



Application for Planning Approval

Land Use Planning and Approvals Act 1993

APPLICATION NO.

DA2026/001

LOCATION OF AFFECTED AREA

50 HONEYWOOD DRIVE, HONEYWOOD

DESCRIPTION OF DEVELOPMENT PROPOSAL

OUTBUILDING & ASSOCIATED EARTHWORKS

A COPY OF THE DEVELOPMENT APPLICATION MAY BE VIEWED AT www.brighton.tas.gov.au AND AT THE COUNCIL OFFICES, 1 TIVOLI ROAD, OLD BEACH, BETWEEN 8:15 A.M. AND 4:45 P.M, MONDAY TO FRIDAY OR VIA THE QR CODE BELOW. ANY PERSON MAY MAKE WRITTEN REPRESENTATIONS IN ACCORDANCE WITH S.57(5) OF THE LAND USE PLANNING AND APPROVALS ACT 1993 CONCERNING THIS APPLICATION UNTIL 4:45 P.M. ON **28/04/2026**. ADDRESSED TO THE CHIEF EXECUTIVE OFFICER AT 1 TIVOLI ROAD, OLD BEACH, 7017 OR BY EMAIL AT development@brighton.tas.gov.au. REPRESENTATIONS SHOULD INCLUDE A DAYTIME TELEPHONE NUMBER TO ALLOW COUNCIL OFFICERS TO DISCUSS, IF NECESSARY, ANY MATTERS RAISED.

JAMES DRYBURGH
Chief Executive Officer



Brighton
going places

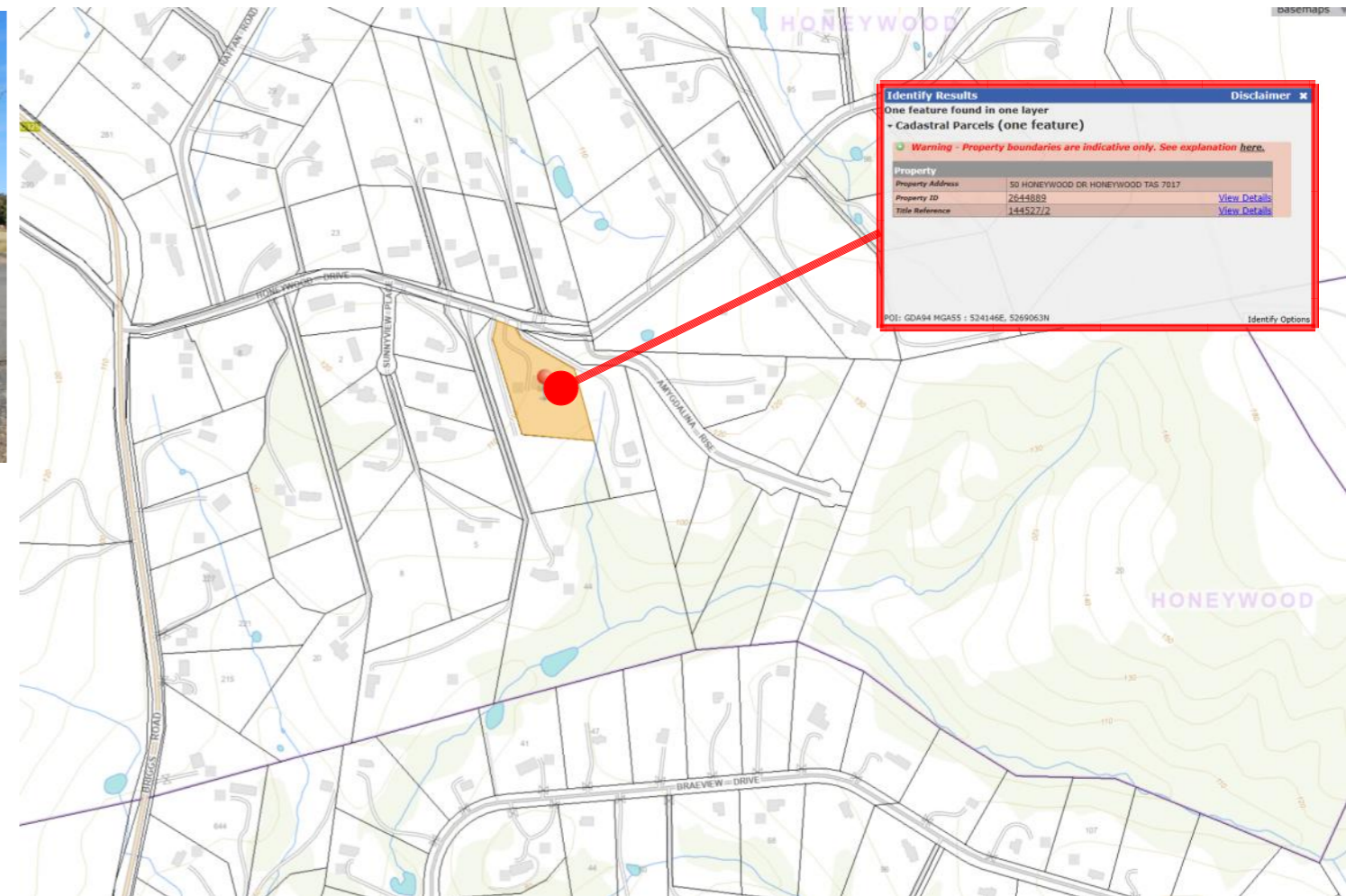
New Outbuilding

PROJECT SPECIFIC

Paul Wilkins
 50 Honeywood Drive
HoneyWood
 Tasmanian Planning Scheme
 Title Reference : Vol 144527 / Folio 02
NCC DEEMED TO SATISFY Mr Marcus Ralph CC1317F
 Climate Zone 7



existing site access



PROPERTY IDENTIFICATION

SITE INFORMATION

Lot: 02
 Title: 144527 folio 02
 Land Size: 1.009 Ha
 Council: Brighton Council
 Zoning: Rural Living Zone A

