



Application for Planning Approval

Land Use Planning and Approvals Act 1993

APPLICATION NO.

DA2025/197

LOCATION OF AFFECTED AREA

2 SHAWNLEE COURT, OLD BEACH

DESCRIPTION OF DEVELOPMENT PROPOSAL

SECONDARY DWELLING

A COPY OF THE DEVELOPMENT APPLICATION MAY BE VIEWED AT www.brighton.tas.gov.au AND AT THE COUNCIL OFFICES, 1 TIVOLI ROAD, OLD BEACH, BETWEEN 8:15 A.M. AND 4:45 P.M, MONDAY TO FRIDAY OR VIA THE QR CODE BELOW. ANY PERSON MAY MAKE WRITTEN REPRESENTATIONS IN ACCORDANCE WITH S.57(5) OF THE LAND USE PLANNING AND APPROVALS ACT 1993 CONCERNING THIS APPLICATION UNTIL 4:45 P.M. ON **02/03/2026**. ADDRESSED TO THE CHIEF EXECUTIVE OFFICER AT 1 TIVOLI ROAD, OLD BEACH, 7017 OR BY EMAIL AT development@brighton.tas.gov.au. REPRESENTATIONS SHOULD INCLUDE A DAYTIME TELEPHONE NUMBER TO ALLOW COUNCIL OFFICERS TO DISCUSS, IF NECESSARY, ANY MATTERS RAISED.

JAMES DRYBURGH
Chief Executive Officer



Brighton
going places

IMPORTANT

1. USE WRITTEN DIMENSIONS ONLY.
2. DO NOT SCALE DRAWINGS.
3. THE CONTRACTOR IS TO CHECK ALL LEVELS, DATUMS, AND DIMENSIONS IN RELATION TO THE DRAWINGS AND THE SITE BEFORE PROCEEDING WITH THE WORK OR SHOP DRAWINGS.
4. ENSURE THAT THIS DRAWING AND ANY ACCOMPANYING DETAILS AND/OR SPECIFICATIONS HAVE BEEN STAMPED AS 'APPROVED' BY THE RELEVANT LOCAL AUTHORITY.
5. THE PROPRIETOR IS TO ENSURE THAT ANY "CONDITIONS OF APPROVAL" ISSUED BY THE BUILDING SURVEYOR, RELEVANT COUNCIL AND OTHER STATUTORY AUTHORITIES ARE PASSED ONTO THE CONTRACTOR BEFORE CONSTRUCTION BEGINS.
6. MATERIALS AND WORKMANSHIP SHALL CONFORM WITH RELEVANT STANDARDS, BUILDING CODE OF AUSTRALIA AND PRODUCT MANUFACTURERS WRITTEN INSTRUCTIONS.
7. ANY ALTERATION TO THE CONSTRUCTION AND/OR MATERIALS INDICATED IN THESE DRAWINGS IS TO BE APPROVED BY DESIGN EAST, THE ENGINEER, THE BUILDING SURVEYOR, AND THE PROPRIETOR BEFORE PROCEEDING WITH THE WORK.
8. IF THERE ARE ANY QUERIES IN RELATION TO DIMENSIONS, LEVELS OR CONSTRUCTION DETAILS, CONTACT:

James Young
0427 317 041
james.young@hazellbros.com.au

SITE KEY

- (A) OUTLINE OF EX. BRICK RESIDENCE.
- (B) EX. ROOFED COURTYARD AREA TO BE DEMOLISHED
- (C) PROPOSED ALTERATIONS & ADDITIONS (bed, ensuite, laundry).
- (D) PROPOSED CARPORT
- (E) PROPOSED STEEL KIT GARAGE.
- (F) Ancillary building

SITE COVERAGE (ie roofed areas as per standard 2 of PD4)

