



# Application for Planning Approval

## *Land Use Planning and Approvals Act 1993*

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APPLICATION NO.

**DA2025/222**

LOCATION OF AFFECTED AREA

**7 SHELDUCK DRIVE, OLD BEACH**

DESCRIPTION OF DEVELOPMENT PROPOSAL

**SINGLE DWELLING**

A COPY OF THE DEVELOPMENT APPLICATION MAY BE VIEWED AT [www.brighton.tas.gov.au](http://www.brighton.tas.gov.au) AND AT THE COUNCIL OFFICES, 1 TIVOLI ROAD, OLD BEACH, BETWEEN 8:15 A.M. AND 4:45 P.M, MONDAY TO FRIDAY OR VIA THE QR CODE BELOW. ANY PERSON MAY MAKE WRITTEN REPRESENTATIONS IN ACCORDANCE WITH S.57(5) OF THE LAND USE PLANNING AND APPROVALS ACT 1993 CONCERNING THIS APPLICATION UNTIL 4:45 P.M. ON **29/01/2026**. ADDRESSED TO THE CHIEF EXECUTIVE OFFICER AT 1 TIVOLI ROAD, OLD BEACH, 7017 OR BY EMAIL AT [development@brighton.tas.gov.au](mailto:development@brighton.tas.gov.au). REPRESENTATIONS SHOULD INCLUDE A DAYTIME TELEPHONE NUMBER TO ALLOW COUNCIL OFFICERS TO DISCUSS, IF NECESSARY, ANY MATTERS RAISED.

**JAMES DRYBURGH**  
**Chief Executive Officer**



**Brighton**  
going places

DA  
TASMANIAN PLANNING SCHEME

SHEET INDEX

1	COVER SHEET
2	SITE PLAN
3	SOIL & WATER MANAGEMENT PLAN
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18	GENERAL NOTES
19	WET AREA & ENERGY EFFICIENCY NOTES

TOTAL FLOOR AREAS

MAIN DWELLING, GROUND FLOOR	
ALFRESCO	12.60
GARAGE	21.59
LIVING	162.72
PORCH	2.59
	199.51 m²

AS & NCC COMPLIANCE

- ALL CONSTRUCTION TO BE IN ACCORDANCE WITH NCC 2022 AND APPLICABLE AUSTRALIAN STANDARDS AT TIME OF APPROVAL.
- SLAB IN ACCORDANCE WITH AS 2870. REFER TO ENGINEERS DETAILS FOR ALL SLAB DETAILS.
  - BRICK CONTROL JOINTS PROVIDED IN ACCORDANCE WITH NCC 2022.
  - ALL STEEL FRAMING TO BE DESIGNED TO AS 4100-2020 OR AS/NZS 4600-2018.
  - INSULATION TO BE INSTALLED IN ACCORDANCE WITH NCC 2022 AND ALL APPLICABLE AUSTRALIAN STANDARDS.
  - TERMITE PROTECTION IN ACCORDANCE WITH AS 3660 AND NCC 2022.
  - GLAZING IN ACCORDANCE WITH AS 1288 AND NCC 2022.
  - SMOKE ALARMS IN ACCORDANCE WITH AS 3786 AND NCC 2022.
  - INTERNAL WATERPROOFING IN ACCORDANCE WITH NCC 2022 HOUSING PROVISIONS PART 10.2.
  - EXTERNAL WATERPROOFING IN ACCORDANCE WITH AS 3740 AND AS 4654.
  - WET AREA FLOORS TO FALL TO FLOOR WASTES AT MIN. 1:80 AND MAX. 1:50 GRADE (IF APPLICABLE).
  - CONDENSATION MANAGEMENT IN ACCORDANCE WITH NCC 2022 HOUSING PROVISIONS PART 10.8.
  - BUILDING SEALING IN ACCORDANCE WITH NCC 2022.
  - SERVICES IN ACCORDANCE WITH NCC 2022.
  - EARTHWORKS IN ACCORDANCE WITH AS 3798-2007.
  - EXTERNAL WALL WRAP (SARKING) IN ACCORDANCE WITH NCC 2022 (IF APPLICABLE).
  - EXHAUST FANS DUCTED TO OUTSIDE AIR (IF APPLICABLE).

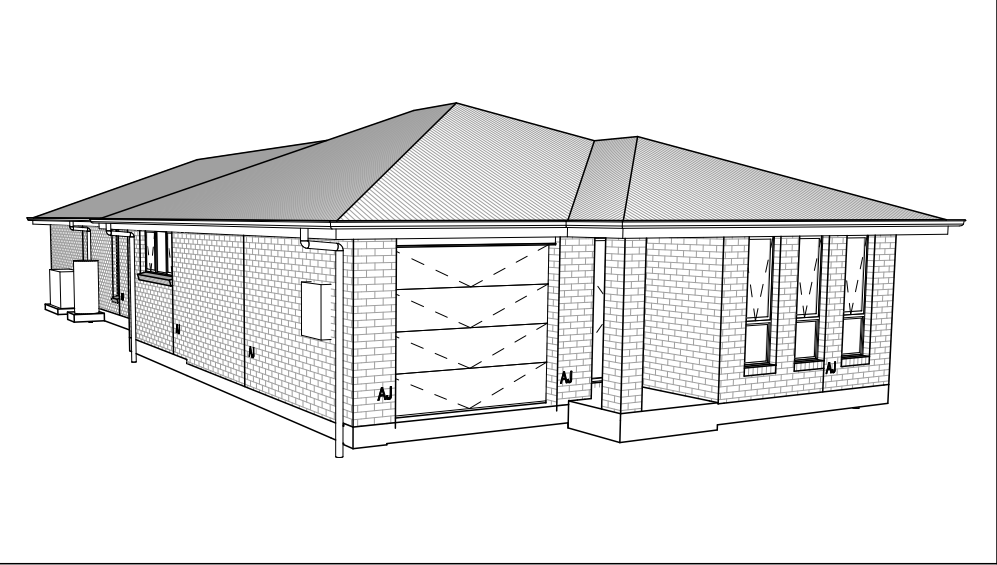
SITE SPECIFIC CONTROLS

CONTROL	DETAILS
ACID SULPHATE SOIL	NO
BIODIVERSITY	NO
BUILDING ENVELOPE	YES
BUSHFIRE	BAL-LOW
CLIMATE ZONE (NCC)	ZONE 7 - COOL TEMPERATE
DESIGN WIND CLASSIFICATION	N2 (EXPOSED)
ESTATE/DEVELOPER GUIDELINES	NO
FLOOD OVERLAY	NO
HERITAGE	NO
LANDSLIP HAZARD	NO
MINIMUM FLOOR LEVEL	NO
NATURAL ASSET CODE	NO
NOISE ATTENUATION	NO
SALINE SOIL	NO
SHIELDING FACTOR	PS - PARTIAL SHIELDING
SITE CLASSIFICATION	M
SPECIFIC AREA PLAN OVERLAY	YES
TIVOLI GREEN	
TERRAIN CATEGORY	TC2
TOPOGRAPHIC CLASSIFICATION	T3
WATERWAY & COASTAL OVERLAY	NO
WIND REGION	A - NORMAL
WITHIN 1km CALM SALT WATER	NO
WITHIN 50km BREAKING SURF	22.33km
ZONING	GENERAL RESIDENTIAL

BUILDING CONTROLS & COMPLIANCE

CONTROL	REQUIRED	PROPOSED
SETBACKS		
FRONT	MIN. 4,500mm	4,546mm
SIDE A	MIN. 1,500mm	4,870mm
SIDE B	MIN. 1,500mm	1,800mm
REAR	MIN. 1,500mm	5,704mm
BULK & SCALE		
SITE AREA	536m²	
SITE COVERAGE	MAX. 50%	37.22%
LANDSCAPE		
NO APPLICABLE CONTROLS		
EARTHWORKS		
CUT DEPTH	MAX. 2,000mm	588mm
FILL DEPTH	MAX. 800mm	494mm
ACCESS & AMENITY		
PARKING SPACES	MIN. 2 SPACES	2 SPACES

3D PERSPECTIVE



NOTE TO OWNER

THESE PLANS MAY FEATURE WORKS THAT ARE EXCLUDED FROM THE SCOPE OF WORKS WITH THE BUILDER, BUT THEY HAVE BEEN INCLUDED IN THESE DRAWINGS TO ASSIST IN THE OVERALL PLANNING AND ASSESSMENT OF THE BUILDING PROJECT. EXAMPLES OF SOME REGULARLY EXCLUDED WORKS INCLUDE DRIVEWAYS, RETAINING WALLS, SOLAR PANEL SPACING AND SITE DRAINAGE. PLEASE REFER TO YOUR SCOPE OF WORKS AND COLOUR SELECTIONS DOCUMENTATION FOR DETAILS OF INCLUDED WORKS. SOME DETAILS ARE INDICATIVE ONLY FOR EXAMPLE FLOORING, TILING, BRICKWORK AND CLADDING (EXPANSION JOINTS, ORIENTATION AND LAYOUT) AND ARE SUBJECT TO CHANGE.

LOCATION MAP



This Plan has been prepared prior to the receipt of one or more of the following documents:-  
Certificate of Title inclusive of lot specific zoning, easement and covenant points, BAL report and rating, approved  
subdivision plans providing crossover locations and service connection points, power and communications connection point  
information, Geotechnical Site Investigation, Contour Survey, Dial Before You Dig information, Planning Approval.

BUILDING INFORMATION

GROUND FLOOR TOP OF WALL HEIGHT(S)   2445mm	
NOTE: CEILING HEIGHT 45mm LOWER THAN TOP OF WALL	
ROOF PITCH (U.N.O.)	23.0°
ELECTRICITY SUPPLY	SINGLE PHASE
GAS SUPPLY	NONE
ROOF MATERIAL	SHEET METAL
ROOF COLOUR	N/A
WALL MATERIAL	BRICK VENEER
SLAB CLASSIFICATION	TBC

INSULATION

ROOF	SARKING UNDER ROOFING
CEILING	R4.1 BATTS (EXCL. GARAGE & ALFRESCO)
EXT. WALLS	R2.0 BATTS (EXCL. GARAGE) WALL WRAP TO ENTIRE HOUSE
INT. WALLS	R2.0 BATTS ADJACENT TO GARAGE AND AS PER PLAN
FLOOR	BIAX SLAB R0.60

NCC 2022 LIVABLE HOUSING COMPLIANCE

ACCESSIBLE SANITARY COMPARTMENT: WC  
ACCESSIBLE SHOWER LOCATION: BATH

GENERAL NOTES:

- THRESHOLD OF ACCESSIBLE SHOWER ENTRY TO BE MAX. 5MM
- 1 EXTERIOR DOOR NOMINATED AS 870 OR GREATER TO ACHIEVE MIN 820MM CLEAR OPENING
- REFER TO APPLICABLE WET AREA PLANS AND INTERIOR ELEVATIONS OR LOCATIONS OF REQUIRED WALL REINFORCEMENT FOR FUTURE GRAB RAIL INSTALLATION.

THE OWNERS ACKNOWLEDGE THAT THESE CONTRACT PLANS MAY NOT REFLECT ALL THE SELECTIONS THAT HAVE BEEN MADE OR CHANGES REQUESTED. THE OWNERS AGREE THAT FOLLOWING THE COLOUR SELECTIONS VARIATION OR UPDATING OF PLANS, THEY WILL BE PROVIDED WITH CONSTRUCTION PLANS FOR SIGNATURE PRIOR TO COMMENCEMENT OF CONSTRUCTION.

SIGNATURE:

DATE:

SUBJECT TO NCC 2022

(1 MAY 2023)

WATERPROOFING & PLUMBING  
CONDENSATION MANAGEMENT

PLAN ACCEPTANCE BY OWNER

SIGNATURE:

DATE:

SIGNATURE:

DATE:

PLEASE NOTE THAT VARIATIONS WILL NOT BE ACCEPTED AFTER THIS PLAN ACCEPTANCE HAS BEEN SIGNED

PRELIMINARY PLAN SET

5	PRELIMINARY PLAN SET - INITIAL ISSUE	ALL	2025.12.12	LTR	-
No.	AMENDMENT	SHEET	DATE	DRAWN	CHECK

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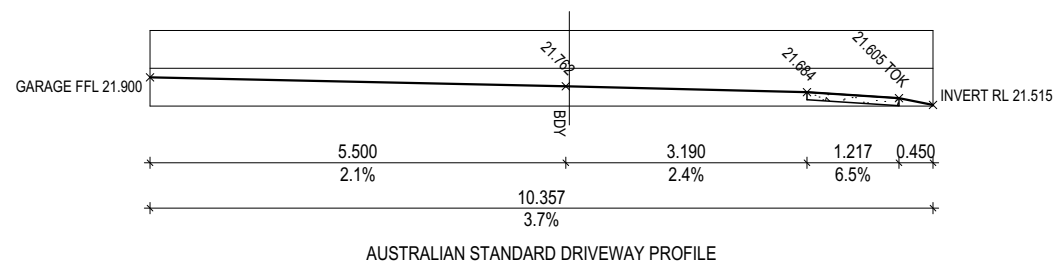
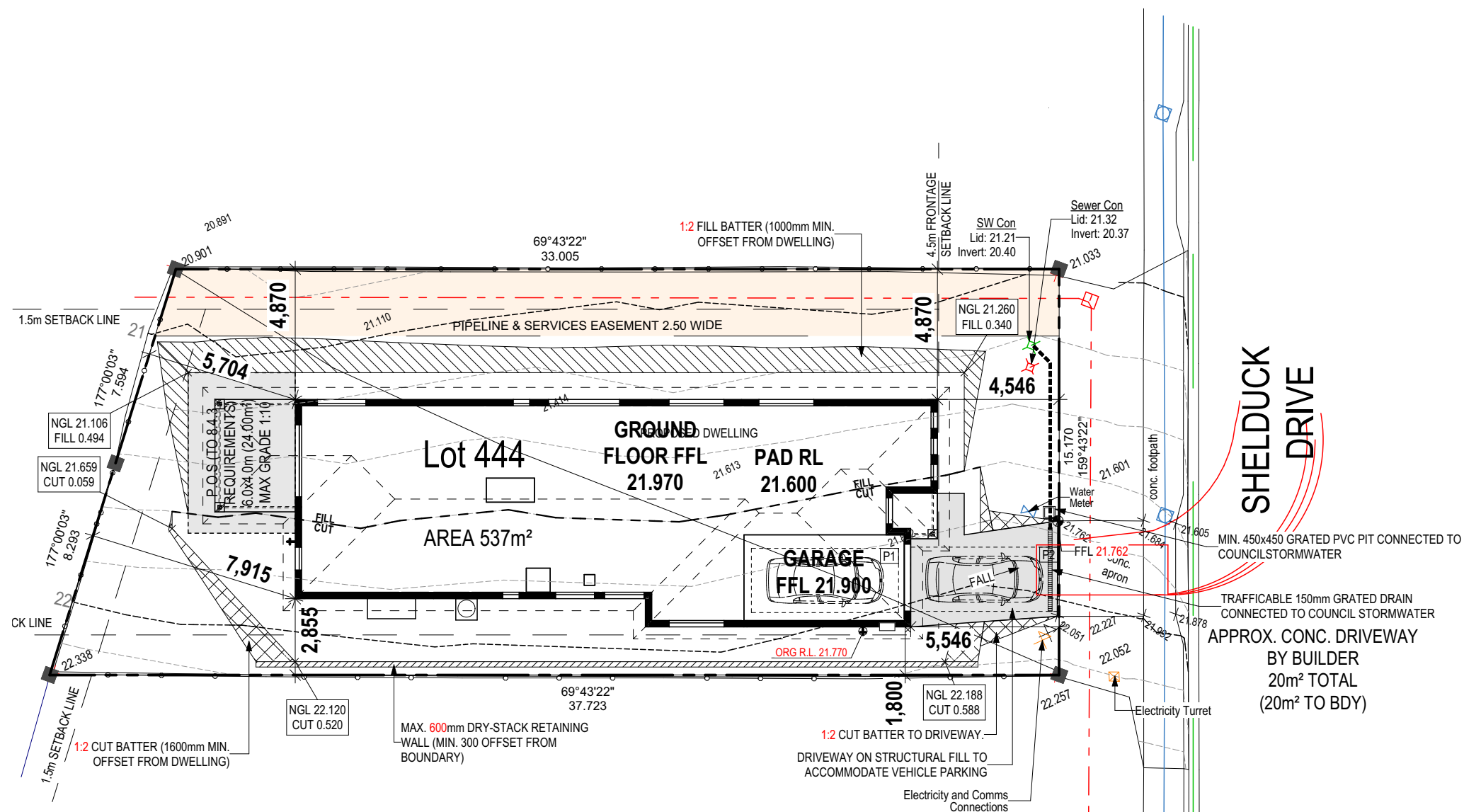


