



Application for Planning Approval

Land Use Planning and Approvals Act 1993

APPLICATION NO.

DA2025/222

LOCATION OF AFFECTED AREA

7 SHELDUCK DRIVE, OLD BEACH

DESCRIPTION OF DEVELOPMENT PROPOSAL

SINGLE DWELLING

A COPY OF THE DEVELOPMENT APPLICATION MAY BE VIEWED AT www.brighton.tas.gov.au AND AT THE COUNCIL OFFICES, 1 TIVOLI ROAD, OLD BEACH, BETWEEN 8:15 A.M. AND 4:45 P.M, MONDAY TO FRIDAY OR VIA THE QR CODE BELOW. ANY PERSON MAY MAKE WRITTEN REPRESENTATIONS IN ACCORDANCE WITH S.57(5) OF THE LAND USE PLANNING AND APPROVALS ACT 1993 CONCERNING THIS APPLICATION UNTIL 4:45 P.M. ON **29/01/2026**. ADDRESSED TO THE CHIEF EXECUTIVE OFFICER AT 1 TIVOLI ROAD, OLD BEACH, 7017 OR BY EMAIL AT development@brighton.tas.gov.au. REPRESENTATIONS SHOULD INCLUDE A DAYTIME TELEPHONE NUMBER TO ALLOW COUNCIL OFFICERS TO DISCUSS, IF NECESSARY, ANY MATTERS RAISED.

JAMES DRYBURGH
Chief Executive Officer



Brighton
going places

DA

TASMANIAN PLANNING SCHEME

SHEET INDEX

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TOTAL FLOOR AREAS

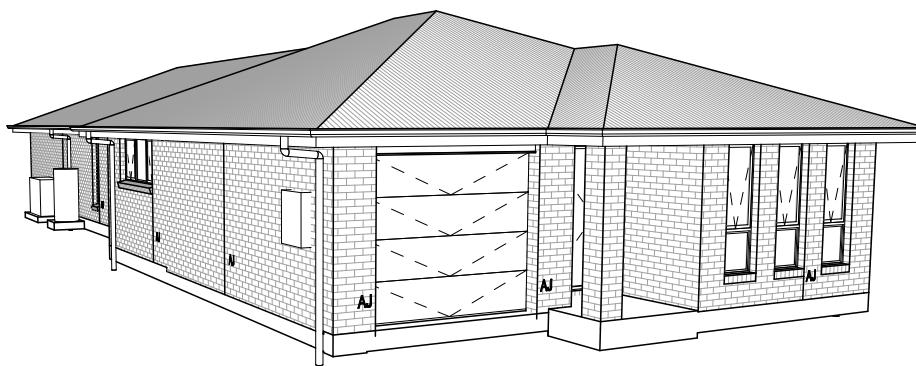
MAIN DWELLING, GROUND FLOOR

ALFRESCO	12.60
GARAGE	21.59
LIVING	162.72
PORCH	2.59
199.51 m²	

AS & NCC COMPLIANCE

- ALL CONSTRUCTION TO BE IN ACCORDANCE WITH NCC 2022 AND APPLICABLE AUSTRALIAN STANDARDS AT TIME OF APPROVAL.
- SLAB IN ACCORDANCE WITH AS 2870. REFER TO ENGINEERS DETAILS FOR ALL SLAB DETAILS.
 - BRICK CONTROL JOINTS PROVIDED IN ACCORDANCE WITH NCC 2022.
 - ALL STEEL FRAMING TO BE DESIGNED TO AS 4100-2020 OR AS/NZS 4600-2018.
 - INSULATION TO BE INSTALLED IN ACCORDANCE WITH NCC 2022 AND ALL APPLICABLE AUSTRALIAN STANDARDS.
 - TERMITE PROTECTION IN ACCORDANCE WITH AS 3660 AND NCC 2022.
 - GLAZING IN ACCORDANCE WITH AS 1288 AND NCC 2022.
 - SMOKE ALARMS IN ACCORDANCE WITH AS 3786 AND NCC 2022.
 - INTERNAL WATERPROOFING IN ACCORDANCE WITH NCC 2022 HOUSING PROVISIONS PART 10.2.
 - EXTERNAL WATERPROOFING IN ACCORDANCE WITH AS 3740 AND AS 4654.
 - WET AREA FLOORS TO FALL TO FLOOR WASTES AT MIN. 1:80 AND MAX. 1:50 GRADE (IF APPLICABLE).
 - CONDENSATION MANAGEMENT IN ACCORDANCE WITH NCC 2022 HOUSING PROVISIONS PART 10.8.
 - BUILDING SEALING IN ACCORDANCE WITH NCC 2022.
 - SERVICES IN ACCORDANCE WITH NCC 2022.
 - EARTHWORKS IN ACCORDANCE WITH AS 3798-2007.
 - EXTERNAL WALL WRAP (SARKING) IN ACCORDANCE WITH NCC 2022 (IF APPLICABLE).
 - EXHAUST FANS DUCTED TO OUTSIDE AIR (IF APPLICABLE).

3D PERSPECTIVE



BUILDING INFORMATION

GROUND FLOOR TOP OF WALL HEIGHT(S)	2445mm
NOTE: CEILING HEIGHT 45mm LOWER THAN TOP OF WALL	
ROOF PITCH (U.N.O.)	23.0°
ELECTRICITY SUPPLY	SINGLE PHASE
GAS SUPPLY	NONE
ROOF MATERIAL	SHEET METAL
ROOF COLOUR	N/A
WALL MATERIAL	BRICK VENEER
SLAB CLASSIFICATION	TBC

INSULATION

ROOF	SARKING UNDER ROOFING
CEILING	R4.1 BATTs (EXCL. GARAGE & ALFRESCO)
EXT. WALLS	R2.0 BATTs (EXCL. GARAGE)
	WALL WRAP TO ENTIRE HOUSE
INT. WALLS	R2.0 BATTs ADJACENT TO GARAGE AND AS PER PLAN
FLOOR	BIAX SLAB R0.60

NCC 2022 LIVABLE HOUSING COMPLIANCE

ACCESSIBLE SANITARY COMPARTMENT: WC
ACCESSIBLE SHOWER LOCATION: BATH

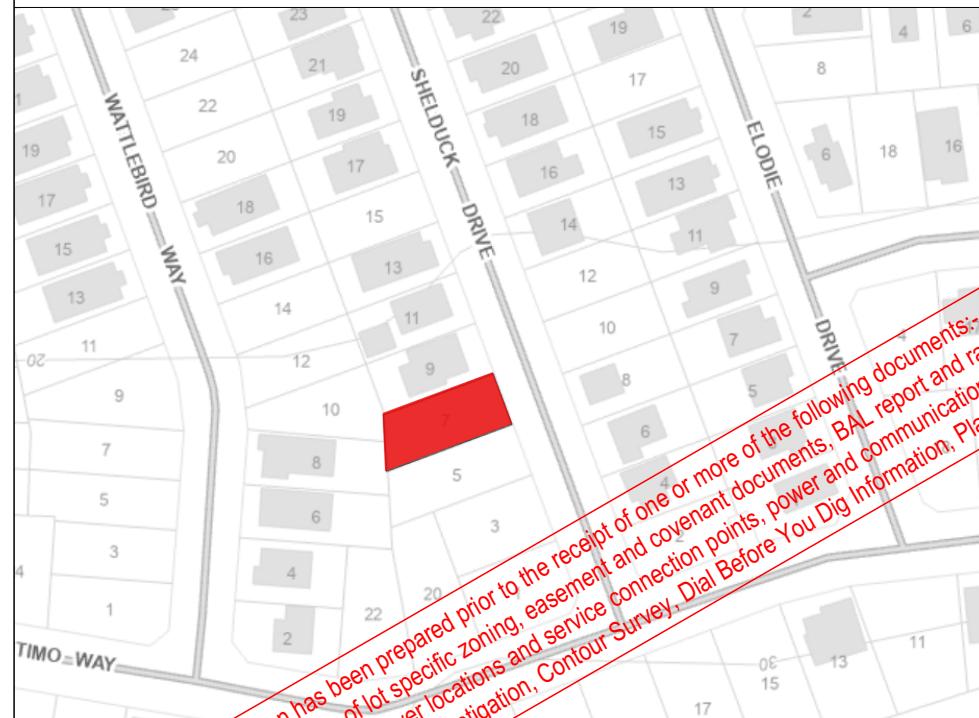
GENERAL NOTES:

- THRESHOLD OF ACCESSIBLE SHOWER ENTRY TO BE MAX. 5MM
- 1 EXTERIOR DOOR NOMINATED AS 870 OR GREATER TO ACHIEVE MIN 820MM CLEAR OPENING
- REFER TO APPLICABLE WET AREA PLANS AND INTERIOR ELEVATIONS OR LOCATIONS OF REQUIRED WALL REINFORCEMENT FOR FUTURE GRAB RAIL INSTALLATION.

NOTE TO OWNER

THESE PLANS MAY FEATURE WORKS THAT ARE EXCLUDED FROM THE SCOPE OF WORKS WITH THE BUILDER, BUT THEY HAVE BEEN INCLUDED IN THESE DRAWINGS TO ASSIST IN THE OVERALL PLANNING AND ASSESSMENT OF THE BUILDING PROJECT. EXAMPLES OF SOME REGULARLY EXCLUDED WORKS INCLUDE DRIVEWAYS, RETAINING WALLS, SOLAR PANEL SPACING AND SITE DRAINAGE. PLEASE REFER TO YOUR SCOPE OF WORKS AND COLOUR SELECTIONS DOCUMENTATION FOR DETAILS OF INCLUDED WORKS. SOME DETAILS ARE INDICATIVE ONLY FOR EXAMPLE FLOORING, TILING, BRICKWORK AND CLADDING (EXPANSION JOINTS, ORIENTATION AND LAYOUT) AND ARE SUBJECT TO CHANGE.

LOCATION MAP



THE OWNERS ACKNOWLEDGE THAT THESE CONTRACT PLANS MAY NOT REFLECT ALL THE SELECTIONS THAT HAVE BEEN MADE OR CHANGES REQUESTED. THE OWNERS AGREE THAT FOLLOWING THE COLOUR SELECTIONS VARIATION OR UPDATING OF PLANS, THEY WILL BE PROVIDED WITH CONSTRUCTION PLANS FOR SIGNATURE PRIOR TO COMMENCEMENT OF CONSTRUCTION.

SIGNATURE:

DATE:

SUBJECT TO NCC 2022

(1 MAY 2023)
WATERPROOFING & PLUMBING
CONDENSATION MANAGEMENT

PLAN ACCEPTANCE BY OWNER

SIGNATURE: DATE:

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PRELIMINARY PLAN SET

5	PRELIMINARY PLAN SET - INITIAL ISSUE	ALL	2025.12.12	LTR	-
No.	AMENDMENT	SHEET	DATE	DRAWN	CHECK

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DISCOVERY	1 CP1	HMI 04/11/2025	ANGEL GEORGE & BASKARAN PERUMAL	ARGYLE 19	H-WDNAGY10SA	
COPYRIGHT:	2 CP1 AMENDMENT	JII 10/11/2025	ADDRESS:	FACADE DESIGN:	FACADE CODE:	
© 2025	3 CP2	HMI 26/11/2025	7 SHELDUCK DR, OLD BEACH TAS 7017	CLASSIC	F-WDNAGY10CLASA	
	4 CP2 - UPDATE	HMI 09/12/2025	LOT / SECTION / CT:	COUNCIL:	SHEET TITLE:	SCALES:
	5 PRELIM PLANS - INITIAL ISSUE	LTR 12/12/2025	444 / - / 186023	BRIGHTON	COVER SHEET	1 / 19
						714516

REFER TO SHEET 1 (COVER SHEET) FOR
ALL BUILDING INFORMATION REGARDING:
- SUSTAINABILITY REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

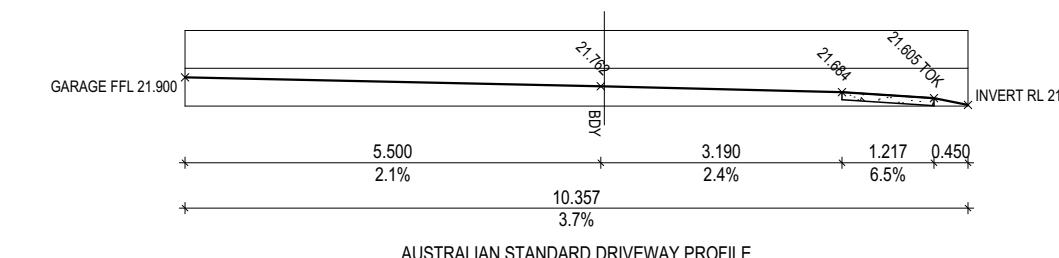
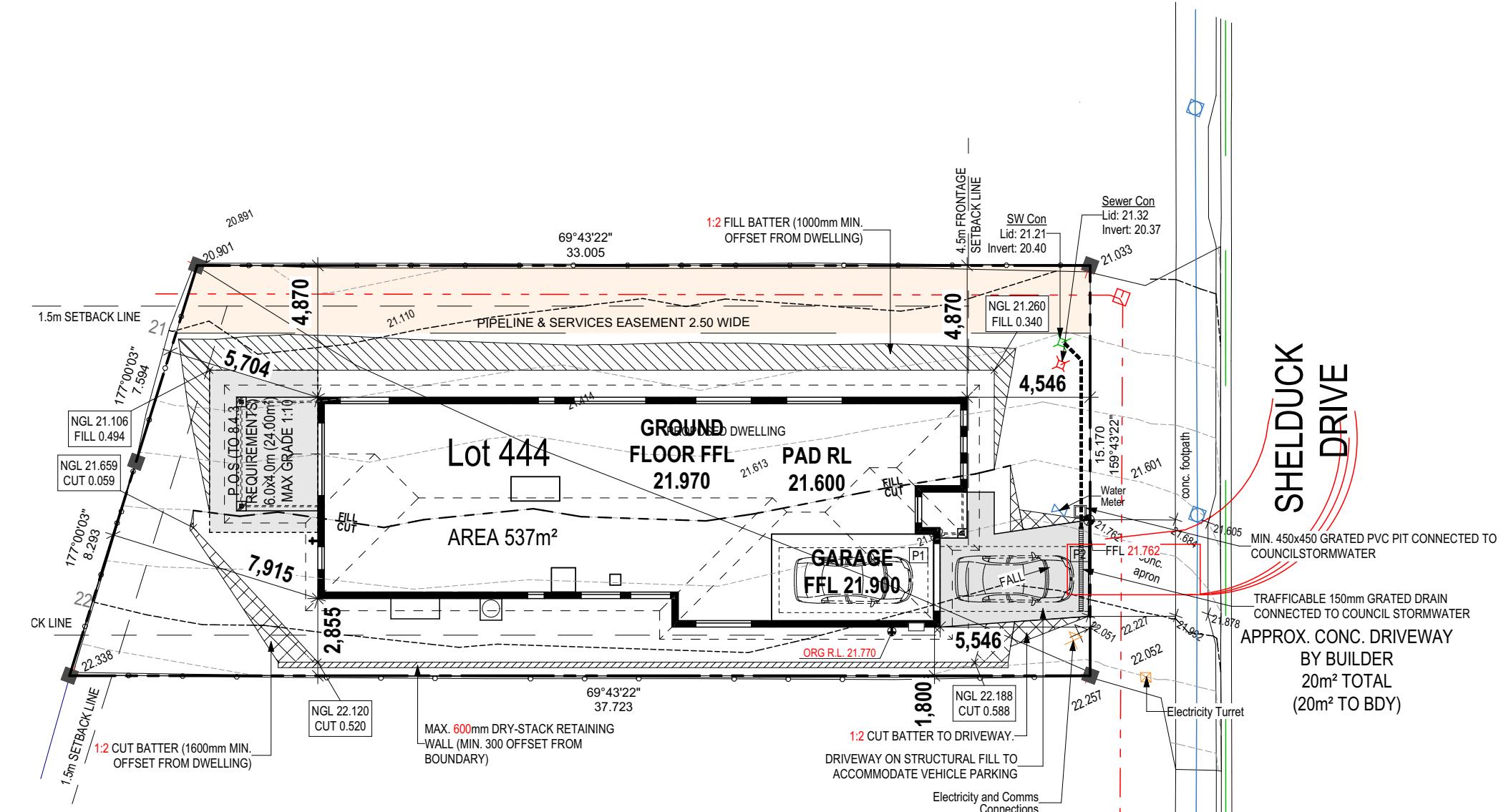
DRY STACK WALLS <1m HIGH:
ISLAND BLOCK & PAVING FREESTONE
ECO RETAINING WALL INSTALLATION TO
MANUFACTURER'S SPECIFICATION AND
DETAILS

APPROX. CUT/FILL

CUT	38.70m ³	87.08t
FILL	40.18m ³	90.41t
DIFFERENCE	1.48m ³	3.33t

EVEN CUT & FILL

LOT SIZE:	537m ²
HOUSE (COVERED AREA):	199.51m ²
SITE COVERAGE:	37.22%



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(1 MAY 2023)
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	5 PRELIM PLANS - INITIAL ISSUE	LTR 12/12/2025	444 / - / 186023	BRIGHTON	2 / 19	1:200
				SITE PLAN		714516

ALL VEGETATION OUTSIDE THE BUILDING
ZONE WILL BE MAINTAINED.

