



Application for Planning Approval

Land Use Planning and Approvals Act 1993

APPLICATION NO.

DA2026/002

LOCATION OF AFFECTED AREA

71 WILLIAM STREET, BRIGHTON

DESCRIPTION OF DEVELOPMENT PROPOSAL

ADDITION TO DWELLING (CARPORT)

A COPY OF THE DEVELOPMENT APPLICATION MAY BE VIEWED AT www.brighton.tas.gov.au AND AT THE COUNCIL OFFICES, 1 TIVOLI ROAD, OLD BEACH, BETWEEN 8:15 A.M. AND 4:45 P.M, MONDAY TO FRIDAY OR VIA THE QR CODE BELOW. ANY PERSON MAY MAKE WRITTEN REPRESENTATIONS IN ACCORDANCE WITH S.57(5) OF THE LAND USE PLANNING AND APPROVALS ACT 1993 CONCERNING THIS APPLICATION UNTIL 4:45 P.M. ON **29/01/2026**. ADDRESSED TO THE CHIEF EXECUTIVE OFFICER AT 1 TIVOLI ROAD, OLD BEACH, 7017 OR BY EMAIL AT development@brighton.tas.gov.au. REPRESENTATIONS SHOULD INCLUDE A DAYTIME TELEPHONE NUMBER TO ALLOW COUNCIL OFFICERS TO DISCUSS, IF NECESSARY, ANY MATTERS RAISED.

JAMES DRYBURGH
Chief Executive Officer



Brighton
going places

NEW CARPORT
71 WILLIAM STREET, BRIGHTON, 7030
FOR J. MAZEY

CERTIFICATE OF TITLE: VOLUME - 142115 FOLIO - 35
LAND AREA: 585m²

PLANNING SCHEME: TASMANIAN PLANNING SCHEME
BRIGHTON LOCAL PROVISIONS SCHEDULE
ZONE: 8.0 GENERAL RESIDENTIAL
OVERLAYS: NIL

SOIL CLASSIFICATION: ASSUMED M
WIND REGION: A
TERRAIN CATEGORY: TC2
IMPORTANCE LEVEL: 2 (DOMESTIC)
SHIELDING: I
TOPOGRAPHY: I
BAL: NOT REQUIRED (CLASS 1 OA STRUCTURE NOT WITHIN AN AREA IDENTIFIED
BY COUNCIL BUSHFIRE MAPPING AS BEING BUSHFIRE PRONE)

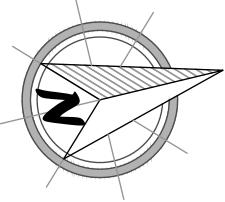
INDEX OF DRAWINGS - BY ADRIAN BROWN CC6003R