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		1	CP1	HMI	04/11/2025	ANGEL GEORGE & BASKARAN PERUMAL		ARGYLE 19		H-WDNAGY10SA				
COPYRIGHT: © 2025		2	CP1 AMENDMENT	JJI	10/11/2025	ADDRESS:		FACADE DESIGN:		FACADE CODE:				
		3	CP2	HMI	26/11/2025	7 SHELDUCK DR, OLD BEACH TAS 7017		CLASSIC		F-WDNAGY10CLASA				
		4	CP2 - UPDATE	HMI	09/12/2025	LOT / SECTION / CT:		SHEET TITLE:		SHEET No.:				
		5	PRELIM PLANS - INITIAL ISSUE	LTR	12/12/2025	444 / - / 186023		COUNCIL: BRIGHTON		COVER SHEET		1 / 19	SCALES:	714516

DRY STACK WALLS <1m HIGH:  
ISLAND BLOCK & PAVING FREESTONE  
ECO RETAINING WALL INSTALLATION TO  
MANUFACTURER'S SPECIFICATION AND  
DETAILS

CUT	38.70m <sup>3</sup>	87.08t
FILL	40.18m <sup>3</sup>	90.41t
DIFFERENCE	1.48m <sup>3</sup>	3.33t

**LOT SIZE:** 537m<sup>2</sup>  
**HOUSE (COVERED AREA):** 199.51m<sup>2</sup>  
**SITE COVERAGE:** 37.22%



**SUBJECT TO NCC 2022  
(1 MAY 2023)**  
WATERPROOFING & PLUMBING  
CONDENSATION MANAGEMENT

SIGNATURE:	DATE:
SIGNATURE:	DATE:

PLEASE NOTE THAT VARIATIONS WILL NOT BE ACCEPTED  
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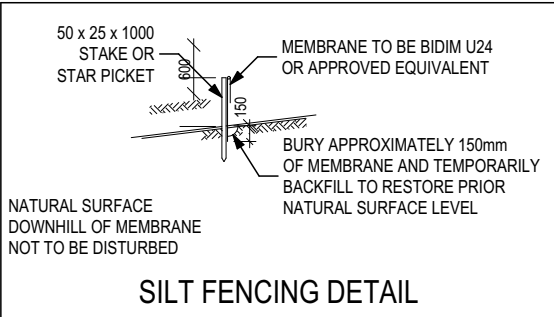
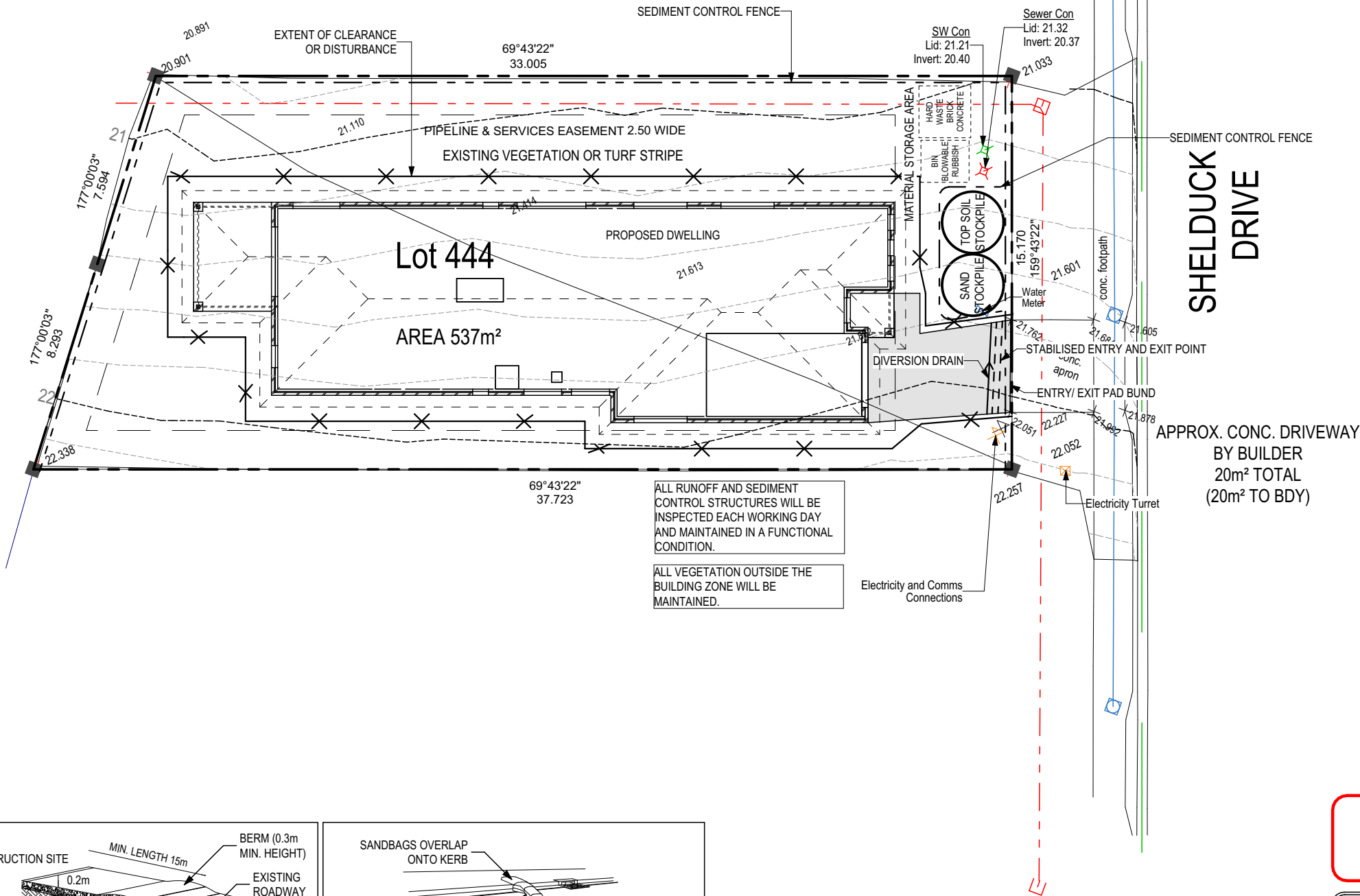


ALL VEGETATION OUTSIDE THE BUILDING ZONE WILL BE MAINTAINED.

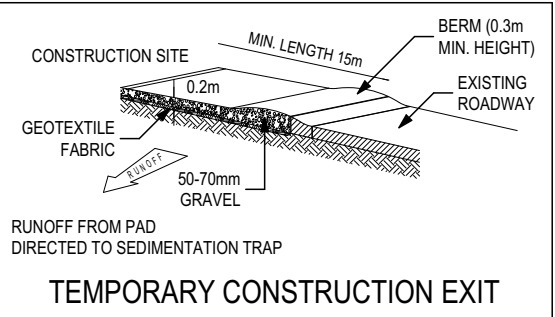
OWNER TO STABILISE THE SITE ON COMPLETION OF THE BUILD WITH TURF LAWNS, GRASS SEEDS, NATIVE GROUND COVERS AND/ OR MULCH SPREAD TO A DEPTH OF 75-100mm

THE FOLLOWING IS A STANDARD APPROACH. SEDIMENT AND EROSION CONTROL MEASURES WILL BE REVIEWED PRIOR TO COMMENCING WORK AND INSTALLED BASED ON THE OUTCOME OF THAT REVIEW.

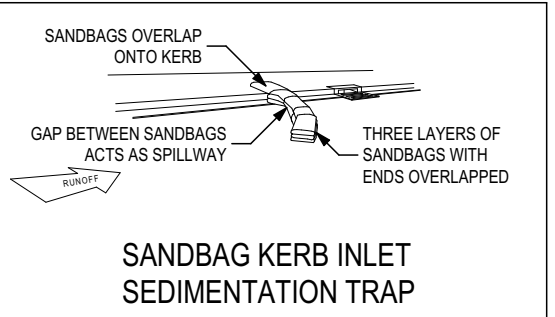
- NOTES:
1. ALL EROSION AND SEDIMENT CONTROL STRUCTURES TO BE INSPECTED EACH WORKING DAY AND MAINTAINED IN GOOD WORKING ORDER.
  2. ALL GROUND COVER VEGETATION OUTSIDE THE IMMEDIATE BUILDING AREA TO BE PRESERVED DURING THE BUILDING PHASE.
  3. ALL EROSION AND SEDIMENT CONROL MEASURES TO BE INSTALLED PRIOR TO COMMENCEMENT OF MAJOR EARTHWORKS.
  4. STOCKPILES OF CLAYEY MATERIAL TO BE COVERED WITH AN IMPERVIOUS SHEET.
  5. ROOF WATER DOWNPIPES TO BE CONNECTED TO THE PERMANENT UNDERGROUND STORMWATER DRAINAGE SYSTEM AS SOON AS PRACTICAL AFTER THE ROOF IS LAID.
  6. DIVERSION DRAINS ARE TO BE CONNECTED TO A LEAGAL DISCHARGE POINT (COUNCIL STORMWATER SYSTEM, WATERCOURSE OR ROAD DRAIN).
  7. SEDIMENT RETENTION TRAPS INSTALLED AROUND THE INLETS TO THE STORMWATER SYSTEM TO PREVENT SEDIMENT & OTHER DEBRIS BLOCKING THE DRAINS.



SILT FENCING DETAIL



TEMPORARY CONSTRUCTION EXIT



SANDBAG KERB INLET SEDIMENTATION TRAP

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**SUBJECT TO NCC 2022  
(1 MAY 2023)  
WATERPROOFING & PLUMBING  
CONDENSATION MANAGEMENT**

**PLAN ACCEPTANCE BY OWNER**

SIGNATURE: DATE:


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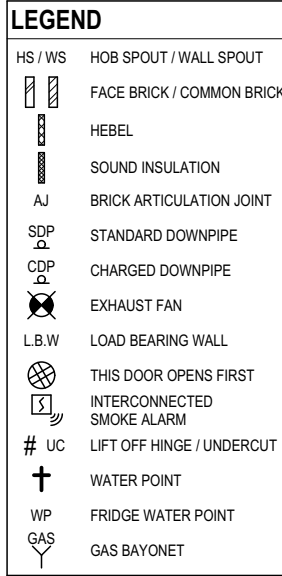


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	3	CP2		HMI	26/11/2025		7 SHELDUCK DR, OLD BEACH TAS 7017		CLASSIC		F-WDNAGY10CLASA		
	4	CP2 - UPDATE		HMI	09/12/2025		LOT / SECTION / CT:		SHEET TITLE:		SHEET No.:		
	5	PRELIM PLANS - INITIAL ISSUE		LTR	12/12/2025		444 / - / 186023	COUNCIL: BRIGHTON	SOIL & WATER MANAGEMENT PLAN	3 / 19	1:200		

UNLESS NOTED OTHERWISE  
ALL ROOMS ARE REFERENCED  
AS FOLLOWS:



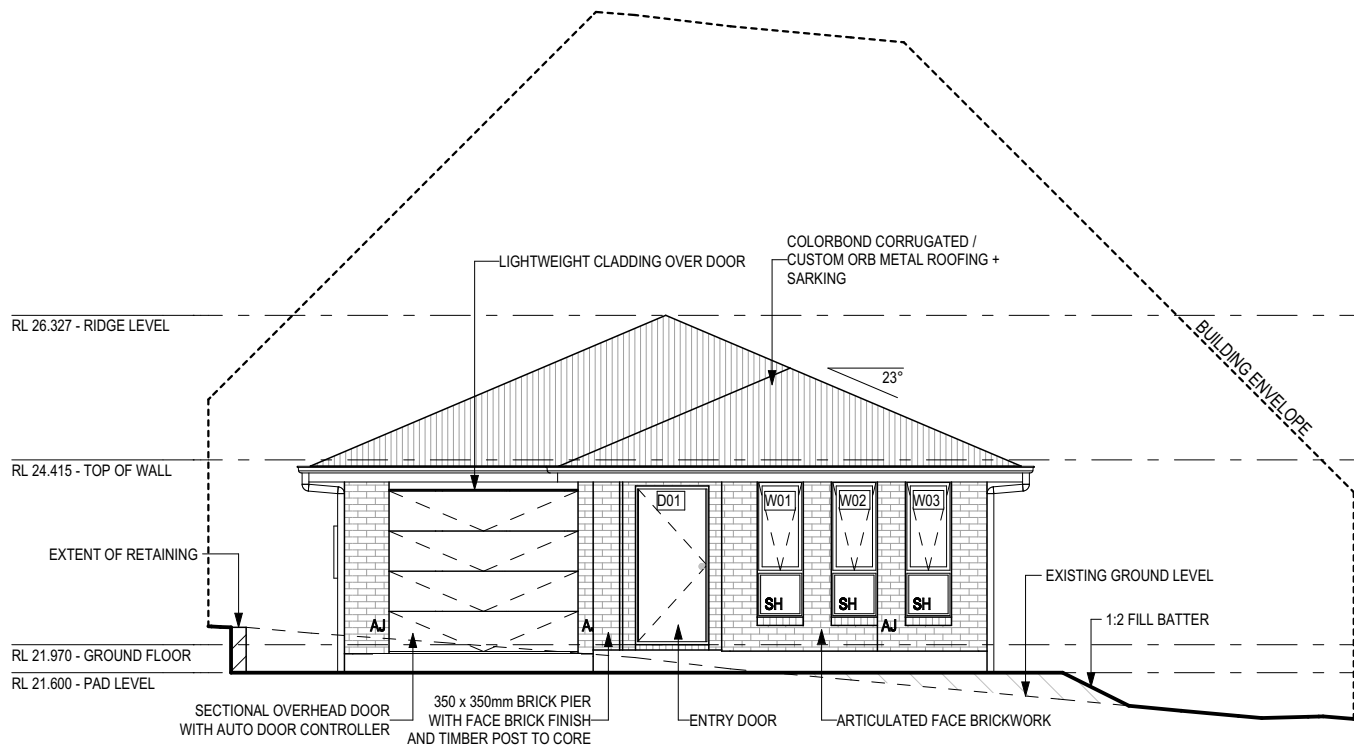
ALL EXTERIOR SLABS TO BE GRADED BY CONCRETER TO ACHIEVE APPROX. 1:100 FALL TO OUTSIDE EDGE WITH MAXIMUM CROSSFALL OF 30mm OVER ENTIRE SLAB.