Overlays: CLA-C13.0 Bushfire Prone Area Code
 BRI-S7.0 East Baskerville Dispersive Soils Are Plan
 D.A APPROVAL: Planning approval required
 BAL: not required
 WIND CLASSIFICATION : Refer to Steeline certification
 CLIMATE ZONE: 7
 ENERGY RATING :Na
 BUILDING CLASSIFICATION: 10A

Floor Plan	
Proposed Garage	105.00 sqm
existing dwelling	255.00 sqm site cover
Existing Outbuildings	60.00 sqm
Total Site Cover	420.00 sqm
Site Area	1.0009Ha
Site Coverage Less than	1.00 % site coverage

LAYOUT	DRAWING		UPDATED DATE
	ID	NAME	
1098-00 location information	6.	DRAWING LIST (1)	10/02/2026 12:52 PM
1098-01 Site Plan	0.	Floor Plan (115)	10/02/2026 12:51 PM
1098-02 Site Plan	0.	Floor Plan (115)	10/02/2026 12:51 PM
1098-03 Part Site Plan	0.	Floor Plan (115)	10/02/2026 12:51 PM
1098-04 Floor Plan	0.	Floor Plan (109)	14/01/2026 11:12 AM
1098-05 Elevations	0.	Floor Plan (106)	14/01/2026 11:12 AM
1098-05 Elevations	0.	Floor Plan (109)	14/01/2026 11:12 AM
1098-06 site services	0.	Floor Plan (115)	10/02/2026 12:51 PM



Service over and above
MARCUSRALPH
 Design -architectural animation
 Building designer accreditation CC1317F
 13 Franklin street
 Richmond, Tasmania 7025
 0409 975 825 mob
 e: marcusralph@bigpond.com

New Outbuilding
 Paul Wilkins
 50 Honeywood Drive
HoneyWood

location information

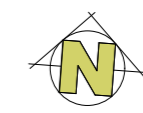
date	issue revision
16/12/2025	A
designed and drawn	revision-date
M.Ralph	Design Drawing
job no:	drawing no:
2025-1098	1098-00



site layout

Floor Plan

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Site Plan

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2025-1098	1098-01



site layout

Floor Plan

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New Outbuilding

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Site Plan



date issue revision

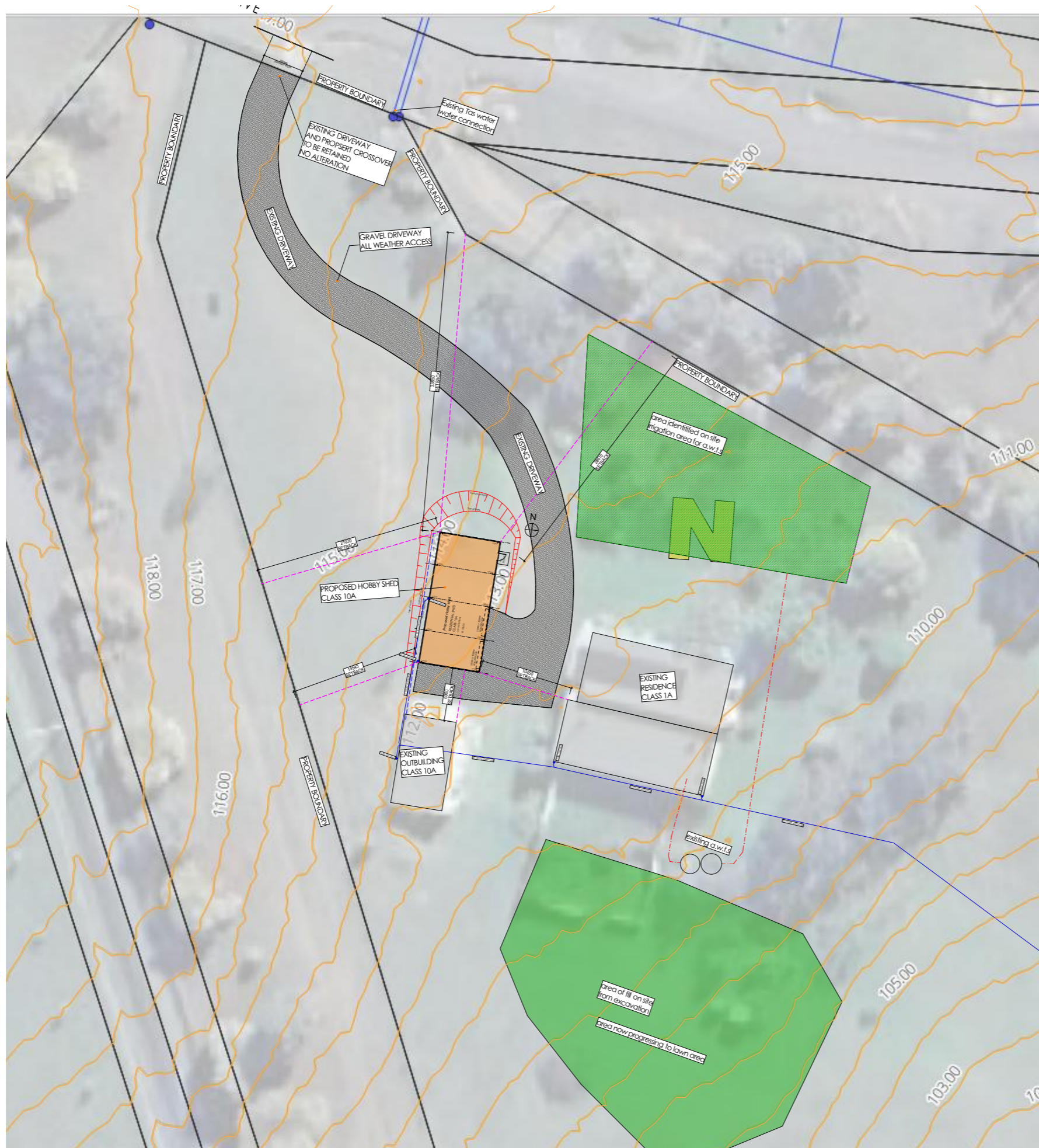
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M.Ralph Design Drawing

job no: drawing no:

2025-1098 **1098-02**



site layout

Floor Plan

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existing dwelling	255.00 sqm site cover
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Site Area	1.0009Ha
Site Coverage Less than	1.00 % site coverage



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New Outbuilding

Paul Wilkins

50 Honeywood Drive

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Part Site Plan

date issue revision

16/12/2025 A

designed and drawn revision-date

M.Ralph Design Drawing

job no: drawing no:

2025-1098 **1098-03**

PLUMBING LAYOUT
SCALE 1:100

Sewer and Stormwater lines are to be run along the underside concrete floor within compacted FCR.
When under a concrete slab or timber floor installation will comply with AS3500.
Refer to roof plan for fixing requirements of down pipes.
Connection to council main or treatment plant will be inspected and approved by Local council inspectors.