OWNER TO STABILISE THE SITE ON
COMPLETION OF THE BUILD WITH TURF
LAWNS, GRASS SEEDS, NATIVE GROUND
COVERS AND/ OR MULCH SPREAD TO A
DEPTH OF 75-100mm

THE FOLLOWING IS A STANDARD APPROACH. SEDIMENT AND EROSION CONTROL MEASURES WILL BE REVIEWED PRIOR TO COMMENCING WORK AND INSTALLED BASED ON THE OUTCOME OF THAT REVIEW

NOTES:

1. ALL EROSION AND SEDIMENT CONTROL STRUCTURES TO BE INSPECTED EACH WORKING DAY AND MAINTAINED IN GOOD WORKING ORDER.
2. ALL GROUND COVER VEGETATION OUTSIDE THE IMMEDIATE BUILDING AREA TO BE PRESERVED DURING THE BUILDING PHASE.
3. ALL EROSION AND SEDIMENT CONTROL MEASURES TO BE INSTALLED PRIOR TO COMMENCEMENT OF MAJOR EARTHWORKS.
4. STOCKPILES OF CLAYEY MATERIAL TO BE COVERED WITH AN IMPERVIOUS SHEET.
5. ROOF WATER DOWNPIPES TO BE CONNECTED TO THE PERMANENT UNDERGROUND STORMWATER DRAINAGE SYSTEM AS SOON AS PRACTICAL AFTER THE ROOF IS LAID.
6. DIVERSION DRAINS ARE TO BE CONNECTED TO A LEGAL DISCHARGE POINT (COUNCIL STORMWATER SYSTEM, WATERCOURSE OR ROAD DRAIN).
7. SEDIMENT RETENTION TRAPS INSTALLED AROUND THE INLETS TO THE STORMWATER SYSTEM TO PREVENT SEDIMENT & OTHER DEBRIS BLOCKING THE DRAINS.

**SUBJECT TO NCC 2022
(1 MAY 2023)
TERPROOFING & PLUMBING
INDENSATION MANAGEMENT**

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50 x 25 x 1000
STAKE OR
STAR PICKET

600

150

MEMBRANE TO BE BIDIM U24
OR APPROVED EQUIVALENT

BURY APPROXIMATELY 150mm
OF MEMBRANE AND TEMPORARILY
BACKFILL TO RESTORE PRIOR
NATURAL SURFACE LEVEL

NATURAL SURFACE
DOWNHILL OF MEMBRANE
NOT TO BE DISTURBED

SILT FENCING DETAIL

The diagram illustrates a 'SANDBAG KERB INLET SEDIMENTATION TRAP'. It shows a kerb with three layers of overlapping sandbags. A gap between the sandbags acts as a spillway for runoff. An arrow points to the runoff path, and another arrow indicates the direction of sand accumulation within the trap.

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The logo for Wilson Homes. It features a large, stylized orange 'W' on the left, followed by the word 'WILSON' in a dark grey, sans-serif font, and 'HOMES' in a smaller, dark grey, sans-serif font below it.

REFER TO SHEET 1 (COVER SHEET) FOR
ALL BUILDING INFORMATION REGARDING
- SUSTAINABILITY REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

ALL MECHANICAL VENTILATION TO BE
DISCHARGED TO OUTDOOR AIR AS PER
NCC 2022 REQUIREMENTS

**FIRE RESISTANT PLASTERBOARD TO BE
INSTALLED BEHIND COOKTOP**

ALL GROUND FLOOR BULKHEAD AND
SQUARE SET OPENING FRAMES TO BE
2155 ABOVE FFL UNLESS NOTED
OTHERWISE

ALL GROUND FLOOR INTERNAL DOORS TO BE 2040 HIGH UNLESS NOTED OTHERWISE

REFER TO WINDOW AND DOOR SCHEDULES FOR FULL DETAILS OF ALL WINDOWS AND DOORS. PLEASE NOTE WINDOW AND DOOR SIZES ARE BASED ON MANUFACTURERS SPECIFICATIONS AT DEPOSIT STAGE AND MAY DIFFER SLIGHTLY TO THE SIZES NOMINATED IN THE SCOPE OF WORKS DUE TO MANUFACTURING CHANGES AT THE TIME OF CONSTRUCTION.

FINAL WINDOW AND EXTERIOR DOOR LOCATIONS MAY BE ADJUSTED ON SITE TO SUIT BRICKWORK GAUGE

UNLESS NOTED OTHERWISE
ALL ROOMS ARE REFERENCED
AS FOLLOWS:

Architectural floor plan of a house with various rooms and dimensions. The plan includes a Kitchen/Dining area, Living room, Alfresco, WIP, Bath, Laundry, and multiple bedrooms (Bed 1, Bed 4, Bed 3, Bed 2). It also shows a Garage, Entry, and a rear section with a Leisure room and a Garage. The plan includes detailed dimensions, room labels, and various annotations like 'EDGE OF RAISED CEILING', 'PROVIDE CONDUIT TO ISLAND BENCH', and 'SUBJECT TO FINAL TRUSS LAYOUT'.

Key dimensions and labels include:

- Overall width: 3,000 mm
- Overall depth: 7,445 mm
- Rooms: KITCHEN / DINING, LIVING, ALFRESCO, DING, KITCHEN, WIP, BATH, LDRY, BED 1, BED 4, BED 3, BED 2, ENTRY, PORCH, GARAGE, LEISURE.
- Annotations: EDGE OF RAISED CEILING, PROVIDE CONDUIT TO ISLAND BENCH, SUBJECT TO FINAL TRUSS LAYOUT.
- Notes: 350 x 350mm BRICK PIER WITH FACE BRICK FINISH AND TIMBER POST TO CORE, BEAMS OVER TO MANUF. SPECS, 70mm SETDOWN, 190mm BELOW FFL.

PROVIDE AND INSTALL SINGLE PHASE REVERSE CYCLE AIR CONDITIONING SYSTEM. NUMBER AND POSITIONING OF OUTLETS AND THE FINAL LOCATION OF THE RETURN AIR GRILLE WILL BE DETERMINED ON SITE BY THE AIR CONDITIONING CONTRACTOR AND IS SUBJECT TO TRUSS LAYOUT AND ANY OTHER CONSTRUCTION CONSTRAINTS.

FRAME MANUFACTURER TO PROVIDE CLEARANCE FOR
PASSAGE OF FAN COIL UNIT FROM RETURN AIR OPENING TO
FINAL FAN COIL LOCATION.

ANY PART OF THE FASCIA, GUTTERING OR DOWNPipe THAT IS WITHIN 450mm OF ANY BOUNDARY IS TO BE NON-COMBUSTIBLE IN ACCORDANCE WITH NCC 2022

ALL EXTERIOR SLABS TO BE GRADED BY CONCRETER TO
ACHIEVE APPROX. 1:100 FALL TO OUTSIDE EDGE WITH
MAXIMUM CROSSFALL OF 30mm OVER ENTIRE SLAB.

Last Published: Friday December 12 2025 1:37 PM

LEGEND	
HS / WS	HOB SPOUT / WALL SPOUT
	FACE BRICK / COMMON BRICK
	HEBEL
	SOUND INSULATION
AJ	BRICK ARTICULATION JOINT
	STANDARD DOWNPipe
	CHARGED DOWNPipe
	EXHAUST FAN
L.B.W	LOAD BEARING WALL
	THIS DOOR OPENS FIRST
	INTERCONNECTED SMOKE ALARM
# UC	LIFT OFF HINGE / UNDERCUT
	WATER POINT
WP	FRIDGE WATER POINT
	GAS BAYONET

**SUBJECT TO NCC 2022
(1 MAY 2023)**
WATERPROOFING & PLUMBING
CONDENSATION MANAGEMENT

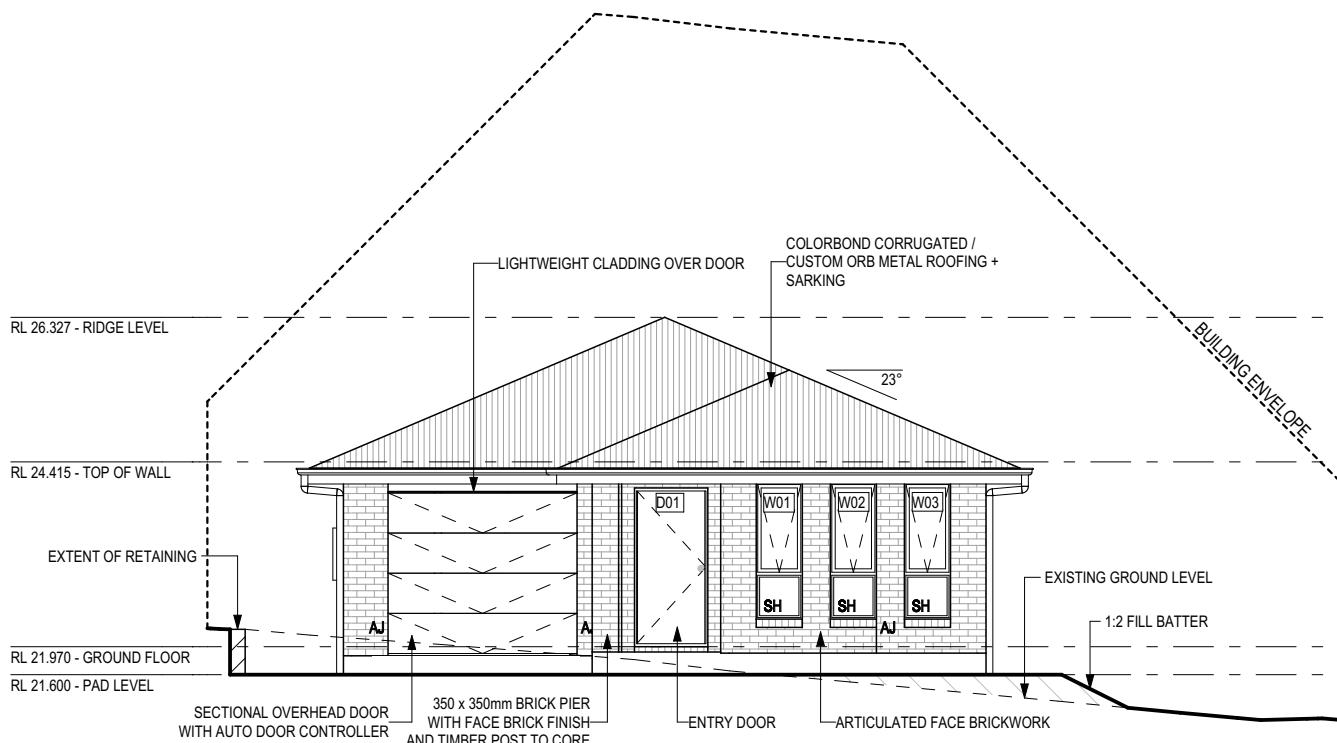
PLAN ACCEPTANCE BY OWNER	
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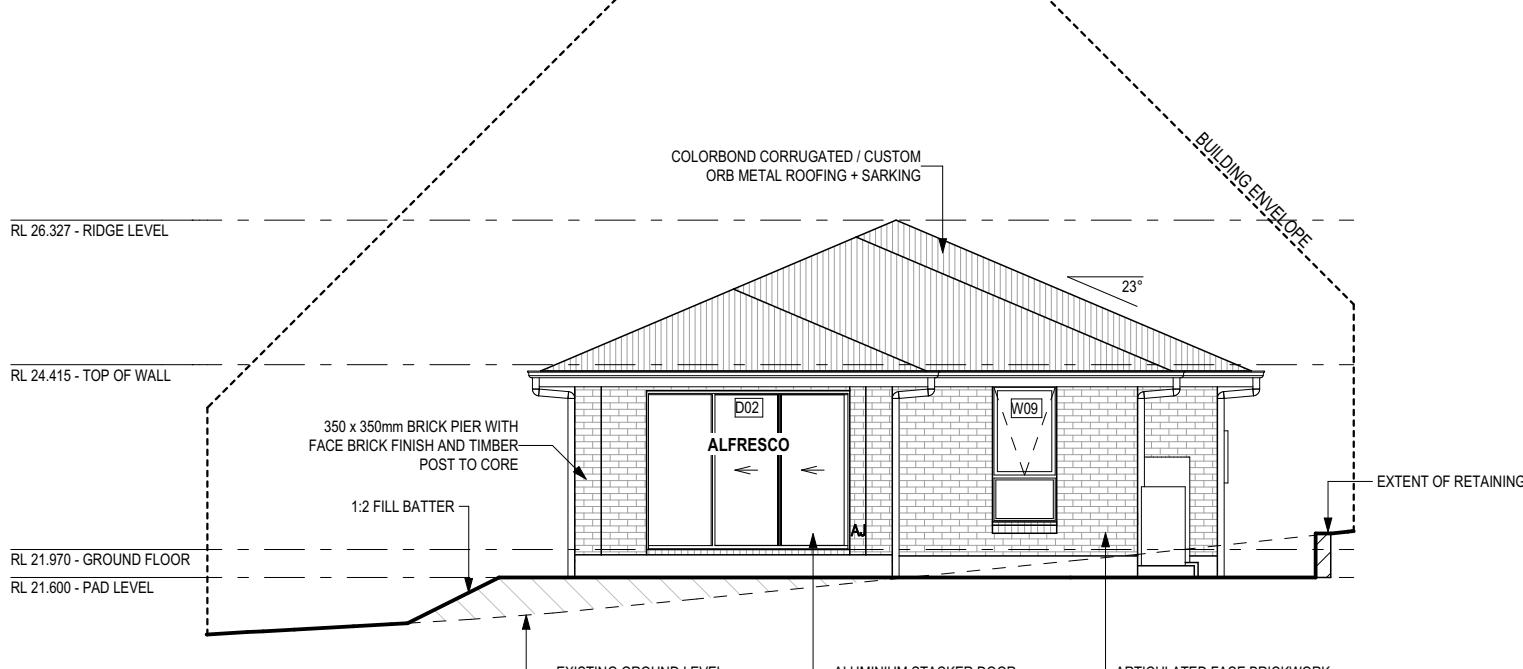
ALL DIMENSIONS ARE FRAME DIMENSIONS

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COPYRIGHT: © 2025	2 CP1 AMENDMENT	JII	10/11/2025	ADDRESS: 7 SHELDUCK DR, OLD BEACH TAS 7017	FAÇADE DESIGN: CLASSIC	FAÇADE CODE: F-WDNAGY10CLASA		
	3 CP2	HMI	26/11/2025					
	4 CP2 - UPDATE	HMI	09/12/2025					
	5 PRELIM PLANS - INITIAL ISSUE	LTR	12/12/2025	LOT / SECTION / CT: 444 / - / 186023	COUNCIL: BRIGHTON	SHEET TITLE: GROUND FLOOR PLAN	SHEET No.: 4 / 19 SCALES: 1:100	714516



EAST ELEVATION
SCALE: 1:100



WEST ELEVATION
SCALE: 1:100

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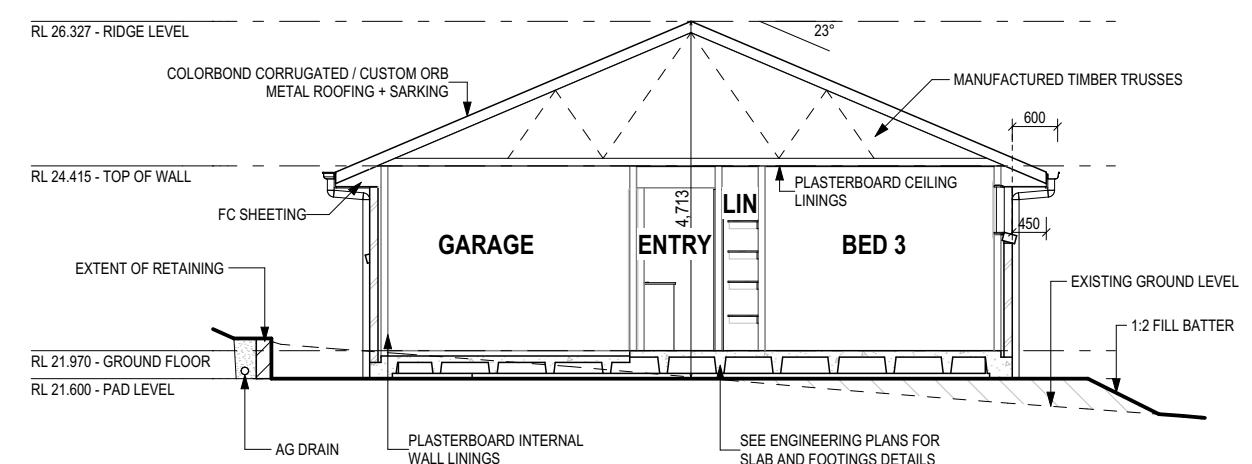
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SH = SNAP HEADER SILL

BEDROOM WINDOW OPENINGS ABOVE 2m OFF THE SURFACE
BENEATH TO BE RESTRICTED AS REQUIRED BY NCC 11.3.7 (VOLUME TWO)

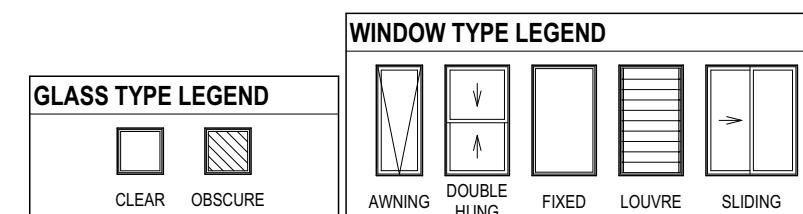
ROOMS OTHER THAN BEDROOM
WINDOW OPENINGS ABOVE 4m OFF THE SURFACE BENEATH TO BE RESTRICTED AS REQUIRED BY NCC 11.3.7 (VOLUME TWO)

