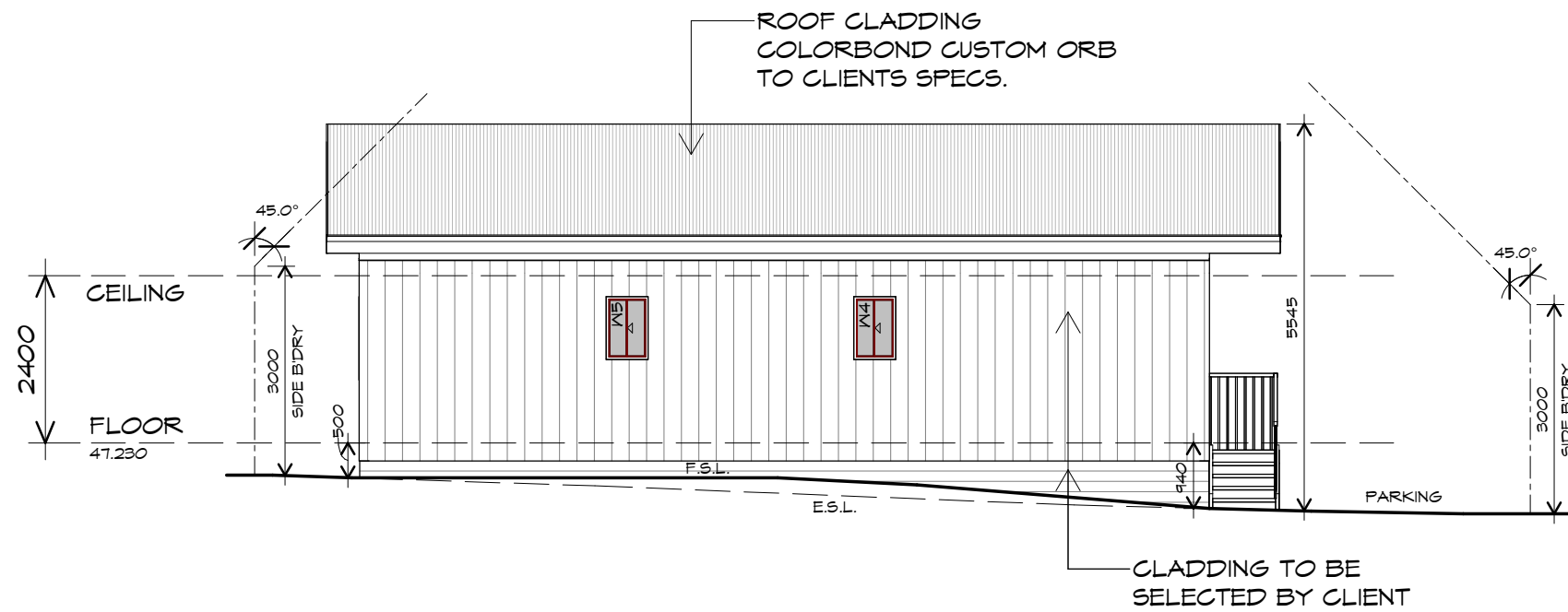
Date: 09.04.2026
Drafted by: T.W.
Approved by: F.G.G.

Project/Drawing no: PDH25118 - U2-02
Scale:
Revision: 03

Accredited building practitioner: Frank Geskus -No CC246A
COPYRIGHT: These drawings and designs and the copyright thereof are the sole property of Prime Design Tas PTY Ltd