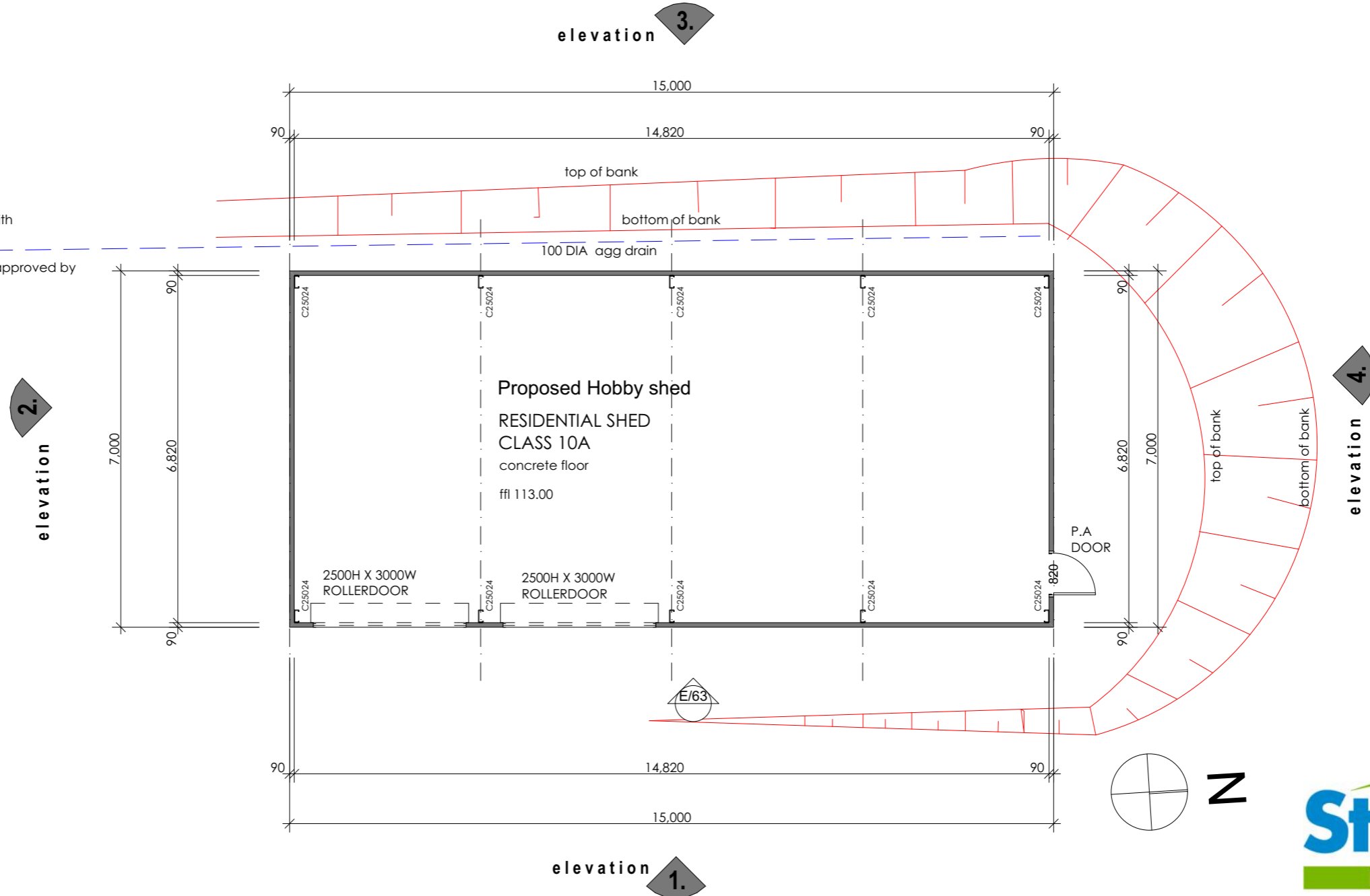
- PIPE SIZES RECOMMENDED
PLUMBING LEGEND:
1. wc dn100
 2. urinal dn40,50
 3. sink dn50,
 4. basin dn40,dn50
 5. bath dn40, dn50
 6. shower dn50, dn 65 recommended
 7. trough dn40,dn50,dn65 or dn100

fwg floor waste gully primed by basin ,sink or trough dn 50 or from which fixture size is priming.

soil classification requires the plumbing contractor to take necessary measures to prevent UPVC AND PVC pipework and all water connection to new rigid building structure to have flexible joint. refer to csiro advice and NCC for pipe connection details for reactive clay soils