REFER TO THE FOLLOWING DETAILS:
BRICK COURSING W-BRIC-001



SECTION A-A
SCALE: 1:100

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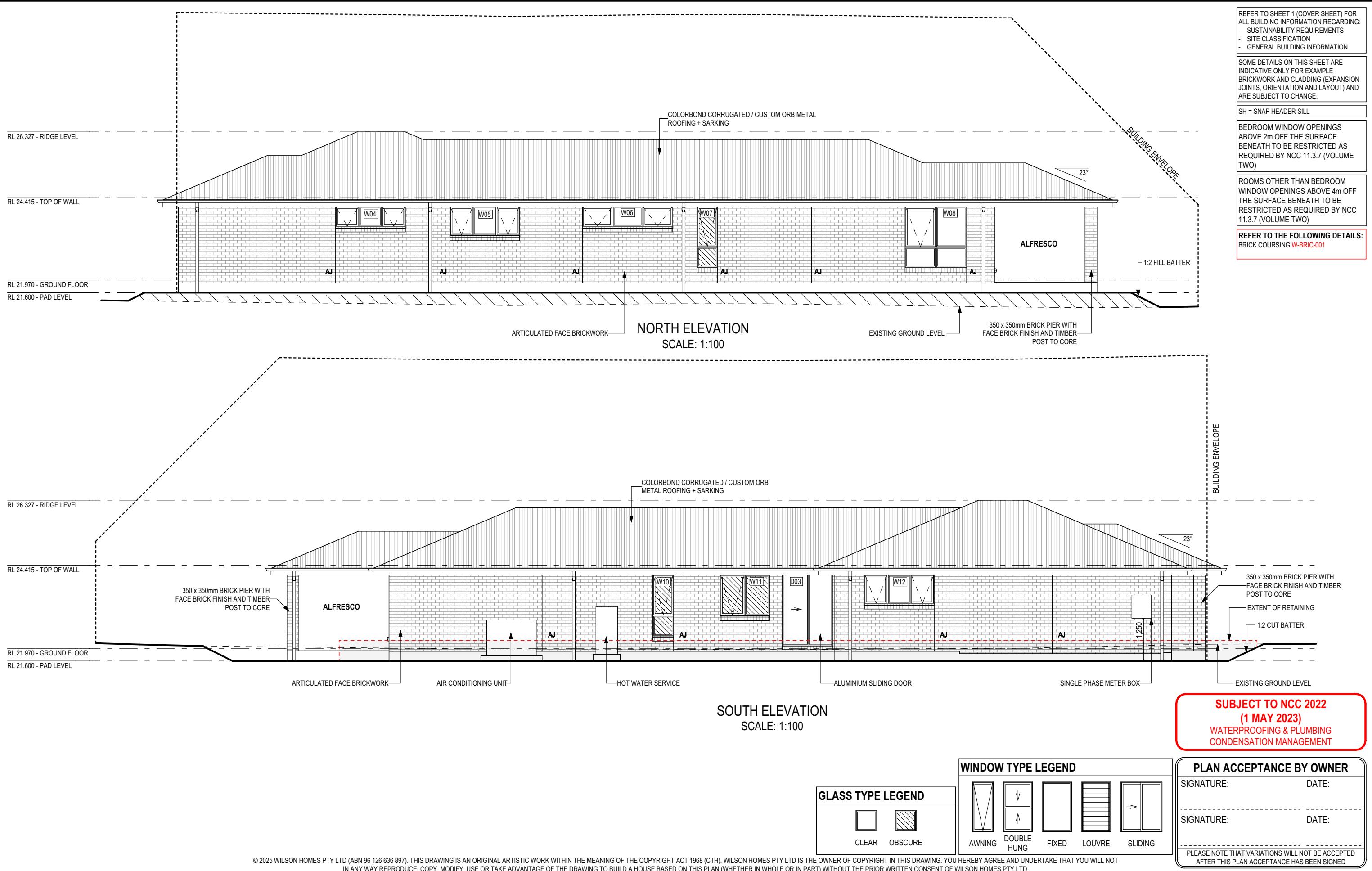


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	5 PRELIM PLANS - INITIAL ISSUE	LTR 12/12/2025				



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EXTERIOR WINDOW & DOOR SCHEDULE 1,2 ASSUME LOOKING FROM OUTSIDE

STOREY	ID	CODE ¹	TYPE	ROOM	HEIGHT	WIDTH	PERIMETER	AREA (m ²)	FRAME TYPE	BAL RATING	SILL TYPE	ORIENT.	GLAZING AREA (m ²)	GLAZING TYPE (SINGLE GLAZING U.N.O.)	ADDITIONAL INFORMATION ²
WINDOW															
GROUND FLOOR	W01	A/F1806	AWNING	BED 2	1,800	610	4,820	1.10	ALUMINIUM	BAL-LOW	SNAP HEADER	E	0.80	CLEAR, DOUBLE GLAZED	BP 600
GROUND FLOOR	W02	A/F1806	AWNING	BED 2	1,800	610	4,820	1.10	ALUMINIUM	BAL-LOW	SNAP HEADER	E	0.80	CLEAR, DOUBLE GLAZED	BP 600
GROUND FLOOR	W03	A/F1806	AWNING	BED 2	1,800	610	4,820	1.10	ALUMINIUM	BAL-LOW	SNAP HEADER	E	0.80	CLEAR, DOUBLE GLAZED	BP 600
GROUND FLOOR	W04	AFA0621	AWNING	BED 3	600	2,050	5,300	1.23	ALUMINIUM	BAL-LOW	ANGLED	N	0.85	CLEAR, DOUBLE GLAZED	MP 683-683
GROUND FLOOR	W05	AFA0921	AWNING	BED 4	857	2,050	5,814	1.76	ALUMINIUM	BAL-LOW	ANGLED	N	1.29	CLEAR, DOUBLE GLAZED	MP 683-683
GROUND FLOOR	W06	AFA0627	AWNING	BED 1	600	2,650	6,500	1.59	ALUMINIUM	BAL-LOW	ANGLED	N	1.14	CLEAR, DOUBLE GLAZED	MP 883-883
GROUND FLOOR	W07	A/F1806	AWNING	ENS	1,800	610	4,820	1.10	ALUMINIUM	BAL-LOW	ANGLED	N	0.80	OBSCURE, DOUBLE GLAZED, TOUGHENED	BP 600
GROUND FLOOR	W08	AF/FF1818	AWNING	DINING	1,800	1,810	7,220	3.26	ALUMINIUM	BAL-LOW	ANGLED	N	2.65	CLEAR, DOUBLE GLAZED	BP 600, MP 905/905
GROUND FLOOR	W09	A/F1809	AWNING	KITCHEN	1,800	850	5,300	1.53	ALUMINIUM	BAL-LOW	ANGLED	W	1.19	CLEAR, DOUBLE GLAZED	BP 600
GROUND FLOOR	W10	A/F1806	AWNING	WC	1,800	610	4,820	1.10	ALUMINIUM	BAL-LOW	ANGLED	S	0.80	OBSCURE, DOUBLE GLAZED	BP 600
GROUND FLOOR	W11	AF1215	AWNING	BATH	1,200	1,450	5,300	1.74	ALUMINIUM	BAL-LOW	ANGLED	S	1.38	OBSCURE, DOUBLE GLAZED, TOUGHENED	MP 725
GROUND FLOOR	W12	AFA0921	AWNING	LEISURE	857	2,050	5,814	1.76	ALUMINIUM	BAL-LOW	ANGLED	S	1.29	CLEAR, DOUBLE GLAZED	MP 683-683
								65,348 mm		18.35			13.80		
DOOR															
GROUND FLOOR	D01	HD2110L	SWINGING	ENTRY	2,100	970	6,140	2.04	ALUMINIUM	BAL-LOW	SNAP HEADER	E	1.41	N/A	
GROUND FLOOR	D02	FSS2127	STACKER	DINING	2,100	2,688	9,576	5.64	ALUMINIUM	BAL-LOW	SNAP HEADER	W	4.96	CLEAR, DOUBLE GLAZED, TOUGHENED	
GROUND FLOOR	D03	SF2115	SLIDING	LDRY	2,158	1,470	7,256	3.17	ALUMINIUM	BAL-LOW	SNAP HEADER	S	2.71	CLEAR, DOUBLE GLAZED, TOUGHENED	
								22,972 mm	10.85				9.07		
								88,320 mm	29.21				22.87		

Window Manufacturer: Dowell Windows

No BAL / BAL 12.5	WERS Code	U Value	SHGC
Window Type			
Sliding Window	DOW-022-003	2.9	0.64
Awning Window	DOW-005-001	3.9	0.58
Fixed External Window	DOW-038-001	3.03	0.71
Sliding Door	DAR-034-001	3.97	0.63
Stacking Door	DAR-034-001	3.97	0.63
Hinged Door	DOW-017-001	4.1	0.55
Bi-Fold Door	DOW-020-001	4.1	0.54
BAL 19	WERS Code	U Value	SHGC
Window Type			
Sliding Window	TND-034-001	3.1	0.61
Awning Window	STG-001-066	3.91	0.54
Fixed External Window	DOW-038-005	3.02	0.66
Sliding Door	AUW-009-009	4.03	0.58
Stacking Door	AUW-009-009	4.03	0.58
Hinged Door	GRN-009-001	4.25	0.53
Bi-Fold Door	DOW-020-001	4.1	0.54
BAL 29	WERS Code	U Value	SHGC
Window Type			
Sliding Window	TND-034-001	3.1	0.61
Awning Window	STG-001-066	3.91	0.54
Fixed External Window	DOW-038-005	3.02	0.66
Sliding Door	AMJ-007-005	4.03	0.59
Stacking Door	AMJ-007-005	4.03	0.59
Hinged Door	GRN-009-001	4.29	0.53

NOTE:

Windows supplied MUST HAVE Uw better and or equal to stated figures and SHGC within +/- 5% of stated figures. Restricted windows to have their openability restricted as per N.C.C 11.3.6.

SUBJECT TO NCC 2022
(1 MAY 2023)
**WATERPROOFING & PLUMBING
CONDENSATION MANAGEMENT**
PLAN ACCEPTANCE BY OWNER
SIGNATURE: DATE:
SIGNATURE: DATE:
**PLEASE NOTE THAT VARIATIONS WILL NOT BE ACCEPTED
AFTER THIS PLAN ACCEPTANCE HAS BEEN SIGNED**
INTERIOR WINDOW & DOOR SCHEDULE

STOREY	QTY	CODE	TYPE	HEIGHT	WIDTH	GLAZING TYPE	ADDITIONAL INFORMATION
DOOR							
GROUND FLOOR	4	1040 SS	SQUARE SET OPENING	2,155	1,040	N/A	
GROUND FLOOR	3	2 x 620	SWINGING	2,040	1,240	N/A	
GROUND FLOOR	1	2 x 820	SWINGING	2,040	1,640	N/A	
GROUND FLOOR	1	4 x 2040x820	ROBEMAKER SLIDING	2,040	3,260	N/A	
GROUND FLOOR	1	820	SWINGING	2,040	820	N/A	LIFT-OFF HINGES
GROUND FLOOR	7	870	SWINGING	2,040	870	N/A	
GROUND FLOOR	1	870 CSD	CAVITY SLIDING	2,040	870	N/A	
GROUND FLOOR	1	900 SS	SQUARE SET OPENING	2,155	900	N/A	

**REFER TO SHEET 1 (COVER SHEET) FOR
ALL BUILDING INFORMATION REGARDING:
- SUSTAINABILITY REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION**
NOTE: INTERNAL DOORS TO WET AREAS WITH MECHANICAL VENTILATION TO BE UNDERCUT 20mm

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SPECIFICATION: DISCOVERY	REVISION 1 CP1	DRAWN HMI 04/11/2025	CLIENT: ANGEL GEORGE & BASKARAN PERUMAL			HOUSE DESIGN: ARGYLE 19	HOUSE CODE: H-WDNAGY10SA	DO NOT SCALE DRAWINGS, USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.
			ADDRESS: 7 SHELDUCK DR, OLD BEACH TAS 7017	FACADE DESIGN: CLASSIC	COUNCIL: BRIGHTON			
	2 CP1 AMENDMENT	JII 10/11/2025						
	3 CP2	HMI 26/11/2025	LOT / SECTION / CT: 444 / - / 186023	COUNCIL: BRIGHTON				
	4 CP2 - UPDATE	HMI 09/12/2025						
	5 PRELIM PLANS - INITIAL ISSUE	LTR 12/12/2025						

NATURAL LIGHT AND VENTILATION

ROOM	AREA (m ²)	WINDOW ID	LIGHT REQUIRED (m ²)	LIGHT ACHIEVED (m ²)	VENTILATION REQ'D (m ²)	VENTILATION ACH'D (m ²)
OPEN KITCHEN/ LIVING/ DINING	42.89 m ²	W08, W09, D02	4.29 m ²	8.80 m ²	2.14 m ²	5.53 m ²
BED 1	14.49 m ²	W06	1.45 m ²	1.14 m ²	0.72 m ²	0.94 m ²
BED 2	10.29 m ²	W01, W02, W03	1.03 m ²	2.40 m ²	0.51 m ²	1.98 m ²
BED 3	10.89 m ²	W04	1.09 m ²	0.85 m ²	0.54 m ²	0.72 m ²
BED 4	11.89 m ²	W05	1.19 m ²	1.29 m ²	0.59 m ²	1.06 m ²
LEISURE	11.04 m ²	W12	1.10 m ²	1.29 m ²	0.55 m ²	1.06 m ²

PART 10.5.1 LIGHT: Minimum 10% of the floor area of a habitable room required (natural light)

PART 10.6 VENTILATION: Minimum 5% of the floor area of a habitable room required. (An exhaust fan may be used for sanitary compartment, laundry or bathroom provided contaminated air discharges directly to the outside of the building by way of ducts).

**SUBJECT TO NCC 2022
(1 MAY 2023)**
WATERPROOFING & PLUMBING
CONDENSATION MANAGEMENT

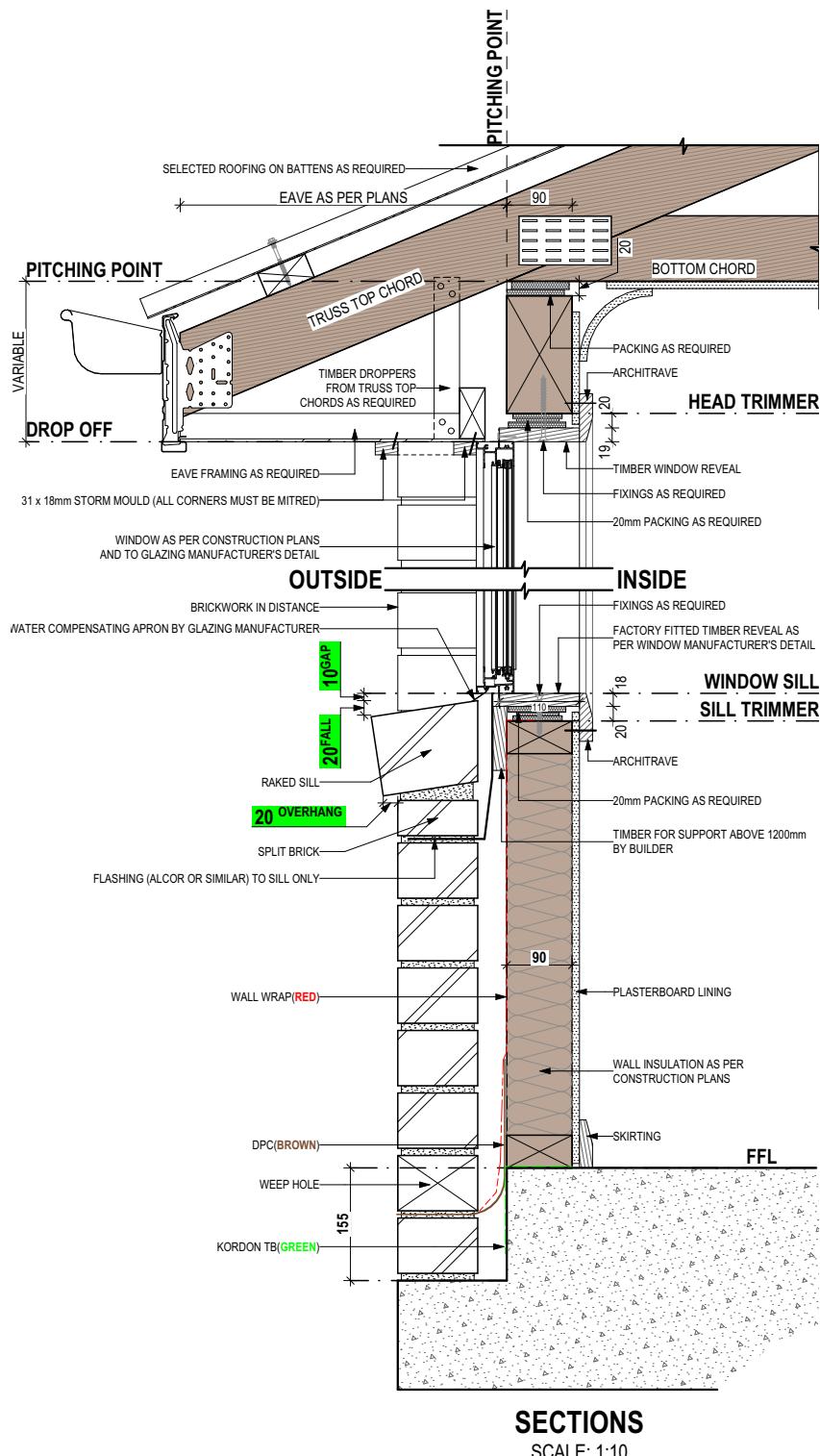
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SIGNATURE:	DATE:
PLEASE NOTE THAT VARIATIONS WILL NOT BE ACCEPTED AFTER THIS PLAN ACCEPTANCE HAS BEEN SIGNED	

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	1 CP1	HMI 04/11/2025	ADDRESS: 7 SHELDUCK DR, OLD BEACH TAS 7017	FACADE DESIGN: CLASSIC	FACADE CODE: F-WDNAGY10CLASA	
	2 CP1 AMENDMENT	JII 10/11/2025				
	3 CP2	HMI 26/11/2025				
	4 CP2 - UPDATE	HMI 09/12/2025	LOT / SECTION / CT: 444 / - / 186023	COUNCIL: BRIGHTON	SHEET TITLE: CALCULATIONS	SCALES: 8 / 19
	5 PRELIM PLANS - INITIAL ISSUE	LTR 12/12/2025				714516

