



Application for Planning Approval

Land Use Planning and Approvals Act 1993

APPLICATION NO.

SA2025/034

LOCATION OF AFFECTED AREA

37 JUBILEE AVENUE, BRIGHTON

DESCRIPTION OF DEVELOPMENT PROPOSAL

SUBDIVISION (2 LOTS)

A COPY OF THE DEVELOPMENT APPLICATION MAY BE VIEWED AT www.brighton.tas.gov.au AND AT THE COUNCIL OFFICES, 1 TIVOLI ROAD, OLD BEACH, BETWEEN 8:15 A.M. AND 4:45 P.M, MONDAY TO FRIDAY OR VIA THE QR CODE BELOW. ANY PERSON MAY MAKE WRITTEN REPRESENTATIONS IN ACCORDANCE WITH S.57(5) OF THE LAND USE PLANNING AND APPROVALS ACT 1993 CONCERNING THIS APPLICATION UNTIL 4:45 P.M. ON **22/12/2025**. ADDRESSED TO THE CHIEF EXECUTIVE OFFICER AT 1 TIVOLI ROAD, OLD BEACH, 7017 OR BY EMAIL AT development@brighton.tas.gov.au. REPRESENTATIONS SHOULD INCLUDE A DAYTIME TELEPHONE NUMBER TO ALLOW COUNCIL OFFICERS TO DISCUSS, IF NECESSARY, ANY MATTERS RAISED.

JAMES DRYBURGH
Chief Executive Officer



Brighton
going places

Amended Submission to Planning Authority Notice

Application details

Council Planning Permit No.	SA 2025 / 00034
Council notice date	18/09/2025
TasWater Reference No.	TWDA 2025/01107-BTN
Date of response	26/09/2025
Amendment date	02/12/2025
TasWater Contact	Phil Papps
Phone No.	0474 931 272

Response issued to

Council name	BRIGHTON COUNCIL
Contact details	development@brighton.tas.gov.au
Development details	
Address	37 JUBILEE AVE, BRIGHTON
Property ID (PID)	7642823
Description of development	Subdivision – 2 Lots

Schedule of drawings/documents

Prepared by	Drawing/document No.	Revision No.	Issue date
Rogerson & Birch Surveyors	Plan of Subdivision / BEARCO1 16319-01	A	19/11/2025
Fysh Design	Civil Layout / CO4	0	06/11/2025

Conditions

Pursuant to the *Water and Sewerage Industry Act 2008* (TAS) Section 56P(1) TasWater imposes the following conditions on the permit for this application:

CONNECTIONS, METERING & BACKFLOW

1. A suitably sized water supply with metered connection(s) and sewerage system and connection(s) to each lot of the development must be designed and constructed to TasWater's satisfaction and be in accordance with any other conditions in this permit.
2. Any removal/supply and installation of water meters and/or the removal of redundant and/or installation of new and modified property service connections must be carried out by TasWater at the developer's cost.
3. Prior to commencing construction of the subdivision/use of the development, any water connection utilised for construction/the development must have a backflow prevention device and water meter installed, to the satisfaction of TasWater.

ASSET CREATION & INFRASTRUCTURE WORKS

4. Prior to applying for a Engineering Design Approval, the developer must physically locate all existing infrastructure to provide sufficient information for accurate design and physical works to be undertaken.
5. Plans submitted with the application for Engineering Design Approval must, to the satisfaction of TasWater show, all existing, redundant and/or proposed property services and mains. Evidence must be provided with the application which demonstrates a sewer extension to Lot 1 from the existing DN150 sewer main (Asset A207856) located within Lot 2 cannot control the lot by a gravity connection prior to approval of any alternate sewer servicing proposal.
6. Prior to applying for a Permit to Construct new infrastructure the developer must obtain from TasWater Engineering Design Approval for new TasWater infrastructure. The application for Engineering Design Approval must include engineering design plans prepared by a suitably qualified person showing the hydraulic servicing requirements for water and sewerage to TasWater's satisfaction.
7. Prior to works commencing, a Permit to Construct must be applied for and issued by TasWater. All infrastructure works must be inspected by TasWater and be to TasWater's satisfaction.
8. Prior to undertaking any works related to water and sewerage, physical markers must be in place that clearly identify where water and/or sewer connections are to be made in accordance with any approved plan to TasWater's satisfaction.
9. In addition to any other conditions in this permit, all works must be constructed under the supervision of a suitably qualified person in accordance with TasWater's requirements.
10. Prior to the issue of a Consent to Register a Legal Document all additions, extensions, alterations or upgrades to TasWater's water and sewerage infrastructure required to service the development, are to be completed generally as shown on, and in accordance with TasWater standards, and are to be constructed at the expense of the developer to the satisfaction of TasWater, with live connections performed by TasWater.
11. After testing, to TasWater's requirements, of newly created works, the developer must apply to TasWater for connection of these works to existing TasWater infrastructure, at the developer's cost.
12. At practical completion of the water and sewerage works and prior to TasWater issuing a Consent to a Register Legal Document, the developer must obtain a Certificate of Practical Completion from TasWater for the works that will be transferred to TasWater. To obtain a Certificate of Practical Completion:
 - a. Written confirmation from the supervising suitably qualified person certifying that the works have been constructed in accordance with the TasWater approved plans and specifications and that the appropriate level of workmanship has been achieved.
 - b. A request for a joint on-site inspection with TasWater's authorised representative must be made.
 - c. Work As Constructed drawings and documentation must be prepared by a suitably qualified person to TasWater's satisfaction and forwarded to TasWater.

Upon TasWater issuing a Certificate of Practical Completion, the newly constructed infrastructure is deemed to have transferred to TasWater.

13. After the Certificate of Practical Completion has been issued, a 12-month defects liability period applies to this infrastructure. During this period all defects must be rectified at the developer's cost and to the satisfaction of TasWater. A further 12-month defects liability period may be applied to defects after rectification. TasWater may, at its discretion, undertake rectification of any defects at the developer's cost. Upon completion, of the defects liability period the developer must request TasWater to issue a "Certificate of Final Acceptance". TasWater will release any security held for the defect's liability period.
14. The developer must take all precautions to protect existing TasWater infrastructure. Any damage caused to existing TasWater infrastructure during the construction period must be promptly reported to TasWater and repaired by TasWater at the developer's cost.
15. Ground levels over the TasWater assets and/or easements must not be altered without the written approval of TasWater.

FINAL PLANS, EASEMENTS & ENDORSEMENTS

16. Prior to the Sealing of the Final Plan of Survey, a Consent to Register a Legal Document must be obtained from TasWater as evidence of compliance with these conditions when application for sealing is made.
Advice: Council will refer the Final Plan of Survey to TasWater requesting Consent to Register a Legal Document be issued directly to them on behalf of the applicant.
17. Pipeline easements to TasWater's satisfaction, must be created over any existing or proposed TasWater infrastructure and be in accordance with TasWater's standard pipeline easement conditions and requirements.
18. Prior to the issue of a TasWater Consent to Register a Legal Document, the applicant must submit a .dwg file, prepared by a suitably qualified person to TasWater's satisfaction, showing:
 - a. the exact location of the existing sewerage infrastructure,
 - b. the easement protecting that infrastructure.

The developer must locate the existing TasWater infrastructure and clearly show it on the .dwg file. Existing TasWater infrastructure may be located by a surveyor and/or a private contractor engaged at the developers cost.