EXISTING BRICK RESIDENCE - 121m²

GRANNY FLAT - 12m x 2.44m = 29.28m²

PROPOSED ADDITION - 37m²

PROPOSED CARPORT - 35m²

PROPOSED GARAGE - 30m²

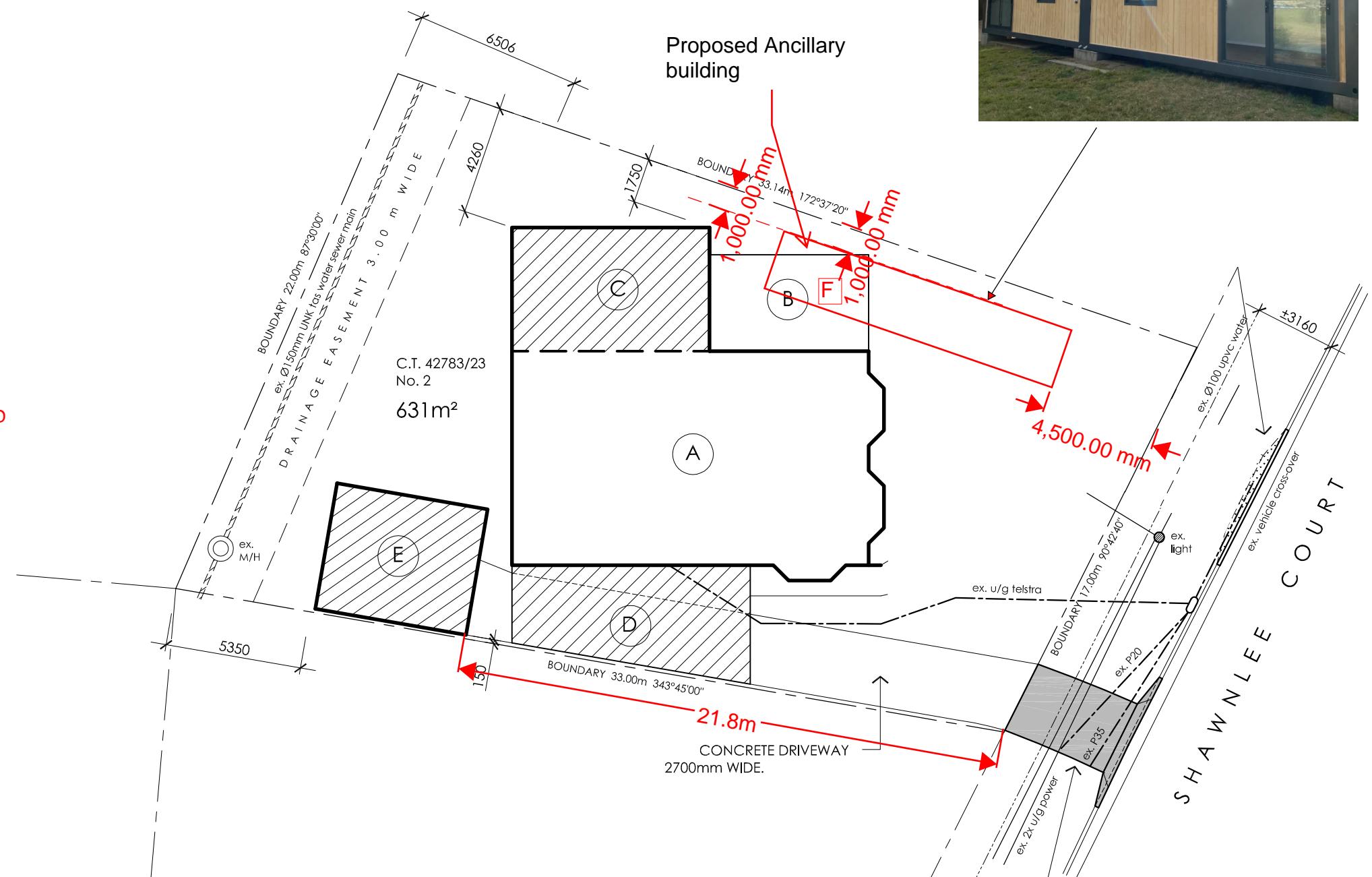
TOTAL BUILDING COVERAGE AREA - 252.28m²

SITE AREA - 631 ha

TOTAL SITE COVERAGE - 39%

2 SHAWNLEE CRT - PROPOSED ANCILLARY BUILDING

SHEET 1 of 11



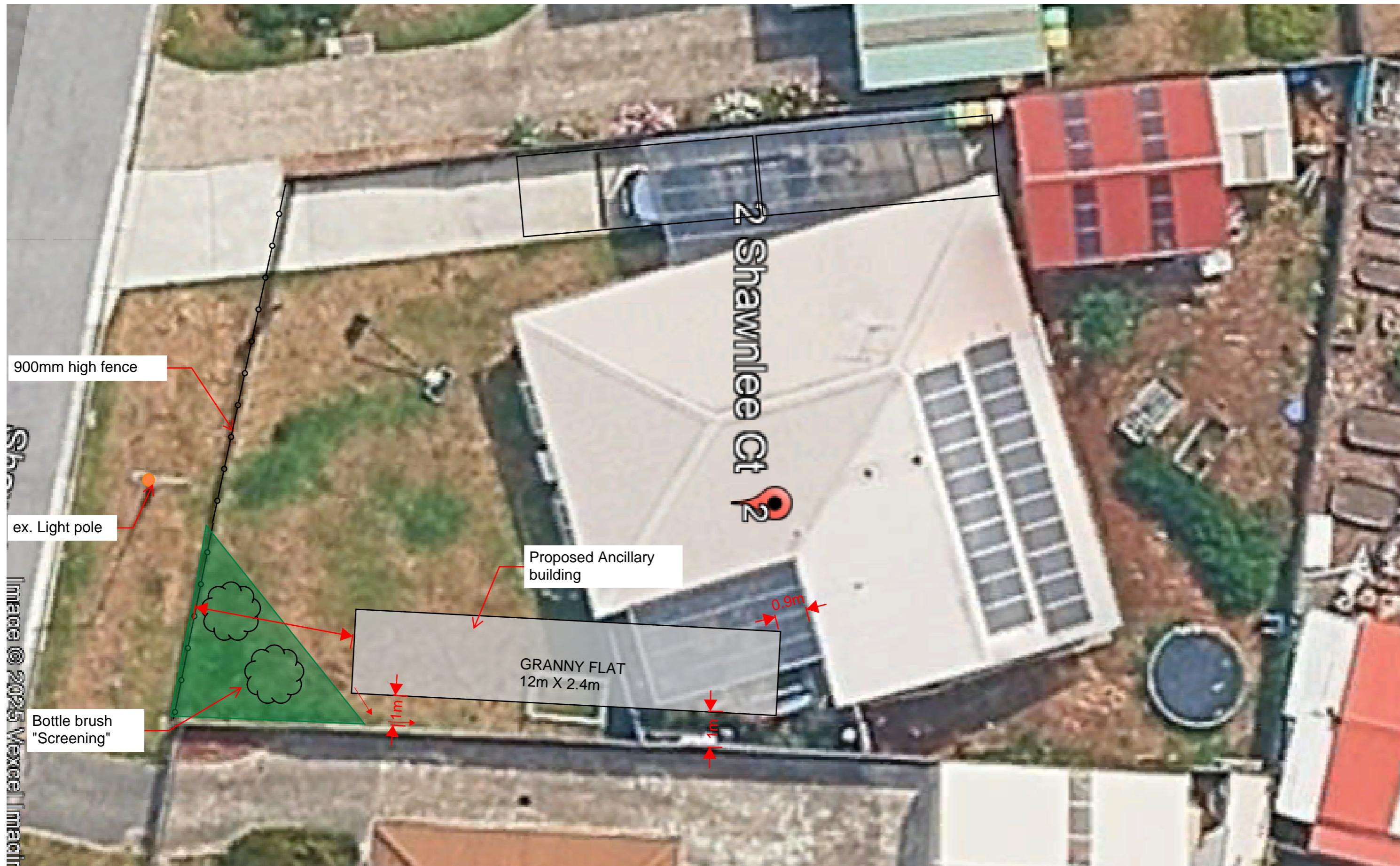
ISSUE	DESCRIPTION	DATE	DRAWN
A.	DA submission	05.11.25	JY