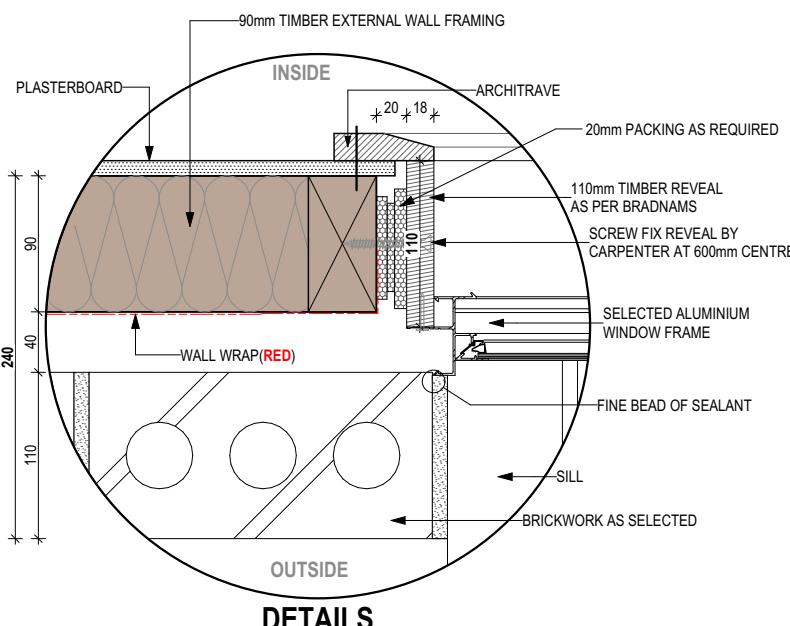


REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:
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STANDARD BRICK										STANDARD BRICK									
BRICKWORK DIMENSIONS Bricks per m ² in wall = 48.5 approx.					all dimensions in mm					BRICKWORK DIMENSIONS Bricks per m ² in wall = 48.5 approx.					all dimensions in mm				
FORMAT SIZE: 240x120x86mm			MANUFACTURING SIZE: 230x110x76mm			VERTICAL GAUGE: 7 Courses to 600mm			FORMAT SIZE: 240x120x86mm			MANUFACTURING SIZE: 230x110x76mm			VERTICAL GAUGE: 7 Courses to 600mm				
NO. OF BRICKS	LENGTH	OPENING	HEIGHT	NO. OF BRICKS	LENGTH	OPENING	HEIGHT	NO. OF BRICKS	LENGTH	OPENING	HEIGHT	NO. OF BRICKS	LENGTH	OPENING	HEIGHT	NO. OF BRICKS	LENGTH	HEIGHT	
1	230	250	86	26	6230	6250	2229	11	2630	2650	943	36 ¹ ₂	8630				3086		
1 ¹ ₂	350	370		26 ¹ ₂	6350	6370		11 ¹ ₂	2750	2770		36 ¹ ₂	8750				3172		
2	470	490	172	27	6470	6490	2314	12	2870	2890	1029	37	8870				3257		
2 ¹ ₂	590	610		27 ¹ ₂	6590	6610		12 ¹ ₂	2990	3010		37 ¹ ₂	8990				3343		
3	710	730	257	28	6710	6730	2400	13	3110	3130	1114	38	9110				3429		
3 ¹ ₂	830	850		28 ¹ ₂	6830	6850		13 ¹ ₂	3230	3250		38 ¹ ₂	9230				3514		
4	950	970	343	29	6950	6970	2486	14	3350	3370	1200	39	9350				3600		
4 ¹ ₂	1070	1090		29 ¹ ₂	7070	7090		14 ¹ ₂	3470	3490		39 ¹ ₂	9470				3686		
5	1190	1210	429	30	7190	7210	2572	15	3590	3610	1286	40	9590				3772		
5 ¹ ₂	1310	1330		30 ¹ ₂	7310	7330		15 ¹ ₂	3710	3730		40 ¹ ₂	9710				3857		
6	1430	1450	514	31	7430	7450	2657	16	3830	3850	1372	41	9830				3943		
6 ¹ ₂	1550	1570		31 ¹ ₂	7550	7570		16 ¹ ₂	3950	3970		41 ¹ ₂	9950				4029		
7	1670	1690	600	32	7670	7690	2743	17	4070	4090	1457	42	10070				4114		
7 ¹ ₂	1790	1810		32 ¹ ₂	7790	7810		17 ¹ ₂	4190	4210		42 ¹ ₂	10190				4200		
8	1910	1930	686	33	7910	7930	2829	18	4310	4330	1543	43	10310				4286		
8 ¹ ₂	2030	2050		33 ¹ ₂	8030	8050		18 ¹ ₂	4430	4450		43 ¹ ₂	10430				8572		
9	2150	2170	772	34	8150	8170	2914	19	4550	4570	1629	44	10550						
9 ¹ ₂	2270	2290		34 ¹ ₂	8270	8290		19 ¹ ₂	4670	4690		44 ¹ ₂	10670						
10	2390	2410	857	35	8390	8400	3000	20	4790	4810	1714	45	10790						
				20 ¹ ₂	4910	4930						45 ¹ ₂	10910						
				21	5030	5050	1800	46	11030										
				21 ¹ ₂	5150	5170		46 ¹ ₂	11150										
				22	5270	5290	1886	47	11270										
				22 ¹ ₂	5390	5410		47 ¹ ₂	11390										
				23	5510	5530	1972	48	11510										
				23 ¹ ₂	5630	5650		48 ¹ ₂	11630										
				24	5750	5770	2057	49	11750										
				24 ¹ ₂	5870	5890		49 ¹ ₂	11870										
				25	5990	6010	2143	50	11990										
				25 ¹ ₂	6110	6130		100	23990										

NOT OFTEN REQUIRED. IF NEEDED ADD 20 TO LENGTH.



SUBJECT TO NCC 2022
 (1 MAY 2023)
 WATERPROOFING & PLUMBING
 CONDENSATION MANAGEMENT

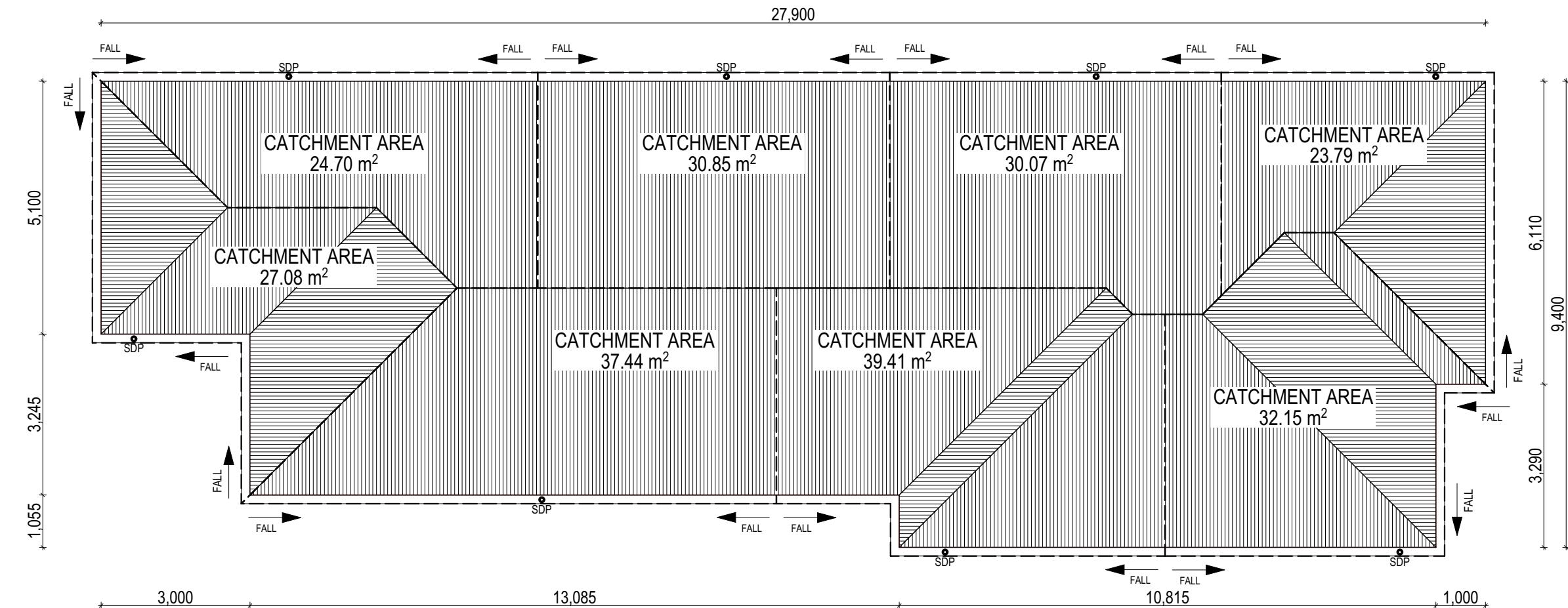
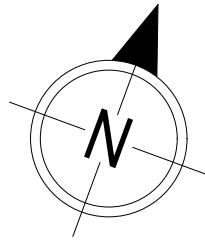
PLAN ACCEPTANCE BY OWNER

SIGNATURE: DATE:

SIGNATURE: DATE:

PLEASE NOTE THAT VARIATIONS WILL NOT BE ACCEPTED
 AFTER THIS PLAN ACCEPTANCE HAS BEEN SIGNED

SPECIFICATION:	REVISION	DRAWN	CLIENT:	HOUSE DESIGN:	HOUSE CODE:	DO NOT SCALE DRAWINGS, USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.
DISCOVERY	1 CP1	HMI 04/11/2025	ANGEL GEORGE & BASKARAN PERUMAL	ARGYLE 19	H-WDNAGY10SA	
COPYRIGHT:	2 CP1 AMENDMENT	JII 10/11/2025	ADDRESS: 7 SHELDUCK DR, OLD BEACH TAS 7017	FACADE DESIGN: CLASSIC	FACADE CODE: F-WDNAGY10CLASA	
© 2025	3 CP2	HMI 26/11/2025	LOT / SECTION / CT: 444 / - / 186023	COUNCIL: BRIGHTON	SHEET TITLE: DETAILS (FACE BRICKWORK)	SHEET No.: 9 / 19
	4 CP2 - UPDATE	HMI 09/12/2025			SCALES:	714516
	5 PRELIM PLANS - INITIAL ISSUE	LTR 12/12/2025				



Roofing Data

Roofing Data		
	232.27	Flat Roof Area (excluding gutter and slope factor) (m ²)
	252.32	Roof Surface Area (includes slope factor, excludes gutter) (m ²)
Downpipe roof calculations (as per AS/NZA3500.3:2021)		
Ah	245.50	Area of roof catchment (including 115mm Slotted Quad Gutter) (m ²)
Ac	192.76	Ah x Catchment Area Multiplier for slope (Table 3.4.3.2 from AS/NZS 3500.3:2021) (1.21 for 23° pitch) (m ²)
Ae	6300	Cross sectional area of 57 x 115 Slotted Quad Gutter (mm ²)
DRI	83	Design Rainfall Intensity (determined from Table E1 from AS/NZS 3500.3:2021)
Acdp	64	Catchment area per Downpipe (determined from Figure 3.5(A) from AS/NZS 3500.3:2021) (m ²)
Required Downpipes	3.01	Ac / Acdp
Downpipes Provided	6	

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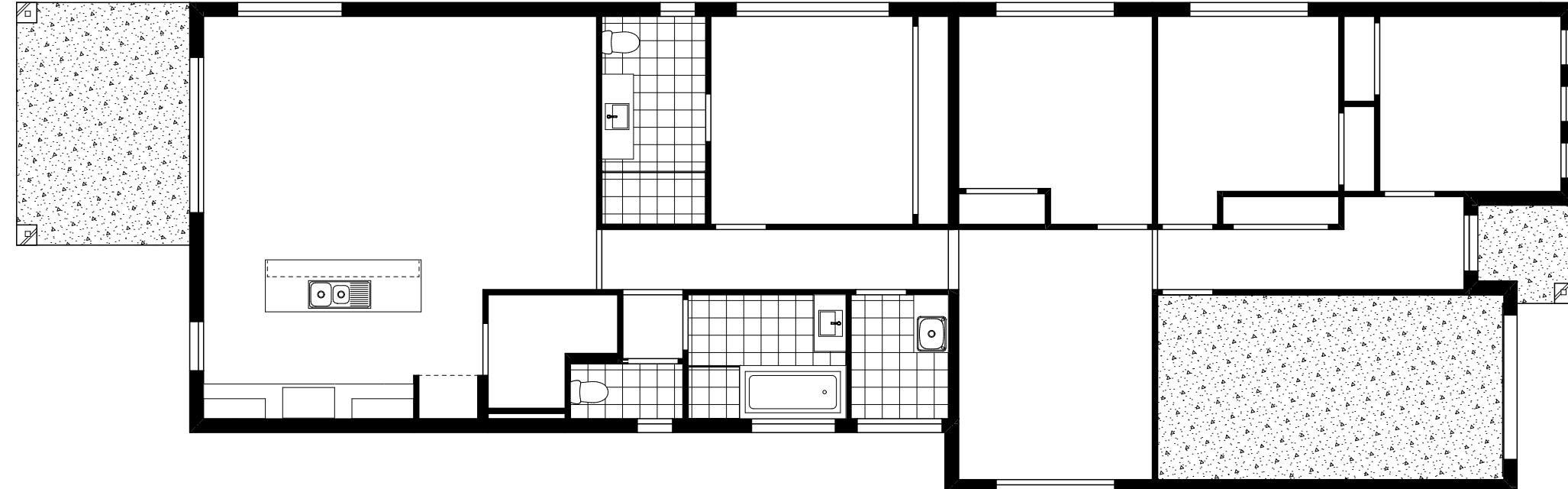
SPECIFICATION: DISCOVERY	REVISION	DRAWN		CLIENT: ANGEL GEORGE & BASKARAN PERUMAL	HOUSE DESIGN: ARGYLE 19	HOUSE CODE: H-WDNAGY10SA	DO NOT SCALE DRAWINGS, USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.	
	1 CP1	HMI	04/11/2025					
COPYRIGHT: © 2025	2 CP1 AMENDMENT	JII	10/11/2025	ADDRESS: 7 SHELDUCK DR, OLD BEACH TAS 7017	FAÇADE DESIGN: CLASSIC	FAÇADE CODE: F-WDNAGY10CLASA		
	3 CP2	HMI	26/11/2025					
	4 CP2 - UPDATE	HMI	09/12/2025					
	5 PRELIM PLANS - INITIAL ISSUE	LTR	12/12/2025	LOT / SECTION / CT: 444 / - / 186023	COUNCIL: BRIGHTON	SHEET TITLE: ROOF DRAINAGE PLAN	SHEET NO.: 10 / 19 SCALES: 1:100	714516

REFER TO SHEET 1 (COVER SHEET) FOR
ALL BUILDING INFORMATION REGARDING:
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- GENERAL BUILDING INFORMATION

FLOOR TILES SHOWN ON PLAN DO NOT
INDICATE THE SIZE OR JOINT LOCATIONS
OF THE ACTUAL FLOOR TILES.
TIMBER FLOORING SHOWN ON PLAN DOES
NOT INDICATE THE BOARD SIZE OR
DIRECTION OF THE ACTUAL FLOORING.

COVERINGS LEGEND

	NO COVERING
	COVER GRADE CONCRETE
	CARPET
	LAMINATE
	TILE (STANDARD WET AREAS)
	TILE (UPGRADED AREAS)
	DECKING



SUBJECT TO NCC 2022
(1 MAY 2023)
WATERPROOFING & PLUMBING
CONDENSATION MANAGEMENT

PLAN ACCEPTANCE BY OWNER	
SIGNATURE:	DATE:

SIGNATURE:	DATE:

PLEASE NOTE THAT VARIATIONS WILL NOT BE ACCEPTED AFTER THIS PLAN ACCEPTANCE HAS BEEN SIGNED	

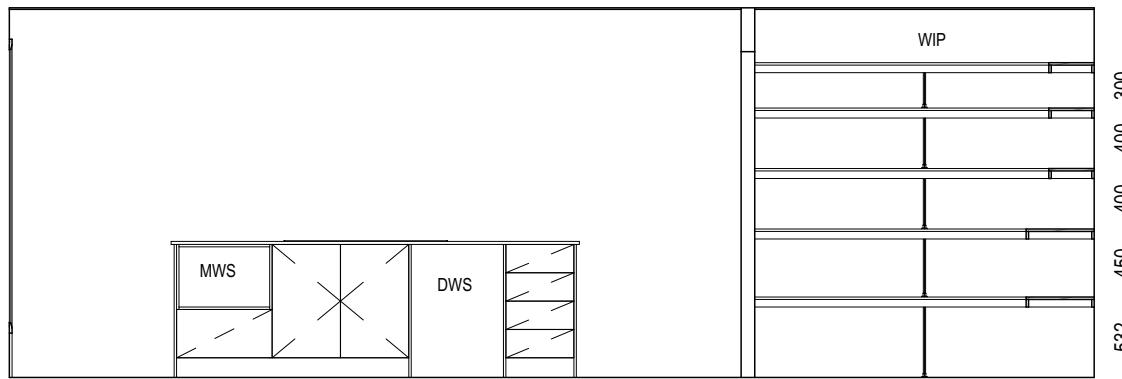
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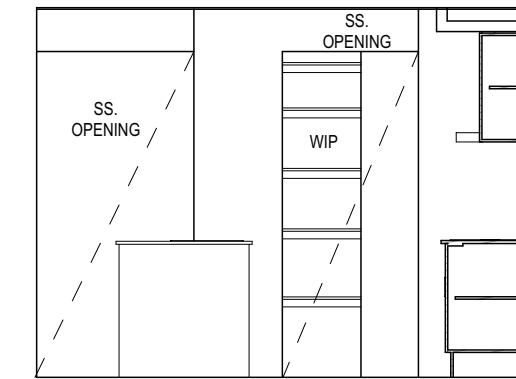
SPECIFICATION: DISCOVERY COPYRIGHT: © 2025	REVISION	DRAWN	CLIENT: ANGEL GEORGE & BASKARAN PERUMAL	HOUSE DESIGN: ARGYLE 19	HOUSE CODE: H-WDNAGY10SA	DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.
	1 CP1	HMI 04/11/2025				
	2 CP1 AMENDMENT	JII 10/11/2025	ADDRESS: 7 SHELDUCK DR, OLD BEACH TAS 7017	FACADE DESIGN: CLASSIC	FACADE CODE: F-WDNAGY10CLASA	
	3 CP2	HMI 26/11/2025	LOT / SECTION / CT: 444 / - / 186023	COUNCIL: BRIGHTON	SHEET TITLE: FLOOR COVERINGS	SCALES: 1:100
	4 CP2 - UPDATE	HMI 09/12/2025				
	5 PRELIM PLANS - INITIAL ISSUE	LTR 12/12/2025				
						714516

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 - SUSTAINABILITY REQUIREMENTS
 - SITE CLASSIFICATION
 - GENERAL BUILDING INFORMATION
 DETAILS DEPICTED ON THIS SHEET ARE A REPRESENTATION ONLY. JOINER MAY ADJUST CABINETRY AS REQUIRED.