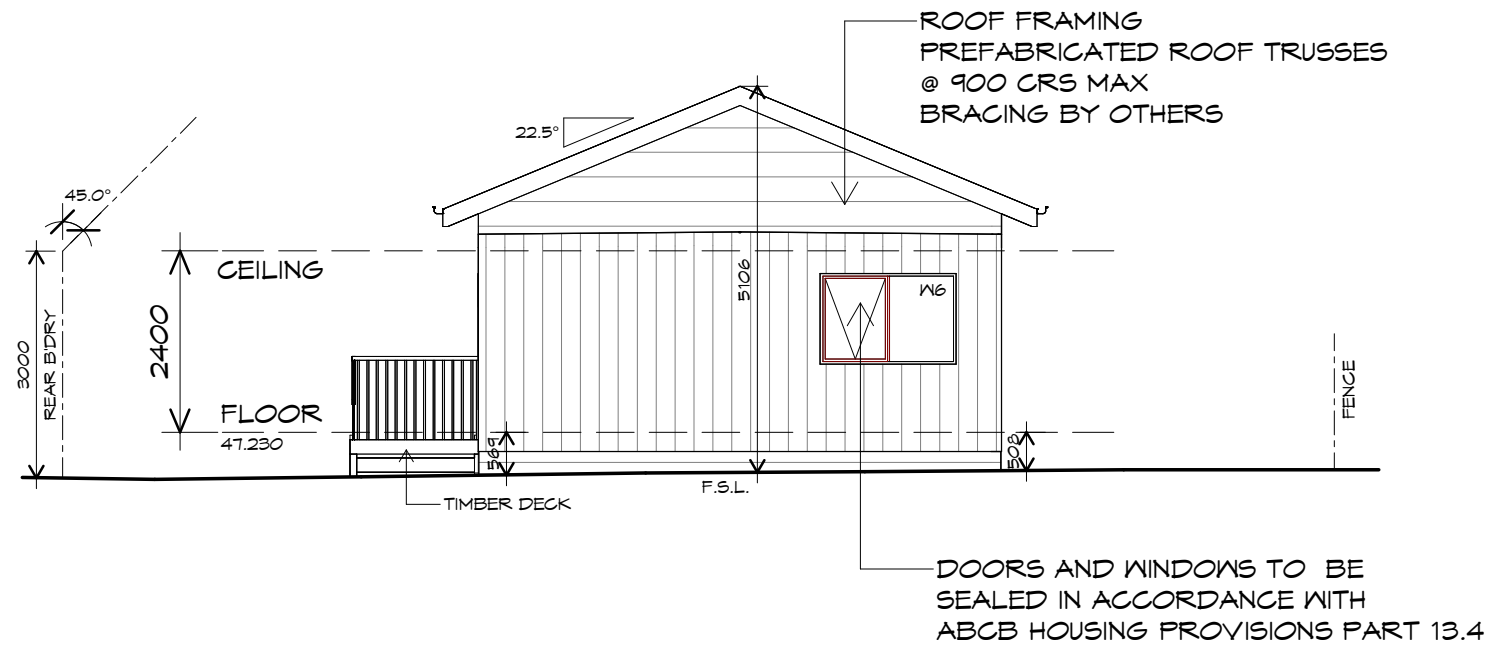
REV. DATE DESCRIPTION

PLANNING
NOTE: DO NOT SCALE OFF DRAWINGS



SOUTHERN ELEVATION

1 : 100



EASTERN ELEVATION

1 : 100



REV. DATE DESCRIPTION

UNIT 2

Client name:
KNEST

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS

Project:
PROPOSED RESIDENTIAL DEVELOPMENT
36 ANDREW STREET
BRIGHTON

Drawing:
ELEVATIONS



L: 10 Goodman Court, Invermay, 7248 - p+ 03 6332 3790
H: Shop 9, 105-111 Main Road, Moonah, 7009 - p+ 03 6228 4575
info@primedesigntas.com.au primedesigntas.com.au



Date: 09.04.2026
Drafted by: T.W.
Approved by: F.G.G.

Project/Drawing no: PDH25118 - U2-03
Scale: 1 : 100
Revision: 03

Accredited building practitioner: Frank Geskus - No CC246A
COPYRIGHT: These drawings and designs and the copyright thereof are the sole property of Prime Design Tas PTY Ltd

ADDITIONAL ROOF LOAD
 NO SOLAR P.V. SYSTEM HAS BEEN ALLOWED FOR,
 NO SOLAR HOT WATER HAS BEEN ALLOWED FOR.

ROOF PLUMBING NOTES:

GUTTER INSTALLATION
 TO BE IN ACCORDANCE WITH
 ABCB HOUSING PROVISIONS PART 7.4.4
 WITH FALL NO LESS THAN
 1:500 FOR EAVES GUTTER
 BOX GUTTERS IN ACCORDANCE WITH
 AS33500.3:2021

UNLESS FIXED TO METAL FASCIA
 EAVES GUTTER TO BE FIXED
 @ 1200 CRS MAX.