DEVELOPER CHARGES

19. Prior to TasWater issuing a Consent to Register a Legal Document, the applicant or landowner as the case may be, must pay a developer charge totalling \$3,514.00 to TasWater for water and sewerage infrastructure for 1.0 additional Equivalent Tenements, indexed by the Consumer Price Index All groups (Hobart) from the date of this Submission to Planning Authority Notice until the date it is paid to TasWater.

DEVELOPMENT ASSESSMENT FEES

20. The applicant or landowner as the case may be, must pay a development assessment fee of \$251.35 and a Consent to Register a Legal Document fee of \$265.98 to TasWater, as approved by the Economic Regulator and the fees will be indexed, until the date paid to TasWater.

The payment is required within 30 days of the issue of an invoice by TasWater.

Advice

General

For information on TasWater development standards, please visit

<https://www.taswater.com.au/building-and-development/technical-standards>

For application forms please visit

<https://www.taswater.com.au/building-and-development/development-application-form>

Important Notice Regarding Plumbing Plans and Associated Costs

The SPAN includes references to documents submitted as part of the application. These plans are acceptable for planning purposes only and are subject to further detailed assessment and review during the next stage of the development proposal.

TasWater's assessment staff will ensure that the design contains sufficient detail to assess compliance with relevant codes and regulations. Additionally, the plans must be clear enough for a TasWater contractor to carry out any water or sewerage-related work.

Depending on the nature of the project, your application may require Building and/or Plumbing permits or could be exempt from these requirements. Regardless, TasWater's assessment process and associated time are recoverable through an assessment fee.

Please be aware that your consultant may need to make revisions to their documentation to ensure the details are fit for construction. Any costs associated with updating these plans should be discussed directly with your consultant.

Developer Charges

For information on Developer Charges please visit the following webpage –

<https://www.taswater.com.au/building-and-development/developer-charges>

Service Locations

Please note that the developer is responsible for arranging to locate the existing TasWater infrastructure and clearly showing it on the drawings. Existing TasWater infrastructure may be located by a surveyor and/or a private contractor engaged at the developers cost to locate the infrastructure.

- a. A permit is required to work within TasWater's easements or in the vicinity of its infrastructure. Further information can be obtained from TasWater.
- b. TasWater has listed a number of service providers who can provide asset detection and location services should you require it. Visit <https://www.taswater.com.au/building-and-development/service-locations> for a list of companies.
- c. Sewer drainage plans or Inspection Openings (IO) for residential properties are available from your local council.

Declaration

The drawings/documents and conditions stated above constitute TasWater's Submission to Planning Authority Notice.

Our Ref: FBEARC01
15th September 2025 /dm

Brighton Council
1 Tivoli Road
OLD BEACH TAS 7017

Dear Sir/Madam

RE: PROPOSED SUBDIVISION – 37 JUBILEE AVENUE, BRIGHTON.

Further to our client's instructions, please find enclosed:

1. A copy of the above-named proposed Plan of Subdivision.
2. A copy of the relevant title.
3. Brighton Council's Development Application form.

Your advice and tax invoice in relation to the necessary Council fees is requested.

We advise that on receipt of Council's invoice, we will forward same to our client for payment.

This application proposes to subdivide the property as shown on the Plan of Subdivision enclosed.

The land is zoned General Residential under the Tasmanian Planning Scheme, and we make the following comments with respect to the relevant clauses:

8.6.1

A1

Both lots comply.

Both lots have compliant areas. Lot 1 can contain a 10m x 15m building area clear of setbacks and easements, lot 2 is developed with an existing dwelling which is clear of the scheme setbacks to boundaries, see plan and elevation.

A2

Lot 1 complies.

Lot 2 does not comply see comments under P2.

P2 For Lot 2

(a) Lot 2 has an existing access strip from Jubilee Avenue. The access strip is 3.60m wide.

(b) Lot 2 will be the only lot using the access strip.

(c) The access and driveway is almost level.

(d) The access is existing and has a compliant crossover and transitions. The access affords good sight distance along the street.

© Lot 2 has sufficient driveway on the northern and eastern sides of the house to allow vehicles to turn, so that entry and exit can be in a forward direction.

(f) The arrangement for internal lots is evident as a pattern of development of properties in the area. See units 1 and 2 at number 41, and units 1 to 6 at number 35, and units 2 to 3 at number 33, Jubilee Avenue, and number 9 Halket Close, and units 1 to 11 at number 40A Andrew Street.

A3

Both lots will have an access that has a compliant crossover and the driveway will have compliant grade and width.

A4

Not applicable as there is no new road.

We consider the objectives of 8.6.1 have been met with the proposal as follows:

(a) The plan demonstrates that residential use and development can be achieved on the lots.

(b) The lots have appropriate access to a road.

© The lots contain areas suitable for development appropriate to the zone not affected by natural hazards.

(d) Lots are orientated to maximise solar access.

8.6.2

A1

Complies. No new roads are proposed.

8.6.3

A1

Complies, see existing and proposed service connections on Plan of Subdivision.

A2

Complies, see existing and proposed service connections on Plan of Subdivision.

A3

Complies, see existing and proposed service connections on Plan of Subdivision.

The land is subject codes under the scheme we make the following comments in relation to the codes;

Parking and Sustainable Transport Code C2.0

C2.5.1

A1 Complies lot 2 has 2 existing car spaces.

C2.6.3

A1 Complies, the number of accesses provided for each frontage is no more than 1.

Road and Railway Assets Code C3.0

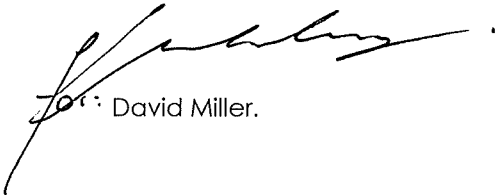
C3.7.1

A1 Complies, to our knowledge there is no road or railway attenuation area impacting this site.

Should you have any queries or require any further information, please do not hesitate to contact our office.

We now await your further advice.