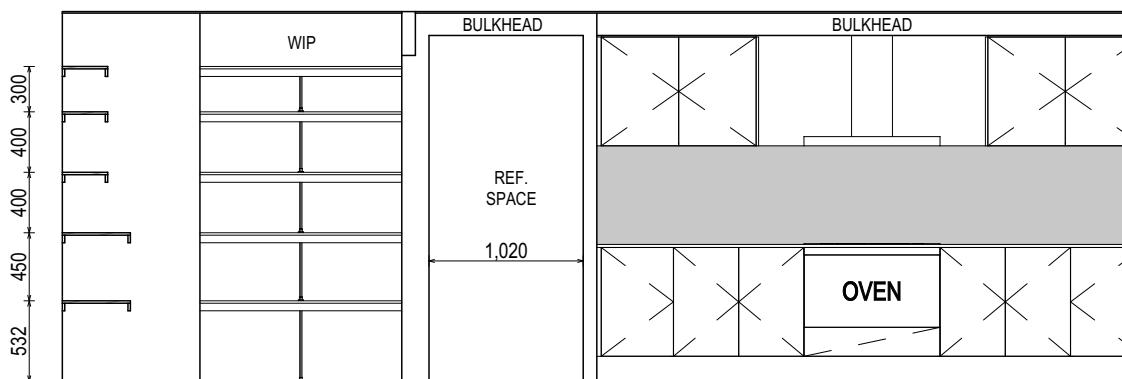
Last Published: Friday, December 12, 2025 13:38 PM



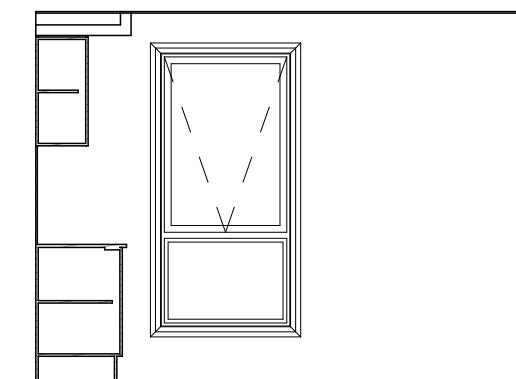
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SCALE: 1:50



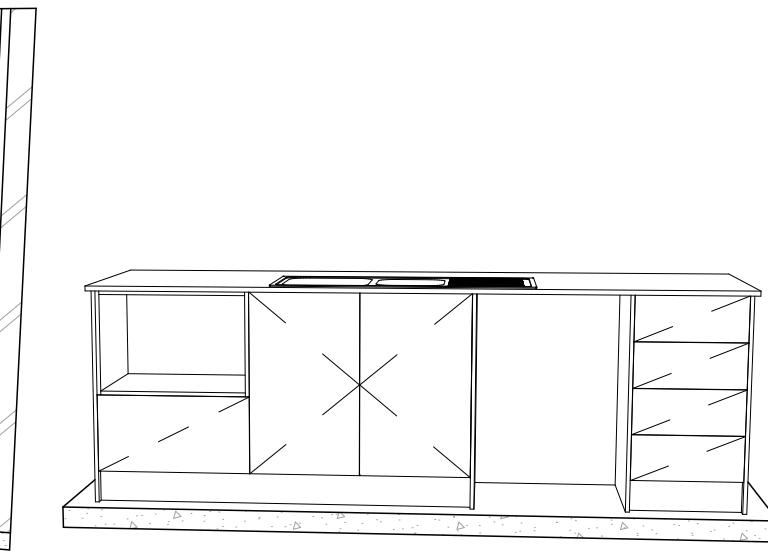
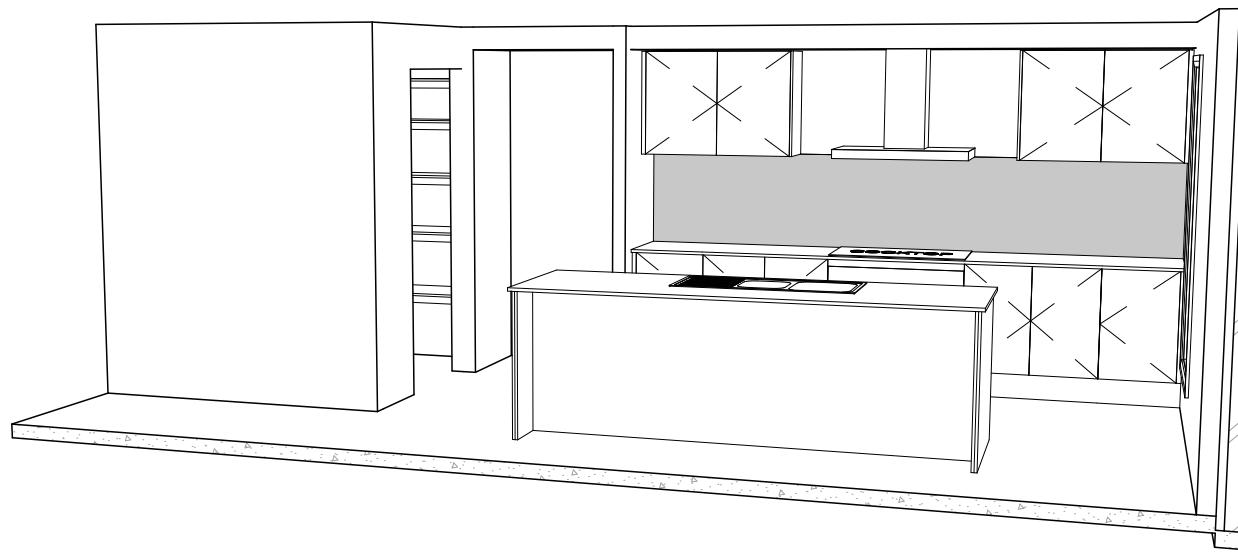
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SCALE: 1:50



ELEVATION C
SCALE: 1:50



ELEVATION D
SCALE: 1:50

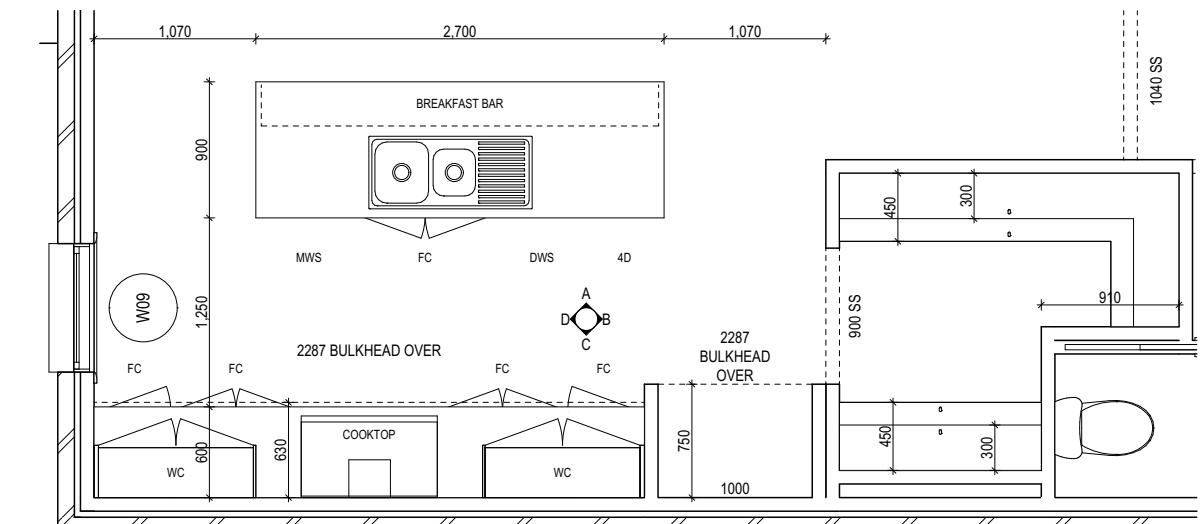


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SPECIFICATION: DISCOVERY	REVISION 1 CP1	DRAWN HMI 04/11/2025	CLIENT: ANGEL GEORGE & BASKARAN PERUMAL	HOUSE DESIGN: ARGYLE 19	HOUSE CODE: H-WDNAGY10SA	DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.
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	3 CP2	HMI 26/11/2025	LOT / SECTION / CT: 444 / - / 186023	COUNCIL: BRIGHTON	SHEET TITLE: KITCHEN DETAILS	SCALES: 1:50
	4 CP2 - UPDATE	HMI 09/12/2025			SHEET No.: 12 / 19	714516
	5 PRELIM PLANS - INITIAL ISSUE	LTR 12/12/2025				



KITCHEN PLAN
SCALE: 1:50

SUBJECT TO NCC 2022
(1 MAY 2023)
WATERPROOFING & PLUMBING
CONDENSATION MANAGEMENT

PLAN ACCEPTANCE BY OWNER	SIGNATURE:	DATE:
	SIGNATURE:	DATE:

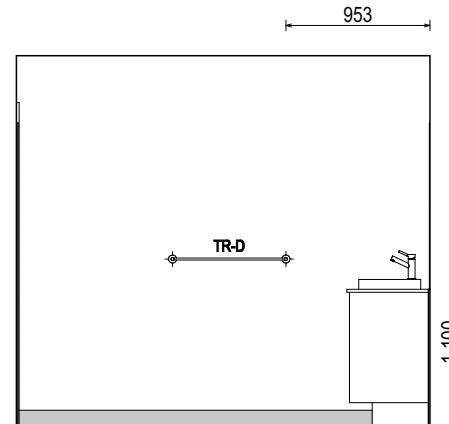
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AFTER THIS PLAN ACCEPTANCE HAS BEEN SIGNED

REFER TO THE FOLLOWING DETAILS:
 VAVITY DETAILS G-VANI-001
 WINDOW OVER BATH HOB D-WIND-ALU001
 STANDARD BATH HOB D-WETA-BATH003
 WET AREA TILING LAYOUTS D-WETA-TILE002
 SQUARE SET WINDOWS G-WIND-SSET02
 FULL HEIGHT TILING D-LINI-WETA

REFER TO SHEET 1 (COVER SHEET) FOR
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 - SUSTAINABILITY REQUIREMENTS
 - SITE CLASSIFICATION
 - GENERAL BUILDING INFORMATION
 DETAILS DEPICTED ON THIS SHEET ARE A
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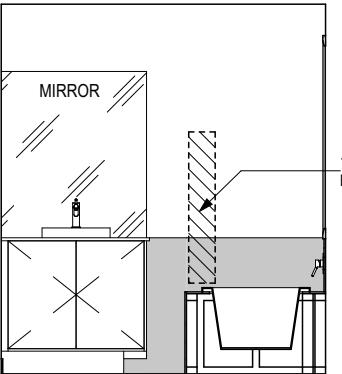
LEGEND

RSHR	RAIL SHOWER
ROSE	SHOWER ROSE
ELBW	SHOWER ELBOW CONNECTION
MIX	MIXER TAP
HT	HOT TAP
CT	COLD TAP
HS	HOB SPOUT
WS	WALL SPOUT
SC	STOP COCK
TRH	TOILET ROLL HOLDER
TR-S	TOWEL RAIL - SINGLE
TR-D	TOWEL RAIL - DOUBLE
TL	TOWEL LADDER
TH	TOWEL HOLDER
TR	TOWEL RACK
TMB	TUMBLER HOLDER
RNG	TOWEL RING
RH	ROBE HOOK
SHLF	SHELF
SR	SHAMPOO RECESS
SOAP	SOAP HOLDER



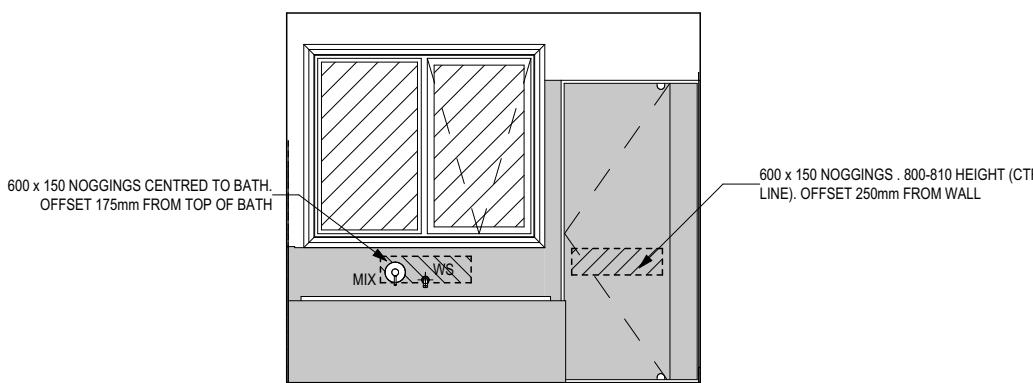
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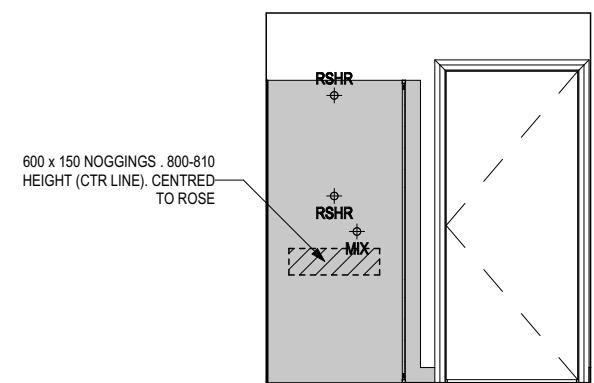
ELEVATION B

SCALE: 1:50



ELEVATION C

SCALE: 1:50



ELEVATION D

SCALE: 1:50



BATHROOM PLAN

SCALE: 1:50

SUBJECT TO NCC 2022
 (1 MAY 2023)
 WATERPROOFING & PLUMBING
 CONDENSATION MANAGEMENT

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SIGNATURE:	DATE:
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	3 CP2	HMI 26/11/2025	LOT / SECTION / CT: 444 / - / 186023	COUNCIL: BRIGHTON	SHEET TITLE: BATHROOM DETAILS	SCALES: 1:50
	4 CP2 - UPDATE	HMI 09/12/2025			SHEET NO.: 13 / 19	714516
	5 PRELIM PLANS - INITIAL ISSUE	LTR 12/12/2025			SCALES: 1:50	Template Version: 24/01/2024

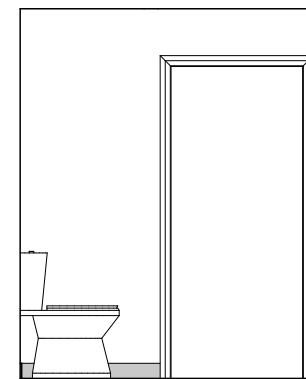
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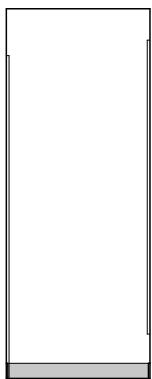
LEGEND

RSHR	RAIL SHOWER
ROSE	SHOWER ROSE
ELBW	SHOWER ELBOW CONNECTION
MIX	MIXER TAP
HT	HOT TAP
CT	COLD TAP
HS	HOB SPOUT
WS	WALL SPOUT
SC	STOP COCK
TRH	TOILET ROLL HOLDER
TR-S	TOWEL RAIL - SINGLE
TR-D	TOWEL RAIL - DOUBLE
TL	TOWEL LADDER
TH	TOWEL HOLDER
TR	TOWEL RACK
TMB	TUMBLER HOLDER
RNG	TOWEL RING
RH	ROBE HOOK
SHLF	SHELF
SR	SHAMPOO RECESS
SOAP	SOAP HOLDER

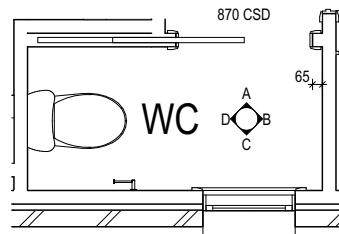
Last Published: Friday, December 12, 2025 1:38 PM



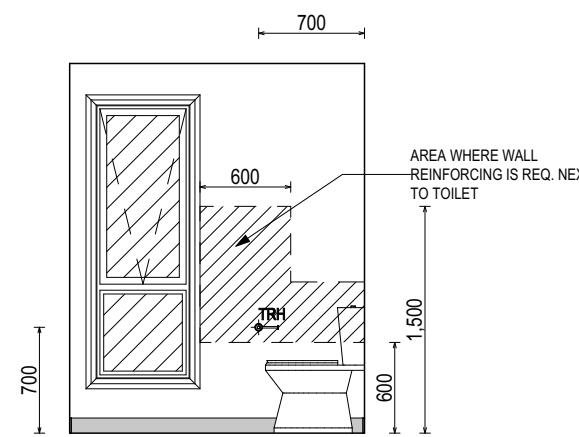
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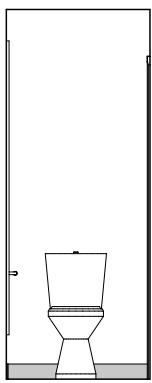
ELEVATION B
SCALE: 1:50