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ADDITIONAL DRAWINGS / ENGINEERING
BY NORTHERN CONSULTING ENGINEERS

JOB NO - 85937

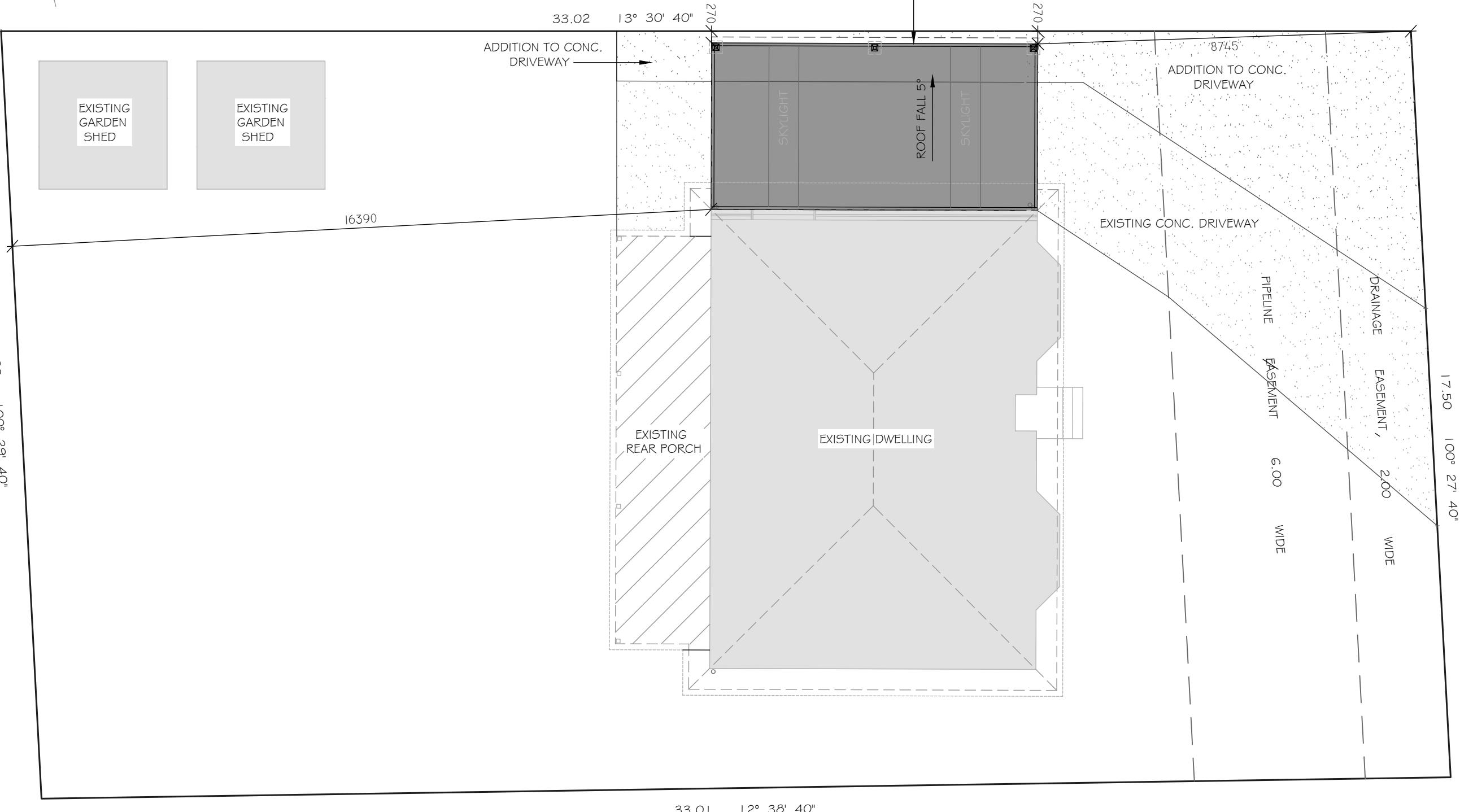




LOT AREA: 585m²

EXISTING DWELLING AREA: 84m²
" REAR PORCH AREA: 21m²
" GARDEN SHEDS: 18m²

PROPOSED CARPORT AREA: 29.8m²



VOL: 142115

FOLIO: 35

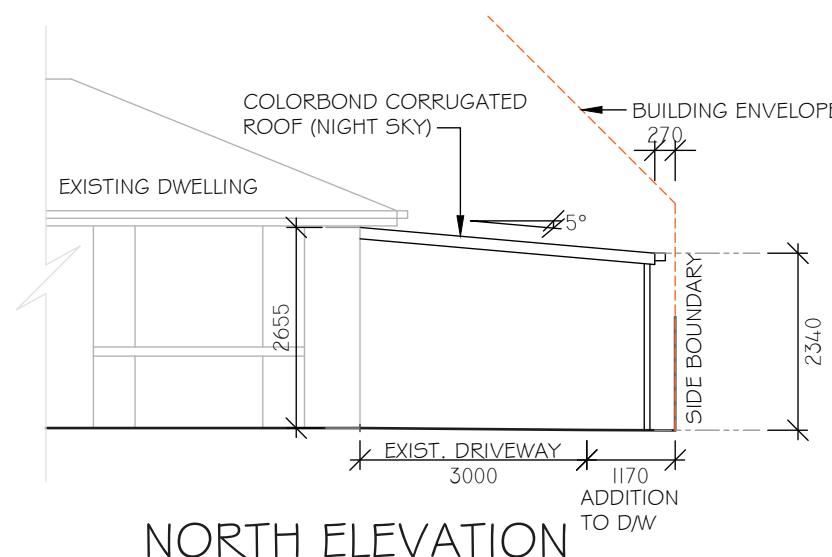
585m²