Yours faithfully,

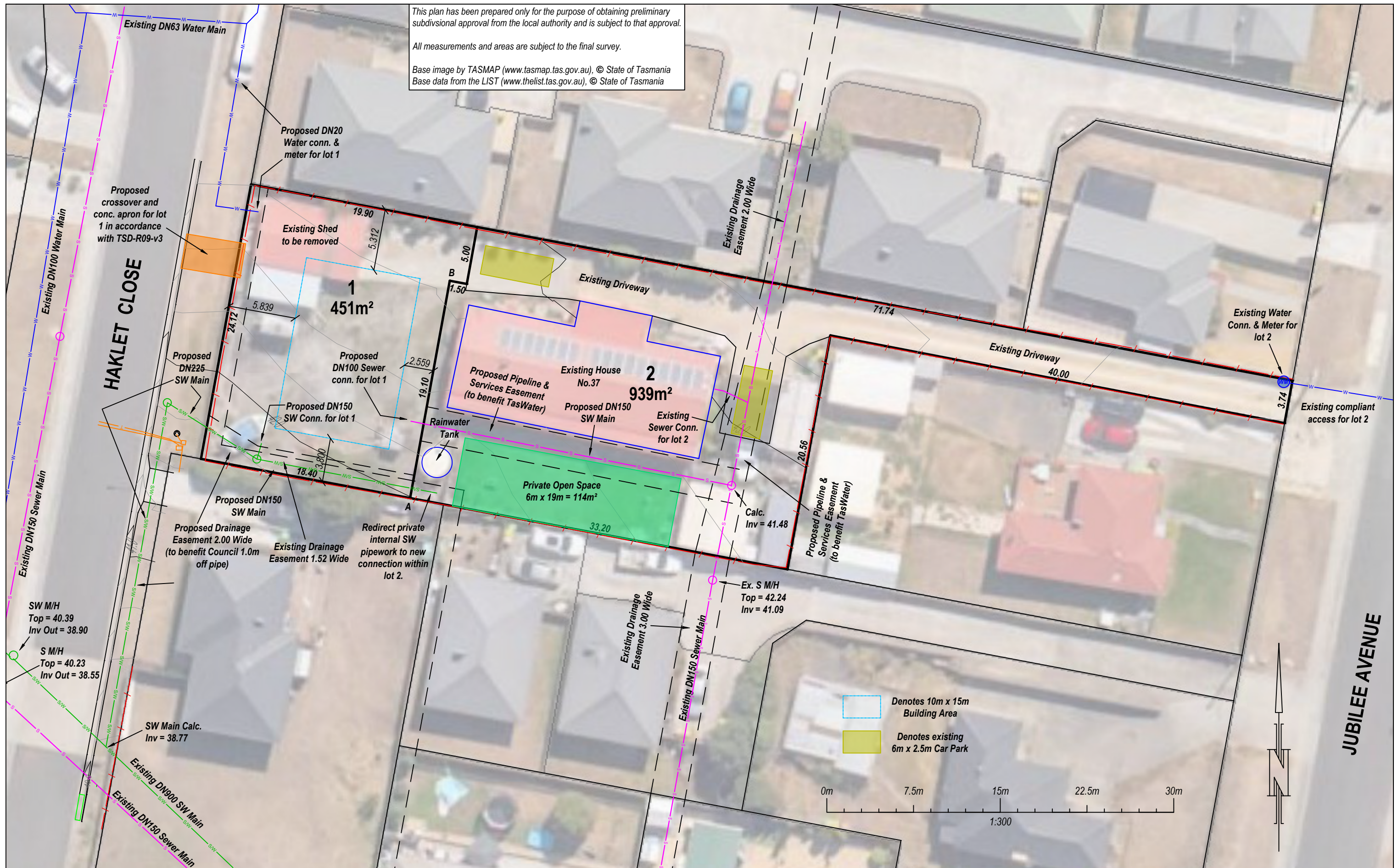
A handwritten signature in black ink, appearing to read 'David Miller', with a long horizontal flourish extending to the right.

For: David Miller.

This plan has been prepared only for the purpose of obtaining preliminary
subdivisional approval from the local authority and is subject to that approval.

All measurements and areas are subject to the final survey.

Base image by TASMAP (www.tasmap.tas.gov.au), © State of Tasmania
Base data from the LIST (www.thelist.tas.gov.au), © State of Tasmania



E				
D				
C				
B	Servicing arrangements amended	DM	28/11/25	DM
A	Proposed Sewer arrangements amended	DM	19/11/25	DM
REV	AMENDMENTS	DRAWN	DATE	APPR.



UNIT 1, 2 KENNEDY DRIVE
CAMBRIDGE 7170
PHONE: (03)6248 5898
EMAIL: admin@rbsurveyors.com
WEB: www.rbsurveyors.com

OWNER: CLAUDIA BEARD
TITLE REFERENCE: 41237/4
LOCATION: 37 JUBILEE AVENUE,
BRIGHTON

Proposed Subdivision

Date:	5/09/2025	Reference:	BEARC01 16319-01
Scale:	1:300 (A3)	Municipality:	BRIGHTON

*CIVIL / HYDRAULIC DRAWINGS
PROPOSED SUB DIVISION
37 JUBILEE AVENUE, BRIGHTON*




DRAWING SCHEDULE

SHEET	DRAWING TITLE	REV	DATE
C01	TITLE & OVERALL PLAN	1	30/11/2025
C02	NOTES & LEGEND	0	06/11/2025
C03	DETAILED GENERAL ARRANGEMENT PLAN 1	1	30/11/2025
C04	DETAILED GENERAL ARRANGEMENT PLAN 2	1	30/11/2025
C05	SEWER DRAINAGE LONG SECTION	1	30/11/2025
C06	STORMWATER DRAINAGE LONG SECTION	1	30/11/2025
C07	CONSTRUCTION DETAILS	0	06/11/2025

WARNING
BEWARE OF UNDERGROUND SERVICES
THE LOCATION OF UNDERGROUND SERVICES ARE
APPROXIMATE ONLY AND THE EXACT POSITION
SHOULD BE PROVEN ON SITE. NO GUARANTEE IS
GIVEN THAT ALL SERVICES ARE SHOWN.



OVERALL PLAN
SCALE 1:250 (mm) (A1)

						<div>BASE SURVEY SUPPLIED BY ROGERSON AND BIRCH SURVEYED ON: 05/09/2025 HORIZONTAL DATUM: MGA2020 AHD 83 GRID: GDA2020, ZONE 55 LEVEL DATUM: AHD</div>		<div> FYSH DESIGN Civil Engineering</div>		<div>FYSH DESIGN UNIT 4, 160 BUNGANA WAY CAMBRIDGE TAS PH: 0414 149 394 ACCREDITATION: BSD LICENCE NO. 479819732</div>		<div> NORTH</div>		<div>PROPOSED SUB DIVISION CLAUDIA BEARD 37 JUBILEE AVENUE, BRIGHTON DRAWING TITLE TITLE AND OVERALL PLAN</div>		<div> SCALE 1:100</div>		<div>SCALE AS NOTED</div>	
1	FOR APPROVAL	CF	30/11/2025																
0	FOR APPROVAL	CF	06/11/2025																
REV	DESCRIPTION		DATE	REV	DESCRIPTION		DATE												

