

Land Use Planning and Approvals Act 1993

APPLICATION NO.

DA2025/177

LOCATION OF AFFECTED AREA

16 LUKAARLIA DRIVE, BRIDGEWATER

DESCRIPTION OF DEVELOPMENT PROPOSAL

WAREHOUSES AND CONTRACTOR YARD

A COPY OF THE DEVELOPMENT APPLICATION MAY BE VIEWED AT www.brighton.tas.gov.au AND AT THE COUNCIL OFFICES, 1 TIVOLI ROAD, OLD BEACH, BETWEEN 8:15 A.M. AND 4:45 P.M, MONDAY TO FRIDAY OR VIA THE QR CODE BELOW. ANY PERSON MAY MAKE WRITTEN REPRESENTATIONS IN ACCORDANCE WITH S.57(5) OF THE LAND USE PLANNING AND APPROVALS ACT 1993 CONCERNING THIS APPLICATION UNTIL 4:45 P.M. ON 15/01/2026. ADDRESSED TO THE CHIEF EXECUTIVE OFFICER AT 1 TIVOLI ROAD, OLD BEACH, 7017 OR BY EMAIL

AT

development@brighton.tas.gov.au.

REPRESENTATIONS SHOULD INCLUDE A DAYTIME TELEPHONE NUMBER TO ALLOW COUNCIL OFFICERS TO DISCUSS, IF NECESSARY, ANY MATTERS RAISED.

JAMES DRYBURGH
Chief Executive Officer





PROPOSED CONTRACTORS YARD & OFFICE 16 LUKAARLIA DRIVE BRIDGEWATER

SALTER RESERVE PTY LTD

PD25022

BUILDING DRAWINGS

NoDRAWING01SITE PLAN02SITE STRATA PLAN03SITE DRAINAGE PLAN04SITE LANDSCAPING PLAN05LOCALITY PLAN06FLOOR PLANS07ELEVATIONS08ROOF PLAN09PERSPECTIVES

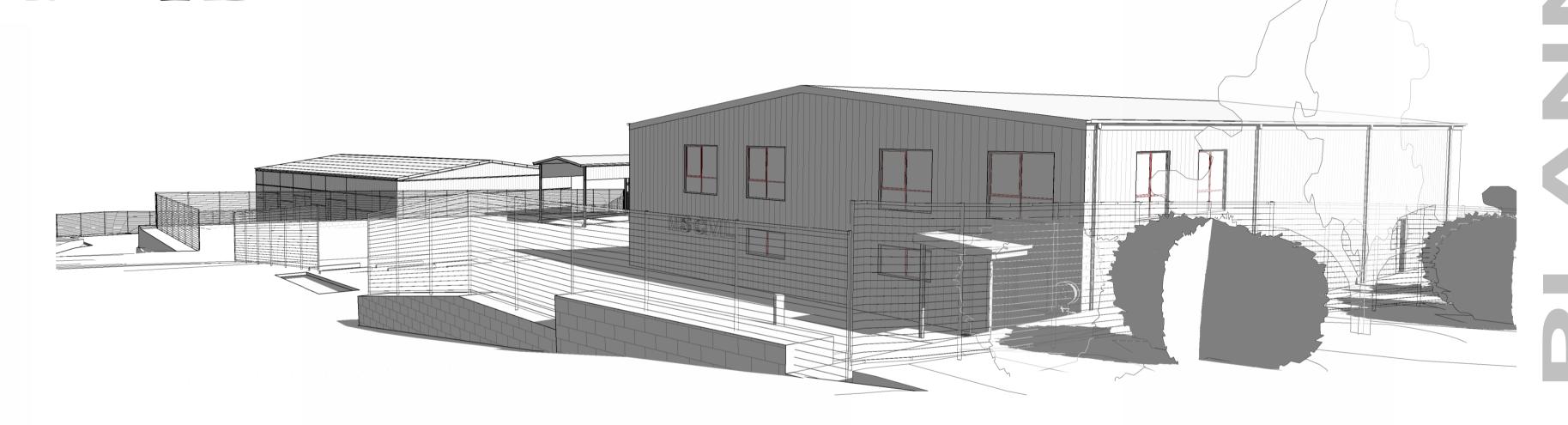
WAREHOUSE DRAWINGS

SITE TURNING

No DRAWING
S01 FLOOR PLAN
S02 ELEVATIONS

WASHDOWN BAY DRAWINGS

No DRAWING
W-01 FLOOR PLAN



OFFICE AREA 105.63 m2 (11.37 SQUARES) FIRST FLOOR AREA m2 (17.24 SQUARES) 160.18 MAREHOUSE 1 AREA m2 (47.41 SQUARES) STAGE 2 SHED MAREHOUSE 1 AREA 474.46 m2 (51.*0*7 SQUARES) MASHDOWN BAY MASHDOWN BAY AREA 55*.00* m2 (5.92 SQUARES) TOTAL AREA 1235.72 133.*0*2