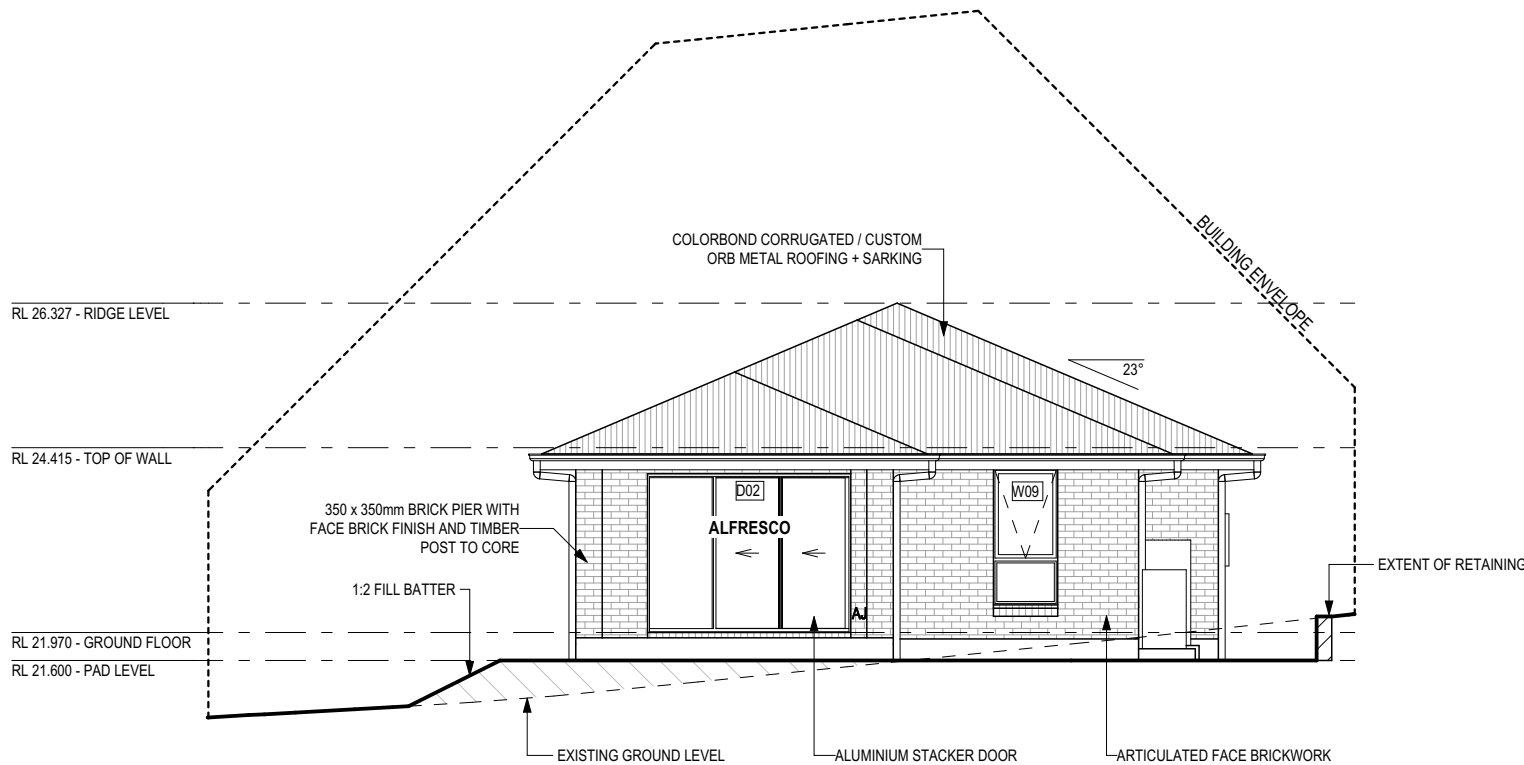
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The logo for Wilson Homes, featuring a stylized orange 'W' icon followed by the text 'WILSON' in a bold, dark grey sans-serif font, and 'HOMES' in a lighter grey sans-serif font below it.

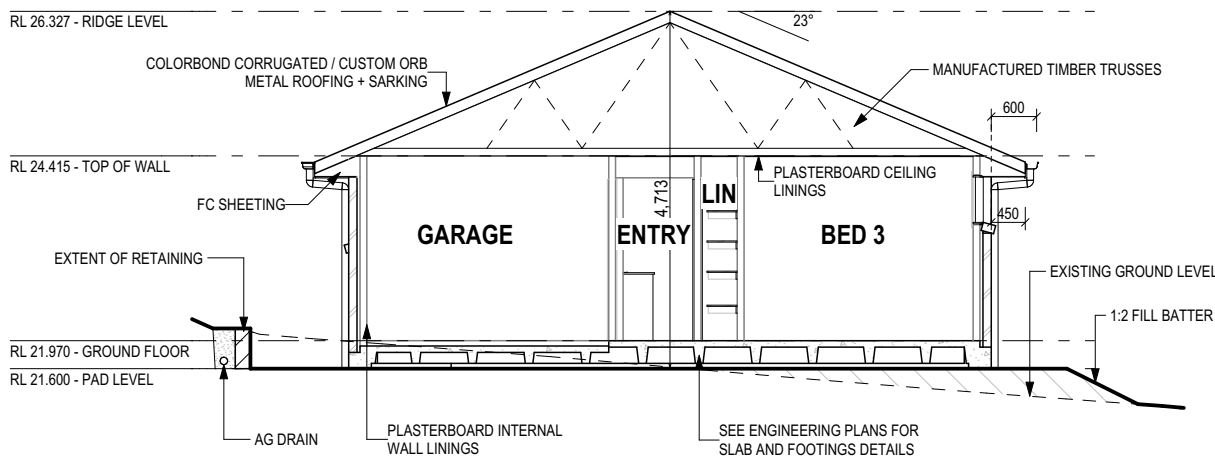
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EAST ELEVATION  
SCALE: 1:100



WEST ELEVATION  
SCALE: 1:100



SECTION A-A  
SCALE: 1:100

REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:  
- SUSTAINABILITY REQUIREMENTS  
- SITE CLASSIFICATION  
- GENERAL BUILDING INFORMATION

SOME DETAILS ON THIS SHEET ARE INDICATIVE ONLY FOR EXAMPLE BRICKWORK AND CLADDING (EXPANSION JOINTS, ORIENTATION AND LAYOUT) AND ARE SUBJECT TO CHANGE.

SH = SNAP HEADER SILL

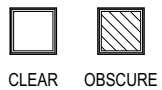
BEDROOM WINDOW OPENINGS ABOVE 2m OFF THE SURFACE BENEATH TO BE RESTRICTED AS REQUIRED BY NCC 11.3.7 (VOLUME TWO)

ROOMS OTHER THAN BEDROOM WINDOW OPENINGS ABOVE 4m OFF THE SURFACE BENEATH TO BE RESTRICTED AS REQUIRED BY NCC 11.3.7 (VOLUME TWO)

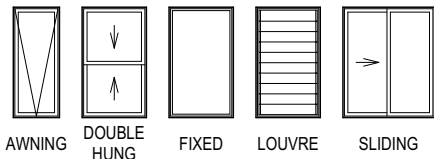
REFER TO THE FOLLOWING DETAILS:  
BRICK COURSING W-BRIC-001

**SUBJECT TO NCC 2022  
(1 MAY 2023)**  
WATERPROOFING & PLUMBING  
CONDENSATION MANAGEMENT

GLASS TYPE LEGEND



WINDOW TYPE LEGEND



PLAN ACCEPTANCE BY OWNER

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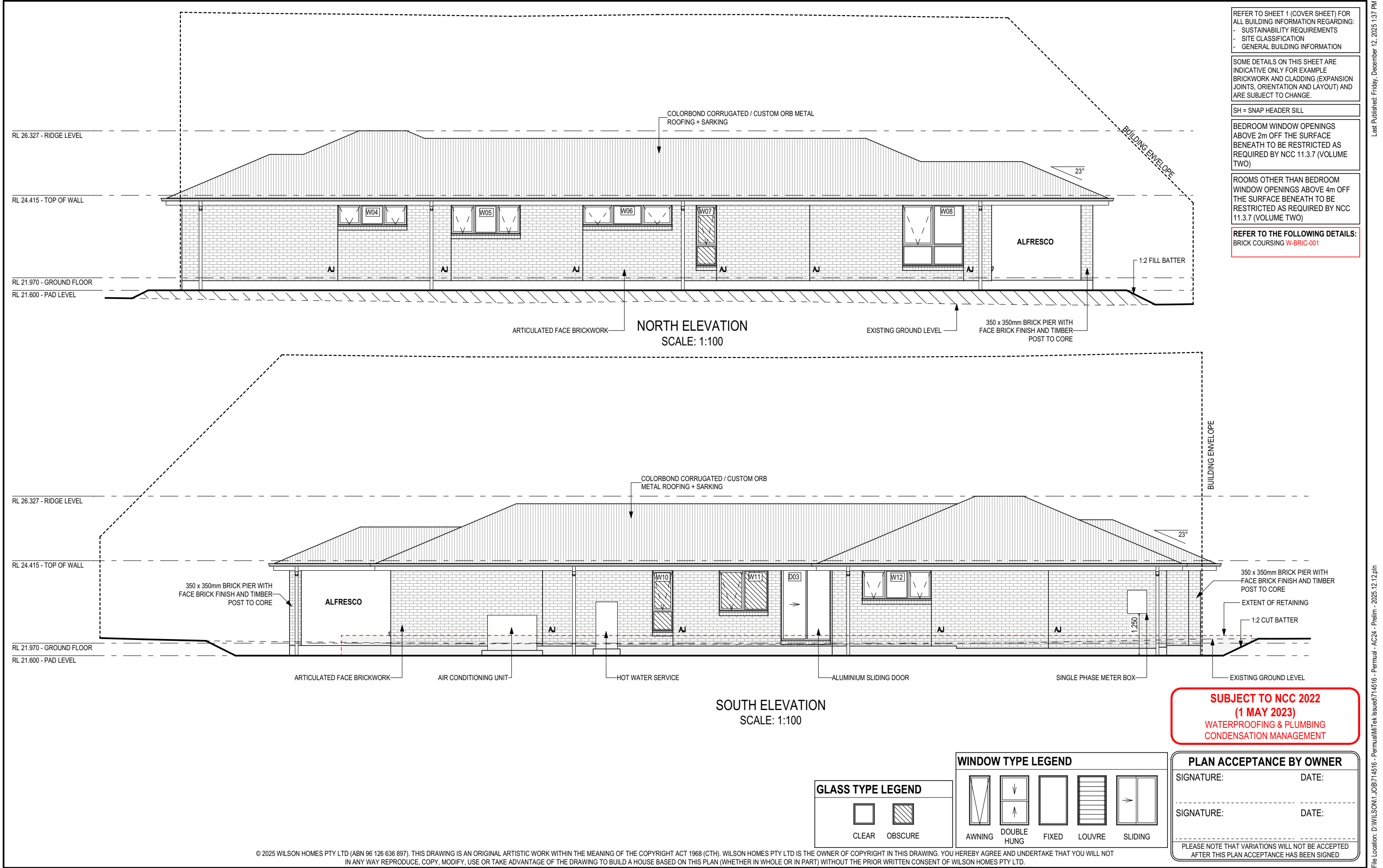
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			BRIGHTON		1:100	



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EXTERIOR WINDOW & DOOR SCHEDULE 1,2 ASSUME LOOKING FROM OUTSIDE

	STOREY	ID	CODE¹	TYPE	ROOM	HEIGHT	WIDTH	PERIMETER	AREA (m²)	FRAME TYPE	BAL RATING	SILL TYPE	ORIENT.	GLAZING AREA (m²)	GLAZING TYPE <small>(SINGLE GLAZING U.N.O.)</small>	ADDITIONAL INFORMATION²
WINDOW																
	GROUND FLOOR	W01	A/F1806	AWNING	BED 2	1,800	610	4,820	1.10	ALUMINIUM	BAL-LOW	SNAP HEADER	E	0.80	CLEAR, DOUBLE GLAZED	BP 600
	GROUND FLOOR	W02	A/F1806	AWNING	BED 2	1,800	610	4,820	1.10	ALUMINIUM	BAL-LOW	SNAP HEADER	E	0.80	CLEAR, DOUBLE GLAZED	BP 600
	GROUND FLOOR	W03	A/F1806	AWNING	BED 2	1,800	610	4,820	1.10	ALUMINIUM	BAL-LOW	SNAP HEADER	E	0.80	CLEAR, DOUBLE GLAZED	BP 600
	GROUND FLOOR	W04	AFA0621	AWNING	BED 3	600	2,050	5,300	1.23	ALUMINIUM	BAL-LOW	ANGLED	N	0.85	CLEAR, DOUBLE GLAZED	MP 683-683
	GROUND FLOOR	W05	AFA0921	AWNING	BED 4	857	2,050	5,814	1.76	ALUMINIUM	BAL-LOW	ANGLED	N	1.29	CLEAR, DOUBLE GLAZED	MP 683-683
	GROUND FLOOR	W06	AFA0627	AWNING	BED 1	600	2,650	6,500	1.59	ALUMINIUM	BAL-LOW	ANGLED	N	1.14	CLEAR, DOUBLE GLAZED	MP 883-883
	GROUND FLOOR	W07	A/F1806	AWNING	ENS	1,800	610	4,820	1.10	ALUMINIUM	BAL-LOW	ANGLED	N	0.80	OBSCURE, DOUBLE GLAZED, TOUGHENED	BP 600
	GROUND FLOOR	W08	AF/FF1818	AWNING	DINING	1,800	1,810	7,220	3.26	ALUMINIUM	BAL-LOW	ANGLED	N	2.65	CLEAR, DOUBLE GLAZED	BP 600, MP 905/905
	GROUND FLOOR	W09	A/F1809	AWNING	KITCHEN	1,800	850	5,300	1.53	ALUMINIUM	BAL-LOW	ANGLED	W	1.19	CLEAR, DOUBLE GLAZED	BP 600
	GROUND FLOOR	W10	A/F1806	AWNING	WC	1,800	610	4,820	1.10	ALUMINIUM	BAL-LOW	ANGLED	S	0.80	OBSCURE, DOUBLE GLAZED	BP 600
	GROUND FLOOR	W11	AF1215	AWNING	BATH	1,200	1,450	5,300	1.74	ALUMINIUM	BAL-LOW	ANGLED	S	1.38	OBSCURE, DOUBLE GLAZED, TOUGHENED	MP 725
	GROUND FLOOR	W12	AFA0921	AWNING	LEISURE	857	2,050	5,814	1.76	ALUMINIUM	BAL-LOW	ANGLED	S	1.29	CLEAR, DOUBLE GLAZED	MP 683-683
								65,348 mm	18.35					13.80		
DOOR																
	GROUND FLOOR	D01	HD2110L	SWINGING	ENTRY	2,100	970	6,140	2.04	ALUMINIUM	BAL-LOW	SNAP HEADER	E	1.41	N/A	
	GROUND FLOOR	D02	FSS2127	STACKER	DINING	2,100	2,688	9,576	5.64	ALUMINIUM	BAL-LOW	SNAP HEADER	W	4.96	CLEAR, DOUBLE GLAZED, TOUGHENED	
	GROUND FLOOR	D03	SF2115	SLIDING	LDRY	2,158	1,470	7,256	3.17	ALUMINIUM	BAL-LOW	SNAP HEADER	S	2.71	CLEAR, DOUBLE GLAZED, TOUGHENED	
								22,972 mm	10.85					9.07		
								88,320 mm	29.21					22.87		