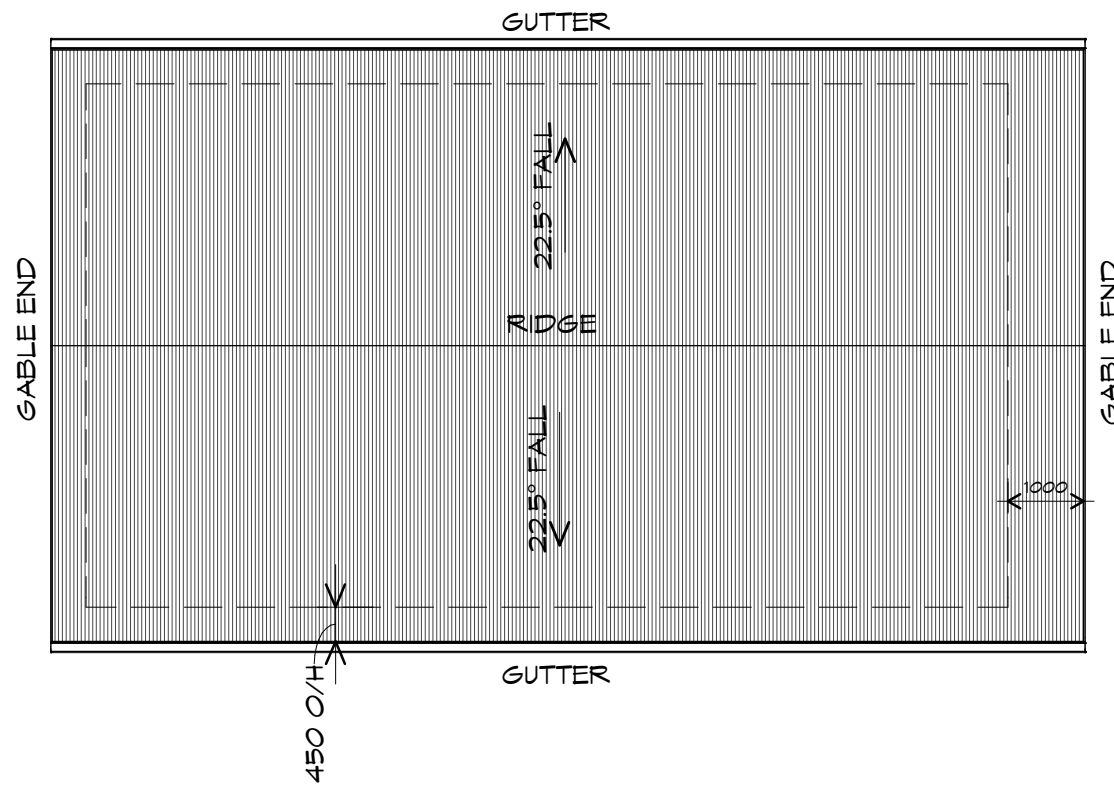
VALLEY GUTTERS ON A ROOF WITH A PITCH:
 A) MORE THAN 12.5° DEGREES - MUST
 HAVE A WIDTH OF NOT LESS THAN
 400mm AND ROOF OVERHANG OF NOT
 LESS THAN 150mm EACH SIDE OF VALLEY
 GUTTER.
 B) LESS THAN 12.5° DEGREES, MUST BE
 DESIGNED AS A BOX GUTTER.

LAP GUTTERS 75mm IN THE DIRECTION
 OF FLOW, RIVET & SEAL WITH AN
 APPROVED SILICONE SEALANT.

DOWNPIPE POSITIONS SHOWN ON THIS
 PLAN ARE NOMINAL ONLY.
 EXACT LOCATION & NUMBER OF D.P.'S
 REQUIRED ARE TO BE IN ACCORDANCE
 WITH ABCB HOUSING PROVISIONS PART 7.4.5
 REQUIREMENTS.
 SPACING BETWEEN DOWNPIPES MUST NOT
 BE MORE THAN 12m & LOCATED AS CLOSE AS
 POSSIBLE TO VALLEY GUTTERS