GENERAL PROJECT INFORMATION

TITLE REFERENCE: 186224/18

SITE AREA: 5011m²

DESIGN WIND SPEED: TBC

SOIL CLASSIFICATION: TBC

CLIMATE ZONE: 7

ALPINE AREA: NO

CORROSIVE ENVIRONMENT:

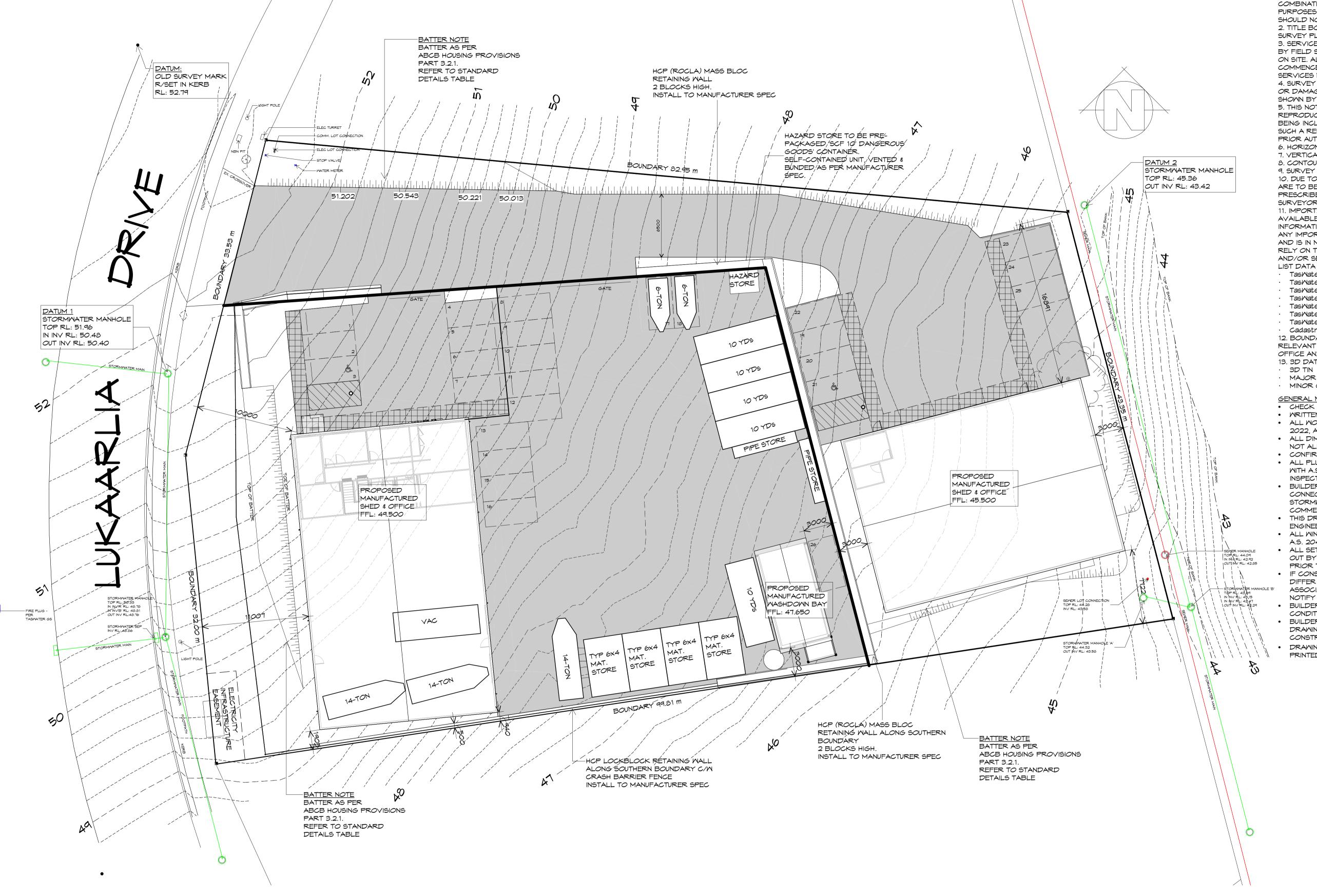
INDUSTRIAL

BAL RATING: N/A

OTHER KNOWN HAZARDS: NONE KNOWN

10 Goodman Court , Invermay Launceston 7248
p(l) +03 6332 3790
Shop 9, 105-111 Main Road, Moonah Hobart 7009
p(h)+03 6228 4575
info@ primedesigntas.com.au primedesigntas.com.au
Accredited Building Practitioner: Frank Geskus -No CC246A

DECEMBER 2025



SITE PLAN

1 : 200

NOTE: DIMENSIONED BOUNDARY OFFSETS TO THE PROPOSED BUILDING ARE TO THE EXTERNAL CLADDING U.N.O.