INTERIOR WINDOW & DOOR SCHEDULE

	STOREY	QTY	CODE	TYPE	HEIGHT	WIDTH	GLAZING TYPE	ADDITIONAL INFORMATION
DOOR								
	GROUND FLOOR	4	1040 SS	SQUARE SET OPENING	2,155	1,040	N/A	
	GROUND FLOOR	3	2 x 620	SWINGING	2,040	1,240	N/A	
	GROUND FLOOR	1	2 x 820	SWINGING	2,040	1,640	N/A	
	GROUND FLOOR	1	4 x 2040x820	ROBEMAKER SLIDING	2,040	3,260	N/A	
	GROUND FLOOR	1	820	SWINGING	2,040	820	N/A	LIFT-OFF HINGES
	GROUND FLOOR	7	870	SWINGING	2,040	870	N/A	
	GROUND FLOOR	1	870 CSD	CAVITY SLIDING	2,040	870	N/A	
	GROUND FLOOR	1	900 SS	SQUARE SET OPENING	2,155	900	N/A	

REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:  
- SUSTAINABILITY REQUIREMENTS  
- SITE CLASSIFICATION  
- GENERAL BUILDING INFORMATION

NOTE: INTERNAL DOORS TO WET AREAS WITH MECHANICAL VENTILATION TO BE UNDERCUT 20mm

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Window Manufacturer: Dowell Windows

No BAL / BAL 12.5

Window Type	WERS Code	U Value	SHGC
Sliding Window	DOW-022-003	2.9	0.64
Awning Window	DOW-005-001	3.9	0.58
Fixed External Window	DOW-038-001	3.03	0.71
Sliding Door	DAR-034-001	3.97	0.63
Stacking Door	DAR-034-001	3.97	0.63
Hinged Door	DOW-017-001	4.1	0.55
Bi-Fold Door	DOW-020-001	4.1	0.54

BAL 19

Window Type	WERS Code	U Value	SHGC
Sliding Window	TND-034-001	3.1	0.61
Awning Window	STG-001-066	3.91	0.54
Fixed External Window	DOW-038-005	3.02	0.66
Sliding Door	AUW-009-009	4.03	0.58
Stacking Door	AUW-009-009	4.03	0.58
Hinged Door	GRN-009-001	4.25	0.53
Bi-Fold Door	DOW-020-001	4.1	0.54

BAL 29

Window Type	WERS Code	U Value	SHGC
Sliding Window	TND-034-001	3.1	0.61
Awning Window	STG-001-066	3.91	0.54
Fixed External Window	DOW-038-005	3.02	0.66
Sliding Door	AMJ-007-005	4.03	0.59
Stacking Door	AMJ-007-005	4.03	0.59
Hinged Door	GRN-009-001	4.29	0.53

NOTE:  
Windows supplied MUST HAVE Uw better and or equal to stated figures and SHGC within +/- 5% of stated figures. Restricted windows to have their openability restricted as per N.C.C 11.3.6.

PICTURE, TV RECESS AND SS WINDOW OPENINGS

QTY	TYPE	HEIGHT	WIDTH	AREA (m²)
-----	------	--------	-------	-----------

SUBJECT TO NCC 2022  
(1 MAY 2023)  
WATERPROOFING & PLUMBING  
CONDENSATION MANAGEMENT

PLAN ACCEPTANCE BY OWNER

SIGNATURE: DATE:

SIGNATURE: DATE:

PLEASE NOTE THAT VARIATIONS WILL NOT BE ACCEPTED AFTER THIS PLAN ACCEPTANCE HAS BEEN SIGNED



SPECIFICATION:  
DISCOVERY

COPYRIGHT:  
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REVISION

1	CP1
2	CP1 AMENDMENT
3	CP2
4	CP2 - UPDATE
5	PRELIM PLANS - INITIAL ISSUE

DRAWN

HMI	04/11/2025
JII	10/11/2025
HMI	26/11/2025
HMI	09/12/2025
LTR	12/12/2025

CLIENT:

ANGEL GEORGE & BASKARAN PERUMAL

ADDRESS:

7 SHELDUCK DR, OLD BEACH TAS 7017

LOT / SECTION / CT:

444 / - / 186023

COUNCIL:

BRIGHTON

HOUSE DESIGN:

ARGYLE 19

FACADE DESIGN:

CLASSIC

SHEET TITLE:

WINDOW & DOOR SCHEDULES

SHEET No.:

7 / 19

HOUSE CODE:

H-WDNAGY10SA

FACADE CODE:

F-WDNAGY10CLASA

SCALES:

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714516



NATURAL LIGHT AND VENTILATION

ROOM	AREA (m2)	WINDOW ID	LIGHT REQUIRED (m2)	LIGHT ACHIEVED (m2)	VENTILATION REQ'D (m2)	VENTILATION ACH'D (m2)
OPEN KITCHEN/ LIVING/ DINING	42.89 m²	W08, W09, D02	4.29 m²	8.80 m²	2.14 m²	5.53 m²
BED 1	14.49 m²	W06	1.45 m²	1.14 m²	0.72 m²	0.94 m²
BED 2	10.29 m²	W01, W02, W03	1.03 m²	2.40 m²	0.51 m²	1.98 m²
BED 3	10.89 m²	W04	1.09 m²	0.85 m²	0.54 m²	0.72 m²
BED 4	11.89 m²	W05	1.19 m²	1.29 m²	0.59 m²	1.06 m²
LEISURE	11.04 m²	W12	1.10 m²	1.29 m²	0.55 m²	1.06 m²

PART 10.5.1 LIGHT: Minimum 10% of the floor area of a habitable room required (natural light)

PART 10.6 VENTILATION: Minimum 5% of the floor area of a habitable room required. (An exhaust fan may be used for sanitary compartment, laundry or bathroom provided contaminated air discharges directly to the outside of the building by way of ducts).

REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:  
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SUBJECT TO NCC 2022  
(1 MAY 2023)  
WATERPROOFING & PLUMBING  
CONDENSATION MANAGEMENT

PLAN ACCEPTANCE BY OWNER

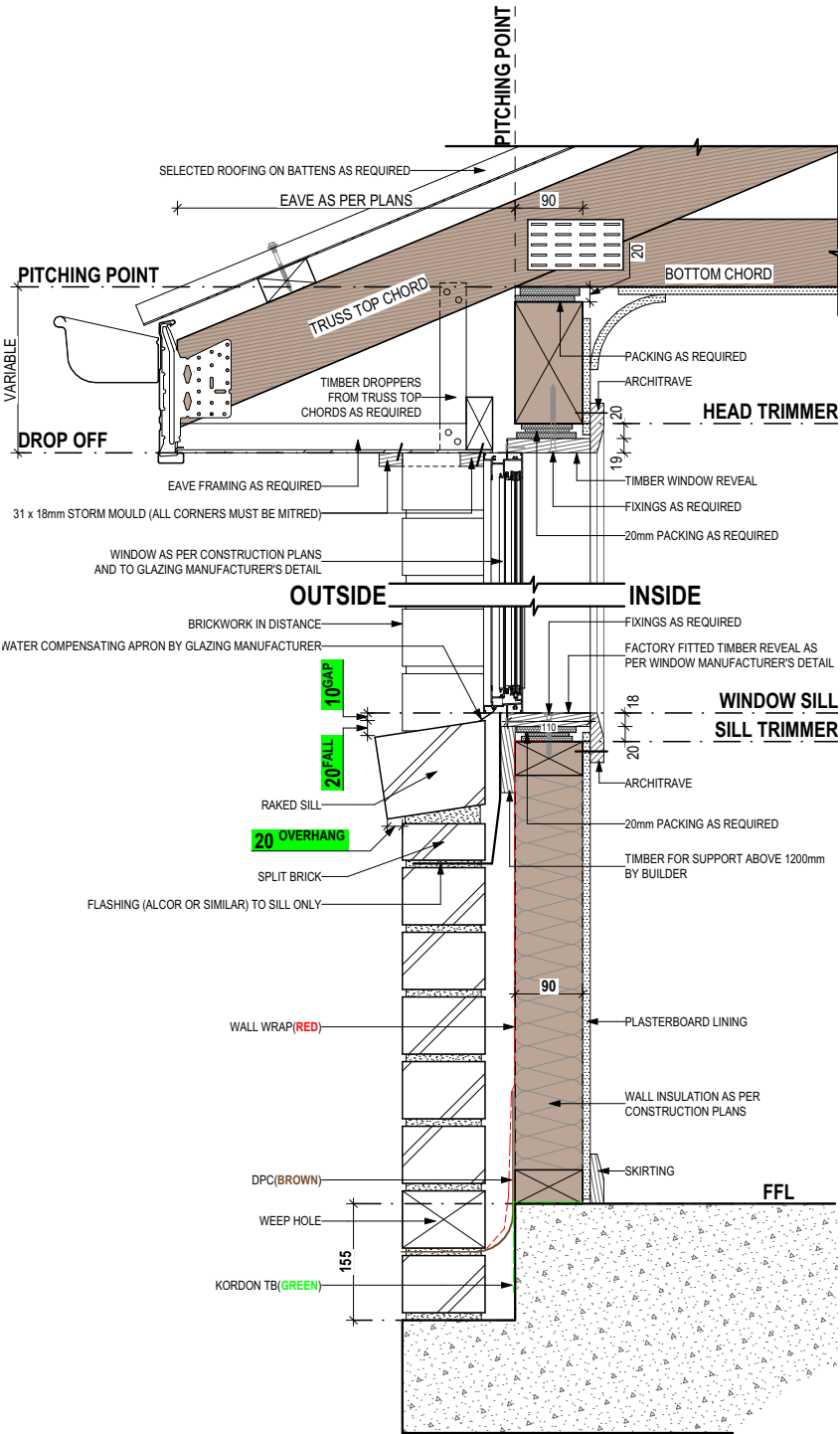
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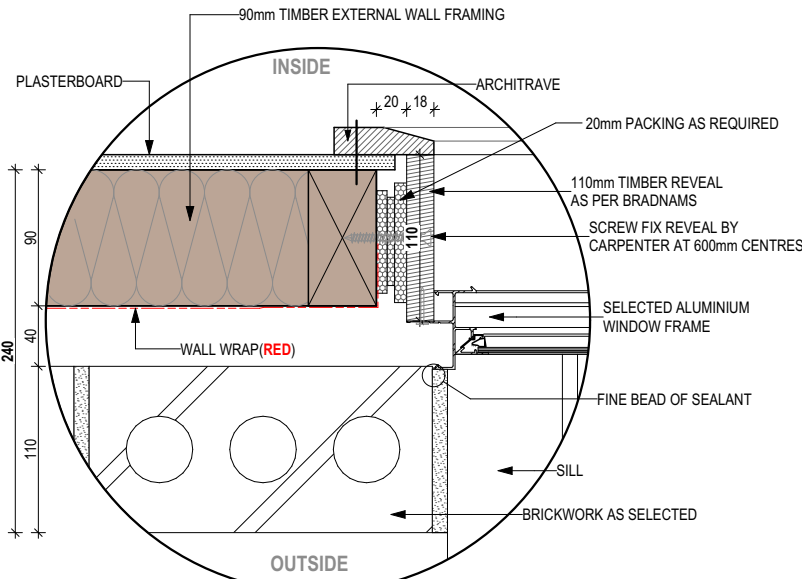
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SPECIFICATION: DISCOVERY	1	CP1	HMI	04/11/2025	CLIENT: ANGEL GEORGE & BASKARAN PERUMAL	HOUSE DESIGN: ARGYLE 19	HOUSE CODE: H-WDNAGY10SA	DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.  <b>714516</b>
COPYRIGHT: © 2025	2	CP1 AMENDMENT	JII	10/11/2025	ADDRESS: 7 SHELDUCK DR, OLD BEACH TAS 7017	FACADE DESIGN: CLASSIC	FACADE CODE: F-WDNAGY10CLASA	
	3	CP2	HMI	26/11/2025	LOT / SECTION / CT: 444 / - / 186023	SHEET TITLE: CALCULATIONS	SCALES:	
	4	CP2 - UPDATE	HMI	09/12/2025	COUNCIL: BRIGHTON	SHEET No.: 8 / 19		
	5	PRELIM PLANS - INITIAL ISSUE	LTR	12/12/2025				



SECTIONS  
SCALE: 1:10




DETAILS  
SCALE: 1:5

REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:

- SUSTAINABILITY REQUIREMENTS
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	SPECIFICATION: DISCOVERY		REVISION		DRAWN		CLIENT:				HOUSE DESIGN:				HOUSE CODE:		DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.
			1	CP1	HMI	04/11/2025	ANGEL GEORGE & BASKARAN PERUMAL				ARGYLE 19				H-WDNAGY10SA		
	COPYRIGHT: © 2025		2	CP1 AMENDMENT	JII	10/11/2025	ADDRESS: 7 SHELDUCK DR, OLD BEACH TAS 7017				FACADE DESIGN: CLASSIC				FACADE CODE: F-WDNAGY10CLASA		
			3	CP2	HMI	26/11/2025											
			4	CP2 - UPDATE	HMI	09/12/2025	LOT / SECTION / CT: 444 / - / 186023		COUNCIL: BRIGHTON		SHEET TITLE: DETAILS (FACE BRICKWORK)		SHEET No.: 9 / 19		SCALES:		
			5	PRELIM PLANS - INITIAL ISSUE	LTR	12/12/2025									714516		