WC PLAN
SCALE: 1:50



ELEVATION C
SCALE: 1:50



ELEVATION D
SCALE: 1:50

**SUBJECT TO NCC 2022
(1 MAY 2023)
WATERPROOFING & PLUMBING
CONDENSATION MANAGEMENT**

PLAN ACCEPTANCE BY OWNER	
SIGNATURE:	DATE:

SIGNATURE:	DATE:

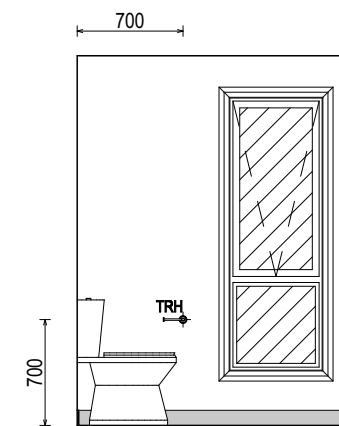
PLEASE NOTE THAT VARIATIONS WILL NOT BE ACCEPTED AFTER THIS PLAN ACCEPTANCE HAS BEEN SIGNED	

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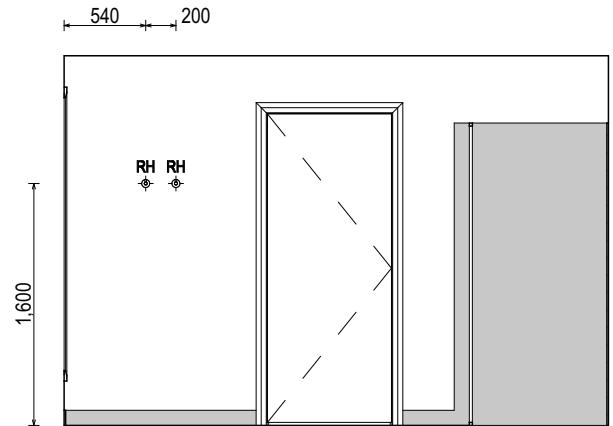
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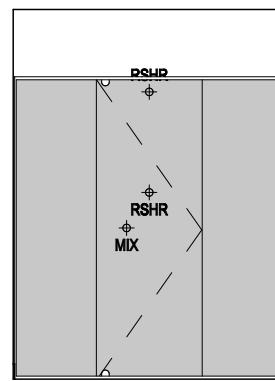
SPECIFICATION: DISCOVERY	REVISION 1 CP1	DRAWN HMI 04/11/2025	CLIENT: ANGEL GEORGE & BASKARAN PERUMAL	HOUSE DESIGN: ARGYLE 19	HOUSE CODE: H-WDNAGY10SA	DO NOT SCALE DRAWINGS, USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.	
						ADDRESS: 7 SHELDUCK DR, OLD BEACH TAS 7017	FACADE DESIGN: CLASSIC
COPYRIGHT: © 2025	2 CP1 AMENDMENT	JII 10/11/2025	ADDRESS: 7 SHELDUCK DR, OLD BEACH TAS 7017	FACADE DESIGN: CLASSIC	FACADE CODE: F-WDNAGY10CLASA	DO NOT SCALE DRAWINGS, USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.	
	3 CP2	HMI 26/11/2025				DO NOT SCALE DRAWINGS, USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.	
	4 CP2 - UPDATE	HMI 09/12/2025	LOT / SECTION / CT: 444 / - / 186023	COUNCIL: BRIGHTON	SHEET TITLE: WC DETAILS	SCALES: 14 / 19 1:50	714516
	5 PRELIM PLANS - INITIAL ISSUE	LTR 12/12/2025					



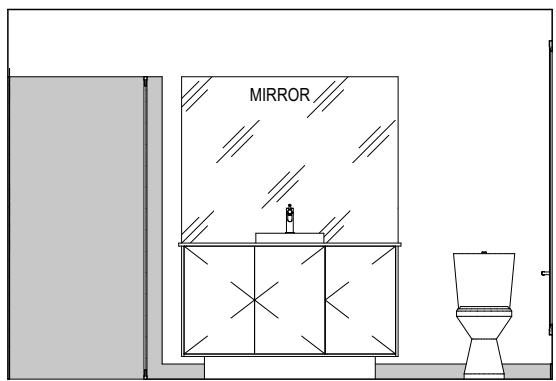
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SCALE: 1:50



ELEVATION B
SCALE: 1:50



ELEVATION C
SCALE: 1:50



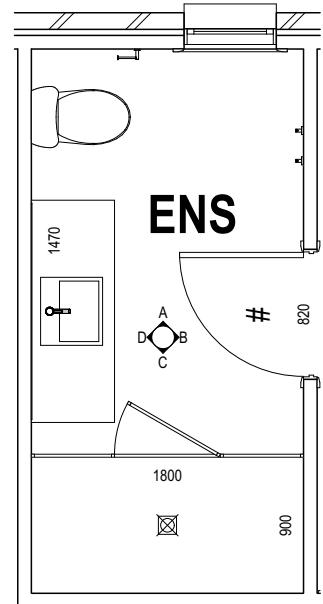
ELEVATION D
SCALE: 1:50

REFER TO THE FOLLOWING DETAILS:
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WINDOW OVER BATH HOB D-WIND-ALU001
STANDARD BATH HOB D-WETA-BATH003
WET AREA TILING LAYOUTS D-WETA-TILE002
SQUARE SET WINDOWS G-WIND-SSET02
FULL HEIGHT TILING D-LINI-WETA

REFER TO SHEET 1 (COVER SHEET) FOR
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- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION
DETAILS DEPICTED ON THIS SHEET ARE A
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LEGEND

RSHR	RAIL SHOWER
ROSE	SHOWER ROSE
ELBW	SHOWER ELBOW CONNECTION
MIX	MIXER TAP
HT	HOT TAP
CT	COLD TAP
HS	HOB SPOUT
WS	WALL SPOUT
SC	STOP COCK
TRH	TOILET ROLL HOLDER
TR-S	TOWEL RAIL - SINGLE
TR-D	TOWEL RAIL - DOUBLE
TL	TOWEL LADDER
TH	TOWEL HOLDER
TR	TOWEL RACK
TMB	TUMBLER HOLDER
RNG	TOWEL RING
RH	ROBE HOOK
SHLF	SHELF
SR	SHAMPOO RECESS
SOAP	SOAP HOLDER



ENSUITE PLAN
SCALE: 1:50

SUBJECT TO NCC 2022
(1 MAY 2023)
WATERPROOFING & PLUMBING
CONDENSATION MANAGEMENT

PLAN ACCEPTANCE BY OWNER	
SIGNATURE:	DATE:

SIGNATURE:	DATE:

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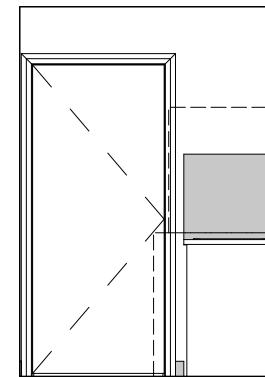


SPECIFICATION: DISCOVERY	REVISION 1 CP1	DRAWN HMI 04/11/2025	CLIENT: ANGEL GEORGE & BASKARAN PERUMAL	HOUSE DESIGN: ARGYLE 19	HOUSE CODE: H-WDNAGY10SA	DO NOT SCALE DRAWINGS, USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.
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	3 CP2	HMI 26/11/2025	LOT / SECTION / CT: 444 / - / 186023	COUNCIL: BRIGHTON	SHEET TITLE: ENSUITE DETAILS	SCALES: 1:50
	4 CP2 - UPDATE	HMI 09/12/2025			SHEET No.: 15 / 19	
	5 PRELIM PLANS - INITIAL ISSUE	LTR 12/12/2025				714516

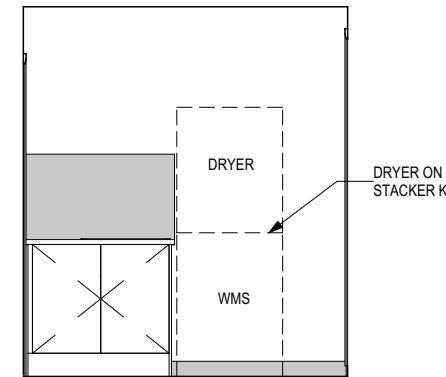
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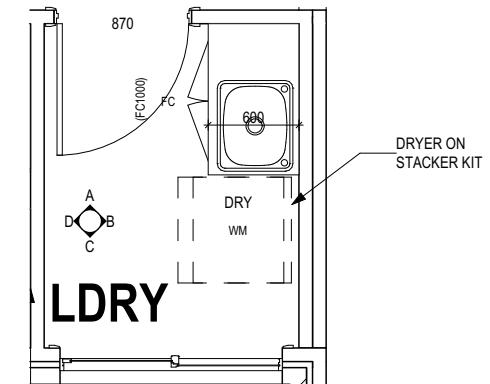
Last Published: Friday, December 12, 2025 13:38 PM



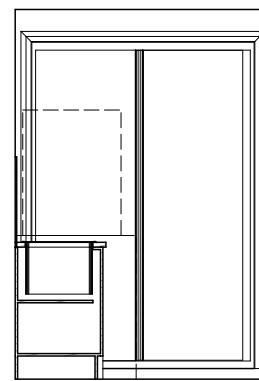
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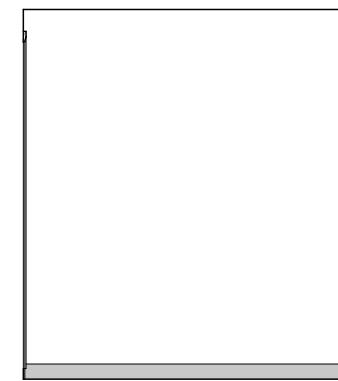
ELEVATION B
SCALE: 1:50



LAUNDRY PLAN
SCALE: 1:50



ELEVATION C
SCALE: 1:50



ELEVATION D
SCALE: 1:50

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(1 MAY 2023)
WATERPROOFING & PLUMBING
CONDENSATION MANAGEMENT**

PLAN ACCEPTANCE BY OWNER	
SIGNATURE:	DATE:

SIGNATURE:	DATE:

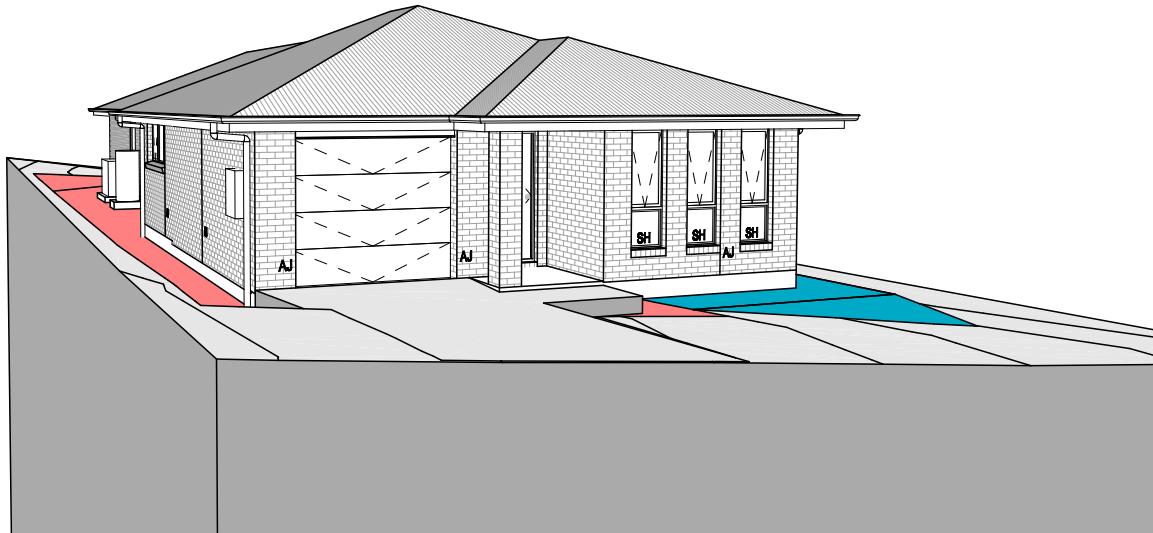
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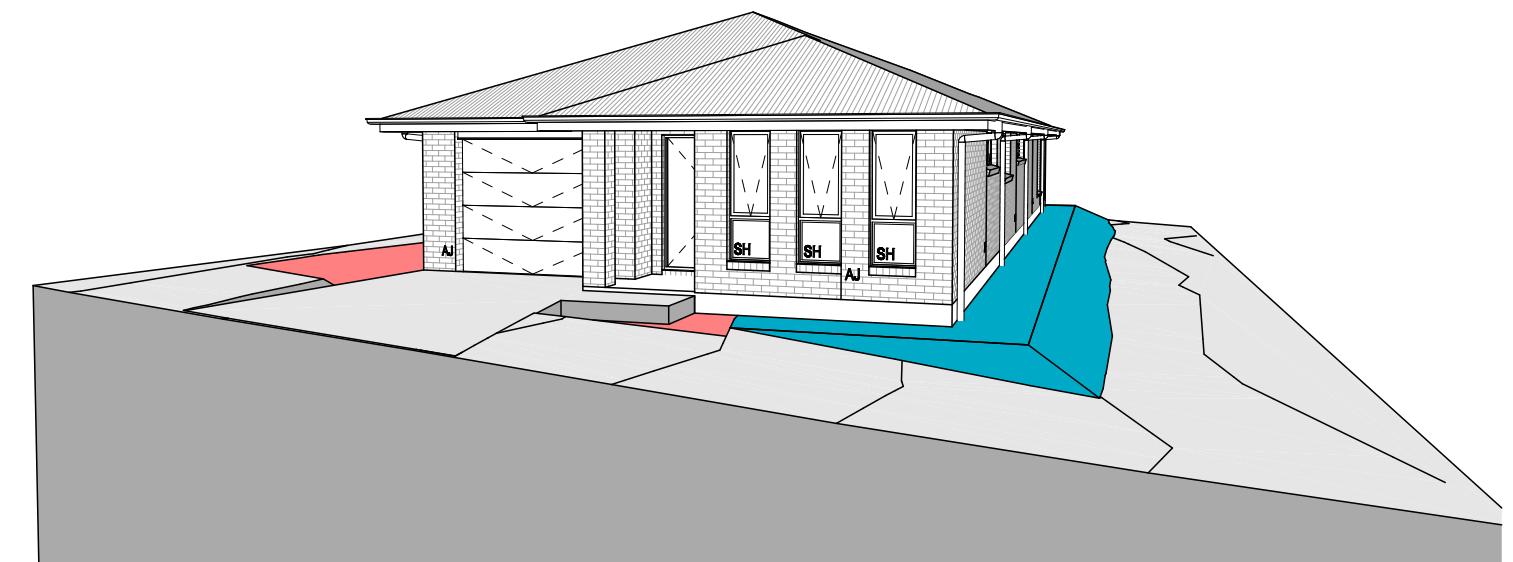
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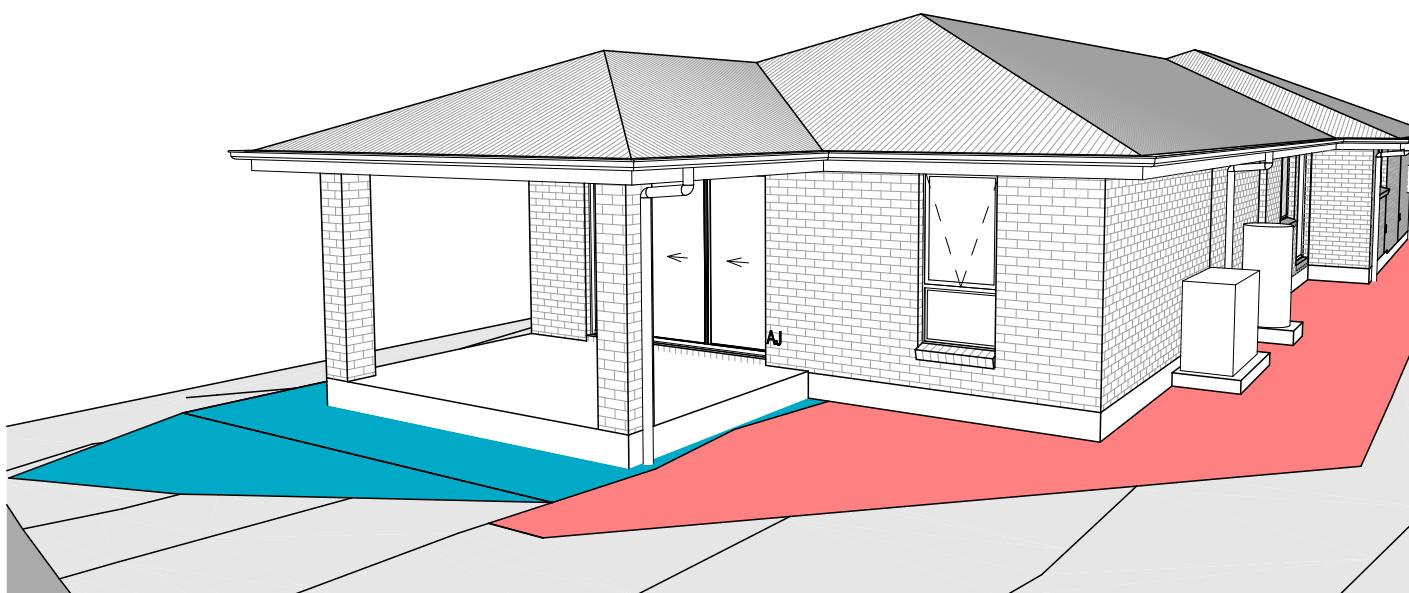
SPECIFICATION: DISCOVERY	REVISION 1 CP1	DRAWN HMI 04/11/2025	CLIENT: ANGEL GEORGE & BASKARAN PERUMAL	HOUSE DESIGN: ARGYLE 19	HOUSE CODE: H-WDNAGY10SA	DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.
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	3 CP2	HMI 26/11/2025	LOT / SECTION / CT: 444 / - / 186023	COUNCIL: BRIGHTON	SHEET TITLE: LAUNDRY DETAILS	SCALES: 1:50
	4 CP2 - UPDATE	HMI 09/12/2025				
	5 PRELIM PLANS - INITIAL ISSUE	LTR 12/12/2025				