SITE PLAN PREPARED FROM CERTIFICATE OF TITLE
INFORMATION AND MEASUREMENTS TAKEN ON SITE.
CONFIRMATION OF BOUNDARY LOCATION BY
REGISTERED SURVEYOR IS ALWAYS RECOMMENDED
PRIOR TO CONSTRUCTION AND IS THE RESPONSIBILITY
OF THE PROPERTY OWNER.

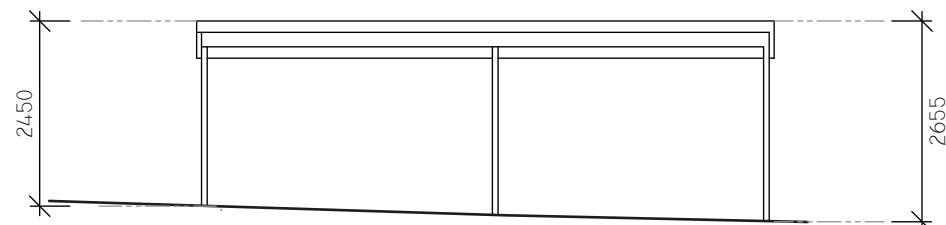
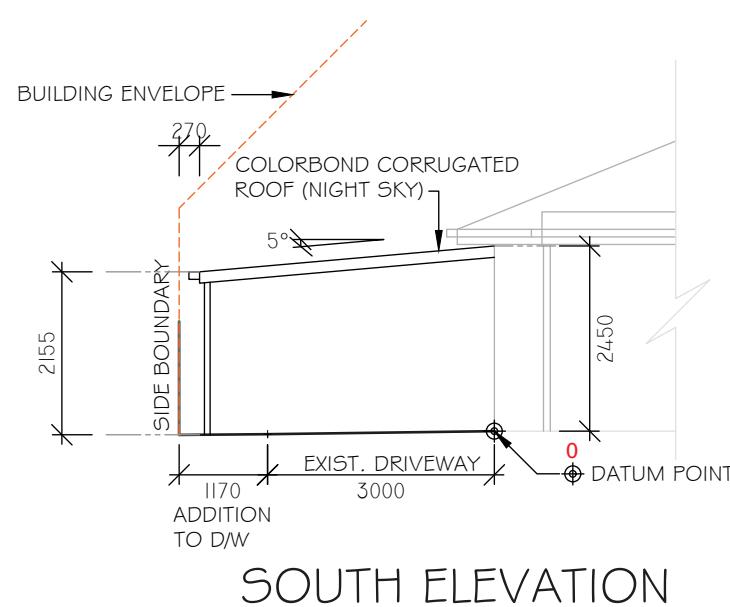
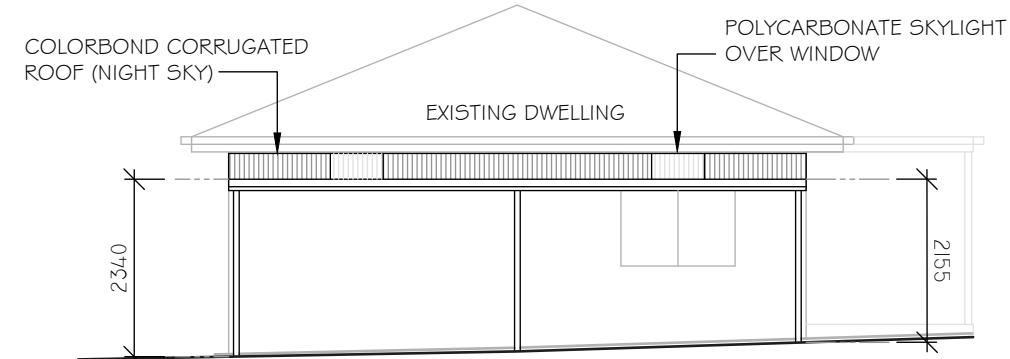
SITE PLAN 1:100