Project:	PROPOSED ANCILLARY BUILDING
Drawing:	SITE PLAN

SCALE:	DRG NO:
1:200	4955 A01
DRAWN:	DATE: NOV 2025

Site plan
2 Shawnlee Crt Old Beach

SHEET 2 of 11

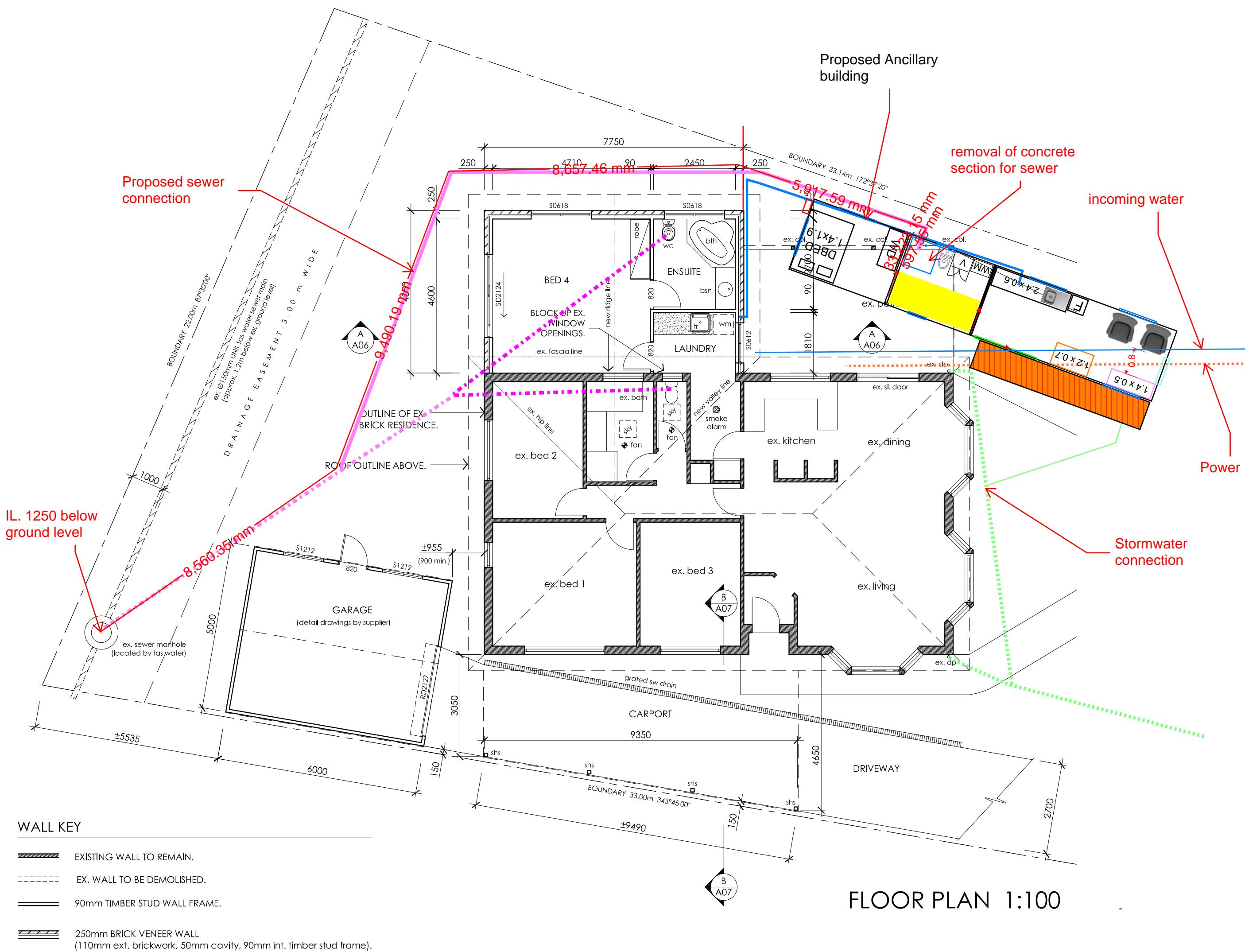


ISSUE	DESCRIPTION	DATE	DRAWN
A.			