METAL ROOF

METAL SHEETING ROOF TO BE INSTALLED IN
 ACCORDANCE WITH ABCB HOUSING PROVISIONS PART
 7.2. REFER TO TABLE 7.2.2a FOR ACCEPTABLE
 CORROSION PROTECTION FOR SHEET ROOFING,
 REFER TO TABLE 7.2.2b-7.2.2e FOR ACCEPTABILITY
 OF CONTACT BETWEEN DIFFERENT ROOFING
 MATERIALS. FOR FIXING, SHEET LAYING SEQUENCE,
 FASTENER FREQUENCY FOR TRANVERSE FLASHINGS
 AND CAPPINGS, ANTI CAPILLARY BREAKS, FLASHING
 DETAILS REFER TO ABCB HOUSING PROVISIONS PART
 7.2.5- 7.2.7. ROOF PENETRATION FLASHING DETAILS.
 REFER TO TO ABCB HOUSING PROVISIONS PART
 7.2.5- 7.2.7. ROOF SHEETING MUST OVERHANG MIN
 35mm AS PER ABCB HOUSING PROVISIONS PART 7.2.8



ROOF PLAN

1 : 100



L: 10 Goodman Court, Invermay, 7248 - p+ 03 6332 3790
 H: Shop 9, 105-111 Main Road, Moonah, 7009 - p+ 03 6228 4575
 info@primedesigntas.com.au primedesigntas.com.au



UNIT 2

Client name:
 KNEST

Project:
 PROPOSED RESIDENTIAL DEVELOPMENT
 36 ANDREW STREET
 BRIGHTON

Drawing:
 ROOF PLAN

Date: 09.04.2026
 Drafted by: T.W.
 Approved by: F.G.G.