LEGEND

NEW STORMWATER LINE(DN100 DWV SN6 @ MIN 1.0% GRADE

NEW DOMESTIC WATER

NEW DN100 DWV SN6 SEWER @ MIN 1.65% GRADE

NEW DN100 CHARGED STORMWATER LINE @ MIN 1.0% GRADE

SHAPED TABLE DRAIN

BOUNDARY LINE

EXISTING FENCE LINE

EXISTING OVERHEAD POWER LINE

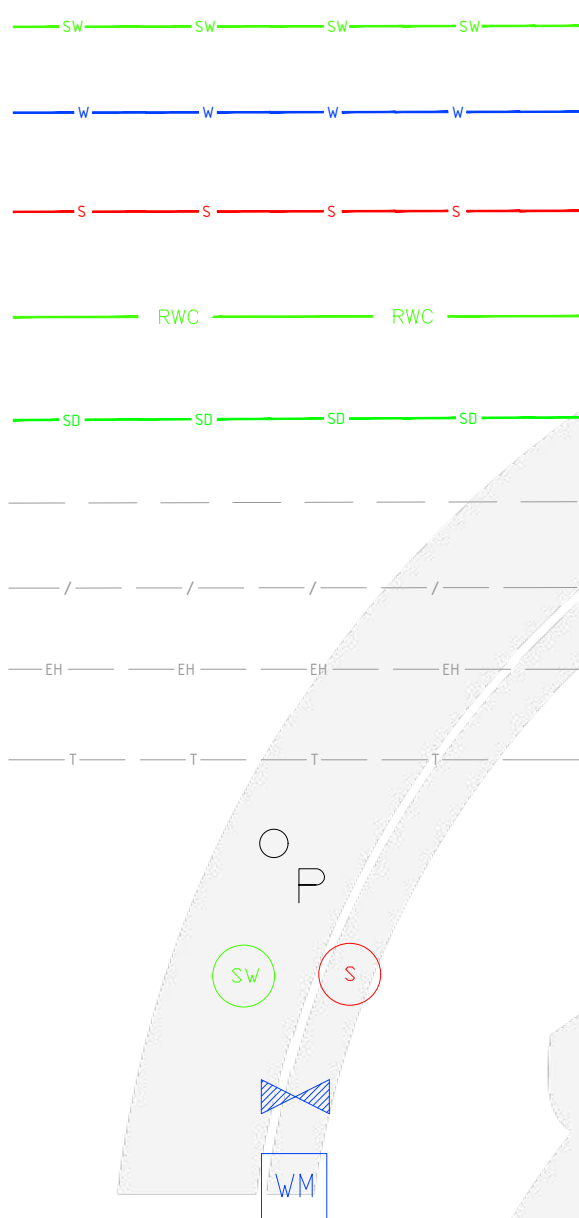
EXISTING TELECOMMUNICATIONS LINE

EXISTING POWER POLE

NEW STORMWATER/SEWER MANHOLE

WATER VALVE

WATER METER



GENERAL NOTES

1. ALL PRIVATE PLUMBING WORKS SHALL GENERALLY BE IN ACCORDANCE WITH THE AS3500, NATIONAL CONSTRUCTION CODE VOL 3 (PLUMBING CODE OF AUSTRALIA), & THE IPWEA MUNICIPAL STANDARD SPECIFICATION AND DRAWINGS AS APPLICABLE.
2. UNLESS NOTED OTHERWISE THE CONTRACTOR IS REQUIRED TO OBTAIN ALL NECESSARY PERMITS FOR THE WORKS INCLUDING ANY WORKS IN THE ROAD RESERVATION AND ON ADJACENT PRIVATE PROPERTIES.
3. THE CONTRACTOR SHALL CONFIRM THE PRESENCE & LOCATION OF ALL EXISTING SERVICES ON THE SITE & WITHIN THE AREA OF WORKS & CLEARLY IDENTIFY ALL DANGEROUS SERVICES UNDERGROUND & OVERHEAD.
4. ALL DRAIN AND SERVICES TIE IN LEVELS & LOCATIONS ARE TO BE CONFIRMED BEFORE COMMENCEMENT OF CONSTRUCTION WORK.
5. UNLESS NOTED OTHERWISE ALL SERVICE CONNECTIONS TO COUNCIL OR WATER AUTHORITY SERVICE SHALL BE UNDERTAKEN BY THE COUNCIL OR WATER AUTHORITY AT THE CONTRACTOR'S COST.
6. ALL REDUNDANT SERVICE LINES SHALL BE CUT AND PLUGGED AT EXTERNAL BOUNDARIES. WITHIN THE SITE BOUNDARY ALL REDUNDANT SERVICES SHALL BE REMOVED AND DISPOSED OF.
7. REDUNDANT SERVICE TRENCHES SHALL BE BACKFILLED WITH FULLY COMPACTED MATERIAL APPROPRIATE FOR THE AREA OF THE DEVELOPMENT SITE.
8. ALL UNDERGROUND WATER AND SEWER WORKS MUST BE TESTED AND INSPECTED BY COUNCIL OR TASMATER PRIOR TO BACKFILL.
9. ALL PIPES UNDER TRAFFIC ABLE AREAS ARE TO BE BACK FILLED FULL DEPTH WITH 20MM F.C.R. AND FULLY COMPACTED.

SERVICES NOTES

WATER SUPPLY

1. ALL WATER WORKS IN PUBLIC AREAS ARE TO BE IN ACCORDANCE WITH WATER SUPPLY CODE WSA 03-2011-3.1 MRWA ED 2 AND TASWATER'S SUPPLEMENT.
2. ALL WATER SUPPLY WORKS IN PRIVATE AREAS SHALL BE IN ACCORDANCE WITH IN ACCORDANCE WITH AS3500.1 & AS3500.4
3. ALL INTERNAL WATER SUPPLY SERVICES SHALL BE PLANNED AND INSTALLED BY THE PLUMBING CONTRACTOR IN ACCORDANCE WITH AS3500.
4. ALL HOT WATER LINES ARE TO BE FULLY LAGGED.
5. ALL HOT WATER SERVICES TO BE INSTALLED WITH TEMPERING DEVICES PROVIDING WATER AT NO GREATER THAN 45 DEGREES C. IN ACCORDANCE WITH THE REQUIREMENTS OF AS 3500.4.
6. ALL MODIFICATIONS AND ADDITIONS TO WATER SERVICES THAT CONNECT DIRECTLY ONTO TASWATER MAINS MUST BE CARRIED BY TASWATER. THE CONTRACTOR TO CO-ORDINATE WITH TASWATER.
7. ALL WATER SUPPLY PIPES ARE TO BE LOCATED WITH MINIMUM CLEARANCES TO OTHER SERVICES IN ACCORDANCE WITH THAT SPECIFIED IN THE WATER SUPPLY CODE WSA 03-2011-3.1 MRWA ED E - TABLE 5.5.

SERVICES NOTES

SEWER

1. ALL SEWER WORKS IN PUBLIC AREAS ARE TO BE IN ACCORDANCE WITH WSA 02-2002-2.3 MRWA EDITION 1.0 AND TASWATER'S SUPPLEMENT.
2. ALL SEWER WORKS IN PRIVATE AREAS SHALL BE IN ACCORDANCE WITH AS3500.2.
3. UNLESS NOTED OTHERWISE ALL SEWER DRAINS SHALL BE PVC SEWER CLASS "S8" TO AS1260.
4. ALL SEWER MANHOLE LIDS TO BE GATIC TYPE, HEAVY DUTY FOR TRAFFIC AREAS, LIGHT DUTY FOR NON TRAFFIC AREAS.
5. WHERE NECESSARY ALL EXISTING MANHOLE & PIT TOPS SHALL BE ADJUSTED TO SUIT NEW SURFACE LEVELS. PROVIDE AND INSTALL NEW APPROVED LIDS WHERE NECESSARY.
6. PROVIDE ALL NECESSARY TESTING & INSPECTION OPENINGS TO PIPE WORK. WHERE RELEVANT PROVIDE ADDITIONAL INSPECTION OPENING ABOVE IDENTIFICATION OF THE ORIGIN OF BLOCKAGES.
7. ALL MAINTENANCE STRUCTURES ARE TO BE IN ACCORDANCE WITH WSA NEW1300 DRAWING SERIES.
8. NEW SEWER MAIN DRAINS SHALL BE DN150 UPVC CLASS "S8" TO AS 1260 - U.N.O.
9. ALL PRIVATE SEWER DRAINS TO BE DN100 (UNO) PVC TO AS1260.
10. MANHOLES WITH INTERNAL DROPS SHALL BE 1200 INTERNAL DIAMETER MINIMUM.

WORKPLACE HEALTH & SAFETY NOTES

BEFORE THE CONTRACTOR COMMENCES WORK THE CONTRACTOR SHALL UNDERTAKE A SITE SPECIFIC PROJECT PRE-START HAZARD ANALYSIS / JOB SAFETY ANALYSIS (JSA) WHICH SHALL IDENTIFY IN DOCUMENTED FORM:

- THE TYPE OF WORK.
- HAZARDS AND RISKS TO HEALTH AND SAFETY.
- THE CONTROLS TO BE APPLIED IN ORDER ELIMINATE OR MINIMIZE THE RISK POSED BY THE IDENTIFIED HAZARDS.
- THE MANNER IN WHICH THE RISK CONTROL MEASURES ARE TO BE IMPLEMENTED.