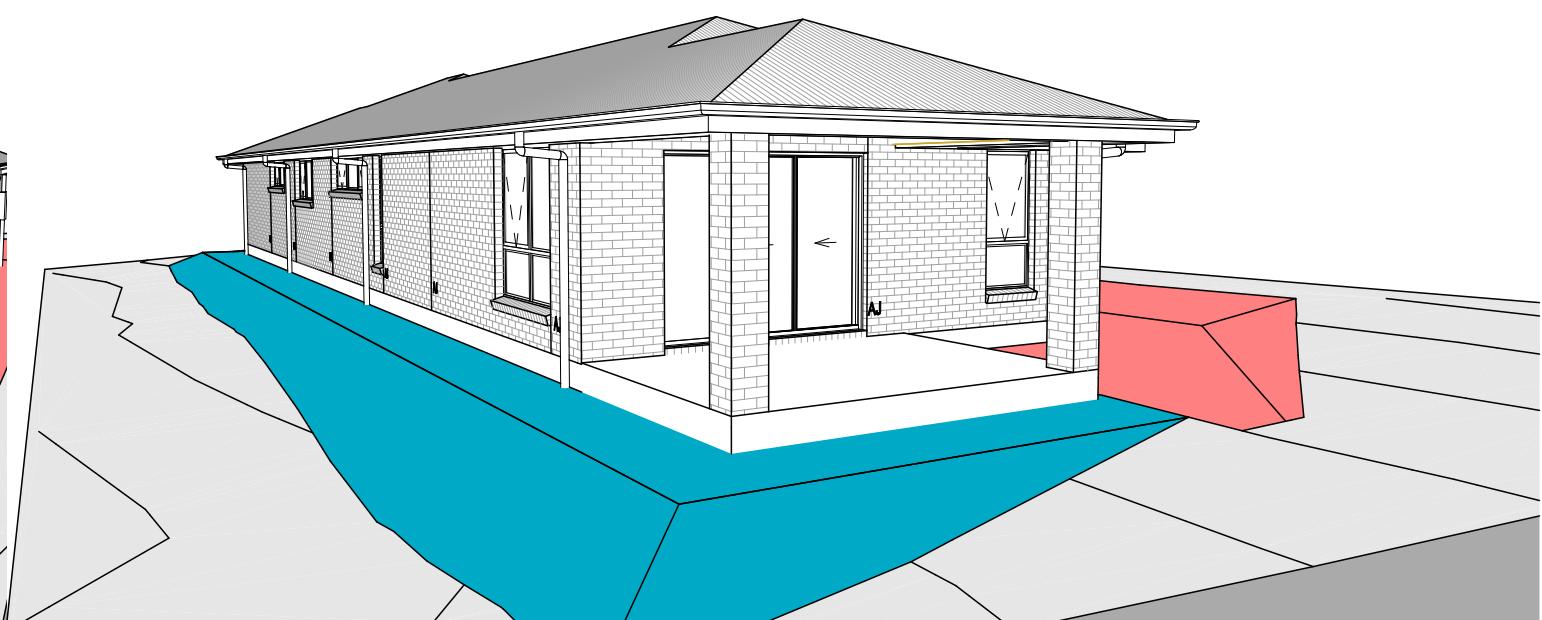
FRONT LEFT



FRONT RIGHT



REAR LEFT



REAR RIGHT

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(1 MAY 2023)
WATERPROOFING & PLUMBING
CONDENSATION MANAGEMENT**

PLAN ACCEPTANCE BY OWNER	
SIGNATURE:	DATE:

SIGNATURE:	DATE:

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SPECIFICATION: DISCOVERY	REVISION 1 CP1	DRAWN HMI 04/11/2025	CLIENT: ANGEL GEORGE & BASKARAN PERUMAL	HOUSE DESIGN: ARGYLE 19	HOUSE CODE: H-WDNAGY10SA	DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.
COPYRIGHT: © 2025	2 CP1 AMENDMENT	JII 10/11/2025	ADDRESS: 7 SHELDUCK DR, OLD BEACH TAS 7017	FACADE DESIGN: CLASSIC	FACADE CODE: F-WDNAGY10CLASA	
	3 CP2	HMI 26/11/2025	LOT / SECTION / CT: 444 / - / 186023	COUNCIL: BRIGHTON	SHEET TITLE: 3D VIEWS	SCALES: 17 / 19
	4 CP2 - UPDATE	HMI 09/12/2025				714516
	5 PRELIM PLANS - INITIAL ISSUE	LTR 12/12/2025				

GENERAL

- BUILDER TO VERIFY ALL DIMENSIONS AND LEVELS ON SITE PRIOR TO COMMENCEMENT OF WORK
- ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH THE NATIONAL CONSTRUCTION CODE (NCC)
- INTERNAL DIMENSIONS ARE TO WALL FRAMING ONLY AND DO NOT INCLUDE WALL LININGS

SITE WORKS

- CUT AND FILL BATTERS ARE INDICATIVE ONLY. BATTER TO COMPLY WITH THE NCC TABLE 3.2.1
- ALL CUTS AND FFL'S SHOWN (DA DRAWINGS) ARE SUBJECT TO ENGINEERING ADVICE ONCE A SATISFACTORY SOIL TEST HAS BEEN RECEIVED AND REVIEWED
- ALL EMBANKMENTS THAT ARE LEFT EXPOSED MUST BE STABILISED WITH VEGETATION OR SIMILAR TO PREVENT EROSION
- EMBANKMENTS CANNOT EXCEED 2.0m IN HEIGHT WITHOUT THE AID OF RETAINING WALLS OR OTHER APPROVED TYPES OF SOIL RETAINING METHODS
- ALL UNPROTECTED EMBANKMENTS MUST COMPLY WITH THE SLOPE RATIOS FOR SOIL TYPE IN TABLE 3.2.1 OF THE NCC

SOIL TYPE / CLASSIFICATION	EMBANKMENT OF SLOPE	
	COMPACTED FILL	CUT
STABLE ROCK (A)	3 : 3	8 : 1
SAND (A)	1 : 2	1 : 2
SILT (P)	1 : 4	1 : 4
FIRM CLAY	1 : 2	1 : 1
SOFT CLAY	NOT SUITABLE	2 : 3
SOFT SOILS (P)	NOT SUITABLE	NOT SUITABLE

MASONRY

- ALL MASONRY TO BE CONSTRUCTED IN ACCORDANCE WITH AS3700
- EXTERNAL WALLS TO BE 110mm BRICKWORK UNLESS NOTED OTHERWISE
- MORTAR MIXED @ 1:1.6 CEMENT:LIME:SAND UNLESS STATED OTHERWISE BY ENGINEER
- DAMP-PROOF COURSE IN ALL PERIMETER WALLS CUT INTO EXTERNAL WALLS BELOW FLOOR LEVEL WITH WEEP HOLES @ 1200 CTRS IN ACCORDANCE WITH AS2904
- VERTICAL ARTICULATION JOINTS TO BE PROVIDED @ 6m MAX. CTRS FOR UNREINFORCED MASONRY WALLS EXCEPT WHERE BUILT ON CLASS A OR S SOIL AND SPACED AS PER AS3700 SECTION 12.6.4. WILSON HOMES REQUEST THAT @ 5m CTRS.
- WHERE NECESSARY, STEEL LINTELS ARE TO BE PROVIDED IN ACCORDANCE WITH AS4100 AND AS3700a

TIMBER FRAMING

- ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH THE CURRENT NCC
- ALL TIMBER FRAMING TO BE CARRIED OUT IN ACCORDANCE WITH AS1684
- MGP10 PINE FRAMING OR F17 SOLID AND FINGER JOINED FRAMING TO ALL STRUCTURAL COMPONENTS. 90 x 35mm FRAMING TO INTERNAL AND EXTERNAL WALLS. TIMBER COMPOSITE ENGINEERED ROOF TRUSSES WITH HARDWOOD AND MGP COMPONENTS
- GALVANISED WALL TIES TO MASONRY @ 450 CTRS HORIZONTALLY AND 600 CTRS VERTICALLY, WITH SPACING REDUCED BY 50% AROUND OPENINGS

BRACING / LINTELS

- WALL BRACING AS PER AS1684-2 2021 AND AS1170 WIND LOADS
- WALL BRACING AS SHOWN ON PLAN IS A MINIMUM ONLY. BUILDER TO PROVIDE ADDITIONAL BRACING TO SUIT THE CONSTRUCTION OF WALL FRAMES IN ACCORDANCE WITH GOOD BUILDING PRACTICE.
- PLYWOOD BRACING IN ACCORDANCE WITH AS1684 TABLE 8.18 (H) METHOD B. 900 WIDE SHEET PLY BRACING PANELS (6mm THICK F11 OR 4mm THICK F14) TO BE FIXED TO STUD FRAME WITH 2.8mm DIA x 30mm LONG MIN. FLAT HEAD NAILS.
- 65 x 19mm HW DIAGONAL TIMBER BRACING CHECKED INTO STUDS AND FIXED IN ACCORDANCE WITH AS1684

TIMBER LINTELS FOR SINGLE (OR UPPER STORY) TO BE F17 HARDWOOD AS FOLLOWS:

0 - 1500	120 x 35
1500 - 2400	140 x 35
2400 - 2700	190 x 35

TIEDOWN AND FIXING CONNECTIONS TO COMPLY WITH AS1684

STEEL LINTELS FOR SINGLE (OR UPPER STOREY) TO BE AS FOLLOWS:

0 - 2700	90 x 90 x 6 EA
2700 - 3200	100 x 100 x 8 EA
3200 - 4000	150 x 90 x 8 EA

*LINTELS REQUIRE 150mm BEARING EITHER SIDE OF OPENING

ALL LINTEL SIZES SHOWN ARE SUBJECT TO ENGINEERS DETAILS

CONCRETE

- CONCRETE FOOTING AND SLABS TO BE IN ACCORDANCE WITH AS2870
- CONCRETE TO BE MANUFACTURED TO COMPLY WITH AS3600 AND:
 - HAVE A STRENGTH @ 28 DAYS OF NOT LESS THAN 25Mpa (N25 GRADE)
 - HAVE A 20mm NOMINAL AGGREGATE SIZE
 - HAVE A NOMINAL 80mm SLUMP
- CONCRETE SLAB TO BE LAID OVER 0.2mm POLYTHENE MEMBRANE, 50mm WELL BEDDED SAND AND MINIMUM COMPAKTED FCR (20mm)
- SLAB THICKNESS AND REINFORCEMENT TO BE AS PER ENGINEERS DESIGN

WINDOWS

- WINDOWS TO BE ALUMINIUM FRAMED SLIDING UNLESS NOTED OTHERWISE
- ALL WINDOWS TO BE FABRICATED AND INSTALLED IN ACCORDANCE WITH AS1288 AND AS2047 TO SPECIFIC WIND SPEED AS PER ENGINEERS REPORT
- ALL OPENING WINDOWS TO COMPLY WITH NCC 8 REQUIREMENTS
- AS PER NCC 11.3.6 ALL BEDROOM WINDOWS WHERE THE LOWEST OPENABLE PORTION OF THE WINDOW IS WITHIN 1.7m OF FFL AND THE FFL IS 2m OR MORE ABOVE NGL, REQUIRE A PERMANENTLY FIXED DEVICE RESTRICTING ANY OPENINGS OF THE WINDOW OR SCREEN SO THAT A 125mm SPHERE CANNOT PASS THROUGH; AND RESISTING OUTWARDS HORIZONTAL ACTION OF 250N AGAINST THE WINDOW. WHERE THE DEVICE OR SCREEN CAN BE REMOVED, UNLOCKED OR OVER-RIDDEN, THE DEVICE OR SCREEN MUST HAVE A CHILD RESISTANT RELEASE MECHANISM INSTALLED AND BARRIER BELOW THE WINDOW THAT IS 865mm HIGH ABOVE FFL AND RESTRICTS ANY OPENING WITHIN THE BARRIER SO THAT A 125mm SPHERE CANNOT PASS THROUGH, AND HAS NO HORIZONTAL OR NEAR HORIZONTAL ELEMENTS BETWEEN 150mm AND 760mm FROM FFL.
- GLAZING INSTALLED IN AREAS WITH HIGH POTENTIAL FOR HUMAN IMPACT TO COMPLY WITH NCC PART 8.4

DRAINAGE / WATER

- DRAINAGE TO BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH AS3500 AND LOCAL AUTHORITY
- STORMWATER PIPES TO BE UPVC CLASS HD
- SEWER PIPES TO BE UPVC CLASS SH
- PROVIDE Ø20mm K2 POLYETHYLENE WATER RETICULATION
- TYPE B STOP VALVE TO BE LOCATED ADJACENT TO ENTRY
- BACKFILL ALL TRENCHES BENEATH VEHICLE PAVEMENT AND SLABS ON GRADE TO FULL DEPTH WITH 20 FCR
- PROVIDE OVERFLOW RELIEF GULLY WITH TAP OVER. INVERT LEVEL TO BE 150MM. BELOW LOWEST SANITARY DRAINAGE POINT.
- CUT AND BATTER ARE INDICATIVE. BATTER TO COMPLY WITH CURRENT NCC TABLE 3.1.1.1

- AG DRAIN REQUIRED AROUND PERIMETER OF DWELLING FOR ALL CLASS M, H, E SITES. LOCATE AG DRAIN NOT CLOSER THAN 1.5m FROM FOOTINGS IN ACCORDANCE WITH AS2870 SECTION 5.6

- PROVIDE SURFACE DRAINAGE IN ACCORDANCE WITH AS2870 SECTION 5.6.3
- PROVIDE FLEXIBLE JOINTS IN ALL DRAINAGE EMERGING FROM UNDERNEATH OR ATTACHED TO BUILDING IN ACCORDANCE WITH AS2870 SECTION 5.6.4 FOR ALL CLASS H AND E SITES. REFER TO GEOTECH FOR FURTHER INFORMATION
- DOWNPPIPES AND GUTTERS DESIGNED IN ACCORDANCE WITH AS/NZS 3500.3

STAIRCASES / BALUSTRADES / HANDRAILS

- STAIR TREADS 240mm MIN. - 355mm MAX.
- STAIR RISERS 115mm MIN. - 190mm MAX.
- HANDRAIL REQUIRED WHERE CHANGE OF LEVEL BETWEEN FLOOR / LANDINGS > 1m AS PER CURRENT NCC 11.3.5
- NO GAPS IN STAIRCASES OR BALUSTRADE TO BE GREATER THAN 125mm
- BALUSTRADE REQUIRED WHERE LEVEL OF LANDING OR DECK IS GREATER THAN 1000mm ABOVE ADJACENT GROUND LEVEL
- BALUSTRADE TO BE MINIMUM 1000mm ABOVE FFL (INCLUDING ANY FLOOR COVERINGS)
- DOORS OPENING OUTWARDS EXTERNALLY MUST OPEN TO A LANDING (MIN. 750mm WIDE) WHERE THE DIFFERENCE IN LEVELS IS GREATER THAN 570mm
- NON-SLIP TREADS TO ALL TREADS AND TO COMPLY WITH NCC 11.2.4

- WHERE LANDINGS ARE NOT NOMINATED TO EXTERNAL DOORS, OPERATING DOOR LEAFS ARE TO BE SCREWED FIXED SHUT, OR PROVIDED WITH A FORMED FCR LANDING NOMINALLY 180mm BELOW FLOOR LEVEL.
- GLAZED BALUSTRADE AND HANDRAILS TO COMPLY WITH NCC PART 8.4, 11.3 AND AS1288 REQUIREMENTS

ROOFING

- ROOF TO BE COLORBOND 'CUSTOM ORB' METALDECK UNLESS NOTED OTHERWISE. PROVIDED AND INSTALLED IN ACCORDANCE WITH AS1562.1 (IF TILED REFER TO AS2050)
- PREFABRICATED ROOF TRUSSES TO BE SUPPLIED AND INSTALLED TO MANUFACTURERS SPECIFICATIONS. TRUSS MANUFACTURER TO CONFIRM LINTEL SIZES.