Floor Plan

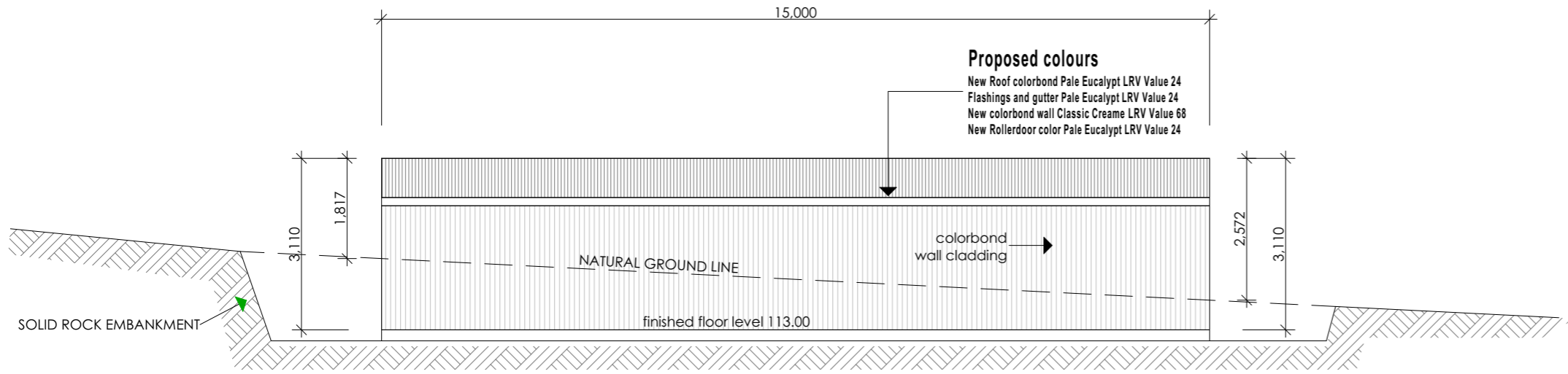
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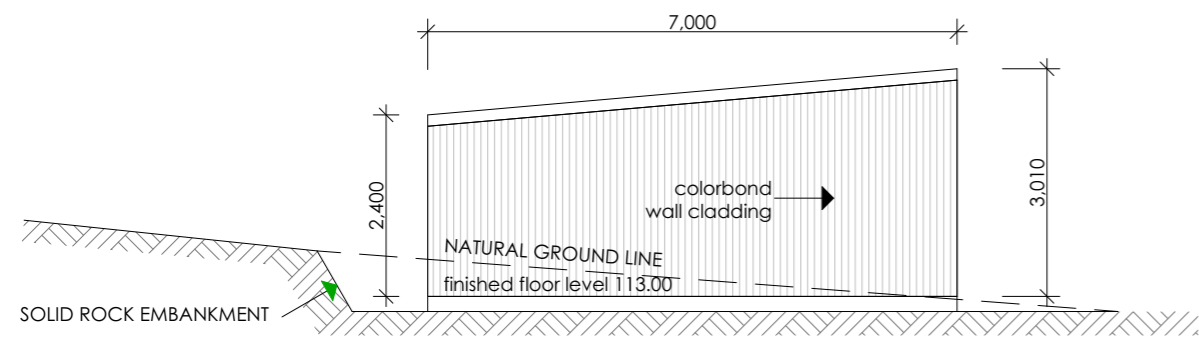
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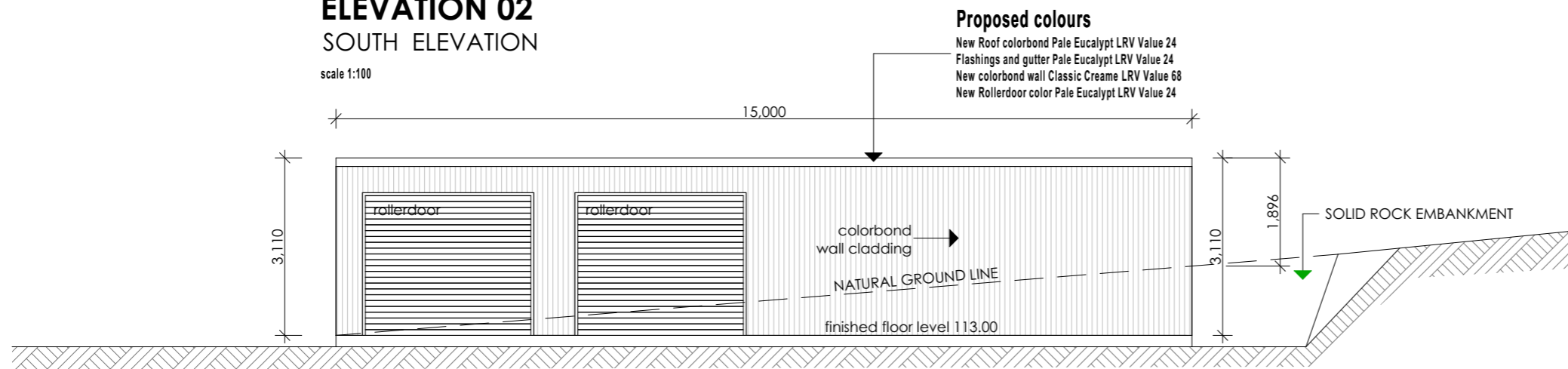
Floor Plan	
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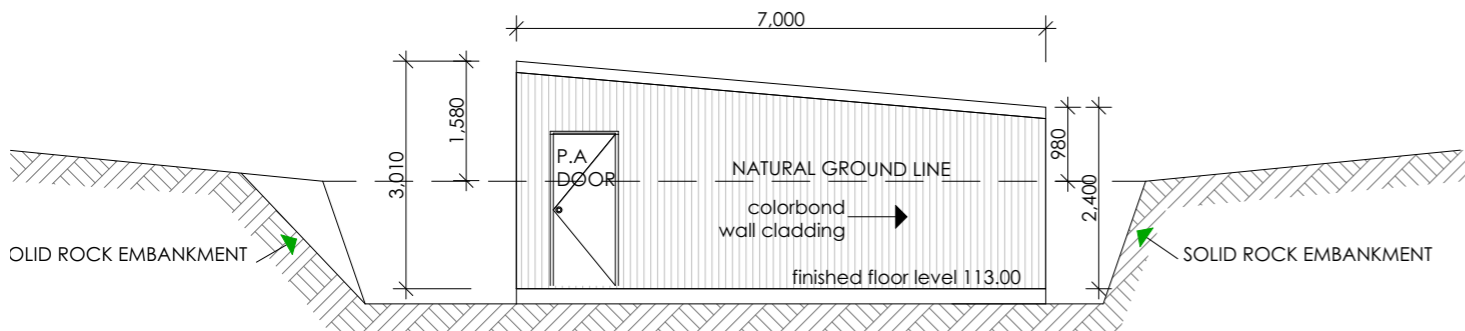
ELEVATION 03
WEST ELEVATION
scale 1:100