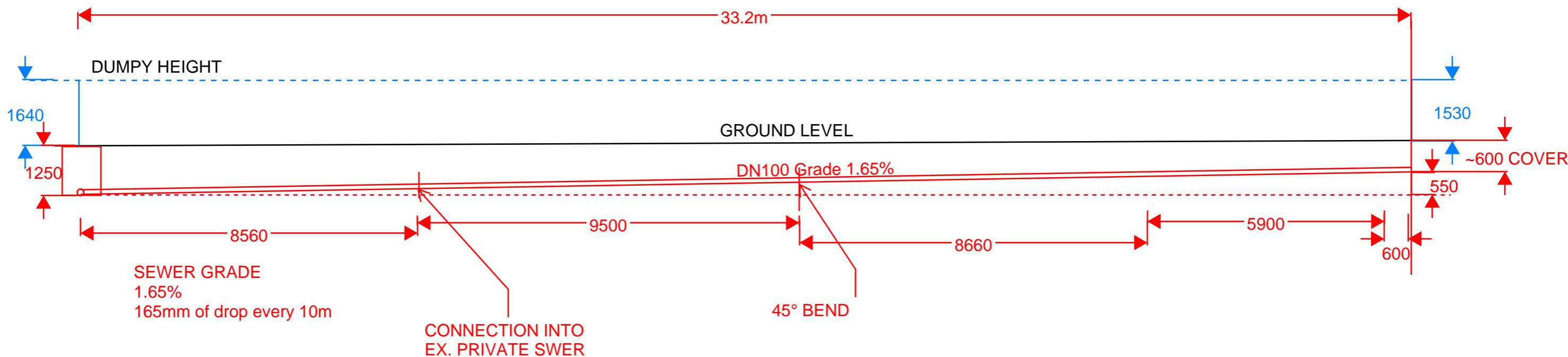
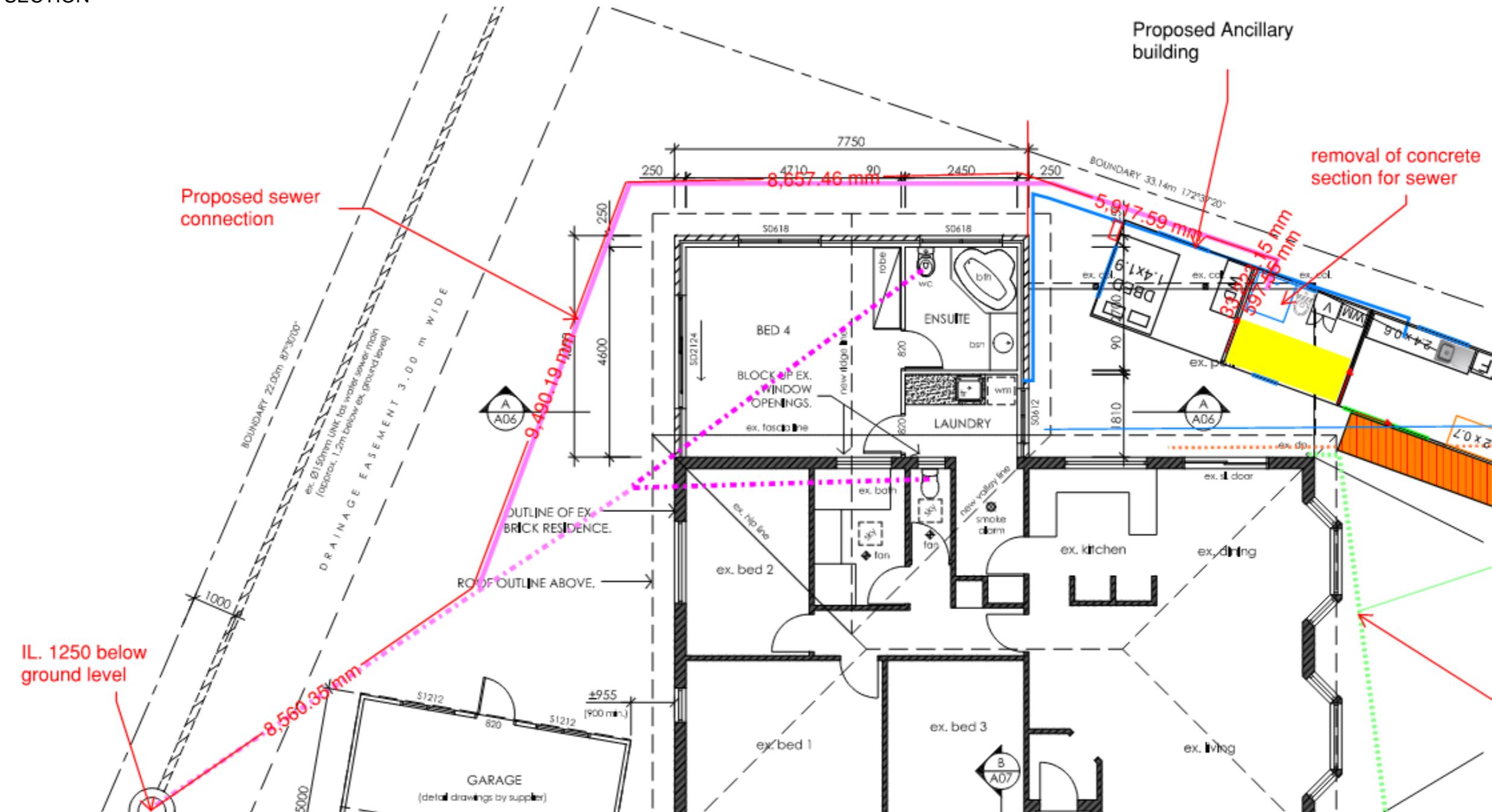
Project: **PROPOSED ANCILLARY BUILDING**