Template Version: 24/04/

STANDARD BRICK								STANDARD BRICK															
BRICKWORK DIMENSIONS				Bricks per m <sup>2</sup> in wall = 48.5 approx.				all dimensions in mm				BRICKWORK DIMENSIONS				Bricks per m <sup>2</sup> in wall = 48.5 approx.				all dimensions in mm			
FORMAT SIZE: 240x120x86mm		MANUFACTURING SIZE: 230x110x76mm		VERTICAL GAUGE: 7 Courses to 600mm				FORMAT SIZE: 240x120x86mm		MANUFACTURING SIZE: 230x110x76mm		VERTICAL GAUGE: 7 Courses to 600mm											
NO. OF BRICKS	LENGTH	OPENING	HEIGHT	NO. OF BRICKS	LENGTH	OPENING	HEIGHT	NO. OF BRICKS	LENGTH	OPENING	HEIGHT	NO. OF BRICKS	LENGTH	OPENING	HEIGHT	NO. OF BRICKS	LENGTH	OPENING	HEIGHT	NO. OF BRICKS	LENGTH	OPENING	HEIGHT
1	230	250	86	26	6230	6250	2229	11	2630	2650	943	36 <sup>1</sup> / <sub>2</sub>	8630										
1 <sup>1</sup> / <sub>2</sub>	350	370		26 <sup>1</sup> / <sub>2</sub>	6350	6370		11 <sup>1</sup> / <sub>2</sub>	2750	2770		36 <sup>1</sup> / <sub>2</sub>	8750										
2	470	490	172	27	6470	6490	2314	12	2870	2890	1029	37	8870										
2 <sup>1</sup> / <sub>2</sub>	590	610		27 <sup>1</sup> / <sub>2</sub>	6590	6610		12 <sup>1</sup> / <sub>2</sub>	2990	3010		37 <sup>1</sup> / <sub>2</sub>	8990										
3	710	730	257	28	6710	6730	2400	13	3110	3130	1114	38	9110										
3 <sup>1</sup> / <sub>2</sub>	830	850		28 <sup>1</sup> / <sub>2</sub>	6830	6850		13 <sup>1</sup> / <sub>2</sub>	3230	3250		38 <sup>1</sup> / <sub>2</sub>	9230										
4	950	970	343	29	6950	6970	2486	14	3350	3370	1200	39	9350										
4 <sup>1</sup> / <sub>2</sub>	1070	1090		29 <sup>1</sup> / <sub>2</sub>	7070	7090		14 <sup>1</sup> / <sub>2</sub>	3470	3490		39 <sup>1</sup> / <sub>2</sub>	9470										
5	1190	1210	429	30	7190	7210	2572	15	3590	3610	1286	40	9590										
5 <sup>1</sup> / <sub>2</sub>	1310	1330		30 <sup>1</sup> / <sub>2</sub>	7310	7330		15 <sup>1</sup> / <sub>2</sub>	3710	3730		40 <sup>1</sup> / <sub>2</sub>	9710										
6	1430	1450	514	31	7430	7450	2657	16	3830	3850	1372	41	9830										
6 <sup>1</sup> / <sub>2</sub>	1550	1570		31 <sup>1</sup> / <sub>2</sub>	7550	7570		16 <sup>1</sup> / <sub>2</sub>	3950	3970		41 <sup>1</sup> / <sub>2</sub>	9950										
7	1670	1690	600	32	7670	7690	2743	17	4070	4090	1457	42	10070										
7 <sup>1</sup> / <sub>2</sub>	1790	1810		32 <sup>1</sup> / <sub>2</sub>	7790	7810		17 <sup>1</sup> / <sub>2</sub>	4190	4210		42 <sup>1</sup> / <sub>2</sub>	10190										
8	1910	1930	686	33	7910	7930	2829	18	4310	4330	1543	43	10310										
8 <sup>1</sup> / <sub>2</sub>	2030	2050		33 <sup>1</sup> / <sub>2</sub>	8030	8050		18 <sup>1</sup> / <sub>2</sub>	4430	4450		43 <sup>1</sup> / <sub>2</sub>	10430										
9	2150	2170	772	34	8150	8170	2914	19	4550	4570	1629	44	10550										
9 <sup>1</sup> / <sub>2</sub>	2270	2290		34 <sup>1</sup> / <sub>2</sub>	8270	8290		19 <sup>1</sup> / <sub>2</sub>	4670	4690		44 <sup>1</sup> / <sub>2</sub>	10670										
10	2390	2410	857	35	8390	8400	3000	20	4790	4810	1714	45	10790										
								20 <sup>1</sup> / <sub>2</sub>	4910	4930		45 <sup>1</sup> / <sub>2</sub>	10910										
								21	5030	5050	1800	46	11030										
								21 <sup>1</sup> / <sub>2</sub>	5150	5170		46 <sup>1</sup> / <sub>2</sub>	11150										
								22	5270	5290	1886	47	11270										
								22 <sup>1</sup> / <sub>2</sub>	5390	5410		47 <sup>1</sup> / <sub>2</sub>	11390										
								23	5510	5530	1972	48	11510										
								23 <sup>1</sup> / <sub>2</sub>	5630	5650		48 <sup>1</sup> / <sub>2</sub>	11630										
								24	5750	5770	2057	49	11750										
								24 <sup>1</sup> / <sub>2</sub>	5870	5890		49 <sup>1</sup> / <sub>2</sub>	11870										
								25	5990	6010	2143	50	11990										
								25 <sup>1</sup> / <sub>2</sub>	6110	6130		100	23990										

NOT OFTEN REQUIRED. IF NEEDED ADD 20 TO LENGTH.

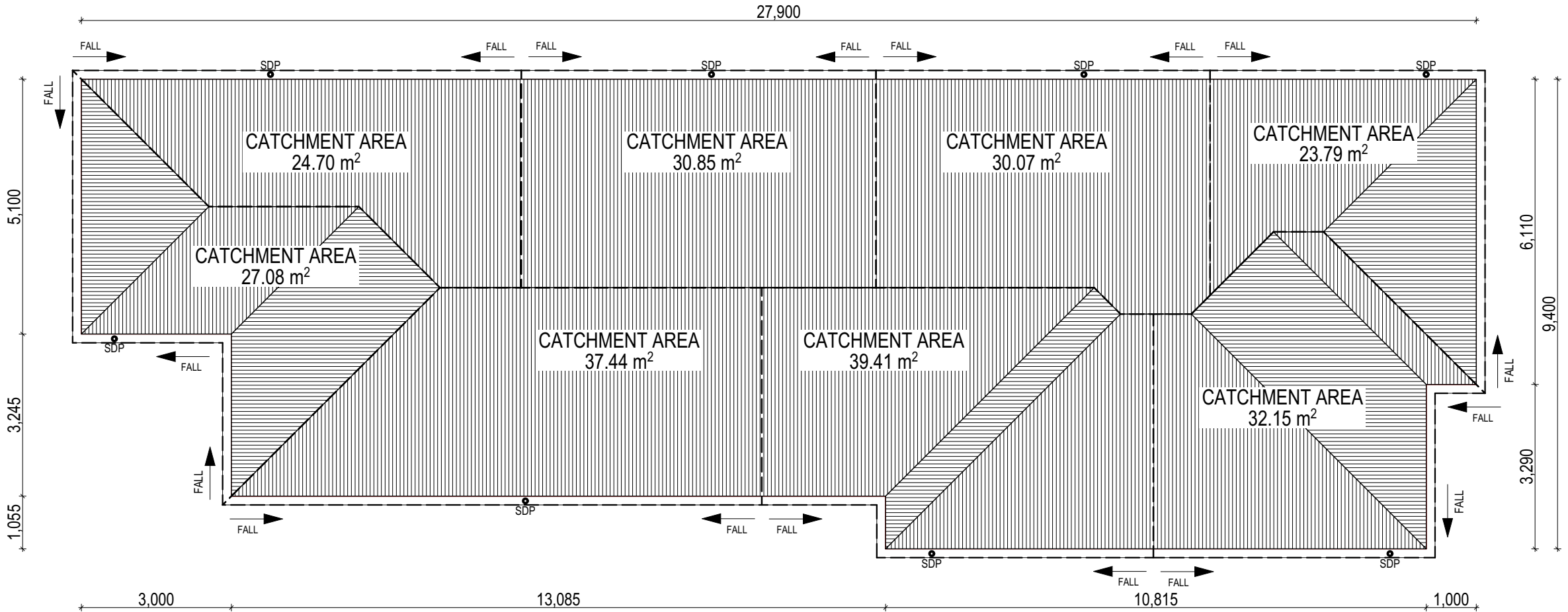
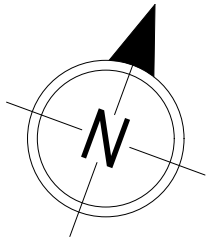
SUBJECT TO NCC 2022  
(1 MAY 2023)  
WATERPROOFING & PLUMBING  
CONDENSATION MANAGEMENT

PLAN ACCEPTANCE BY OWNER

SIGNATURE: DATE:

SIGNATURE: DATE:

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WHERE DOWNPIPES ARE FURTHER THAN 1.2m AWAY FROM VALLEY REFER TO N.C.C. 7.3.5(2)

POSITION AND QUALITY OF DOWNPIPES ARE NOT TO BE ALTERED WITHOUT CONSULTATION WITH DESIGNER.

AREA'S SHOWN ARE SURFACE AREAS/ CATCHMENT AREAS, NOT PLAN AREAS

Roofing Data		
	232.27	Flat Roof Area (excluding gutter and slope factor) (m²)
	252.32	Roof Surface Area (includes slope factor, excludes gutter) (m²)
Downpipe roof calculations (as per AS/NZA3500.3:2021)		
Ah	245.50	Area of roof catchment (including 115mm Slotted Quad Gutter) (m²)
Ac	192.76	Ah x Catchment Area Multiplier for slope (Table 3.4.3.2 from AS/NZS 3500.3:2021) (1.21 for 23° pitch) (m²)
Ae	6300	Cross sectional area of 57 x 115 Slotted Quad Gutter (mm²)
DRI	83	Design Rainfall Intensity (determined from Table E1 from AS/NZS 3500.3:2021)
Acdp	64	Catchment area per Downpipe (determined from Figure 3.5(A) from AS/NZS 3500.3:2021) (m²)
Required Downpipes	3.01	Ac / Acdp
Downpipes Provided	6	

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EV SOFFIT EAVE VENT PROPOSED LOCATION TO BE MIN. 1M FROM CORNER JOINT

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CONDENSATION MANAGEMENT

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SPECIFICATION:

DISCOVERY

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REVISION

1	CP1
2	CP1 AMENDMENT
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DRAWN

HMI	04/11/2025
JII	10/11/2025
HMI	26/11/2025
HMI	09/12/2025
LTR	12/12/2025

CLIENT:

ANGEL GEORGE & BASKARAN PERUMAL

ADDRESS:

7 SHELDUCK DR, OLD BEACH TAS 7017

LOT / SECTION / CT:

444 / - / 186023

COUNCIL:

BRIGHTON

HOUSE DESIGN:

ARGYLE 19

FACADE DESIGN:

CLASSIC

SHEET TITLE:

ROOF DRAINAGE PLAN

SHEET No.:

10 / 19

HOUSE CODE:

H-WDNAGY10SA

FACADE CODE:

F-WDNAGY10CLASA

SCALES:

1:100

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


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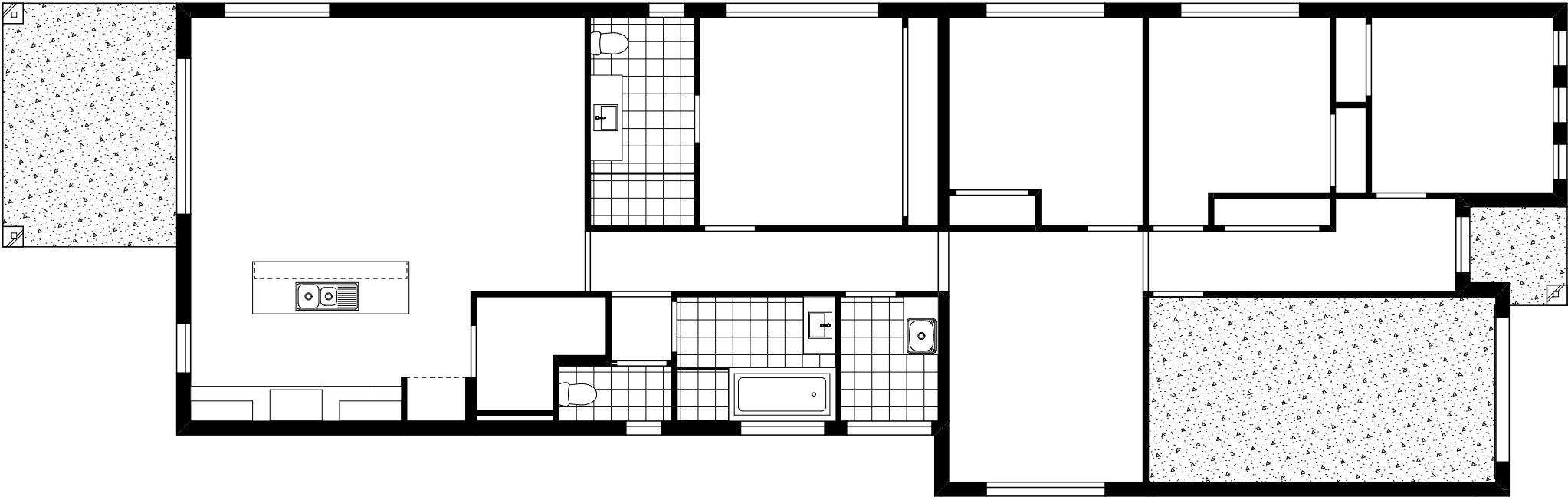
- SUSTAINABILITY REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

FLOOR TILES SHOWN ON PLAN DO NOT INDICATE THE SIZE OR JOINT LOCATIONS OF THE ACTUAL FLOOR TILES.

TIMBER FLOORING SHOWN ON PLAN DOES NOT INDICATE THE BOARD SIZE OR DIRECTION OF THE ACTUAL FLOORING.

COVERINGS LEGEND

	NO COVERING
	COVER GRADE CONCRETE
	CARPET
	LAMINATE
	TILE (STANDARD WET AREAS)
	TILE (UPGRADED AREAS)
	DECKING



**SUBJECT TO NCC 2022**  
**(1 MAY 2023)**  
WATERPROOFING & PLUMBING  
CONDENSATION MANAGEMENT

PLAN ACCEPTANCE BY OWNER

SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_

SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_

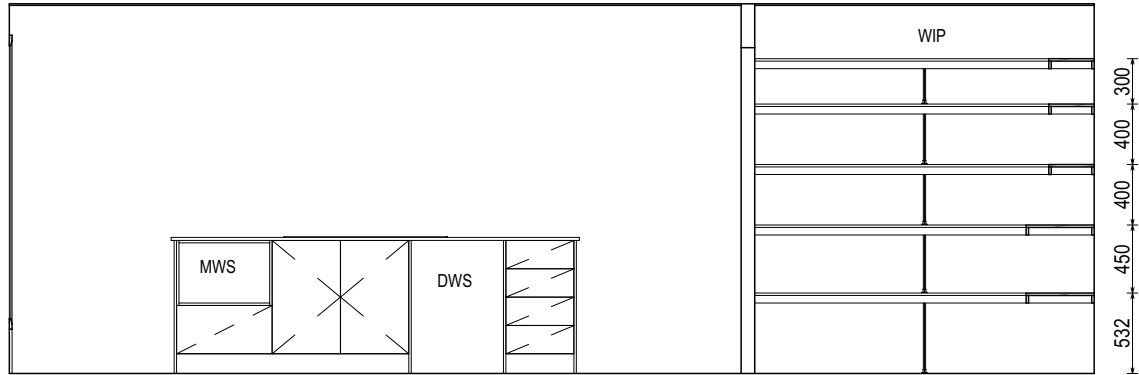
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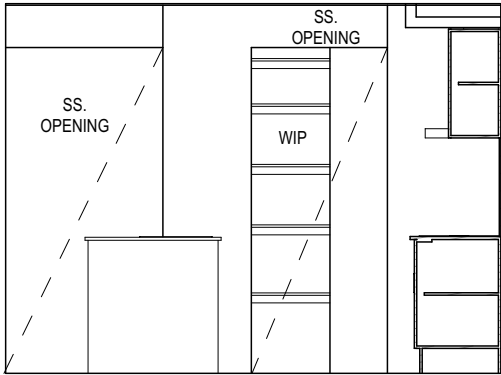


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	2 CP1 AMENDMENT	JII 10/11/2025	ADDRESS:	FACADE DESIGN:	FACADE CODE:	
	3 CP2	HMI 26/11/2025	7 SHELDUCK DR, OLD BEACH TAS 7017	CLASSIC	F-WDNAGY10CLASA	
	4 CP2 - UPDATE	HMI 09/12/2025	LOT / SECTION / CT:	SHEET TITLE:	SHEET No.:	
	5 PRELIM PLANS - INITIAL ISSUE	LTR 12/12/2025	444 / - / 186023	COUNCIL: BRIGHTON	11 / 19	714516
				FLOOR COVERINGS	1:100	