THESE ARE TO BE SUBMITTED TO THE SUPERINTENDENT AND/OR OTHER RELEVANT WORKPLACE SAFETY OFFICERS.

- FOR THIS PROJECT, POSSIBLE HAZARDS INCLUDE (BUT ARE NOT LIMITED TO):
- EXCAVATION OF ANY TYPE & DEPTHS
 - CONTAMINATED SOILS
 - CONSTRUCTION IN GROUND WITH HIGH WATER TABLE
 - FELLING / LOPPING &/OR REMOVAL OF EXISTING TREES/VEGETATION
 - UNDERGROUND STRUCTURES (MANHOLES / SUMPS / ETC)
 - CONFINED SPACES
 - OVERHEAD POWER LINES
 - UNDERGROUND STORMWATER, WATER AND SEWER PIPES
 - TELECOMMUNICATION CABLES - BOTH UNDERGROUND & OVERHEAD
 - ELECTRICAL/POWER CABLES - BOTH UNDERGROUND & OVERHEAD
 - WORKING AT HEIGHTS
 - WORKING WITH ASBESTOS CONTAINING MATERIALS
 - TRAFFIC MANAGEMENT

FOR THIS PROJECT; POSSIBLE HAZARDS INCLUDE (BUT ARE NOT LIMITED TO):

DEPTH TO INVERT OF OUTLET	MINIMUM INTERNAL DIMENSIONS mm	
	WIDTH	LENGTH
≤600	450	450
>600 ≤900	600	600
>900 ≤1200	600	900
>1200	900	900



EARTHWORKS & DRIVEWAY NOTES

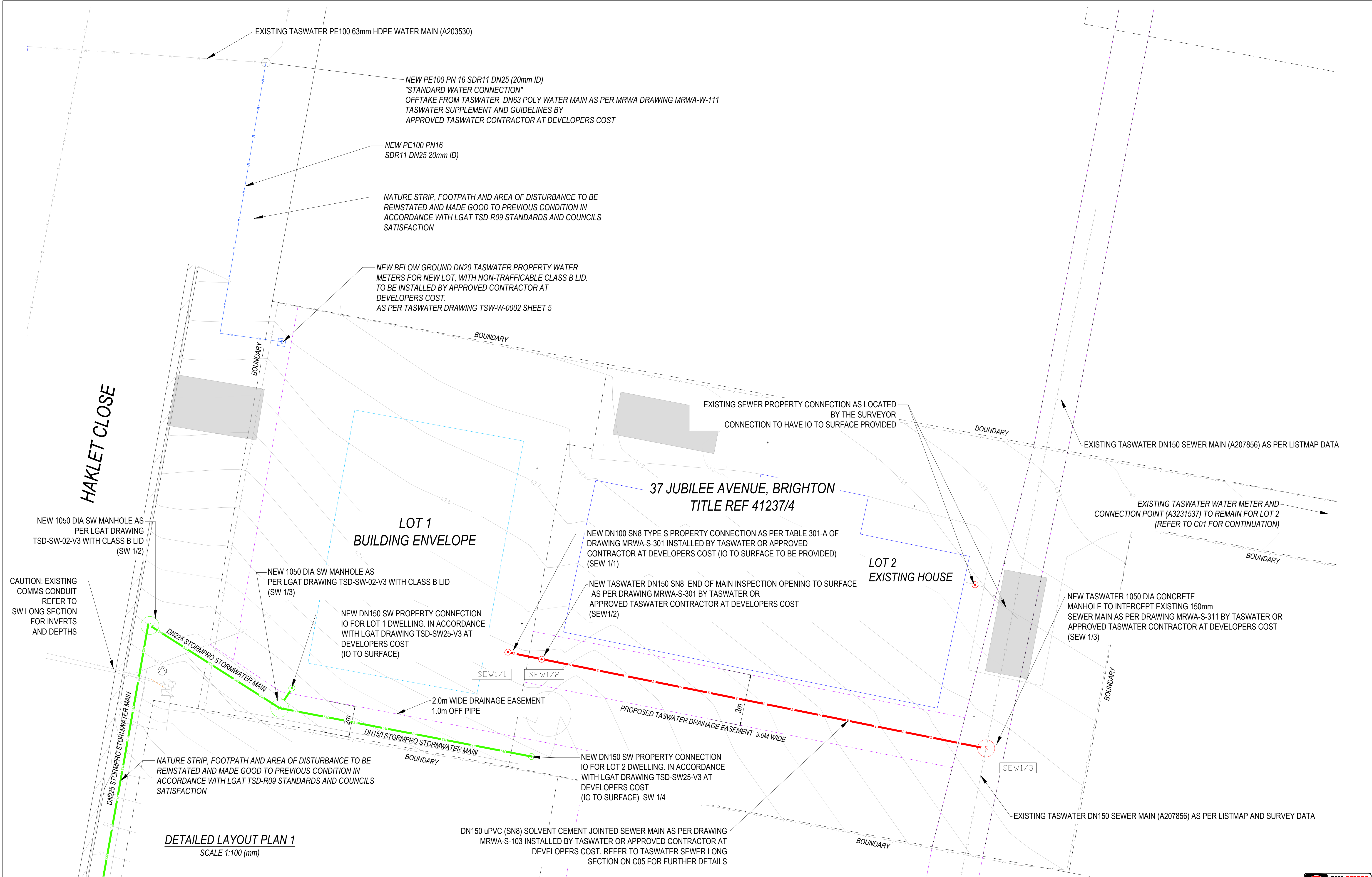
1. ALL EARTHWORKS SHALL BE IN ACCORDANCE WITH AS3798 "GUIDELINES ON EARTHWORKS FOR COMMERCIAL AND RESIDENTIAL DEVELOPMENTS".
2. ALL VEGETATION AND TOPSOIL SHALL BE STRIPPED AND GRUBBED IN THE AREA OF PROPOSED WORKS.
3. NEW OR MODIFIED DRIVEWAY CROSSINGS SHALL BE IN ACCORDANCE WITH IPWEA STANDARD DRAWING TSD-R09-v3 AND MUST BE INSPECTED AND APPROVED BY COUNCIL.
4. EXCAVATED AND IMPORTED MATERIAL USED AS FILL IS TO BE APPROVED BY THE ENGINEER PRIOR TO INSTALLATION.
5. FILL MATERIAL SHALL BE WELL GRADED AND FREE OF BOULDERS OR COBBLES EXCEEDING 150mm IN DIAMETER UNLESS APPROVED BY THE ENGINEER FOR OTHERWISE.
6. FILL REQUIRED TO SUPPORT DRIVEWAYS INCLUDING FILL IN EMBANKMENTS THAT SUPPORT DRIVEWAYS SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING REQUIREMENTS:
- TOP SOIL AND ORGANIC MATTER SHALL BE STRIPPED TO A MINIMUM OF 100mm.
 - THE SUB GRADE SHALL HAVE A MINIMUM BEARING CAPACITY OF 100 kPa.
 - FILL IN EMBANKMENTS SHALL BE KEPTED 150mm INTO NATURAL GROUND.
 - THE FILL SHALL BE COMPACTED IN HORIZONTAL LAYERS OF NOT MORE THAN 200mm.
 - EACH LAYER SHALL BE COMPACTED TO A MINIMUM DENSITY RATIO OF 95% STD. IT IS THE BUILDERS RESPONSIBILITY TO ENSURE THAT THIS IS ACHIEVED.
7. WHERE THE ABOVE REQUIREMENTS CANNOT BE ACHIEVED THE ENGINEER SHALL BE CONSULTED AND THE FORMATION SHALL BE PROVIDED UNDER SUPERVISION OF THE ENGINEER. CONFIRM AN APPROVED BASE.
8. CONCRETE PAVEMENTS SHALL BE CURED FOR A MINIMUM OF 3 DAYS USING A CURRENT BEST PRACTICE METHOD.
9. SAWN CONCRETE JOINTS SHALL BE CONSTRUCTED AS SOON AS POSSIBLE WITHOUT RAVELLING THE JOINT. GENERALLY THIS SHALL BE WITHIN 24 HOURS
10. BATTERS SHALL BE SET TO A SAFE ANGLE OF REPOSE IN ACCORDANCE WITH THE BCA VOL 2 AS INDICATED BELOW:

NOTE: WHERE SITE CONDITIONS ARE UNSUITABLE FOR A BATTERED BANK CONSULT THE DESIGNER OR ENGINEER FOR A SUITABLE RETAINING WALL DESIGN. EMBANKMENTS THAT ARE TO BE LEFT EXPOSED MUST BE STABILISED BY VEGETATION OR SIMILAR WORKS TO PREVENT SOIL EROSION.

SEE TABLE BELOW

SOIL TYPE (* REFER BCA 3.2.4)		EMBANKMENT SLOPES H:L	
		COMPACTED FILL	CUT
STABLE ROCK (A*)		2:3	8:1
SAND (A*)		1:2	1:2
SILT (P*)		1:4	1:4
CLAY	FIRM CLAY	1:2	1:1
	SOFT CLAY	NOT SUITABLE	2:3
SOFT SOILS (P)		NOT SUITABLE	NOT SUITABLE

<div>0</div> <div>FOR APPROVAL</div> <div>CF</div> <div>06/11/2025</div>			<div><div><div></div><div><div>FYSH DESIGN</div><div>UNIT 4, 160 BUNGANA WAY CAMBRIDGE TAS</div></div></div><div><div>PH: 0414 149 394</div><div>ACCREDITATION: BSD LICENCE NO. 479819732</div></div></div>			<div><div>PROPOSED SUB DIVISION</div><div>CLAUDIA BEARD</div><div>37 JUBILEE AVENUE, BRIGHTON</div><div>DRAWING TITLE</div><div>NOTES AND LEGEND</div></div>			<div><div><div></div><div>SCALE 1:100</div><div>DESIGNED</div><div>CF</div><div>PROJECT</div><div>CKD-CIV-188</div></div><div><div>DRAWN</div><div>CF</div><div>SHEET NO.</div><div>C02</div></div></div>			<div><div>SCALE</div><div>AS NOTED</div><div>REVISION</div><div>0</div></div>		
REV	DESCRIPTION	DATE	REV	DESCRIPTION	DATE									



DETAILED LAYOUT PLAN 1
SCALE 1:100 (mm)

REFER TO C04 FOR CONTINUATION

1	FOR APPROVAL	CF	30/11/2025		
0	FOR APPROVAL	CF	06/11/2025		
REV	DESCRIPTION	DATE	REV	DESCRIPTION	DATE



FYSH DESIGN
UNIT 4, 160 BUNGANA WAY
CAMBRIDGE TAS
PH: 0414 149 394
ACCREDITATION: BSD LICENCE NO. 479819732



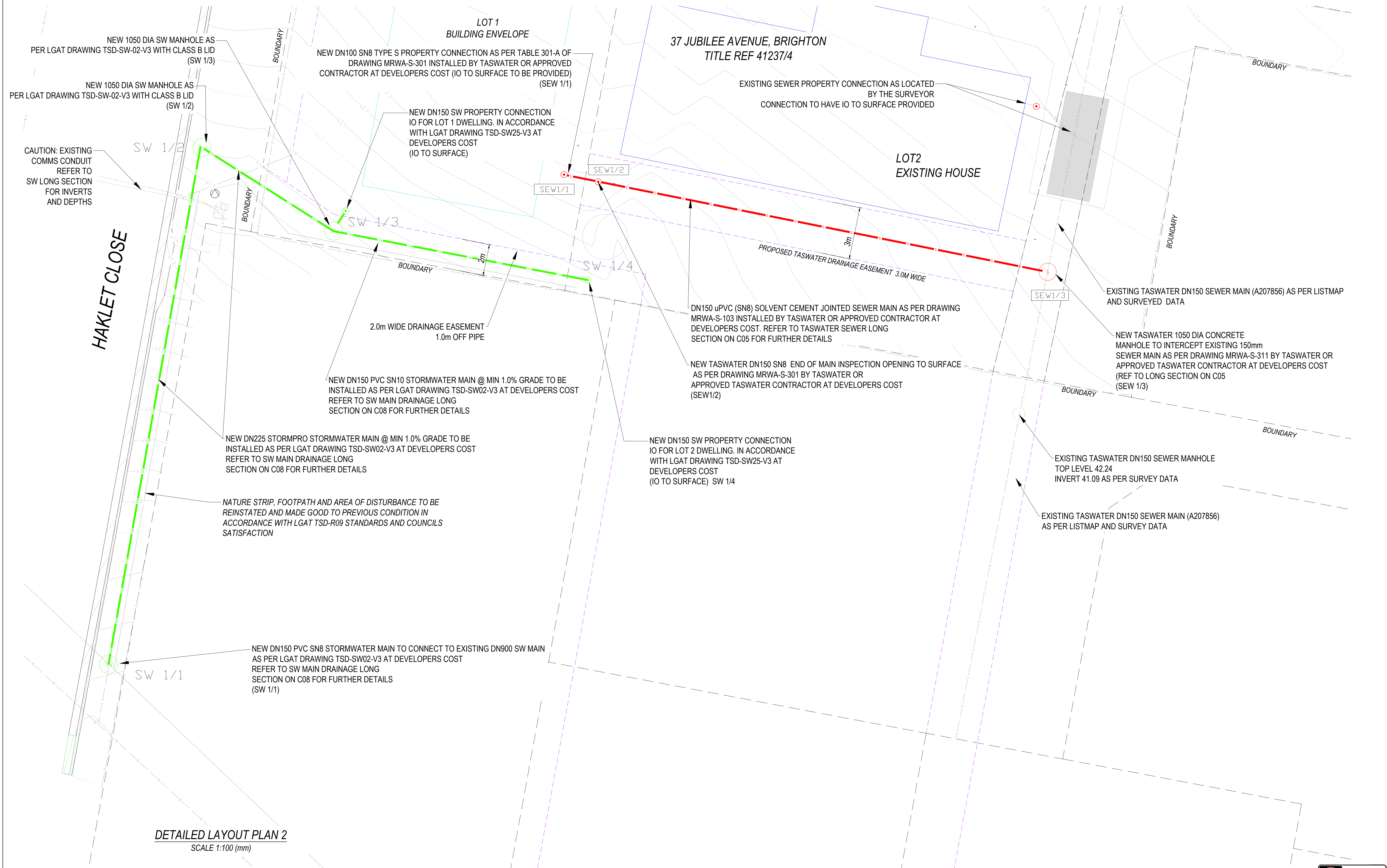
PROPOSED SUB DIVISION
CLAUDIA BEARD
37 JUBILEE AVENUE, BRIGHTON
DRAWING TITLE
GENERAL ARRANGEMENT LAYOUT 1