ELECTRICAL

- EXHAUST FAN TO COMPLY WITH CURRENT NCC PART 10.6.2 SECTION C
- EXHAUST FANS TO BE SEALED AND DUCTED TO OUTSIDE OF DWELLING IN ACCORDANCE WITH NCC VOLUME 2, PARTS 10.8.2 AND 10.8.3
- IF VENTING OCCURS DIRECTLY THROUGH WALLS/ROOF ADJACENT TO FAN, THEN UNIT REQUIRES SELF CLOSING BAFFLES TO BE CLASSIFIED AS A SEALED UNIT
- ELECTRICIAN IS TO ENSURE THAT ALL GPO'S IN WET AREAS MEET ALL STANDARD AND CODE REQUIREMENTS - ALL GPO'S TO BE 300mm FROM FFL UNLESS NOTED OTHERWISE

WET AREAS

- WALLS TO WET AREAS TO BE FINISHED WITH WET AREA PLASTERBOARD
- COMPLIANCE WITH NCC PART 10.2 AND AS3740
- ALL UNENCLOSED SHOWERS ABOVE BATHS TO HAVE MINIMUM 900mm SHOWER SCREEN OR FLOORWASTE WITHIN 1500mm OF SHOWER CONNECTION AS PER AS3740

CONDENSATION

- WHERE RAKED CEILINGS EXIST, IT IS HIGHLY RECOMMENDED THAT SUITABLE SPACING BETWEEN SARKING AND BULK INSULATION EXISTS. (NO CONTACT BETWEEN PRODUCTS). THE BUILDER IS TO ENSURE ADEQUATE SIZED TIMBER IS USED TO ENSURE THIS SEPARATION IS PROVIDED.
- IN STANDARD ROOF SPACES, IT IS HIGHLY RECOMMENDED TO PROVIDE SEPARATION BETWEEN SARKING AND CEILING INSULATION AROUND THE BUILDING PERIMETER, TO ENSURE AIRFLOW FROM EAVE VENTS IS MAINTAINED
- IT IS HIGHLY RECOMMENDED THAT ALL LIGHTWEIGHT CLADDING IS BATTENED OUT FROM STUDS (METAL / FC SHEET / TIMBER)

WOOD HEATERS

- ALL WOOD HEATERS ARE TO COMPLY WITH MANUFACTURERS SPECIFICATION AND NCC PART 12.4

FIRE SAFETY

- SMOKE ALARMS TO BE MAINS POWERED AND INSTALLED AS PER AS3786. LOCATIONS AS PER NCC 9.5.
- SMOKE ALARMS TO BE INTERCONNECTED WHERE THERE IS MORE THAN ONE ALARM
- INSTALLATION OF WOOD HEATERS TO COMPLY WITH AS2918. PROVIDE LOCAL AUTHORITIES WITH INSULATION AND COMPLIANCE CERTIFICATES

SUBJECT TO NCC 2022

(1 MAY 2023)

WATERPROOFING & PLUMBING
CONDENSATION MANAGEMENT

PLAN ACCEPTANCE BY OWNER

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SPECIFICATION: DISCOVERY	REVISION 1 CP1	DRAWN HMI 04/11/2025	CLIENT: ANGEL GEORGE & BASKARAN PERUMAL	HOUSE DESIGN: ARGYLE 19	HOUSE CODE: H-WDNAGY10SA	DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.
COPYRIGHT: © 2025	2 CP1 AMENDMENT	JII 10/11/2025	ADDRESS: 7 SHELDUCK DR, OLD BEACH TAS 7017	FACADE DESIGN: CLASSIC	FACADE CODE: F-WDNAGY10CLASA	
	3 CP2	HMI 26/11/2025	LOT / SECTION / CT: 444 / - / 186023	COUNCIL: BRIGHTON	SHEET TITLE: GENERAL NOTES	SCALES: 18 / 19
	4 CP2 - UPDATE	HMI 09/12/2025				
	5 PRELIM PLANS - INITIAL ISSUE	LTR 12/12/2025				

WET AREA NOTES

VESSELS OR AREA WHERE THE FIXTURE IS INSTALLED	FLOORS AND HORIZONTAL SURFACES	WALLS	WALL JUNCTIONS AND JOINTS	PENETRATIONS
ENCLOSED SHOWER WITH HOB	WATERPROOF ENTIRE ENCLOSED SHOWER AREA INCLUDING HOB.	WATERPROOF TO NOT LESS THAN 150mm ABOVE THE SHOWER FLOOR SUBSTRATE OR NOT LESS THAN 25mm ABOVE THE MAXIMUM RETAINED WATER LEVEL WHICH EVER IS THE GREATER WITH THE REMAINDER BEING WATERPROOF TO A HEIGHT OF NOT LESS THAN 1800mm ABOVE THE FINISHED FLOOR LEVEL.	WATERPROOF INTERNAL AND EXTERNAL CORNERS AND HORIZONTAL JOINTS WITHIN A HEIGHT OF 1800mm ABOVE THE FLOOR LEVEL WITH NOT LESS THAN 40mm WIDTH EITHER SIDE OF THE JUNCTION.	WATERPROOF ALL PENETRATIONS.
ENCLOSED SHOWER WITHOUT HOB	WATERPROOF ENTIRE ENCLOSED SHOWER AREA, INCLUDING WATERSTOP.	WATERPROOF TO NOT LESS THAN 150mm ABOVE THE SHOWER FLOOR SUBSTRATE WITH THE REMAINDER BEING WATERPROOF TO A HEIGHT OF NOT LESS THAN 1800mm ABOVE THE FINISHED FLOOR LEVEL.	WATERPROOF INTERNAL AND EXTERNAL CORNERS AND HORIZONTAL JOINTS WITHIN A HEIGHT OF 1800mm ABOVE THE FLOOR LEVEL WITH NOT LESS THAN 40mm WIDTH EITHER SIDE OF THE JUNCTION.	WATERPROOF ALL PENETRATIONS.
ENCLOSED SHOWER WITH STEPDOWN	WATERPROOF ENTIRE ENCLOSED SHOWER AREA INCLUDING THE STEPDOWN.	WATERPROOF TO NOT LESS THAN 150mm ABOVE THE SHOWER FLOOR SUBSTRATE OR NOT LESS THAN 25mm ABOVE THE MAXIMUM RETAINED WATER LEVEL WHICHEVER IS THE GREATER WITH THE REMAINDER BEING WATERPROOF TO A HEIGHT OF NOT LESS THAN 1800mm ABOVE THE FINISHED FLOOR LEVEL.	WATERPROOF INTERNAL AND EXTERNAL CORNERS AND HORIZONTAL JOINTS WITHIN A HEIGHT OF 1800mm ABOVE THE FLOOR LEVEL WITH NOT LESS THAN 40mm WIDTH EITHER SIDE OF THE JUNCTION.	WATERPROOF ALL PENETRATIONS.
ENCLOSED SHOWER WITH PRE-FORMED SHOWER BASE	N/A	WATERPROOF TO A HEIGHT OF NOT LESS THAN 1800mm ABOVE FINISHED FLOOR LEVEL.	WATERPROOF INTERNAL AND EXTERNAL CORNERS AND HORIZONTAL JOINTS WITHIN A HEIGHT OF 1800mm ABOVE THE FLOOR LEVEL WITH NOT LESS THAN 40mm WIDTH EITHER SIDE OF THE JUNCTION.	WATERPROOF ALL PENETRATIONS.
UNENCLOSED SHOWERS	WATERPROOF ENTIRE UNCLOSED SHOWER AREA.	WATERPROOF TO NOT LESS THAN 150mm ABOVE THE SHOWER FLOOR SUBSTRATE OR NOT LESS THAN 25mm ABOVE THE MAXIMUM RETAINED WATER LEVEL WHICH EVER IS THE GREATER WITH THE REMAINDER BEING WATERPROOF TO A HEIGHT OF NOT LESS THAN 1800mm ABOVE THE FINISHED FLOOR LEVEL.	WATERPROOF INTERNAL AND EXTERNAL CORNERS AND HORIZONTAL JOINTS WITHIN A HEIGHT OF 1800mm ABOVE THE FLOOR LEVEL WITH NOT LESS THAN 40mm WIDTH EITHER SIDE OF THE JUNCTION.	WATERPROOF ALL PENETRATIONS.
AREAS OUTSIDE THE SHOWER AREA FOR CONCRETE AND COMPRESSED FIBRE CEMENT SHEET FLOORING	WATER RESISTANT TO ENTIRE FLOOR.	N/A	WATERPROOF ALL WALL/FLOOR JUNCTIONS. WHERE A FLASHING IS USED THE HORIZONTAL LEG MUST BE NOT LESS THAN 40mm.	N/A
AREAS OUTSIDE THE SHOWER AREA FOR TIMBER FLOORS INCLUDING PARTICLEBOARD, PLYWOOD AND OTHER TIMBER BASED FLOORING MATERIALS	WATERPROOF ENTIRE FLOOR.	N/A	WATERPROOF ALL WALL/FLOOR JUNCTIONS. WHERE A FLASHING IS USED THE HORIZONTAL LEG MUST BE NOT LESS THAN 40mm.	N/A
AREAS ADJACENT TO BATHS AND SPAS FOR CONCRETE AND COMPRESSED FIBRE CEMENT SHEET FLOORING.	WATER RESISTANT TO ENTIRE FLOOR.	WATERPROOF TO A HEIGHT OF NOT LESS THAN 150mm ABOVE THE VESSEL AND EXPOSED SURFACES BELOW THE VESSEL LIP TO FLOOR LEVEL.	WATERPROOF EDGES OF THE VESSEL AND JUNCTION OF BATH ENCLOSURE WITH FLOOR. WHERE THE LIP OF THE BATH IS SUPPORTED BY A HORIZONTAL SURFACE, THIS MUST BE WATERPROOF FOR SHOWERS OVER BATH AND WATER RESISTANT FOR ALL OTHER CASES.	WATERPROOF ALL TAP AND SPOUT PENETRATIONS WHERE THEY OCCUR IN A HORIZONTAL SURFACE.
AREAS ADJACENT TO BATHS AND SPAS (SEE NOTE 1) FOR TIMBER FLOORS INCLUDING PARTICLEBOARD, PLYWOOD AND OTHER TIMBER BASED FLOORING MATERIALS.	WATERPROOF ENTIRE FLOOR.	WATERPROOF TO A HEIGHT OF NOT LESS THAN 150mm ABOVE THE VESSEL AND EXPOSED SURFACES BELOW THE VESSEL LIP TO FLOOR LEVEL.	WATERPROOF EDGES OF THE VESSEL AND JUNCTION OF BATH ENCLOSURE WITH FLOOR. WHERE THE LIP OF THE BATH IS SUPPORTED BY A HORIZONTAL SURFACE, THIS MUST BE WATERPROOF FOR SHOWERS OVER BATH AND WATER RESISTANT FOR ALL OTHER CASES.	WATERPROOF ALL TAP AND SPOUT PENETRATIONS WHERE THEY OCCUR IN A HORIZONTAL SURFACE.
INSERTED BATHS	N/A FOR FLOOR UNDER BATH. ANY SHELF AREA ADJOINING THE BATH OR SPA MUST BE WATERPROOF AND INCLUDE A WATERSTOP UNDER THE VESSEL LIP.	N/A FOR WALL UNDER BATH. WATERPROOF TO NOT LESS THAN 150mm ABOVE THE LIP OF THE BATH.	N/A FOR WALL UNDER BATH. WATERPROOF TO NOT LESS THAN 150 mm ABOVE THE LIP OF A BATH OR SPA.	WATERPROOF ALL TAP AND SPOUT PENETRATIONS WHERE THEY OCCUR IN A HORIZONTAL SURFACE.
WALLS ADJOINING OTHER VESSELS (EG. SINKS, LAUNDRY TUBS AND BASINS)	N/A	WATERPROOF TO A HEIGHT OF NOT LESS THAN 150mm ABOVE THE VESSEL IF THE VESSEL IS WITHIN 75mm OF THE WALL.	WHERE THE VESSEL IS FIXED TO A WALL, WATERPROOF EDGES FOR EXTENT OF VESSEL.	WATERPROOF ALL TAP AND SPOUT PENETRATIONS WHERE THEY OCCUR IN A HORIZONTAL SURFACE.
LAUNDRIES AND WCS	WATER RESISTANT TO ENTIRE FLOOR.	WATERPROOF ALL WALL/FLOOR JUNCTIONS TO NOT LESS THAN 25mm ABOVE THE FINISHED FLOOR LEVEL, SEALED TO FLOOR.	WATERPROOF ALL WALL/FLOOR JUNCTIONS. WHERE A FLASHING IS USED THE HORIZONTAL LEG MUST BE NOT LESS THAN 40mm.	N/A

THE ABOVE INFORMATION IS FOR GENERAL GUIDANCE AND IS INDICATIVE ONLY. WATERPROOFING INSTALLERS TO COMPLY WITH ALL CURRENT CODES OF LEGISLATION WHICH TAKE PRECEDENCE OVER THIS SPECIFICATION.

WET AREA WATERPROOFING BY LICENSED AND ACCREDITED INSTALLER. CERTIFICATION TO BE PROVIDED TO BUILDING SURVEYOR. CONTRACTOR OR BUILDER TO DETERMINE THE APPROPRIATE WATERPROOFING IN ACCORDANCE WITH AS3740 PART 10.2 OF N.C.C AND TO NOTIFY THE BUILDING SURVEYOR FOR INSPECTION ARRANGEMENTS DURING INSTALLATION.

ENERGY EFFICIENCY - GENERAL

STATED R VALUES ARE FOR ADDITIONAL INSULATION REQUIRED AND ARE NOT RT VALUES (TOTAL SYSTEM VALUE)

INSULATION TO BE INSTALLED TO MANUFACTURERS SPECIFICATIONS AND ANY RELEVANT STANDARDS

BULK INSULATION IS NOT TO BE COMPRESSED AS THIS REDUCES THE EFFECTIVE R RATING

WAFFLE POD ALLOWANCES:

- R0.6 - 175mm DEEP
- R0.7 - 225mm DEEP
- R0.8 - 300mm DEEP
- R0.9 - 375mm DEEP

N.C.C 2022 TAS PART H6

IN TASMANIA, FOR NCC PART H6 REFER TO NCC 2019 AMENDMENT 1 PART 2.6; FOR NCC PART 13.1 REFER TO NCC 2019 PART 3.12

N.C.C 2019 3.12.0 (A)

PERFORMANCE REQUIREMENT P2.6.1 FOR THE THERMAL PERFORMANCE OF THE BUILDING IS SATISFIED BY COMPLYING WITH:

3.12.0.1 - FOR REDUCING THE HEATING AND COOLING LOADS

TO REDUCE HEATING AND COOLING LOADS MUST ACHIEVE AN ENERGY RATING USING HOUSING ENERGY RATING SOFTWARE OF NOT LESS THAN 6 STARS.

3.12.1.1 - FOR BUILDING FABRIC THERMAL INSULATION

BUILDER TO ENSURE THAT ALL INSULATION COMPLIES WITH AS/NZS 4859.1 AND BE INSTALLED TO N.C.C 3.12.1.1.

3.12.1.2(e) - FOR COMPENSATING FOR A LOSS OF CEILING INSULATION

REFER TO ATTACHED THERMAL PERFORMANCE CERTIFICATE

- (i) IF ALLOWANCE HAS BEEN MADE FOR CEILING PENETRATIONS IN NATHERS (FIRST RATE 5) CERTIFICATION PROCESS THEN NO FURTHER ACTION REQUIRED.
- (ii) IF NO ALLOWANCE HAS BEEN MADE FOR CEILING PENETRATIONS IN NATHERS (FIRST RATE 5) CERTIFICATION PROCESS THEN CEILING PENETRATION AREA MUST BE CALCULATED AND THE NECESSARY ADJUSTMENT MADE TO THE SPECIFIED INSULATION AS PER TABLE 3.12.1.1B OF NCC

3.12.1.5(c) AND 3.12.1.5(d) - FOR FLOOR EDGE INSULATION

FOR CONCRETE SLAB ON GROUNDS WITH IN SLAB HEATING OR COOLING.

3.12.3 - FOR BUILDING SEALING

3.12.3.1 - CHIMNEYS AND FLUES

THE CHIMNEY OR FLUE OF AN OPEN SOLID FUEL BURNING APPLIANCE MUST BE PROVIDED WITH A DAMPER OR FLAP THAT CAN BE CLOSED TO SEAL THE CHIMNEY OR FLUE.

3.12.3.2 - ROOF LIGHTS

(a) A ROOF LIGHT MUST BE SEALED, OR CAPABLE OF BEING SEALED WHEN SERVING:

- (i) A CONDITIONED SPACE; OR
- (ii) A HABITABLE ROOM IN CLIMATE ZONES 4, 5, 6, 7 OR 8

(b) A ROOF LIGHT REQUIRED BY (a) TO BE SEALED, OR CAPABLE OF BEING SEALED MUST BE CONSTRUCTED WITH:

- (i) AN IMPERFORATE CEILING DIFFUSER OR THE LIKE INSTALLED AT A CEILING OR INTERNAL LINING LEVEL; OR
- (ii) A WATERPROOF SEAL; OR
- (iii) A SHUTTER SYSTEM READILY OPERATED MANUALLY, MECHANICALLY OR ELECTRONICALLY BY THE OCCUPANT.

3.12.3.6 - EVAPORATIVE COOLERS

AN EVAPORATIVE COOLER MUST BE FITTED WITH A SELF CLOSING DAMPER OR THE LIKE WHEN SERVING:

- (a) A HEATED SPACE; OR
- (b) A HABITABLE ROOM IN CLIMATE ZONES 4, 5, 6, 7 OR 8.

3.12.5.5 - ARTIFICIAL LIGHTING

(a) LAMP POWER DENSITY OR ILLUMINATION POWER DENSITY OF AN ARTIFICIAL LIGHT, EXCLUDING HEATING THAT EMITS LIGHT, MUST NOT EXCEED THE ALLOWANCE OF:

- (i) 5W/m² IN A CLASS 1 BUILDING
- (ii) 4W/m² ON A VERANDAH, BALCONY OR THE LIKE ATTACHED TO A CLASS 1 BUILDING (NOT EXCLUDING EAVE PERIMETER LIGHTS);
- (iii) 3W/m² IN A CLASS 10A BUILDING ASSOCIATED WITH A CLASS 1 BUILDING.

(b) THE ILLUMINATION POWER DENSITY ALLOWANCE IN (a) MAY BE INCREASED BY DIVIDING IT BY THE ILLUMINATION POWER DENSITY ADJUSTMENT FACTOR FOR A CONTROL DEVICE AS PER N.C.C TABLE 3.12.5.3.

**SUBJECT TO NCC 2022
(1 MAY 2023)**

**WATERPROOFING & PLUMBING
CONDENSATION MANAGEMENT**

PLAN ACCEPTANCE BY OWNER	
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SPECIFICATION: DISCOVERY	REVISION 1 CP1	DRAWN HMI 04/11/2025	CLIENT: ANGEL GEORGE & BASKARAN PERUMAL		HOUSE DESIGN: ARGYLE 19	HOUSE CODE: H-WDNAGY10SA	DO NOT SCALE DRAWINGS, USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.
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COPYRIGHT: © 2025	2 CP1 AMENDMENT	JII 10/11/2025	LOT / SECTION / CT: 444 / - / 186023	COUNCIL: BRIGHTON	SHEET TITLE: WET AREA & ENERGY EFFICIENCY NOTES	SHEET NO.: 19 / 19	SCALES: 714516
	3 CP2	HMI 26/11/2025					
	4 CP2 - UPDATE	HMI 09/12/2025					
	5 PRELIM PLANS - INITIAL ISSUE	LTR 12/12/2025					