ELEVATION 02
SOUTH ELEVATION
scale 1:100



ELEVATION 01
EAST ELEVATION
scale 1:100



ELEVATION 04
NORTH ELEVATION
scale 1:100



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Elevations

date issue revision

16/12/2025 A

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M.Ralph Design Drawing

job no: drawing no:

2025-1098 **1098-05**



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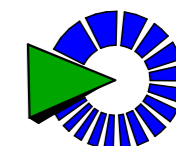
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site services



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2025-1098	1098-06



www.thelist.tas.gov.au

ASST
Hewes





STEELINE TASSIE SHEDS

COLOUR SELECTION

FROM THE COLORBOND® CLASSIC & CONTEMPORARY COLOUR RANGE
 (WWW.COLORBOND.COM/COLOUR)

CUSTOMER NAME:	Paul Wilkins
CUSTOMER ADDRESS:	50 Honeywood Dr Honeywood
JOB NUMBER:	

ROOF:	Pale Eucalypt
ROOF PROFILE:	
BARGE:	
GUTTER:	Pale Eucalypt
CLADDING:	Classic Cream
CLADDING PROFILE:	
CORNER FLASHINGS:	
ROLLER DOOR:	Pale Eucalypt
ROLLER DOOR FLASHINGS:	
PA DOOR:	Pale Eucalypt
WINDOWS:	
SLIDING DOOR:	
SKYLIGHT:	<input type="checkbox"/> CLEAR <input type="checkbox"/> BRONZE <input type="checkbox"/> GREY <input type="checkbox"/> OPAL

CUSTOMER SIGNATURE:	<i>[Signature]</i>
DATE:	19/11/25



1 Whitestone Drive, Austins Ferry
 Hobart, TAS 7011
 ABN: 75 009 543 506
 Email: tassisheds@steeline.com.au



Customers Details

Date	02-12-2025	Quote Reference #	1023752056.
Customer Name	Paul Wilkins		
Mail Address	50 Honeywood drive, Honeywood TAS 7017		
Email Address	pauly1976@live.com.au		
Phone		Mobile	0418102353

Building Specification

Building Size	15.000 m (L) x 7.000 m (W) x 2.400 m (H)			
Roof Pitch	Monopitch 5 deg			
Wall Cladding	SteelClad .42bmt Colorbond	Colour	Windspray	
Roof Cladding	Corrugated .42bmt Colorbond	Colour	Windspray	
Trim & Colour Details	Barge	Windspray	Ridge Cap	Windspray
	Gutters	Windspray	Corner Trim	Windspray
	Downpipe	N/A		
Roller Doors	2x 2500H x 3000W Opening Taurean Series A Roller Door			
Access Doors	1x 2040X820 PA Sentry 650/37 STD Door 0.82 x 2.04m (180 deg swing) Basalt			
Windows	None			
Other Inclusions	Foam Cell Shed Liner (22.25lm / 30m2) added in the follow areas: Roof			
	N/A			

Materials

Column	C25024	Rafter	C25024
Knee Brace	N/A	Apex Brace	N/A
Roof Purlin	TH96115	Spacing	0.878 m
Side Wall Girt	TH9695	Spacing	1.406 m
End Wall Girt	TH96115	Spacing	1.406 m

Complete Project Summary

Project Quote (incl GST)

Kit, steel frame & doors	\$18,150.00
Standard Delivery	INCLUDED
Engineering Fee	INCLUDED

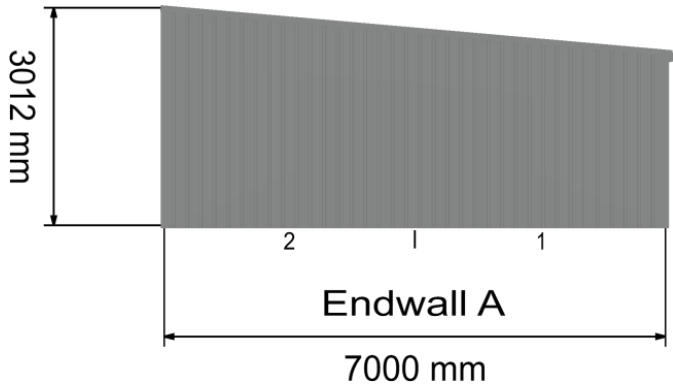
Complete Project Summary

Total Project Price (ex GST)	\$16,500.00
GST Value	\$1,650.00
Total Project (Incl. GST)	\$18,150.00

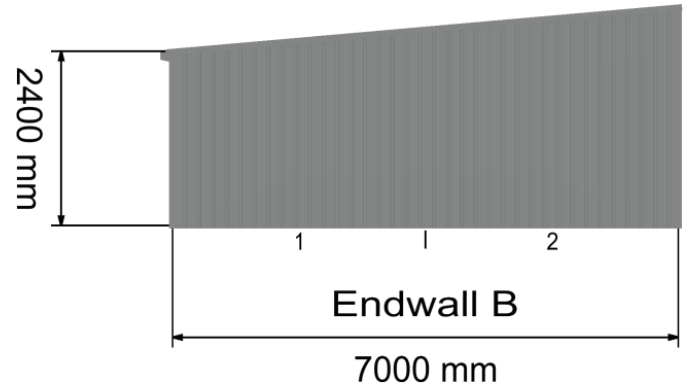
Notes:

Building Specification – Drawings

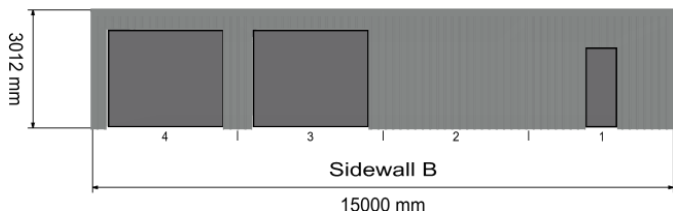
Front



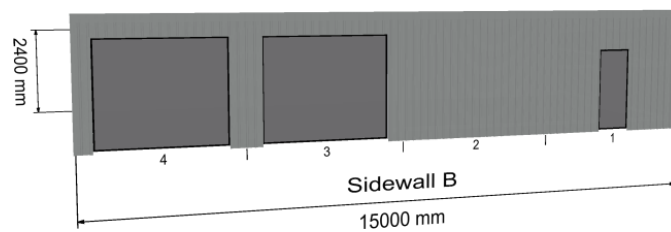
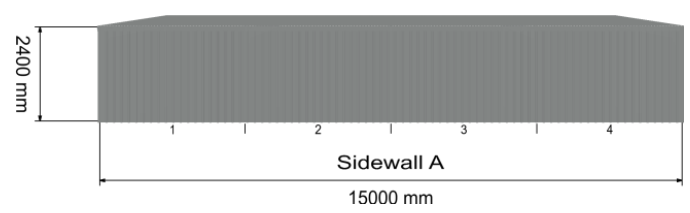
Rear



Left Side



Right Side



SHEDSAFE - Site Specification

Site Address	50 Honeywood drive, Honeywood TAS 7017	Building Class	10a
Wind Design Speed	38.9 m/s	Shielding	0.92
Wind Region	A4	Topography	1.08
Importance Level	2		
Terrain Category	2.5		

Steeline Sheds are ASI (Australian Steel Institute) ShedSafe® Accredited. This accreditation is the industry benchmark for Australian manufactured steel sheds and gives you peace of mind in that Steeline Sheds are a provider of fully engineered prefabricated steel buildings that are all fully compliant with all relevant Australian Standards and Australian Building Codes.

ShedSafe - SiteCheck

Kit Price and Fees Overview

Supply Only	\$18,150.00
Delivery to Site	Included
15% Deposit to Confirm Order & Request Engineering Documents (This is a Non-Refundable amount)	\$2,722.50
35% Payment to proceed with Manufacture of Kit Structure Written notification from customer required to proceed to manufacture	\$6,352.50
50% Final payment before delivery	\$9,075.00

Quote will only be valid from the date of receipt and may be amended due to price increases, errors and or omissions.
Notes: This quote is valid for thirty days (30) from date of issue.

Quote Acceptance.

CUSTOMER'S SIGNATURE (Print name here.....)

DATED

Bank Details

Westpac Bank

BSB: 037-005

Account: 130057

Reference: 1023752056 Wilkins

TERMS & CONDITIONS OF SALE

PAYMENTS

AMOUNT: The customer shall pay Steeline Tasmania instalment amounts (s) stated as per payment terms accompanying this agreement. Steeline Tasmania will also issue a final invoice for the balance of your order which may include any additional items added by the customer.

GOODS: The Supplier is not obliged to deliver any goods unless the customer has paid all amounts in full.

LATE PAYMENT: The Company may, if payment is not received within 7 days of the final invoice date, charge interest at 20% on the overdue amount and unless payment is made in full, the customer will be liable for all costs associated with recovery

RECOVERY OF DEBT: The customer must pay to Steeline Tasmania all debt collection costs, including any legal fees associated with the recovery or attempted recovery of any amount due to the Supplier under the Agreement.

PRICE INCREASE: The Company will hold this order valid and the price firm for a period of no more than *two calendar months* from the date of signed Agreement unless otherwise agreed in writing. Should any increases in costs be experienced prior to approval being obtained and the customer does not take delivery prior to the expiry date, the customer will pay all increases in costs.

DELIVERY

SHORTAGES: In the case of kit purchases, the customer shall inspect the goods immediately on delivery and shall within seven (7) days of delivery give notice in writing to the company of any shortages in relation thereto. If the customer fails to give such notice, then the customer shall be deemed to have accepted the goods as being delivered in their entirety and the Agreement is finalised provided all monies under the Agreement have been paid in full.

INSURANCES: Once the said goods have been delivered to site, the owner of the property is then responsible for the security of the said goods and is liable for any loss or damage thereto. If the customer arranges transport, such risk to the company shall only extend up to the time of loading of the goods and delivery shall be deemed to be taken thereupon.

DELAYED DELIVERY: The delivery date agreed is subject to the availability of material, labour, industrial disputes and unseasonal weather conditions. The company will not be held liable for any delays caused by incalculable issues.

SITE ACCESS: The customer will at his expense provide, or cause to be provided full and clear truck access to the delivery site. If this is not provided, delivery will be made on the front lawn or nature strip.

BUILDING APPROVAL

OBTAINING FINAL INSPECTION IS THE SOLE RESPONSIBILITY OF THE CUSTOMER: This will need to be arranged when the customer has the stormwater connected in accordance with council requirements. Time limitations will apply: ideally final inspection should be carried out within 2 months from completion. Any costs associated with approvals over those stated on this Agreement are to be paid for by the customer including any late or re-inspection fees.

THE CUSTOMER CAN NOT PROCEED WITH ANY WORKS WITHOUT PERMISSION: The customer must not carry out any works pertinent to this Agreement until all approvals have been received from the relevant approval authorities and any conditions of signed Agreement have been agreed to and met by the customer. If the customer has obtained their own authority approvals, It is up to the customer to advise Steeline Tasmania of these approvals and provide a copy of the approvals. The company will take no responsibility for any premature action by the customer.

ERECTION

DOWNPIPES: Downpipes are only supplied if stated or listed in the quotation/Order. If supplied it is the responsibility of the Customer or accredited drainage Plumber to install the downpipe.

WORKMANSHIP: The Company will ensure that the work performed shall meet Acceptable building standards, All work will be performed with tradesman like manner. It is the customers responsibility to provide a clear accessible site for construction.

WARRANTIES

THIRD PARTIES WARRANTIES: Where the term 'structure' is referred to herein it means, the steel structure only and does not include sheeting, trims, doors, windows, or rainwater goods. The warranties for these components are provided by the relevant manufactures and are varied and limited. WARNING: Severe coastal conditions will reduce the life of all components by corrosion and will be excluded from all warranties.