Drawing: **FLOOR PLAN**

SCALE:	1:100	DRAWN:	JY
DRG. NO.:	4955 A03	DATE:	NOV 2025



PORPOSED SEWER PLAN AND LONG SECTION



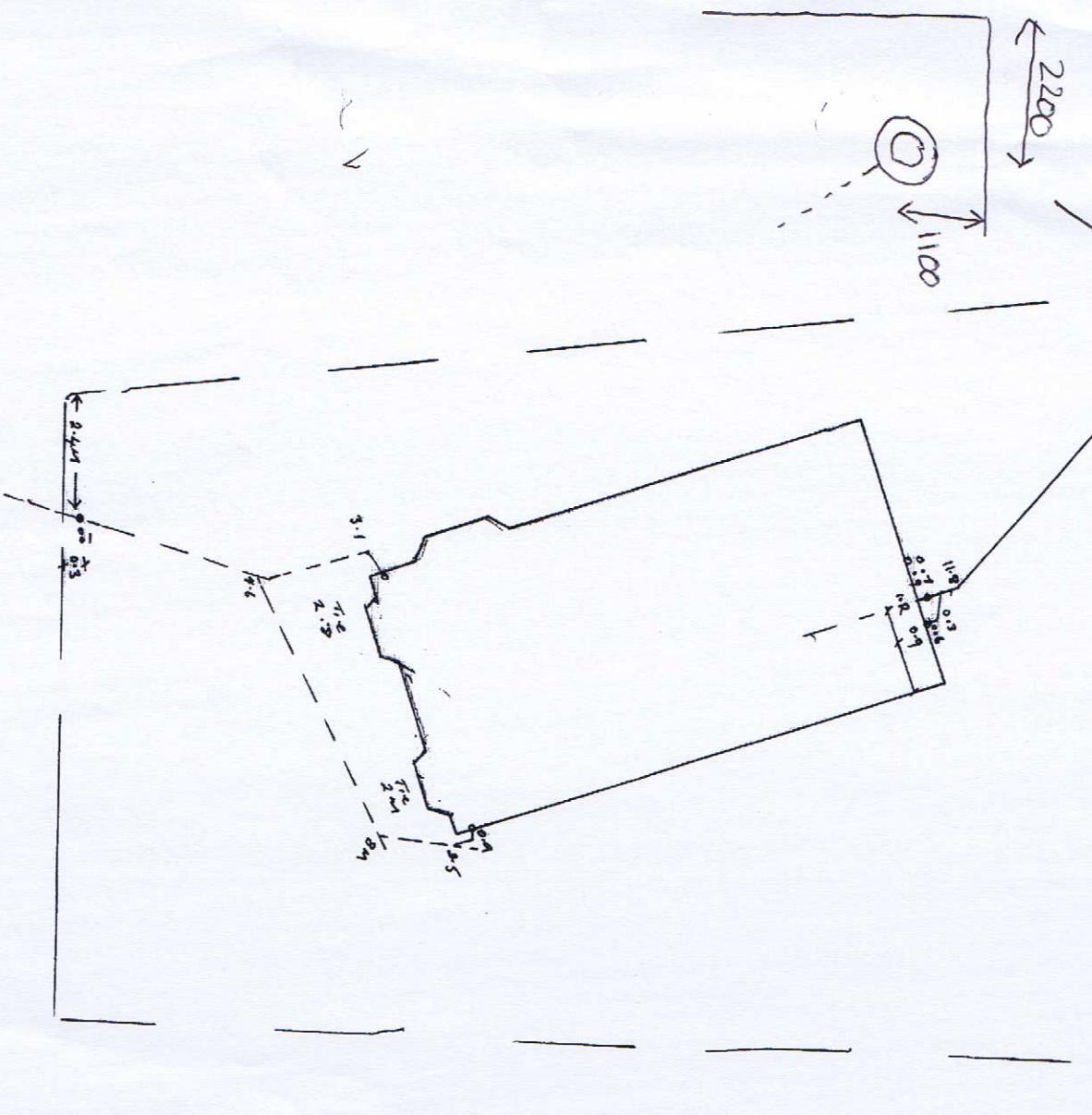
Brighton Municipal Council

Detail Plan No. 101/91.

Drainage Plan No.

PLAN OF DRAINAGE
FOR

Lot 23. N° 2 SHANNON CRES.
SCALE: _____



Designed J.P. Eng. 91.