0 1 2 3 4 5	SCALE 1:100
DESIGNED CF	DRAWN CF
PROJECT	SHEET NO.
CKD-CIV-188	C03

SCALE AS NOTED
REVISION
1



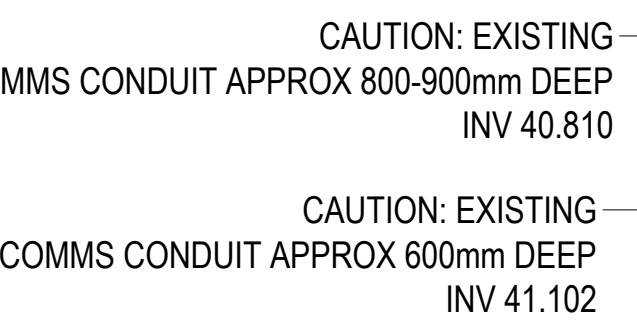
REFER TO C03 FOR CONTINUATION

[illegible]



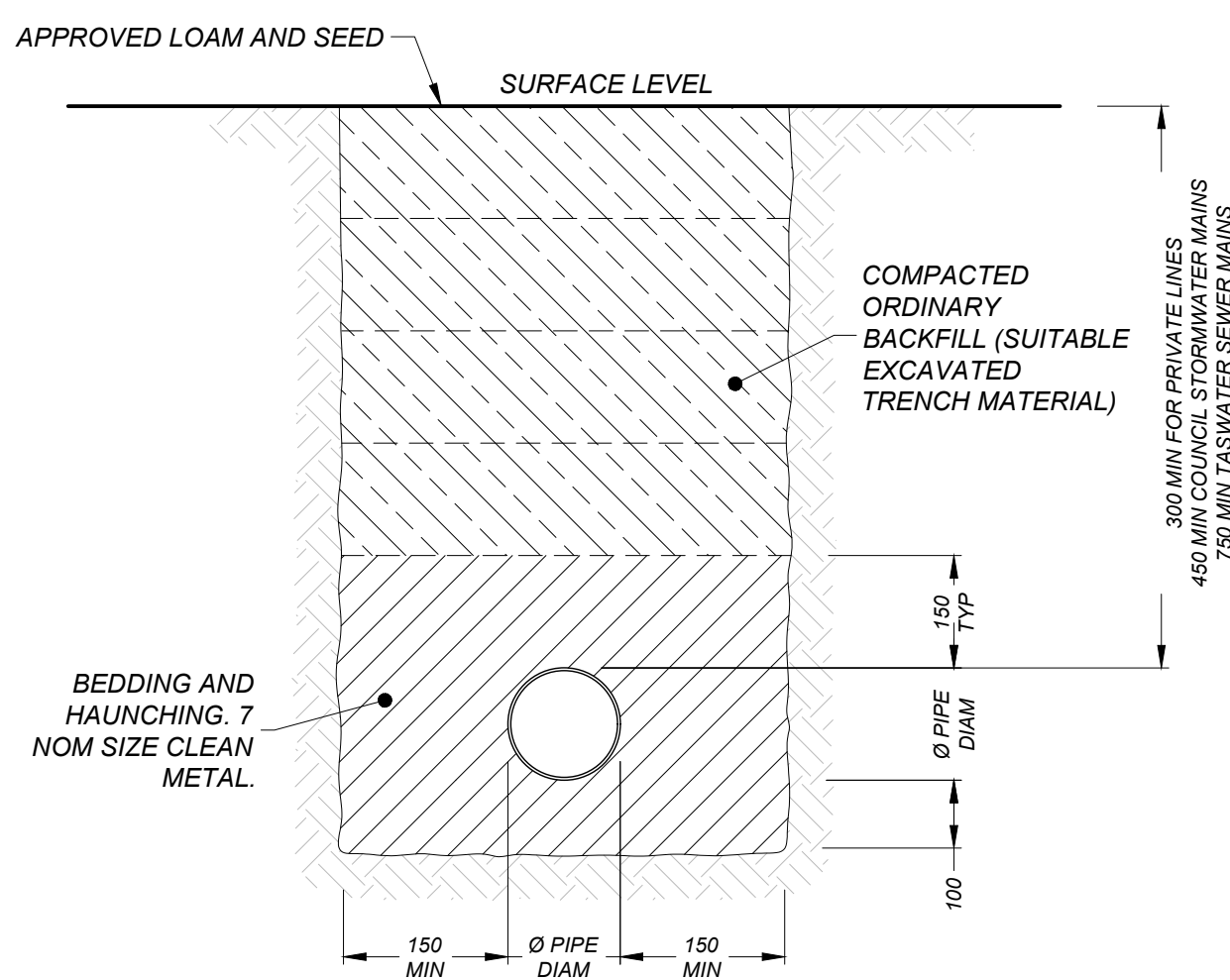
**DIAL BEFORE
YOU DIG**

SW 1/4

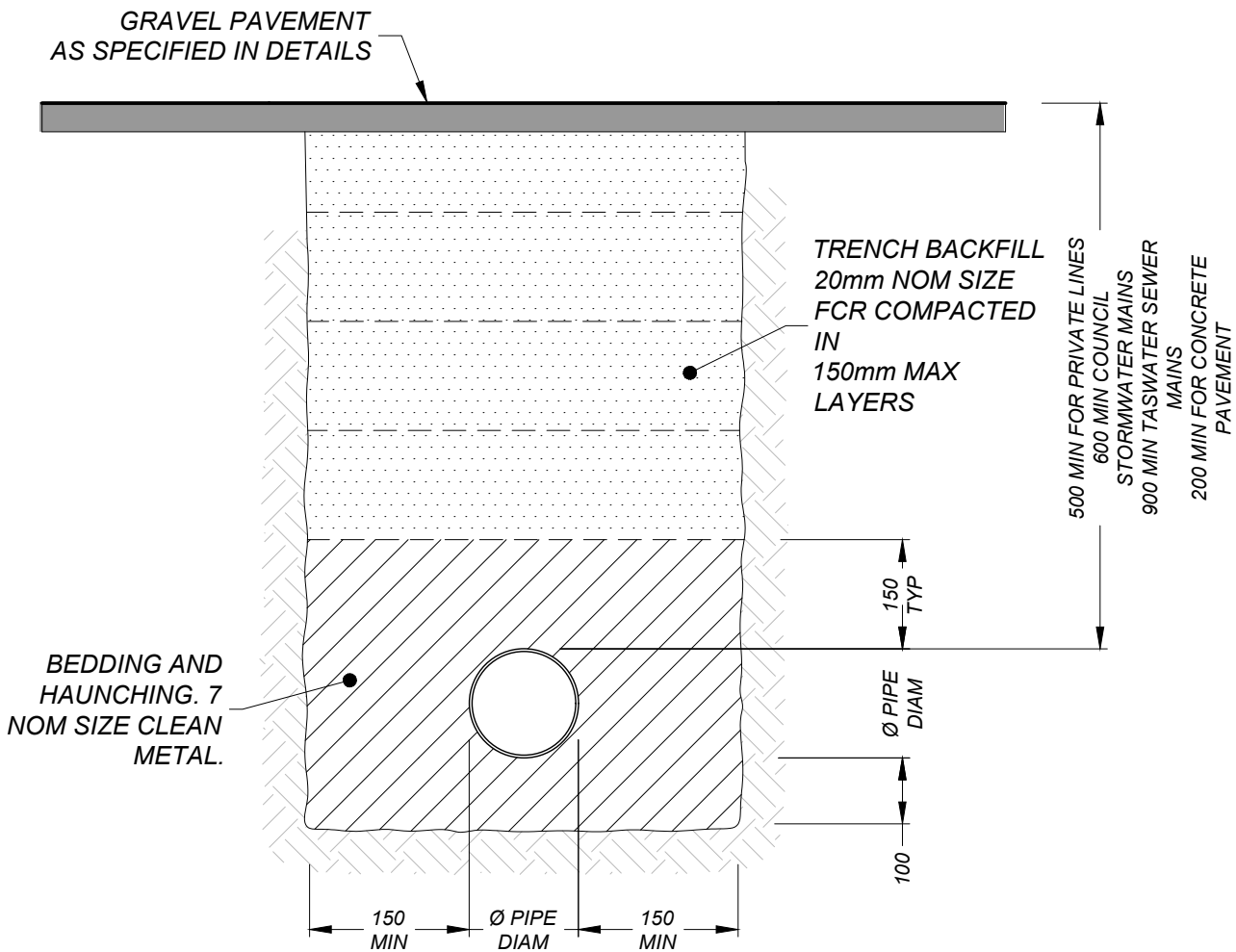


HORIZ 1:100 VERT 1:100

[illegible]



TYPICAL CROSS SECTION - NON TRAFFICABLE
SCALE 1:10 (A1)



TYPICAL CROSS SECTION - TRAFFICABLE
SCALE 1:10 (A1)

0	FOR APPROVAL	CF	06/11/2025		
REV	DESCRIPTION	DATE	REV	DESCRIPTION	DATE



FYSH DESIGN
UNIT 4, 160 BUNGANA WAY
CAMBRIDGE TAS
PH: 0414 149 394
ACCREDITATION: BSD LICENCE NO. 479819732

PROPOSED SUB DIVISION
CLAUDIA BEARD
37 JUBILEE AVENUE, BRIGHTON
DRAWING TITLE
CONSTRUCTION DETAILS

0	1	2	3	4	5
DESIGNED	DRAWN				
CF	CF				
PROJECT	SHEET NO.				
CKD-CIV-188	C07				

SCALE AS NOTED
REVISION 0





Section 94
Section 106
Section 129
Section 155

CERTIFICATE OF THE RESPONSIBLE DESIGNER

To: David Miller (Rogerson and Birch)

Owner name

Address

Suburb/postcode

Form **35**

Designer details:

Name:

Christopher Fysh

Category:

Building Services
Designer – Civil /
Hydraulic

Business name:

Fysh Design

Phone No:

0414149394

Business
address:

Unit 4, 160 Bungana Way

Cambridge

Tas

Fax No:

Licence No:

479819732

Email address:

cfysh@fyshdesign.com.au

Details of the proposed work:

Owner/Applicant

Claudia Beard

Designer's project
reference No.

CKD-CIV-188

Address:

37 Jubilee Avenue

Brighton TAS

Type of work:

Building work ☐

Plumbing work ☒ (X all applicable)

Description of work:

Stormwater, Sewer, Water Design

(new building / alteration /
addition / repair / removal /
re-erection
water / sewerage /
stormwater /
on-site wastewater
management system /
backflow prevention / other)

Description of the Design Work (Scope, limitations or exclusions): (X all applicable certificates)

Certificate Type:	Certificate	Responsible Practitioner
	<input type="checkbox"/> Building design	Architect or Building Designer
	<input type="checkbox"/> Structural design	Engineer or Civil Designer
	<input type="checkbox"/> Fire Safety design	Fire Engineer
	<input type="checkbox"/> Civil design	Civil Engineer or Civil Designer
	<input checked="" type="checkbox"/> Hydraulic design	Building Services Designer
	<input type="checkbox"/> Fire service design	Building Services Designer
	<input type="checkbox"/> Electrical design	Building Services Designer
	<input type="checkbox"/> Mechanical design	Building Service Designer
	<input type="checkbox"/> Plumbing design	Plumber-Certifier; Architect, Building Designer or Engineer
	<input type="checkbox"/> Other (specify)	
Deemed-to-Satisfy: <input checked="" type="checkbox"/>	Performance Solution: <input type="checkbox"/> (X the appropriate box)	

Other details:

Design documents provided:	
-----------------------------------	--

The following documents are provided with this Certificate –

Document description:

Drawing numbers: C03-C06 Rev 0	Prepared by: Fysh Design	Date:06/11/2025
Schedules: C01 Rev 0	Prepared by: Fysh Design	Date:06/11/2025