MAINTENANCE: The customer must keep all garden beds, soils or acidic material away from metal cladding and components of the building or corrosion may occur which will reduce the life of the products and void all manufacturer's warranties.

DEFECTS LIABILITY PERIOD: The Company agrees for a period of twelve months from the date of signed Agreement to rectify any faults or damage caused by materials or workmanship in the manufacture of the structure. The company will not be responsible for any faults or damage caused by negligence of the customer, his servants, or agents or by the customer performing any work or having performed any work on the structure.

GENERAL

EXTENSION OF CONSTRUCTION TIME: If the progress of work is delayed as a result of any variations to the Agreement, any industrial action or civil commotion affecting the Agreement, unavailability of material necessary to the execution of the Agreement, any delays brought about in obtaining the relevant authorized approvals exceeding 14 days from the date of this Agreement, any delays brought about by the owner or any other cause beyond the reasonable control of the company, then the company may, within a reasonable time, claim an extension in the number of calendar days equal to the period of delay.

MARKETING: the customer hereby grants the company and any person authorized by the company permission to film or photograph the building and without restraint allow its use for any promotional purposes without any recall to the company whether legal or monetary.

TERMINATION: should the customer or the company wish to terminate the Agreement after signing same, they must give written instructions providing 7 days' notice and they must state the grounds on which termination is sought. It is at the company's sole discretion to accept or reject the termination. Regardless, the customer will be obliged to pay all the costs expended to the date on the Agreement plus the profit margin that the company would have made on the Agreement, which could exceed the money paid on the Agreement to that date.

ADDITIONAL CHARGES FOR MOST COMMON ISSUES

CUSTOM SLAB DESIGN: If required the foundation data must be obtained before entering into this contract. Alternatively, all concrete floors will be designed to suit "class 10 buildings" and up to Class M soil and will assume founding into natural ground. If Steeline Tasmania is to obtain the foundation data, this must be requested in writing and all costs associated with the soil report and associated slab design be paid in addition to the standard slab design. A copy must be given to the customer upon payment of the costs incurred in obtaining the data. Similarly, if there is any fill on the site, deeper and or extra piers may be required at a cost to the owner.

HARD DIGGINGS: If when excavating the site the company discovers that if required the hire of machinery or extra labour such as Jack hammering, Rock breaking, etc. the customer will pay these extra costs in addition to the Agreement price.

HIDDEN OBSTRUCTIONS: If during construction, services are damaged requiring repair such as telecommunications, electrical, storm water, etc. the customer will pay the costs associated with the repair in addition to the Agreement price. It is the customer's responsibility to advise the company of the existence of any such obstructions and to arrange (and pay any associated costs) for the relocation of same as required.

SITE PREPARATIONS: If the site is to be levelled by the customer and site is not level within 50mm the costs associated with providing a level building platform including the supply and placement of fill and construction of concrete piers will be paid as extra variation to the Agreement price.

APPROVAL OR ASSET PROTECTION FEES: If approval or asset protection for the building can only be obtained with amendments or additional information, thus incurring additional costs as required by the local council or certifier, the customer will pay all the extra costs associated above the fees included in the original Agreement price.

SITE CLEAN UP (OWNER'S RESPONSIBILITY): If the customer requires the company to remove the packaging or left over materials and any soil/rubbish associated with the works, from the site, unless noted otherwise in the Agreement the customer will pay these costs including labour and dump fees in addition to the Agreement price.

HANDOVER: The keys for any building will not be handed over until payment is made in full, (trades will return them to the sales office).

BUILDING PERMIT APPLICATION Service: Should you require Steeline Tasmania is to submit Planning & Building Permit Applications all council costs associated will be payable by the Applicant/Customer.

DISPERSIVE SOIL ASSESSMENT

50 Honeywood Drive

Honeywood

January 2026



GEO-ENVIRONMENTAL

S O L U T I O N S

Disclaimer: The author does not warrant the information contained in this document is free from errors or omissions. The author shall not in any way be liable for any loss, damage or injury suffered by the User consequent upon, or incidental to, the existence of errors in the information.

Investigation Details

Client:	Alisa Wilkins
Site Address:	50 Honeywood Drive, Honeywood
Date of Inspection:	19/01/2026
Proposed Works:	Shed
Investigation Method:	Geoprobe 540UD - Direct Push
Inspected by:	C. Cooper

Site Details

Certificate of Title (CT):	144527/2
Title Area:	Approx. 1.009 ha
Applicable Planning Overlays:	Bushfire-prone areas
Slope & Aspect:	4° SE facing slope
Vegetation:	Grass & Weeds

Background Information

Geology Map:	MRT
Geological Unit:	Triassic Sandstone
Climate:	Annual rainfall 500mm
Water Connection:	Tank
Sewer Connection:	Unserviced-On-site required
Testing and Classification:	AS2870:2011, AS1726:2017 & AS4055:2021

Investigation

A bore holes was completed to identify the distribution and variation of the soil materials at the site, the bore hole location is indicated on the site plan. See soil profile conditions presented below.

Soil Profile Summary

BH 1 Depth (m)	USCS	Description
0.00-0.20	SM	Silty SAND: pale brown, dry, dense
0.20-1.00	CL	Sandy CLAY: with gravel, medium plasticity, pale brown, slightly moist, very stiff, refusal on rock/boulder.

Site Notes

The soil on site has formed from Triassic sandstone. The subsoil was tested for dispersion using the Emerson Test and was found to be slightly dispersive Class 2(2) -obvious milkiness, <50% of the aggregate affected.

Dispersive Soil Assessment

The dispersive soil assessment of the property considers the proposed construction area.

Potential for dispersive soils

The site has been identified as an area subject to a tunnel erosion hazard according to 'Dispersive Soils and Their Management: Technical Reference Manual'. This is due to the soils present on site that developed from Triassic Sandstone that contain considerable fine sand/silt content and medium plastic clays. Triassic Sandstone in the local area is known to produce soils with an excess of sodium on the soil exchange complex, which can cause soil dispersion. Under some circumstances the presence of dispersive soils can also lead to significant erosion, and in particular tunnel erosion. Based upon field survey of the property, no visible tunnel or gully erosion was identified. However, a soil sampling program was undertaken to identify the presence of dispersive soils in the proposed development areas.