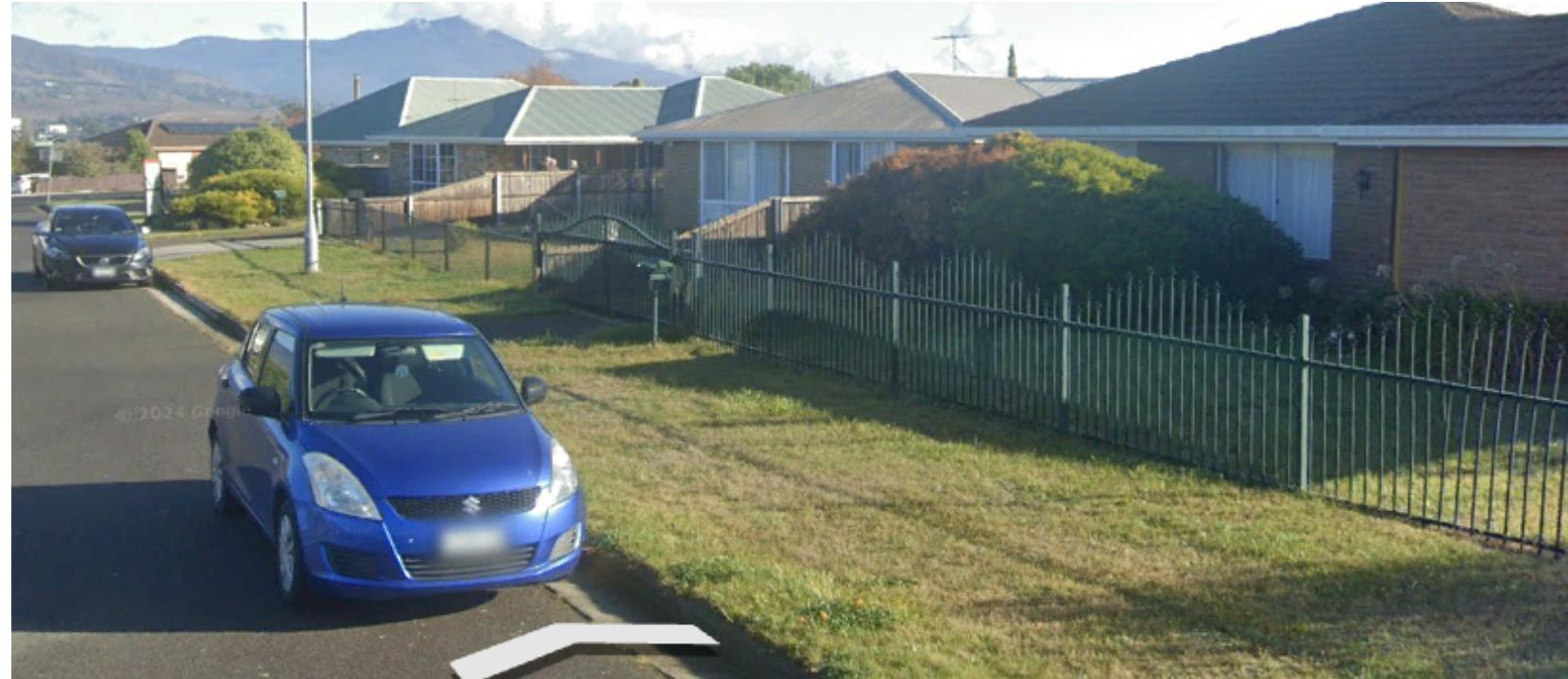
SPECIALIST SURVEYOR

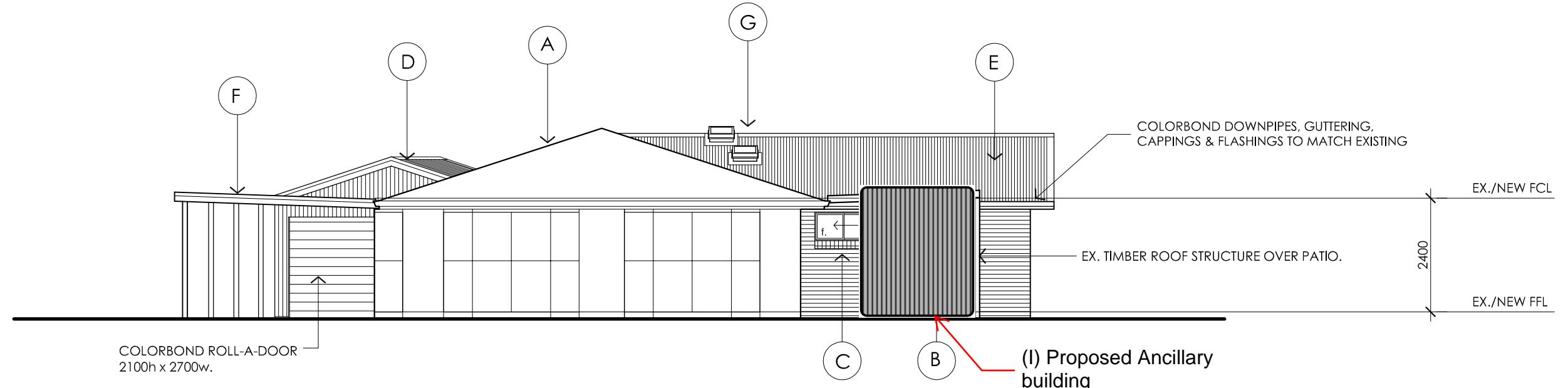


Concept plan
2 Shawnlee Crt Old Beach

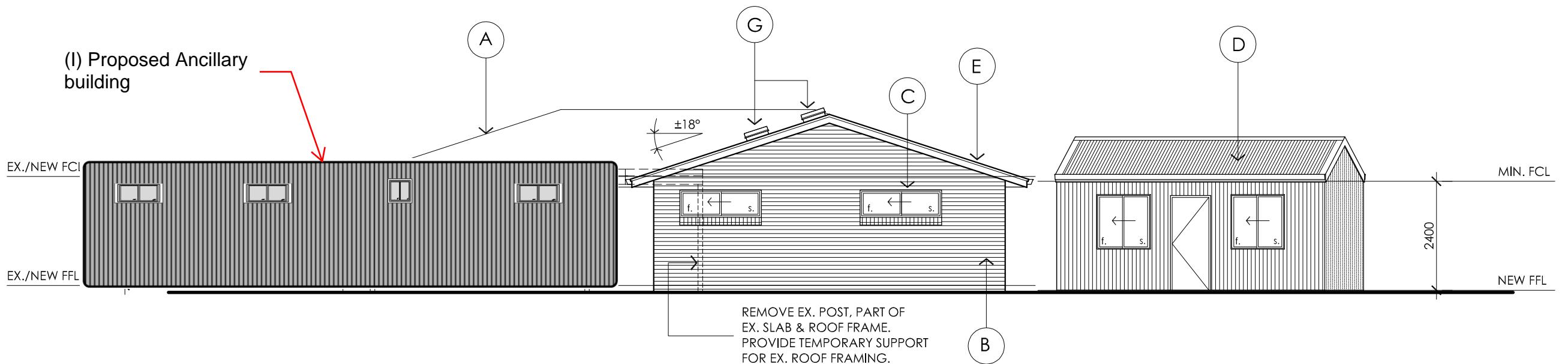
Concept plan
2 Shawnlee Crt Old Beach



Concept plan
2 Shawnlee Crt Old Beach



SOUTH EAST ELEVATION 1:100



NORTH EAST ELEVATION 1:100

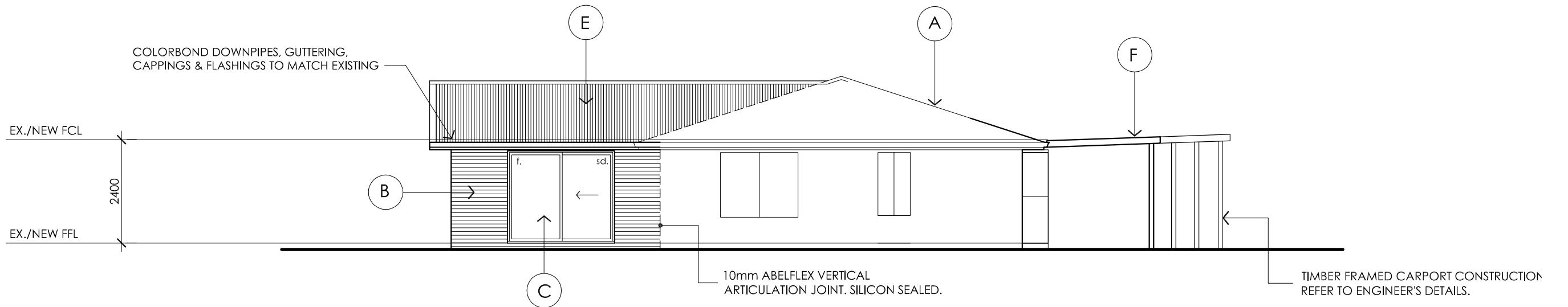
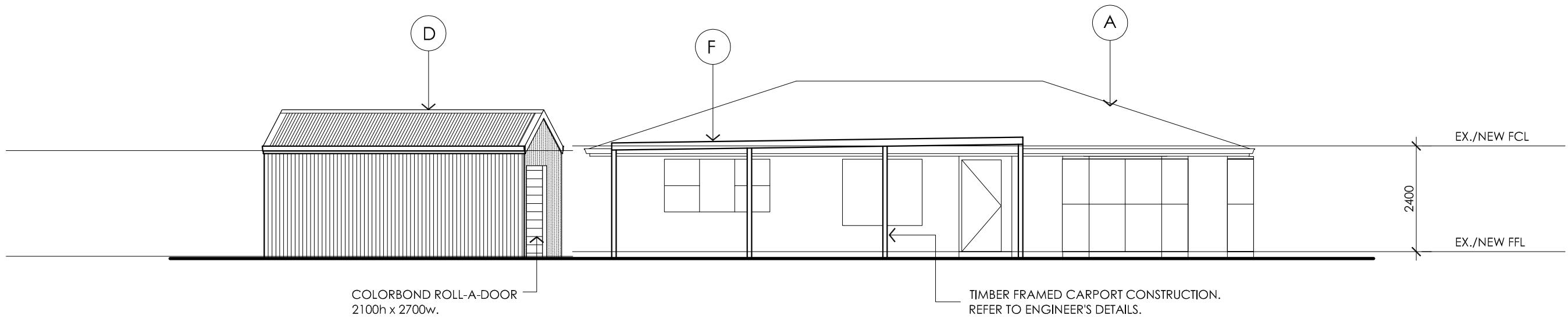
EXTERNAL MATERIALS & FINISHES

- A** EXISTING BRICK VENEER RESIDENCE
- B** FACE BRICKWORK TO MATCH EXISTING
- C** ALUMINIUM WINDOW & DOOR FRAMES. POWDERCOAT FINISH, BRICK ON EDGE SILL.
- D** STATEWIDE OR SIMILAR STEEL FRAMED GARAGE COLORBOND SHEETING AS SELECTED.
- E** COLORBOND SHEET ROOFING TO MATCH EX. 18° PITCH
- F** CLEAR ROOF SHEETING FOR OVER CARPORT
- G** Ø600 TUBE SKYLIGHT & FLASHING KIT.