PROPOSAL : NEW CARPORT
OWNER : J. MAZEY
ADDRESS: 71 WILLIAM STREET, BRIGHTON, 7030
SCALE: 1:100
DATE: 19th DECEMBER 2025
AMENDED:
DRAWN BY: A. BROWN CCC003R
PAGE: 01/04
JOB NO : 85937





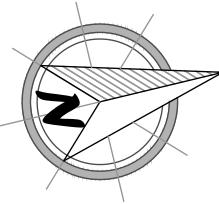
COLOUR'S (COLORBOND®):
 ROOF - NIGHT SKY
 GUTTER - MANOR RED
 BARGE FLASHING - CLASSIC CREAM



ELEVATIONS 1:100

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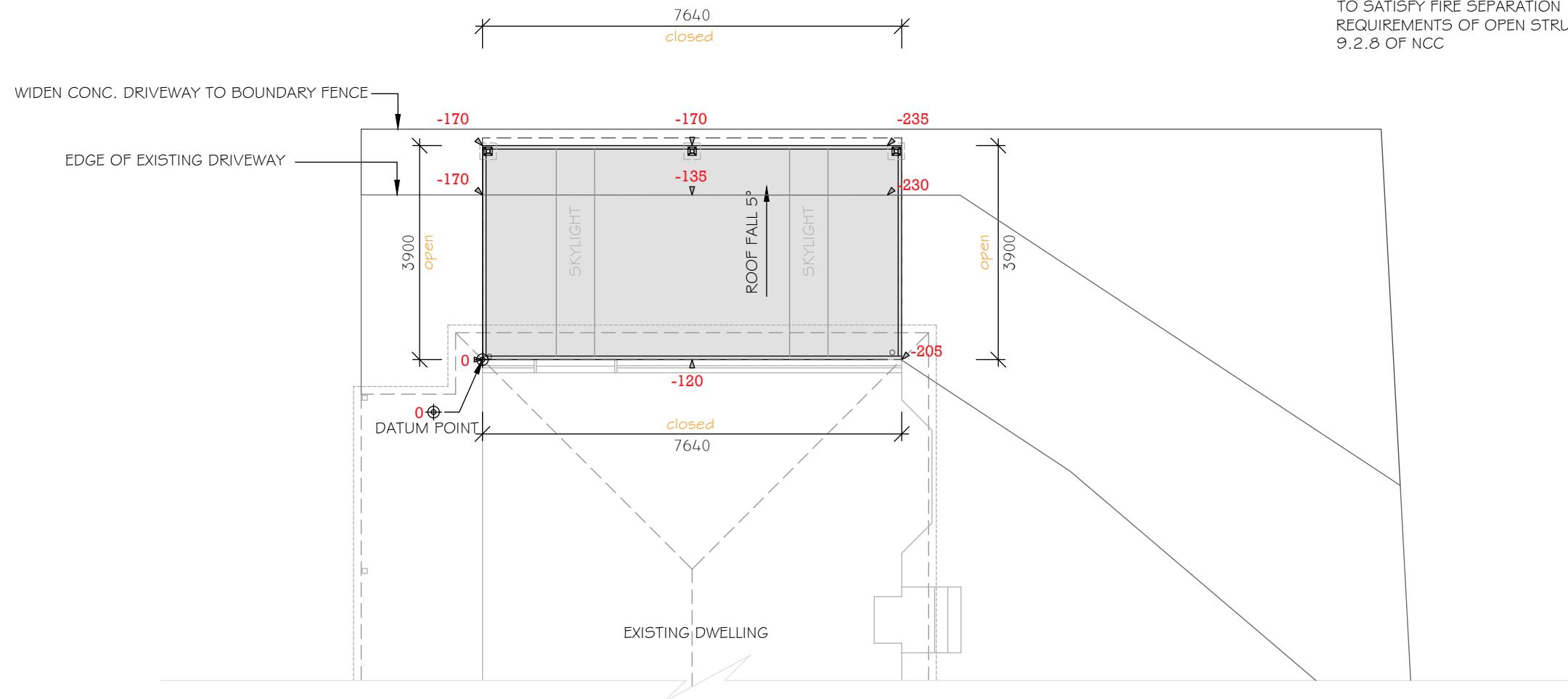