Project/Drawing no: PDH25118 - U2-05
 Scale: 1 : 100
 Revision: 03

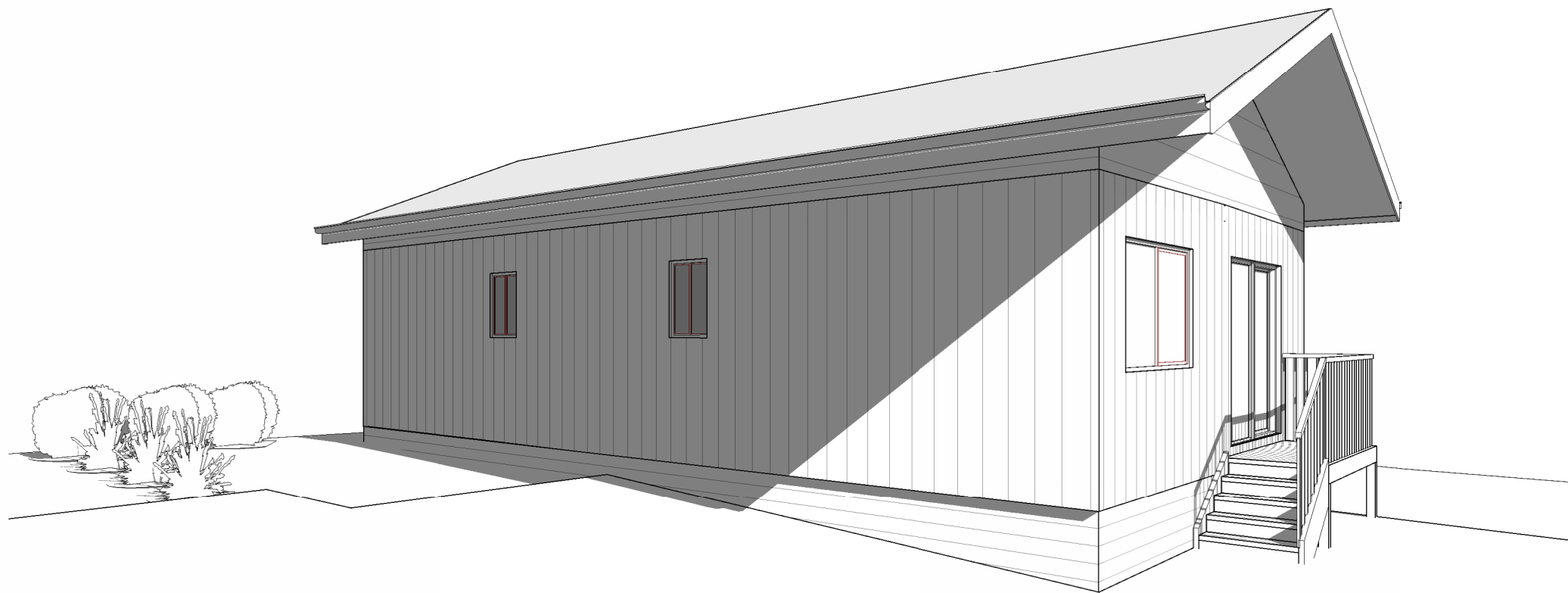
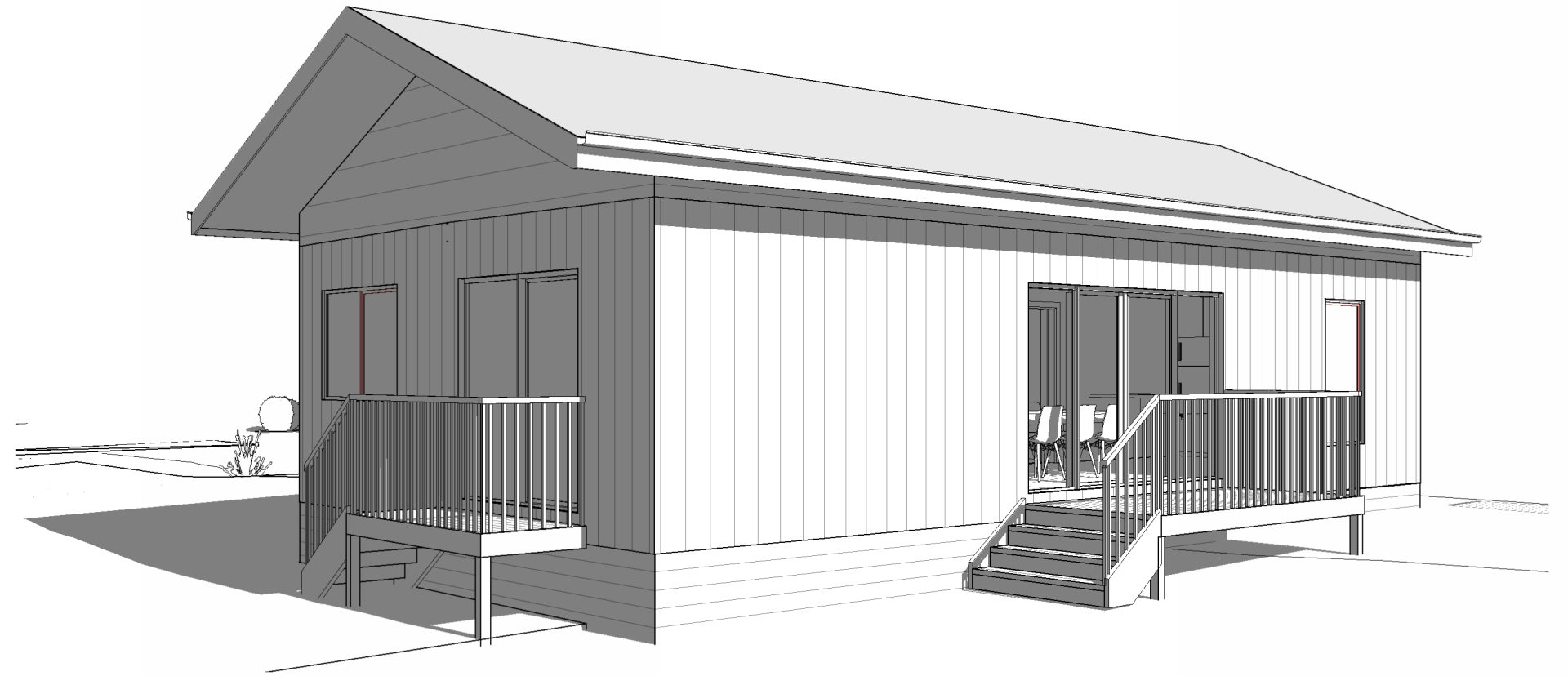


Accredited building practitioner: Frank Geskus - No CC246A
 COPYRIGHT: These drawings and designs and the copyright thereof are the sole
 property of Prime Design Tas PTY Ltd