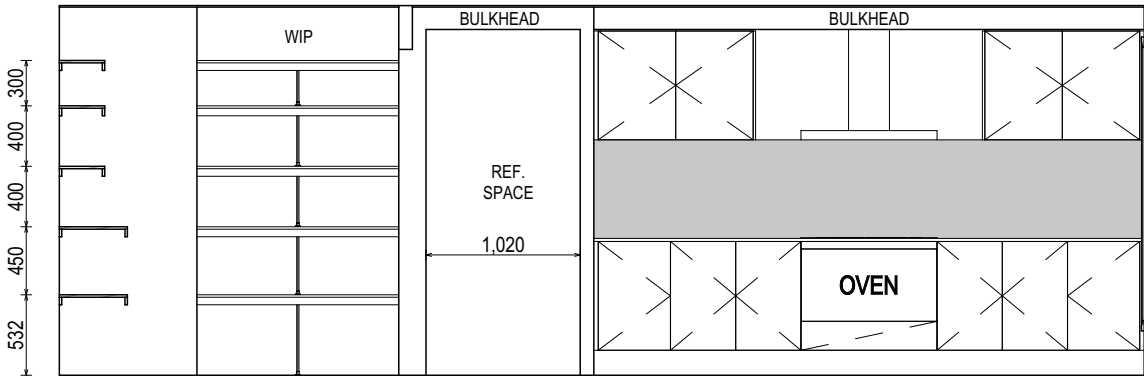




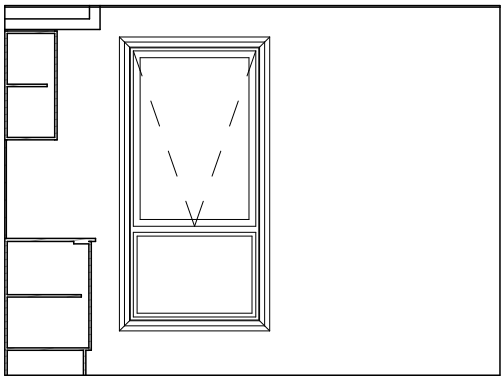
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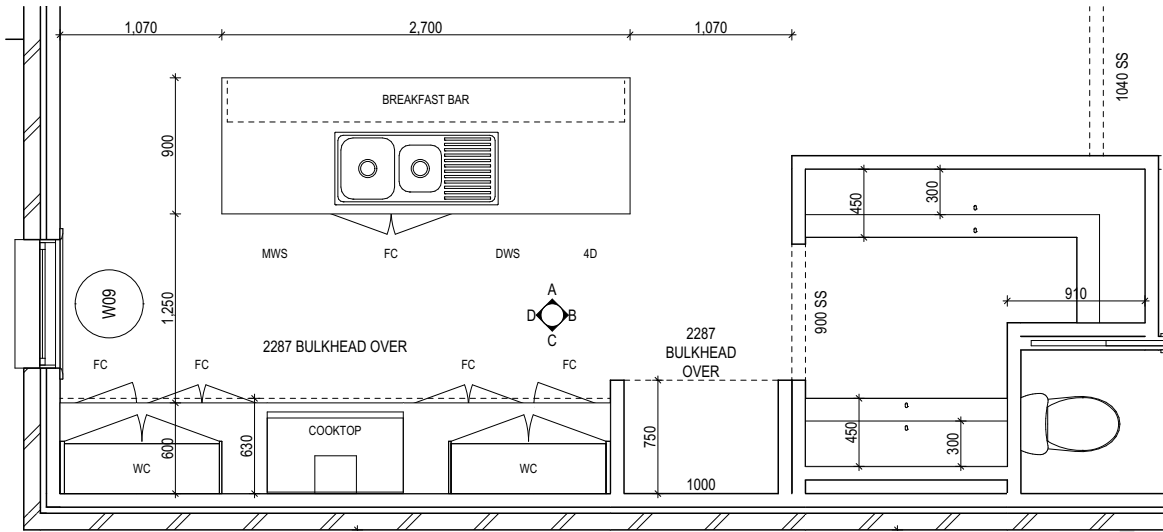
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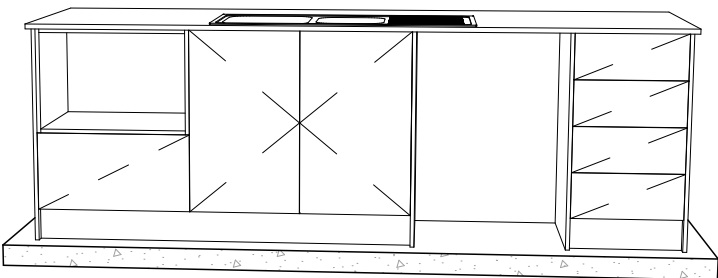
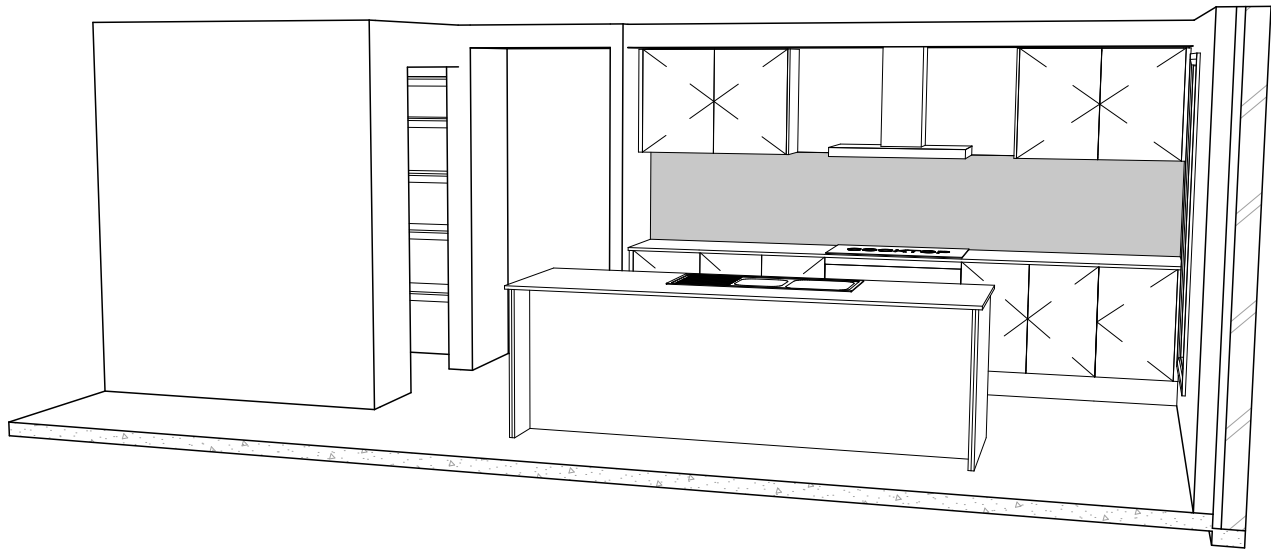
ELEVATION C  
SCALE: 1:50



ELEVATION D  
SCALE: 1:50



KITCHEN PLAN  
SCALE: 1:50



**SUBJECT TO NCC 2022  
(1 MAY 2023)**  
WATERPROOFING & PLUMBING  
CONDENSATION MANAGEMENT

**PLAN ACCEPTANCE BY OWNER**

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	COPYRIGHT:	2	CP1 AMENDMENT	JII 10/11/2025	ADDRESS:			FACADE DESIGN:		FACADE CODE:			
	© 2025	3	CP2	HMI 26/11/2025	7 SHELDUCK DR, OLD BEACH TAS 7017			CLASSIC		F-WDNAGY10CLASA			
		4	CP2 - UPDATE	HMI 09/12/2025	LOT / SECTION / CT:		COUNCIL:	SHEET TITLE:		SHEET No.:	SCALES:		
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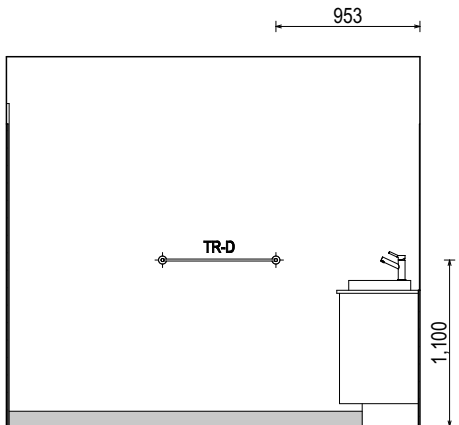
REFER TO THE FOLLOWING DETAILS:  
VANITY DETAILS G-VANI-001  
WINDOW OVER BATH HOB D-WIND-ALU001  
STANDARD BATH HOB D-WETA-BATH003  
WET AREA TILING LAYOUTS D-WETA-TILE002  
SQUARE SET WINDOWS G-WIND-SSET02  
FULL HEIGHT TILING D-LINI-WETA

REFER TO SHEET 1 (COVER SHEET) FOR  
ALL BUILDING INFORMATION REGARDING:  
- SUSTAINABILITY REQUIREMENTS  
- SITE CLASSIFICATION  
- GENERAL BUILDING INFORMATION

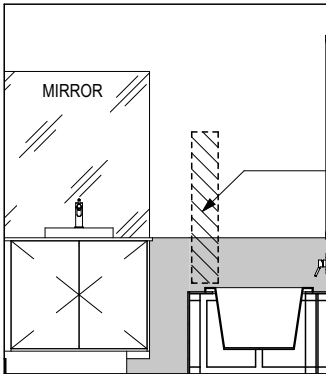
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REPRESENTATION ONLY

LEGEND

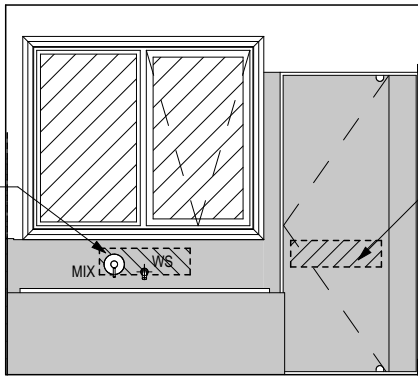
- RSHR RAIL SHOWER
- ROSE SHOWER ROSE
- ELBW SHOWER ELBOW CONNECTION
- MIX MIXER TAP
- HT HOT TAP
- CT COLD TAP
- HS HOB SPOUT
- WS WALL SPOUT
- SC STOP COCK
- TRH TOILET ROLL HOLDER
- TR-S TOWEL RAIL - SINGLE
- TR-D TOWEL RAIL - DOUBLE
- TL TOWEL LADDER
- TH TOWEL HOLDER
- TR TOWEL RACK
- TMB TUMBLER HOLDER
- RNG TOWEL RING
- RH ROBE HOOK
- SHLF SHELF
- SR SHAMPOO RECESS
- SOAP SOAP HOLDER



ELEVATION A  
SCALE: 1:50



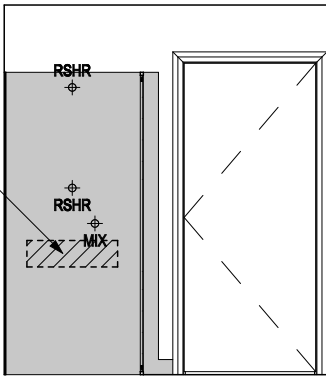
ELEVATION B  
SCALE: 1:50



ELEVATION C  
SCALE: 1:50

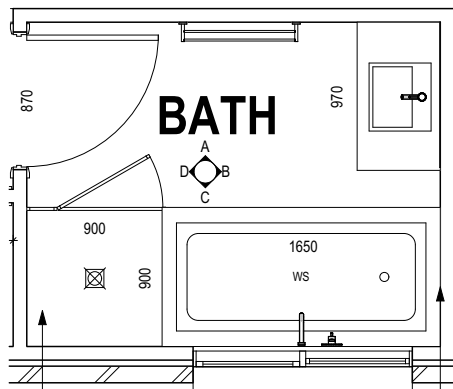
600 x 150 NOGGINGS . 800-810 HEIGHT (CTR LINE). OFFSET 250mm FROM WALL

600 x 150 NOGGINGS . 800-810 HEIGHT (CTR LINE). CENTRED TO ROSE



ELEVATION D  
SCALE: 1:50

THRESHOLD OF ACCESSIBLE SHOWER ENTRY  
TO BE MAX. 5MM. REFER TO BATHROOM  
DETAILS FOR LHA NOGGING LOCATIONS



BATHROOM PLAN  
SCALE: 1:50

ACCESS HATCH TO  
BATH HOB

SUBJECT TO NCC 2022  
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WATERPROOFING & PLUMBING  
CONDENSATION MANAGEMENT

PLAN ACCEPTANCE BY OWNER

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	4 CP2 - UPDATE	HMI 09/12/2025	LOT / SECTION / CT:	SHEET TITLE:	SHEET No.:	
	5 PRELIM PLANS - INITIAL ISSUE	LTR 12/12/2025	444 / - / 186023	BATHROOM DETAILS	13 / 19	
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			BRIGHTON		1:50	
						714516

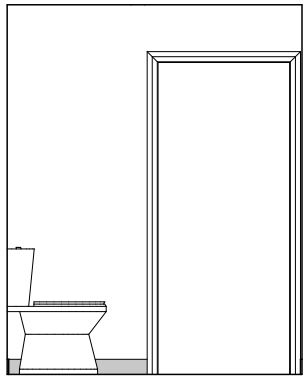
REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:

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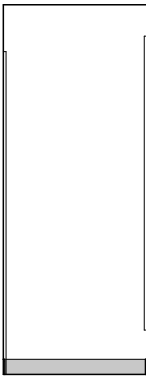
DETAILS DEPICTED ON THIS SHEET ARE A REPRESENTATION ONLY

LEGEND

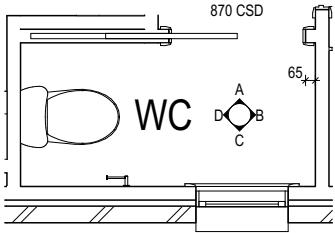
- |      |                         |
|------|-------------------------|
| RSHR | RAIL SHOWER             |
| ROSE | SHOWER ROSE             |
| ELBW | SHOWER ELBOW CONNECTION |
| MIX  | MIXER TAP               |
| HT   | HOT TAP                 |
| CT   | COLD TAP                |
| HS   | HOB SPOUT               |
| WS   | WALL SPOUT              |
| SC   | STOP COCK               |
| TRH  | TOILET ROLL HOLDER      |
| TR-S | TOWEL RAIL - SINGLE     |
| TR-D | TOWEL RAIL - DOUBLE     |
| TL   | TOWEL LADDER            |
| TH   | TOWEL HOLDER            |
| TR   | TOWEL RACK              |
| TMB  | TUMBLER HOLDER          |
| RNG  | TOWEL RING              |
| RH   | ROBE HOOK               |
| SHLF | SHELF                   |
| SR   | SHAMPOO RECESS          |
| SOAP | SOAP HOLDER             |



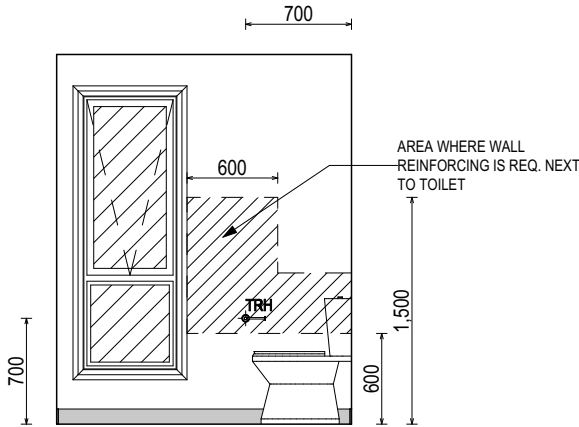
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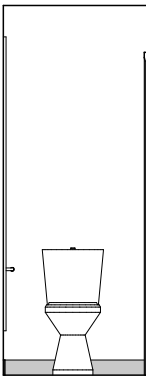
ELEVATION B  
SCALE: 1:50