FIRE SAFETY REQUIREMENTS FOR OPEN STRUCTURES
AS PER NCC 2022 9.2.8

PERIMETER = 23.08m
OPEN LENGTH = 7.8m

TWO OR MORE SIDES AND NOT LESS
THAN ONE THIRD OF ITS PERIMETER
(7.693m) OF OPEN LENGTH IS REQUIRED
TO SATISFY FIRE SEPARATION
REQUIREMENTS OF OPEN STRUCTURES
9.2.8 OF NCC

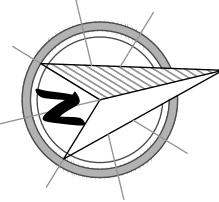


FLOOR PLAN 1:100

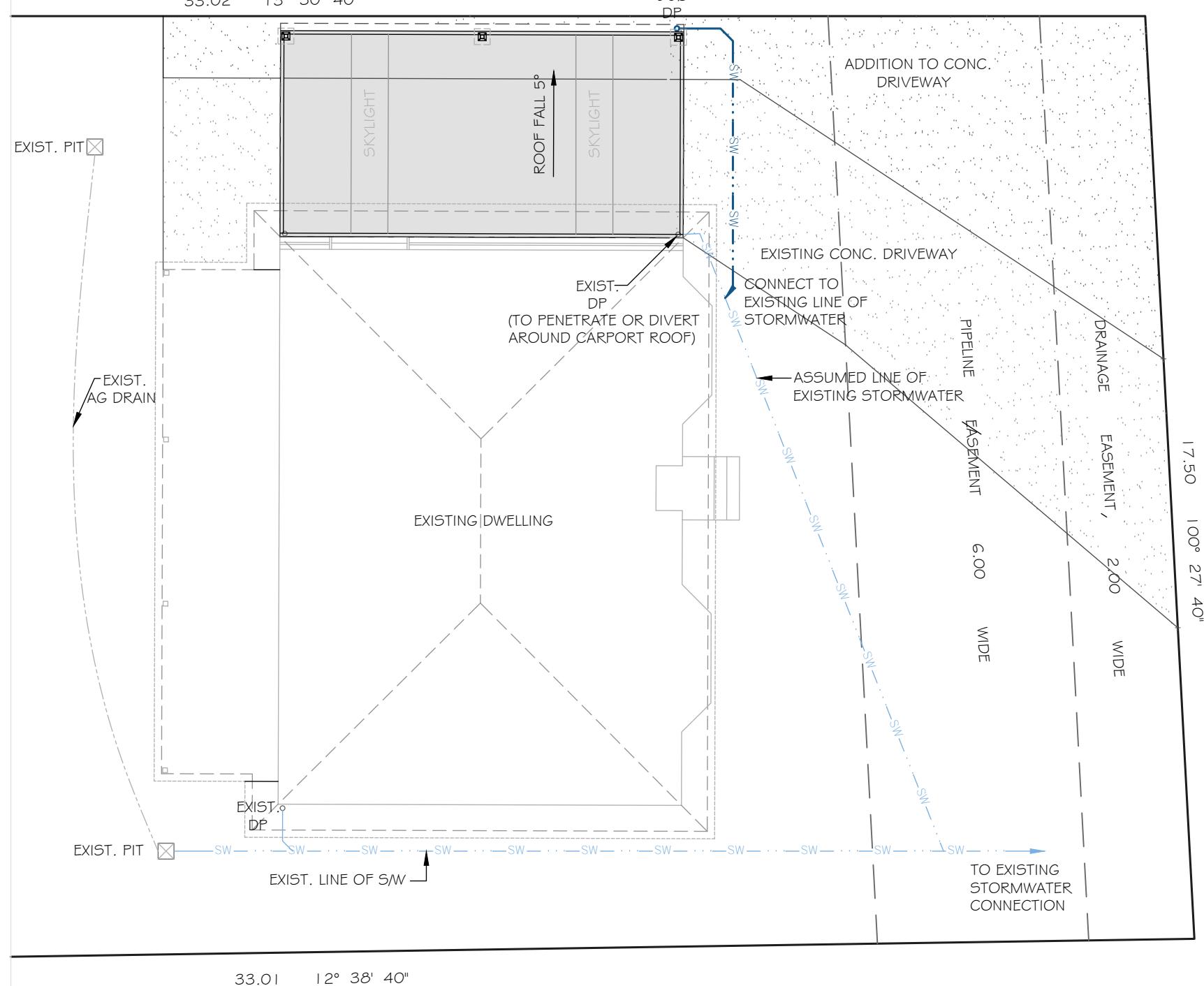
P&J SHEDS PTY LTD. 38 McIntyre Street, Mornington, TAS, 7018. P: (03) 62 44 4300 F: (03) 6244 4355 E: admin@fairdinkumhobart.com.au ABN: 45109681263 THIS DRAWING IS THE PROPERTY OF P&J SHEDS. © 2025