REV. DATE DESCRIPTION

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS



L: 10 Goodman Court, Invermay, 7248 - p+ 03 6332 3790
 H: Shop 9, 105-111 Main Road, Moonah, 7009 - p+ 03 6228 4575
 info@primedesigntas.com.au primedesigntas.com.au



REV.	DATE	DESCRIPTION

UNIT 2

Client name:
 KNEST

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS

Project:
 PROPOSED RESIDENTIAL DEVELOPMENT
 36 ANDREW STREET
 BRIGHTON

Drawing:
 PERSPECTIVES

Date: 09.04.2026	Drafted by: T.W.	Approved by: F.G.G.
---------------------	---------------------	------------------------

Project/Drawing no: PDH25118 - U2-06	Scale:	Revision: 03
---	--------	-----------------

Accredited building practitioner: Frank Geskus - No CC246A
 COPYRIGHT: These drawings and designs and the copyright thereof are the sole property of Prime Design Tas PTY Ltd



Prime
Design

your build, your way

2 March 2026

Brighton Council
1 Tivoli Road, Old Beach
TAS 7017, Australia
Email: development@brighton.tas.gov.au

Dear Planner,

Re: Proposed new 2-unit residential development at 36 Andrew Street, Brighton

Zone: 8.0 General Residential

8.4.1 Residential density for multiple dwellings

A1 Complies. Site area per dwelling is 368.5 m²

8.4.2 Setbacks and Building Envelope for all dwellings

A1 (a) Complies. Dwellings are more than 4.5m from the primary frontage.
(b) Not applicable.
(c) Not applicable.
(d) Not applicable.

A2 (a) Complies. Carports are set back more than 5.5m from the primary frontage.
(b) Not applicable.
(c) Not applicable.

A3 (a) Complies with building envelope, see elevations.
(b) Not applicable.

8.4.3. Site coverage and private open space for all dwellings

A1 (a) Complies. Site coverage is 30%
(b) Complies. Each associated private open space is more than 60m²

A2 Complies with all clauses.

8.4.4 Sunlight to private open space of multiple dwellings

A1 Complies with (b), where 50% of the affected private open space (Unit 1) receives at least 3 hours of sunlight between 9am and 3pm on 21st June.

8.4.5 Width of openings for garages and carports for all dwellings

A1 Not applicable, carports are more than 12m from primary frontage.

8.4.6 Privacy for all dwellings

A1 Not applicable, no element more than 1m above existing ground level.
A2 Not applicable. No windows with a floor level more than 1m above existing ground level.
A3 Complies with (b). Sill height of Unit 1, window 2 is more than 1.7m from shared driveway.



8.4.7 Frontage fences for all dwellings

A1 Front fence not included in proposal.

8.4.7 Waste storage for multiple dwellings

A1 Complies with (a), see landscaping plan for more information.

Kind regards,
Tarcia Wong

Submission to Planning Authority Notice

Application details

Council Planning Permit No.	DA 2026 / 00037
Council notice date	11/03/2026
TasWater Reference No.	TWDA 2026/00236-BTN
Date of response	18/03/2026
TasWater Contact	Timothy Carr
Phone No.	0419 306 130

Response issued to

Council name	BRIGHTON COUNCIL
Contact details	development@brighton.tas.gov.au
Development details	
Address	36 ANDREW ST, BRIGHTON
Property ID (PID)	7430716
Description of development	Multiple Dwelling 2 (CT 15411/13)

Schedule of drawings/documents

Prepared by	Drawing/document No.	Revision No.	Issue date
Prime Design	Site Plan – PDH25118-01	02	27/02/2026
Prime Design	Floor Plan – Unit 1 & 2 – PDH25118-U1-01 & U2-01	02	27/02/2026

Conditions

Pursuant to the *Water and Sewerage Industry Act 2008 (TAS)* Section 56P(1) TasWater imposes the following conditions on the permit for this application:

CONNECTIONS, METERING & BACKFLOW

1. A suitably sized water supply with metered connection(s) and sewerage system and connection(s) to the development must be designed and constructed to TasWater's satisfaction and be in accordance with any other conditions in this permit.
2. Any removal/supply and installation of water meters and/or the removal of redundant and/or installation of new and modified property service connections must be carried out by TasWater at the developer's cost.
3. Prior to commencing construction of the development, any water connection utilised for construction must have a backflow prevention device and water meter installed, to the satisfaction of TasWater.