I - Proposed Ancillary building - Grey metal sheet with timber clad

Project: **PROPOSED ANCILLARY BUILDING** Drawing: **ELEVATIONS**

DR. NO.	
ROLL.	1:50
DRAWN:	JY
DATE:	NOV 2025



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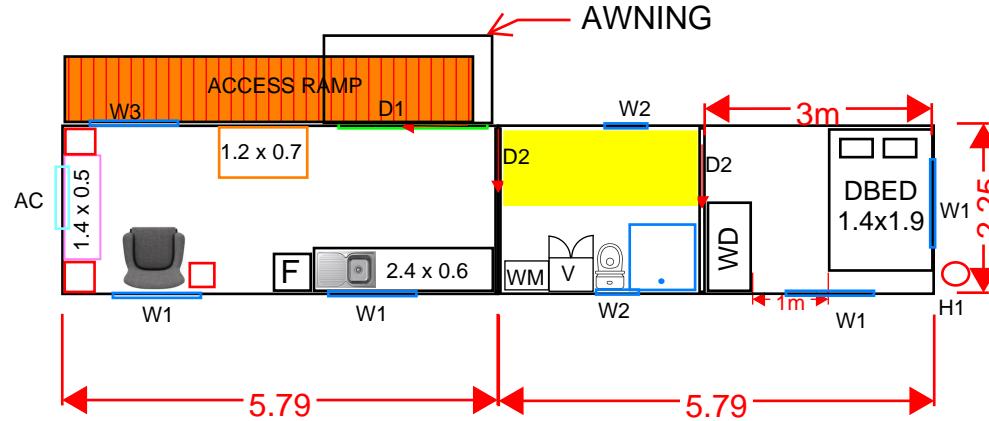
ISSUE	DESCRIPTION	DATE	DRA

PROPOSED ANCILLARY BUILDING

Project: design.EAST registered trading name for design.EAST Pty. Ltd.

Drawing: ELEVATIONS

SCALE: 1:50	DRG.NO: 4955
DRAWN: JY	DATE: NOV 2025



W1 - HIGH LIGHT WINDOW 1200 X 600
 W2 - BATHROOM FROSTED WINDOW 600 X 600
 W3 - WINDOW 1800 X 1000
 D1 - GLASS SLIDING DOOR
 AC - SPLIT SYSTEM UNIT
 H1 - ELECTRIC HOT WATER 125L
 D2 - SLIDING DOOR

TASPODS SCOPE OF WORKS

SUPPLY AND INSTALLATION OF:

6 X 3m pods qty2

Kitchen (Bench, sink, tapware)

Bathroom (shower, toilet, vanity)

Windows

Doors

Awning

Hot water cylinder

Lights

power points

Spilt system AC

Ramp and landing

Footings

removal of concrete slab section (approx 1m x 1m)

Service connections

Sewer (approx 24m)

Power

Water

Storm water connection (approx 15m)

service locations

Exclusions

White goods

Wardrobe

Double bed

26 January 2026

Dang Van
Brighton Council
1 Tivoli Road
Old Beach
TAS 7017

Project Ref: 26-003

RE: PLANNING PERMIT (DA2025/197) 2 SHAWLEE COURT, OLD BEACH.

Dear Dang

Please find enclosed our response to your RFI dated 9th December 2025.



2. Please confirm whether any demolition of the existing roof courtyard area is proposed to accommodate the new development.

RHA Response:

It is confirmed that the existing covered roof (polycarbonate roof sheeting) will be demolished to provide space for the new ancillary.

3. Provide a written statement addressing Clause 8.4.2 P3(iv) of the General Residential Zone provisions, considering the visual impacts caused by the apparent scale, bulk, or proportions of the proposed secondary residence when viewed from adjoining properties.

RHA Response:

The proposed ancillary has been carefully designed and sited to ensure that its apparent scale, bulk and proportions do not result in unreasonable visual impacts when viewed from adjoining properties, and to remain consistent with the established residential character of Shawnlee Court.

Shawnlee Court is characterised by detached single-storey dwellings with outbuildings such as garages, sheds and studios located within rear yards. The proposed ancillary container structure, measuring approximately 12 metres in length and 2.44 metres in height, reflects the scale and form of these existing outbuildings and does not exceed the height or visual prominence commonly observed within the immediate streetscape.

The building is single-storey in nature and is sited with appropriate setbacks from adjoining boundaries, ensuring that it does not present as visually dominant or overbearing when viewed from neighbouring allotments. The narrow width and low overall height significantly reduce the perception of bulk, particularly when compared to more conventional outbuildings or extensions permitted within the General Residential Zone.

In relation to privacy, the secondary residence does not incorporate upper-level elements, raised decks, or elevated openings that would result in overlooking of adjoining private open space or habitable room windows. Openings are limited and positioned to minimise any potential privacy impacts, consistent with Clause 8.4.2 P3(iii).

With respect to site coverage, the ancillary structure occupies a modest portion of the site and remains well within acceptable site coverage parameters for the zone. The development maintains generous areas of private open space and does not compromise the spacious rear-yard character typical of properties in Shawnlee Court.

Visual impacts are further mitigated with recessive external finishes and the enhancement of boundary vegetation, which will provide effective screening when viewed from adjacent properties or the street. Over time, this landscaping will further soften the appearance of the structure and reduce any residual visual presence.

Overall, the modest scale, low height, compliant setbacks, limited site coverage and ancillary nature of the proposal ensure that the development integrates appropriately with the surrounding residential environment. The proposal will not result in unreasonable visual or loss of amenity on adjoining properties and satisfies the intent of Clause 8.4.2 P3(iv), as well as related provisions addressing privacy, setbacks and site coverage.

We hope that the above provides adequate explanation to close out the RFI, if you require any further information then please contact the undersigned.

Yours faithfully



Roy Higman
DIRECTOR