WC PLAN  
SCALE: 1:50



ELEVATION C  
SCALE: 1:50



ELEVATION D  
SCALE: 1:50

**SUBJECT TO NCC 2022  
(1 MAY 2023)**  
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CONDENSATION MANAGEMENT

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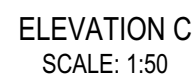
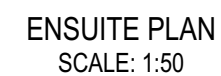
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	4 CP2 - UPDATE	HMI 09/12/2025	LOT / SECTION / CT:	SHEET TITLE:	SHEET No.:	
	5 PRELIM PLANS - INITIAL ISSUE	LTR 12/12/2025	444 / - / 186023	COUNCIL: BRIGHTON	14 / 19	1:50

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## LEGEND

RSHR	RAIL SHOWER
ROSE	SHOWER ROSE
ELBW	SHOWER ELBOW CONNECTION
MIX	MIXER TAP
HT	HOT TAP
CT	COLD TAP
HS	HOB SPOUT
WS	WALL SPOUT
SC	STOP COCK
TRH	TOILET ROLL HOLDER
TR-S	TOWEL RAIL - SINGLE
TR-D	TOWEL RAIL - DOUBLE
TL	TOWEL LADDER
TH	TOWEL HOLDER
TR	TOWEL RACK
TMB	TUMBLER HOLDER
RNG	TOWEL RING
RH	ROBE HOOK
SHLF	SHELF
SR	SHAMPOO RECESS
SOAP	SOAP HOLDER



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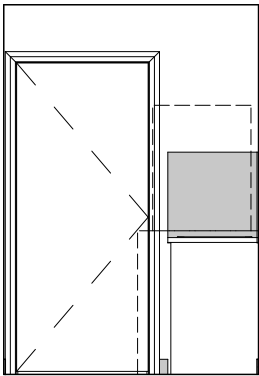
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	COPYRIGHT:		2	CP1 AMENDMENT	JII	10/11/2025	ADDRESS:				FACADE DESIGN:				FACADE CODE:		
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			4	CP2 - UPDATE	HMI	09/12/2025	LOT / SECTION / CT:		COUNCIL:		SHEET TITLE:		SHEET No.:		SCALES:		
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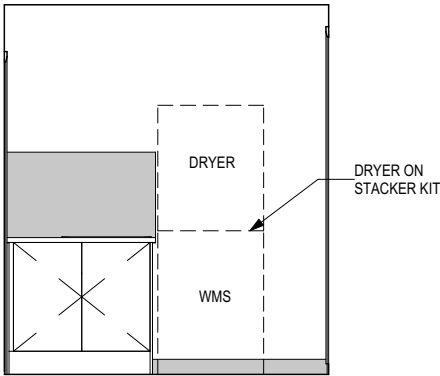
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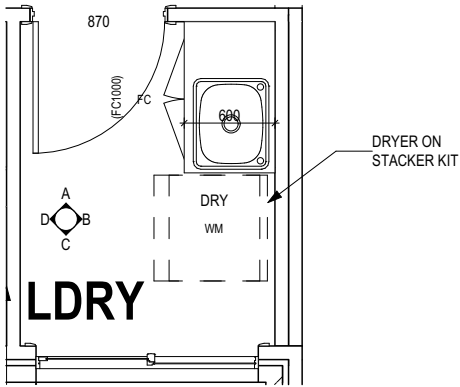
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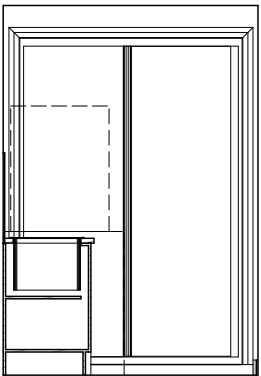
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SCALE: 1:50



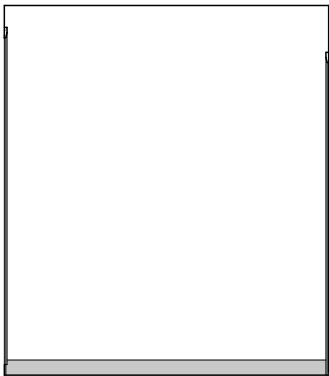
ELEVATION B  
SCALE: 1:50



LAUNDRY PLAN  
SCALE: 1:50



ELEVATION C  
SCALE: 1:50



ELEVATION D  
SCALE: 1:50

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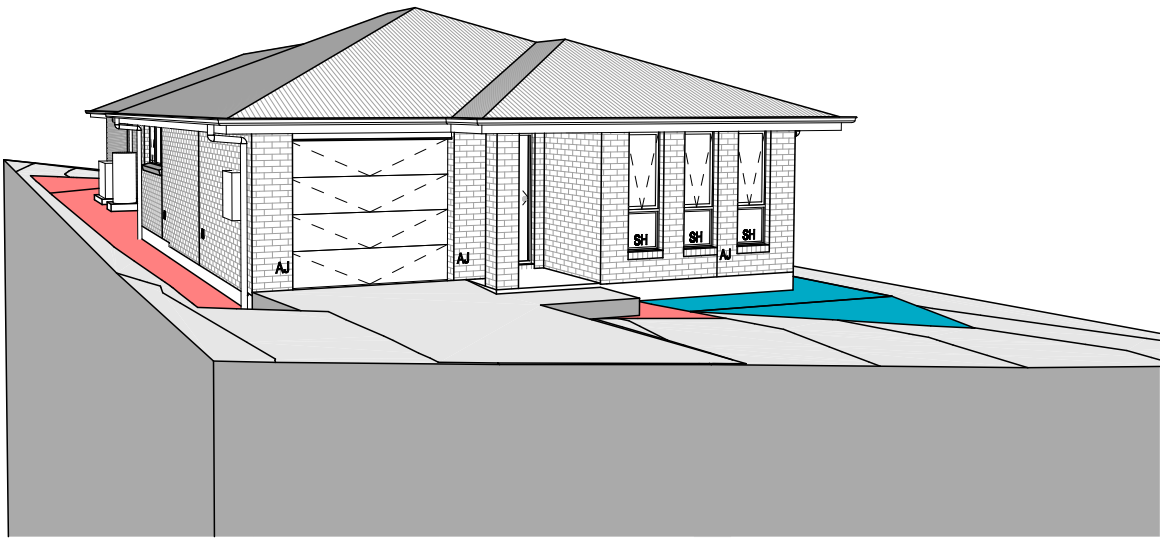
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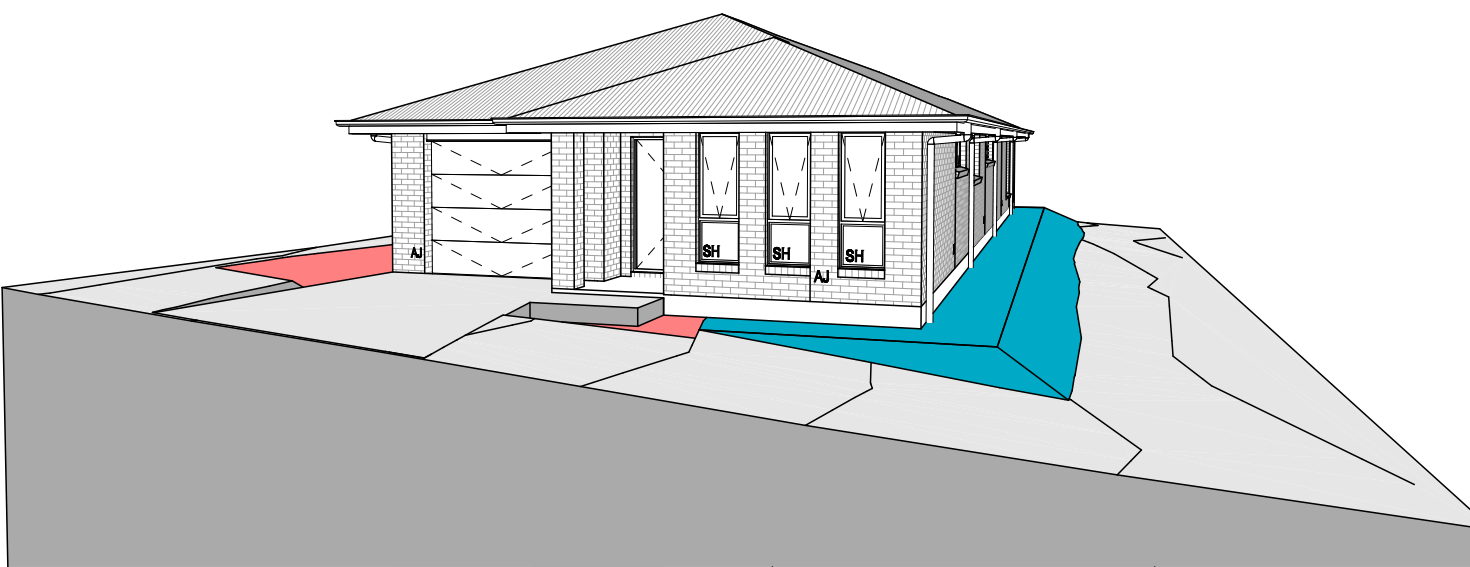
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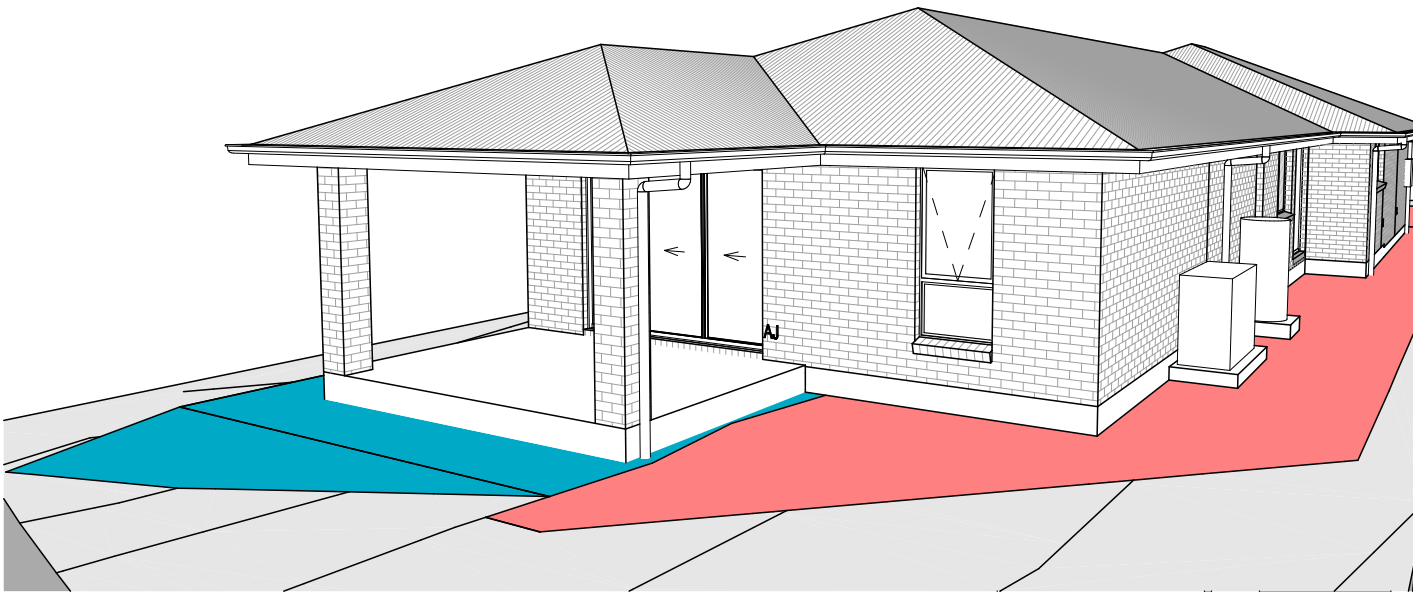
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COPYRIGHT: © 2025	1 CP1	HMI 04/11/2025	ANGEL GEORGE & BASKARAN PERUMAL	ARGYLE 19	H-WDNAGY10SA	
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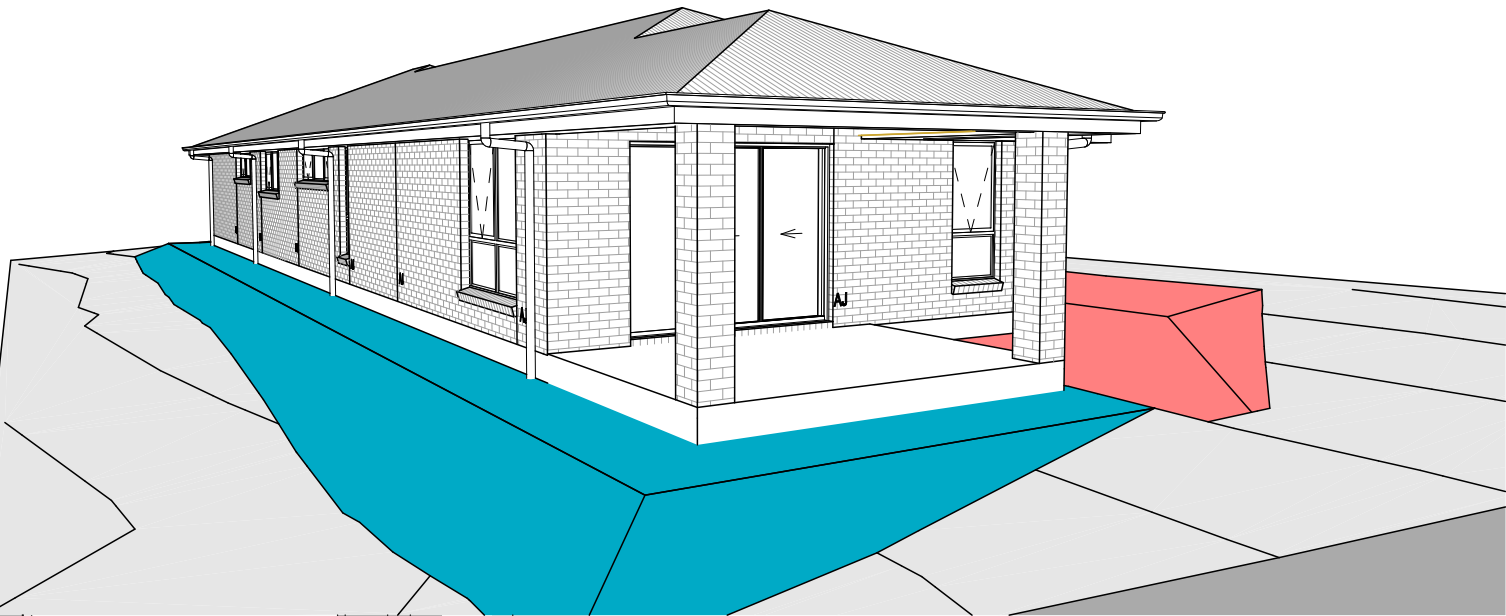
FRONT LEFT