ASSET CREATION & INFRASTRUCTURE WORKS

4. Prior to applying for a Certificate for Certifiable Works, the developer must physically locate all existing infrastructure to provide sufficient information for accurate design and physical works to be undertaken.
5. Plans submitted with the application for Certificate(s) for Certifiable Work (Building and/or Plumbing) must, to the satisfaction of TasWater show, all existing, redundant and/or proposed property services and mains.
6. Prior to undertaking any works related to water and sewerage, physical markers must be in place that clearly identify where water and/or sewer connections are to be made in accordance with any approved plan to TasWater's satisfaction.

DEVELOPER CHARGES

7. Prior to TasWater issuing a Certificate(s) for Certifiable Work (Building) and/or (Plumbing), the applicant or landowner as the case may be, must pay a developer charge totalling \$351.40 to TasWater for water infrastructure for 0.20 additional Equivalent Tenements, indexed by the Consumer Price Index All groups (Hobart) from the date of this Submission to Planning Authority Notice until the date it is paid to TasWater.
8. Prior to TasWater issuing a Certificate(s) for Certifiable Work (Building) and/or (Plumbing), the applicant or landowner as the case may be, must pay a developer charge totalling \$878.50 to TasWater for sewerage infrastructure for 0.50 additional Equivalent Tenements, indexed by the Consumer Price Index All groups (Hobart) from the date of this Submission to Planning Authority Notice until the date it is paid to TasWater.

DEVELOPMENT ASSESSMENT FEES

9. The applicant or landowner as the case may be, must pay a development assessment fee of \$251.35 to TasWater, as approved by the Economic Regulator and the fee will be indexed, until the date paid to TasWater.

The payment is required within 30 days of the issue of an invoice by TasWater.

Advice

General

For information on TasWater development standards, please visit

<https://www.taswater.com.au/building-and-development/technical-standards>

For application forms please visit

<https://www.taswater.com.au/building-and-development/application-information/application-for-development-services-form>

Important Notice Regarding Plumbing Plans and Associated Costs

The SPAN includes references to documents submitted as part of the application. These plans are acceptable for planning purposes only and are subject to further detailed assessment and review during the next stage of the development proposal.

TasWater's assessment staff will ensure that the design contains sufficient detail to assess compliance with relevant codes and regulations. Additionally, the plans must be clear enough for a TasWater contractor to carry out any water or sewerage-related work.

Depending on the nature of the project, your application may require Building and/or Plumbing permits or could be exempt from these requirements. Regardless, TasWater's assessment process and associated time are recoverable through an assessment fee.

Please be aware that your consultant may need to make revisions to their documentation to ensure the details are fit for construction. Any costs associated with updating these plans should be discussed directly with your consultant.

Developer Charges

For information on Developer Charges please visit the following webpage - <https://www.taswater.com.au/building-and-development/developer-charges>

Water Submetering

As of July 1 2022, TasWater's Sub-Metering Policy no longer permits TasWater sub-meters to be installed for new developments. Please ensure plans submitted with the application for Certificate(s) for Certifiable Work (Building and/or Plumbing) reflect this. For clarity, TasWater does not object to private sub-metering arrangements. Further information is available on our website (www.taswater.com.au) within our Sub-Metering Policy and Water Metering Guidelines.

Service Locations

Please note that the developer is responsible for arranging to locate the existing TasWater infrastructure and clearly showing it on the drawings. Existing TasWater infrastructure may be located by a surveyor and/or a private contractor engaged at the developers cost to locate the infrastructure.

- a. A permit is required to work within TasWater's easements or in the vicinity of its infrastructure. Further information can be obtained from TasWater.
- b. TasWater has listed a number of service providers who can provide asset detection and location services should you require it. Visit <https://www.taswater.com.au/building-and-development/service-locations> for a list of companies.
- c. Sewer drainage plans or Inspection Openings (IO) for residential properties are available from your local council.

Declaration

The drawings/documents and conditions stated above constitute TasWater's Submission to Planning Authority Notice.