Soil sampling and testing

Samples were taken at the site for assessment of dispersion. An Emerson (1968) Dispersion test was conducted to determine if these samples were dispersive.

The soil samples taken from site were found to be Slightly dispersive Class 2(2) -obvious milkiness, <50% of the aggregate affected.

Management Recommendations

A number of site and soil management measures are recommended for development on the site.

The proposed site cut/fill and driveway areas must be managed by:

- Applying a geo-fabric, jute mesh or similar material to the exposed batters of any cutting on site and revegetating the slope
- Applying a surface layer of at least 50mm of suitable crushed rock/gravel to the driveway surface (and any proposed house pad), with adequate compaction to ensure a relatively impervious surface to maintain site surface stability
- Vegetation on any fill batters must be established and maintained, if any bare area of soil on the batter develops then it must be top-dressed with suitable topsoil and additional vegetation planted

The risk of erosion and tunnel erosion associated with construction must be minimized by:

- Any new water, power, or other service trenches within the property must ensure recommendations for dispersive soils are followed:
 - o Where possible trenches to be placed shallow in topsoil and mounded over to achieve the required cover depth
 - o If buried the trench must be backfilled in layers of no more than 200mm with clay with 5% by weight gypsum added (the clay must be sufficiently moist to allow good compaction).
 - o The trench must be finished with at least 150mm depth of non-dispersive suitable topsoil and finished to a level at least 75mm above natural ground to allow for possible settlement
- Vegetation cover must be maintained wherever possible on the property
- Foundations may be placed into the natural soil; however, care must be taken to ensure all exposed soil in the foundation area is compacted and 1Kg/m² of gypsum is applied. Excavated fill from the construction area is not recommended for reuse on site in landscaping unless it is appropriately treated with gypsum, compacted, and capped with topsoil with natural soil and gypsum
- All stormwater runoff from the dwelling to be directed to mains connection (all the drains are to be adequately treated with gypsum)
- Drainage of any site cut must not employ conventional rock drain construction; it must adhere to recommendations for dispersive soils (unless founded entirely in rock)
- All excavation works on site should be monitored for signs of soil dispersion and remedial action taken as required – any excavated fill from the construction area is not recommended for reuse on site in landscaping unless it is appropriately treated with gypsum, compacted, and capped with topsoil

BRI-S7.7 Development Standards for Buildings and Works

Acceptable Solutions	Comment
<p>A1 Development must be for:</p> <p>(a) works not involving the release of concentrated water or the disturbance of soils;</p> <p>(b) additions or alterations to an existing building, or the construction of a non-habitable building, provided the development area is no more than 100m²; or</p> <p>(c) forestry operations in accordance with a certified Forest Practices Plan.</p>	<p>Non-compliance See P1 below</p>

Performance Criteria	Comment
<p>P1 Development must be designed, sited and constructed to minimise the risks associated with dispersive soil to property and the environment having regard to:</p> <p>(a) the dispersive potential of soils in the vicinity of proposed buildings, driveways, services and the development area generally;</p> <p>(b) the potential of the development to affect or be affected by erosion, including gully and tunnel erosion;</p> <p>(c) the dispersive potential of soils in the vicinity of water drainage lines, infiltration areas and trenches, water storages, ponds, dams and disposal areas;</p> <p>(d) the level of risk and potential consequences for property and the environment from potential erosion, including gully and tunnel erosion;</p> <p>(e) management measures that would reduce risk to an acceptable level; and</p> <p>(f) the advice contained in a dispersive soil management plan.</p>	<p>The site has returned a slightly dispersive result for soil dispersion. Provided the management recommendations are followed there is acceptably low risk of the property and environment being impacted by soil erosion resulting from dispersive soils.</p>

The development is considered to be consistent with the objective of this specific area plan.

Conclusions

There is a low risk associated with dispersive soils and potential erosion on the site provided the recommendations in this report are adhered to. Efforts should be made to cover all exposed soils on cut/fill batters with topsoil and seeded with well suited pasture species to avoid rainwater, runoff, surface water flows from intercepting exposed subsoils.

A number of site management recommendations have been made in this report and further information can also be found in the publication “Dispersive soils and their management – Technical manual” (DPIWE Tas 2009)

It is recommended that during construction that GES be notified of any variation to the soil conditions as outlined in this report.



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Environmental and Engineering Soil Scientist

Appendix 1– Soil test results

Laboratory Test Results

Sample Submitted By: C Cooper

Date Submitted: 19/01/2026

Sample Identification: 2 samples – 50 Honeywood Drive, Honeywood

Soil to be tested: Emerson soil dispersion test

Result:

Sample	Texture	Emerson class	Description
Sample 1	clay	Class 2 (2)	Some dispersion <50% affected
Sample 2	clay	Class 2 (2)	Some dispersion <50% affected

Notes: Some dispersion with obvious milkiness affecting <50% of the aggregate.

Sample Tested by: C Cooper

Disclaimer

This Report has been prepared in accordance with the scope of services between Geo-Environmental Solutions Pty. Ltd. (GES) and the Client. To the best of GES's knowledge, the information presented herein represents the client's requirements at the time of printing of the Report. However, the passage of time, manifestation of latent conditions or impacts of future events may result in findings differing from that discussed in this Report. In preparing this Report, GES has relied upon data, surveys, analyses, designs, plans and other information provided by the Client and other individuals and organizations referenced herein. Except as otherwise stated in this Report, GES has not verified the accuracy or completeness of such data, surveys, analyses, designs, plans and other information.

The scope of this study does not allow for the review of every possible geotechnical parameter or the soil conditions over the whole area of the site. Soil and rock samples collected from the investigation area are assumed to be representative of the areas from where they were collected and not indicative of the entire site. The conclusions discussed within this report are based on observations and/or testing at these investigation points.

This report does not purport to provide legal advice. Readers of the report should engage professional legal practitioners for this purpose as required.

No responsibility is accepted for the use of any part of this report in any other context or for any other purpose by a third party.

Site Investigation Plan



site layout