FRONT RIGHT



REAR LEFT




REAR RIGHT

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CONDENSATION MANAGEMENT**

<b>PLAN ACCEPTANCE BY OWNER</b>	
SIGNATURE: _____	DATE: _____
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SIGNATURE: _____	DATE: _____
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		4	CP2 - UPDATE	HMI 09/12/2025	LOT / SECTION / CT:		COUNCIL:	SHEET TITLE:		SHEET No.:	SCALES:	
		5	PRELIM PLANS - INITIAL ISSUE	LTR 12/12/2025	444 / - / 186023		BRIGHTON		3D VIEWS		17 / 19	714516

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WET AREA NOTES

VESSELS OR AREA WHERE THE FIXTURE IS INSTALLED	FLOORS AND HORIZONTAL SURFACES	WALLS	WALL JUNCTIONS AND JOINTS	PENETRATIONS
ENCLOSED SHOWER WITH HOB	WATERPROOF ENTIRE ENCLOSED SHOWER AREA INCLUDING HOB.	WATERPROOF TO NOT LESS THAN 150mm ABOVE THE SHOWER FLOOR SUBSTRATE OR NOT LESS THAN 25mm ABOVE THE MAXIMUM RETAINED WATER LEVEL WHICH EVER IS THE GREATER WITH THE REMAINDER BEING WATERPROOF TO A HEIGHT OF NOT LESS THAN 1800mm ABOVE THE FINISHED FLOOR LEVEL.	WATERPROOF INTERNAL AND EXTERNAL CORNERS AND HORIZONTAL JOINTS WITHIN A HEIGHT OF 1800mm ABOVE THE FLOOR LEVEL WITH NOT LESS THAN 40mm WIDTH EITHER SIDE OF THE JUNCTION.	WATERPROOF ALL PENETRATIONS.
ENCLOSED SHOWER WITHOUT HOB	WATERPROOF ENTIRE ENCLOSED SHOWER AREA, INCLUDING WATERSTOP.	WATERPROOF TO NOT LESS THAN 150mm ABOVE THE SHOWER FLOOR SUBSTRATE WITH THE REMAINDER BEING WATERPROOF TO A HEIGHT OF NOT LESS THAN 1800mm ABOVE THE FINISHED FLOOR LEVEL.	WATERPROOF INTERNAL AND EXTERNAL CORNERS AND HORIZONTAL JOINTS WITHIN A HEIGHT OF 1800mm ABOVE THE FLOOR LEVEL WITH NOT LESS THAN 40mm WIDTH EITHER SIDE OF THE JUNCTION.	WATERPROOF ALL PENETRATIONS.
ENCLOSED SHOWER WITH STEPDOWN	WATERPROOF ENTIRE ENCLOSED SHOWER AREA INCLUDING THE STEPDOWN.	WATERPROOF TO NOT LESS THAN 150mm ABOVE THE SHOWER FLOOR SUBSTRATE OR NOT LESS THAN 25mm ABOVE THE MAXIMUM RETAINED WATER LEVEL WHICHEVER IS THE GREATER WITH THE REMAINDER BEING WATERPROOF TO A HEIGHT OF NOT LESS THAN 1800mm ABOVE THE FINISHED FLOOR LEVEL.	WATERPROOF INTERNAL AND EXTERNAL CORNERS AND HORIZONTAL JOINTS WITHIN A HEIGHT OF 1800mm ABOVE THE FLOOR LEVEL WITH NOT LESS THAN 40mm WIDTH EITHER SIDE OF THE JUNCTION.	WATERPROOF ALL PENETRATIONS.
ENCLOSED SHOWER WITH PRE-FORMED SHOWER BASE	N/A	WATERPROOF TO A HEIGHT OF NOT LESS THAN 1800mm ABOVE FINISHED FLOOR LEVEL.	WATERPROOF INTERNAL AND EXTERNAL CORNERS AND HORIZONTAL JOINTS WITHIN A HEIGHT OF 1800mm ABOVE THE FLOOR LEVEL WITH NOT LESS THAN 40mm WIDTH EITHER SIDE OF THE JUNCTION.	WATERPROOF ALL PENETRATIONS.
UNENCLOSED SHOWERS	WATERPROOF ENTIRE UNCLOSED SHOWER AREA.	WATERPROOF TO NOT LESS THAN 150mm ABOVE THE SHOWER FLOOR SUBSTRATE OR NOT LESS THAN 25mm ABOVE THE MAXIMUM RETAINED WATER LEVEL WHICH EVER IS THE GREATER WITH THE REMAINDER BEING WATERPROOF TO A HEIGHT OF NOT LESS THAN 1800mm ABOVE THE FINISHED FLOOR LEVEL.	WATERPROOF INTERNAL AND EXTERNAL CORNERS AND HORIZONTAL JOINTS WITHIN A HEIGHT OF 1800mm ABOVE THE FLOOR LEVEL WITH NOT LESS THAN 40mm WIDTH EITHER SIDE OF THE JUNCTION.	WATERPROOF ALL PENETRATIONS.
AREAS OUTSIDE THE SHOWER AREA FOR CONCRETE AND COMPRESSED FIBRE CEMENT SHEET FLOORING	WATER RESISTANT TO ENTIRE FLOOR.	N/A	WATERPROOF ALL WALL/FLOOR JUNCTIONS. WHERE A FLASHING IS USED THE HORIZONTAL LEG MUST BE NOT LESS THAN 40mm.	N/A
AREAS OUTSIDE THE SHOWER AREA FOR TIMBER FLOORS INCLUDING PARTICLEBOARD, PLYWOOD AND OTHER TIMBER BASED FLOORING MATERIALS	WATERPROOF ENTIRE FLOOR.	N/A	WATERPROOF ALL WALL/FLOOR JUNCTIONS. WHERE A FLASHING IS USED THE HORIZONTAL LEG MUST BE NOT LESS THAN 40mm.	N/A
AREAS ADJACENT TO BATHS AND SPAS FOR CONCRETE AND COMPRESSED FIBRE CEMENT SHEET FLOORING.	WATER RESISTANT TO ENTIRE FLOOR.	WATERPROOF TO A HEIGHT OF NOT LESS THAN 150mm ABOVE THE VESSEL AND EXPOSED SURFACES BELOW THE VESSEL LIP TO FLOOR LEVEL.	WATERPROOF EDGES OF THE VESSEL AND JUNCTION OF BATH ENCLOSURE WITH FLOOR. WHERE THE LIP OF THE BATH IS SUPPORTED BY A HORIZONTAL SURFACE, THIS MUST BE WATERPROOF FOR SHOWERS OVER BATH AND WATER RESISTANT FOR ALL OTHER CASES.	WATERPROOF ALL TAP AND SPOUT PENETRATIONS WHERE THEY OCCUR IN A HORIZONTAL SURFACE.
AREAS ADJACENT TO BATHS AND SPAS (SEE NOTE 1) FOR TIMBER FLOORS INCLUDING PARTICLEBOARD, PLYWOOD AND OTHER TIMBER BASED FLOORING MATERIALS.	WATERPROOF ENTIRE FLOOR.	WATERPROOF TO A HEIGHT OF NOT LESS THAN 150mm ABOVE THE VESSEL AND EXPOSED SURFACES BELOW THE VESSEL LIP TO FLOOR LEVEL.	WATERPROOF EDGES OF THE VESSEL AND JUNCTION OF BATH ENCLOSURE WITH FLOOR. WHERE THE LIP OF THE BATH IS SUPPORTED BY A HORIZONTAL SURFACE, THIS MUST BE WATERPROOF FOR SHOWERS OVER BATH AND WATER RESISTANT FOR ALL OTHER CASES.	WATERPROOF ALL TAP AND SPOUT PENETRATIONS WHERE THEY OCCUR IN A HORIZONTAL SURFACE.
INSERTED BATHS	N/A FOR FLOOR UNDER BATH. ANY SHELF AREA ADJOINING THE BATH OR SPA MUST BE WATERPROOF AND INCLUDE A WATERSTOP UNDER THE VESSEL LIP.	N/A FOR WALL UNDER BATH. WATERPROOF TO NOT LESS THAN 150mm ABOVE THE LIP OF THE BATH.	N/A FOR WALL UNDER BATH. WATERPRROF TO NOT LESS THAN 150 mm ABOVE THE LIP OF A BATH OR SPA.	WATERPROOF ALL TAP AND SPOUT PENETRATIONS WHERE THEY OCCUR IN A HORIZONTAL SURFACE.
WALLS ADJOINING OTHER VESSELS (EG. SINKS, LAUNDRY TUBS AND BASINS)	N/A	WATERPROOF TO A HEIGHT OF NOT LESS THAN 150mm ABOVE THE VESSEL IF THE VESSEL IS WITHIN 75mm OF THE WALL.	WHERE THE VESSEL IS FIXED TO A WALL, WATERPROOF EDGES FOR EXTENT OF VESSEL.	WATERPROOF ALL TAP AND SPOUT PENETRATIONS WHERE THEY OCCUR IN A HORIZONTAL SURFACE.
LAUNDRIES AND WCS	WATER RESISTANT TO ENTIRE FLOOR.	WATERPROOF ALL WALL/FLOOR JUNCTIONS TO NOT LESS THAN 25mm ABOVE THE FINISHED FLOOR LEVEL, SEALED TO FLOOR.	WATERPROOF ALL WALL/FLOOR JUNCTIONS. WHERE A FLASHING IS USED THE HORIZONTAL LEG MUST BE NOT LESS THAN 40mm.	N/A

THE ABOVE INFORMATION IS FOR GENERAL GUIDANCE AND IS INDICATIVE ONLY. WATERPROOFING INSTALLERS TO COMPLY WITH ALL CURRENT CODES OF LEGISLATION WHICH TAKE PRECEDENCE OVER THIS SPECIFICATION.

WET AREA WAERPROOFING BY LICENSED AND ACCREDITED INSTALLER. CERTIFICATION TO BE PROVIDED TO BUILDING SURVEYOR. CONTRACTOR OR BUILDER TO DETERMINE THE APPROPRIATE WATERPROOFING IN ACCORDANCE WITH AS3740 PART 10.2 OF N.C.C AND TO NOTIFY THE BUILDING SURVEYOR FOR INSPECTION ARRANGEMENTS DURING INSTALLATION.



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												SCALES:		714516	

ENERGY EFFICIENCY - GENERAL

STATED R VALUES ARE FOR ADDITIONAL INSULATION REQUIRED AND ARE NOT RT VALUES (TOTAL SYSTEM VALUE)

INSULATION TO BE INSTALLED TO MANUFACTURERS SPECIFICATIONS AND ANY RELEVANT STANDARDS

BULK INSULATION IS NOT TO BE COMPRESSED AS THIS REDUCES THE EFFECTIVE R RATING

N.C.C 2022 TAS PART H6

IN TASMANIA, FOR NCC PART H6 REFER TO NCC 2019 AMENDMENT 1 PART 2.6; FOR NCC PART 13.1 REFER TO NCC 2019 PART 3.12

N.C.C 2019 3.12.0 (A)

PERFORMANCE REQUIREMENT P2.6.1 FOR THE THERMAL PERFORMANCE OF THE BUILDING IS SATISFIED BY COMPLYING WITH:

3.12.0.1 - FOR REDUCING THE HEATING AND COOLING LOADS  
TO REDUCE HEATING AND COOLING LOADS MUST ACHIEVE AN ENERGY RATING USING HOUSING ENERGY RATING SOFTWARE OF NOT LESS THAN 6 STARS.

3.12.1.1 - FOR BUILDING FABRIC THERMAL INSULATION  
BUILDER TO ENSURE THAT ALL INSULATION COMPLIES WITH AS/NZS 4859.1 AND BE INSTALLED TO N.C.C 3.12.1.1.

3.12.1.2(e) - FOR COMPENSATING FOR A LOSS OF CEILING INSULATION  
REFER TO ATTACHED THERMAL PERFORMANCE CERTIFICATE  
(i) IF ALLOWANCE HAS BEEN MADE FOR CEILING PENERATIONS IN NATHERS (FIRST RATE 5) CERTIFICATION PROCESS THEN NO FURTHER ACTION REQUIRED.  
(ii) IF NO ALLOWANCE HAS BEEN MADE FOR CEILING PENETRATIONS IN NATHERS (FIRST RATE 5) CERTIFICATION PROCESS THEN CEILING PENETRATION AREA MUST BE CALCULATED AND THE NECESSARY ADJUSTMENT MADE TO THE SPECIFIED INSULATION AS PER TABLE 3.12.1.1B OF NCC

3.12.1.5(c) AND 3.12.1.5(d) - FOR FLOOR EDGE INSULATION  
FOR CONCRETE SLAB ON GROUND WITH IN SLAB HEATING OR COOLING.

3.12.3 - FOR BUILDING SEALING  
3.12.3.1 - CHIMNEYS AND FLUES  
THE CHIMNEY OR FLUE OF AN OPEN SOLID FUEL BURNING APPLIANCE MUST BE PROVIDED WITH A DAMPER OR FLAP THAT CAN BE CLOSED TO SEAL THE CHIMNEY OR FLUE.

3.12.3.2 - ROOF LIGHTS  
(a) A ROOF LIGHT MUST BE SEALED, OR CAPABLE OF BEING SEALED WHEN SERVING:  
(i) A CONDITIONED SPACE; OR  
(ii) A HABITABLE ROOM IN CLIMATE ZONES 4, 5, 6, 7 OR 8  
(b) A ROOF LIGHT REQUIRED BY (a) TO BE SEALED, OR CAPABLE OF BEING SEALED MUST BE CONSTRUCTED WITH:  
(i) AN IMPERFORATE CEILING DIFFUSER OR THE LIKE INSTALLED AT A CEILING OR INTERNAL LINING LEVEL; OR  
(ii) A WATERPROOF SEAL; OR  
(iii) A SHUTTER SYSTEM READILY OPERATED MANUALLY, MECHANICALLY OR ELECTRONICALLY BY THE OCCUPANT.

3.12.3.6 - EVAPORATIVE COOLERS  
AN EVAPORATIVE COOLER MUST BE FITTED WITH A SELF CLOSING DAMPER OR THE LIKE WHEN SERVING:  
(a) A HEATED SPACE; OR  
(b) A HABITABLE ROOM IN CLIMATE ZONES 4, 5, 6, 7 OR 8.

3.12.5.5 - ARTIFICIAL LIGHTING  
(a) LAMP POWER DENSITY OR ILLUMINATION POWER DENSITY OF AN ARTIFICIAL LIGHT, EXCLUDING HEATING THAT EMITS LIGHT, MUST NOT EXCEED THE ALLOWANCE OF:  
(i) 5W/m² IN A CLASS 1 BUILDING  
(ii) 4W/m² ON A VERANDAH, BALCONY OR THE LIKE ATTACHED TO A CLASS 1 BUILDING (NOT EXCLUDING EAVE PERIMETER LIGHTS);  
(iii) 3W/m² IN A CLASS 10A BUILDING ASSOCIATED WITH A CLASS 1 BUILDING.  
(b) THE ILLUMINATION POWER DENSITY ALLOWANCE IN (a) MAY BE INCREASED BY DIVIDING IT BY THE ILLUMINATION POWER DENSITY ADJUSTMENT FACTOR FOR A CONTROL DEVICE AS PER N.C.C TABLE 3.12.5.3.

SUBJECT TO NCC 2022  
(1 MAY 2023)  
WATERPROOFING & PLUMBING  
CONDENSATION MANAGEMENT

PLAN ACCEPTANCE BY OWNER

SIGNATURE:DATE:

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SIGNATURE:DATE:

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PLEASE NOTE THAT VARIATIONS WILL NOT BE ACCEPTED AFTER THIS PLAN ACCEPTANCE HAS BEEN SIGNED

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