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33.02 13° 30' 40"

90Ø
DP

PLUMBING PLAN 1:100

CONSTRUCTION GENERALLY:

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH CURRENT BUILDING REGULATIONS, BUILDING CODE OF AUSTRALIA (B.C.A.), RELEVANT AUSTRALIAN STANDARDS AND LOCAL AUTHORITY REQUIREMENTS.

SITE PREPARATION AND EXCAVATION TO COUNCIL AND B.C.A REQUIREMENTS.

CONCRETE FOOTINGS TO AS 2870.1 AND ENGINEER SPECIFICATIONS. UNLESS OTHERWISE SPECIFIED, FOOTINGS 20MPA / SLAB 25MPA.

STRUCTURAL; DETAILS AND CERTIFICATION AS PER 'FAIR DINKUM' BUILDS' DOCUMENTATION.

BUILDER TO VERIFY ALL DIMENSIONS AND DETAILS ON THIS SET OF PLANS PRIOR TO COMMENCEMENT OF WORK ON SITE.

USE WRITTEN DIMENSIONS IN PREFERENCE TO MEASURING OFF THE PLAN.

COUNCIL / CONTRACTOR TO CONTACT P&J SHEDS IF NECESSARY INFORMATION IS NOT PROVIDED ON THIS SET OF PLANS.

PLUMBING GENERALLY:

ALL PLUMBING TO BE IN ACCORDANCE WITH AS 3500. TAS PLUMBING CODE AND LOCAL AUTHORITY REQUIREMENTS.

90Ø DOWN PIPE. CONNECT TO EXISTING LINE OF STORMWATER WITH 100dia UPVC STORM WATER TO EXISTING LIE OF STORMWATER FROM DWELLING. PLUMBER TO VERIFY CONNECTION LOCATION WITH OWNER.

FIRST INSPECTION OPENING TO BE RAISED TO FINISHED GROUND LEVEL.

W I L L I A M S T R E E T

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