Specifications: C02 & C07 Rev 0	Prepared by: Fysh Design	Date: 06/11/2025
Computations:	Prepared by:	Date:
Performance solution proposals:	Prepared by:	Date:
Test reports:	Prepared by:	Date:

Standards, codes or guidelines relied on in design process:	
--	--

AS3500.3, AS3500.2, AS3500.1:2021 AS2890.1, NATIONAL CONSTRUCTION CODE 2022 VOL 3 AND ALL COUNCIL & TasWater Guidelines

Any other relevant documentation:	
--	--


<p>Insurance details:</p> <p>CGU Civil / Hydraulic Liability Professional Indemnity CGU PI 05-21 \$5,000,000</p> <p>CGU General and Product Public Liability \$20,000,000</p>

Attribution as designer:

I Christopher Fysh am responsible for the design of that part of the work as described in this certificate.

The documentation relating to the design includes sufficient information for the assessment of the work in accordance with the *Building Act 2016* and sufficient detail for the builder or plumber to carry out the work in accordance with the documents and the Act;

This certificate confirms compliance and is evidence of suitability of this design with the requirements of the National Construction Code.

	Name: (print)	Signed	Date
Designer:	Christopher Fysh		06/11/2025
Licence No:	479819732		

Assessment of Certifiable Works: (TasWater)

Note: single residential dwellings and outbuildings on a lot with an existing sewer connection are not considered to increase demand and are not certifiable.

If you cannot check ALL of these boxes, LEAVE THIS SECTION BLANK.

TasWater must then be contacted to determine if the proposed works are Certifiable Works.

I confirm that the proposed works are not Certifiable Works, in accordance with the Guidelines for TasWater CCW Assessments, by virtue that all of the following are satisfied:

- ☐ The works will not increase the demand for water supplied by TasWater
- ☐ The works will not increase or decrease the amount of sewage or toxins that is to be removed by, or discharged into, TasWater's sewerage infrastructure
- ☐ The works will not require a new connection, or a modification to an existing connection, to be made to TasWater's infrastructure
- ☐ The works will not damage or interfere with TasWater's works
- ☐ The works will not adversely affect TasWater's operations
- ☐ The work are not within 2m of TasWater's infrastructure and are outside any TasWater easement
- ☐ I have checked the LISTMap to confirm the location of TasWater infrastructure
- ☐ If the property is connected to TasWater's water system, a water meter is in place, or has been applied for to TasWater.

Certification:

I being responsible for the proposed work, am satisfied that the works described above are not Certifiable Works, as defined within the *Water and Sewerage Industry Act 2008*, that I have answered the above questions with all due diligence and have read and understood the Guidelines for TasWater CCW Assessments.

Note: the Guidelines for TasWater Certification of Certifiable Works Assessments are available at: www.taswater.com.au

	Name: (print)	Signed	Date
Designer:			