PROPOSED NEW SHED, REFER TO SHED MANUFACTURERS DRAWINGS FOR ALL DETAILS. TBC BY CLIENT

GENERAL NOTES:

1. THIS PLAN HAS BEEN PREPARED BY SURVEY PLUS FROM A COMBINATION OF EXISTING RECORDS AND FIELD SURVEY FOR THE PURPOSES OF SHOWING THE PHYSICAL FEATURES OF THE LAND AND SHOULD NOT BE USED FOR ANY OTHER PURPOSE.

2. TITLE BOUNDARIES SHOWN WERE NOT VERIFIED OR MARKED BY SURVEY PLUS AT THE TIME OF THIS SURVEY.

3. SERVICES SHOWN ON THIS PLAN MERE LOCATED WHERE POSSIBLE BY FIELD SURVEY. THEY ARE NOT A COMPLETE PICTURE OF SERVICES ON SITE. ALL SERVICE LOCATIONS ARE TO BE VERIFIED BEFORE COMMENCEMENT OF ANY WORK ON SITE, IN PARTICULAR THOSE SERVICES NOT PREVIOUSLY LOCATED THROUGH FIELD SURVEY. 4. SURVEY PLUS CAN NOT ACCEPT LIABILITY WHATSOEVER FOR LOSS OR DAMAGE CAUSED TO ANY UNDERGROUND SERVICE WHETHER

SHOWN BY OUR SURVEY OR NOT. 5. THIS NOTE IS AN INTEGRAL PART OF THIS PLAN/DATA. REPRODUCTION OF THIS PLAN OR ANY PART OF IT WITHOUT THIS NOTE

BEING INCLUDED IN FULL WILL RENDER THE INFORMATION SHOWN ON SUCH A REPRODUCTION INVALID AND NOT SUITABLE FOR USE WITHOUT PRIOR AUTHORITY OF SURVEY PLUS.

6. HORIZONTAL DATUM IS MGA (GDA94).

7. VERTICAL DATUM IS AHD.

8. CONTOUR INTERVAL IS 0.2 METRE, INDEX IS 1.0 METRE. 9. SURVEY BY ROBOTIC TOTAL STATION AND GPS.

10. DUE TO THE AGE OF TITLE SURVEY IF ANY CONSTRUCTION WORKS ARE TO BE UNDERTAKEN ON OR NEAR THE TITLE BOUNDARY OR PRESCRIBED SETBACKS A RE-MARK SURVEY BY A REGISTERED LAND

SURVEYOR WILL BE REQUIRED. 11. IMPORTED DATA SHOWN ON THIS PLAN WAS OBTAINED FOR PUBLIC AVAILABLE DATA FROM VARIOUS GOVERNMENT AUTHORITIES. THIS INFORMATION IS PROVIDED FOR GUIDANCE ONLY. THE ACCURACY OF ANY IMPORTED DATA IS PER THE ACCURACY QUOTED BY THE SOURCE AND IS IN NO WAY GUARANTEED BY SURVEY PLUS. USERS MUST NOT RELY ON THIS DATA FOR ON-GROUND LOCATION OF BOUNDARIES AND/OR SERVICES.

LIST DATA IMPORT

TasMater-SewerLateralLine

 TasMater-SewerMain TasMater-SewerMaintenanceHole

TasMater-SewerPressurisedMain

 TasMater-MaterHydrant TasMater-MaterLateralLine

· TasMater-MaterMain

CadastralParcel-OwnerInformation

12. BOUNDARIES ARE COMPILED ONLY FROM SP186224 AND RELEVANT SURVEY INFORMATION OBTAINED FROM LAND TITLES OFFICE AND ARE APPROXIMATE AND SUBJECT TO SURVEY. 13. 3D DATA TURNED OFF IN LAYER CONTROL

 MAJOR CONTOUR 3D · MINOR CONTOUR 3D

GENERAL NOTES

 CHECK & VERIFY ALL DIMENSIONS & LEVELS ON SITE WRITTEN DIMENSIONS TO TAKE PREFERENCE OVER SCALED

ALL WORK TO BE STRICTLY IN ACCORDANCE WITH NCC

2022, ALL S.A.A.. CODES & LOCAL AUTHORITY BY-LAWS ALL DIMENSIONS INDICATED ARE FRAME TO FRAME AND DO

NOT ALLOW FOR WALL LININGS CONFIRM ALL FLOOR AREAS

 ALL PLUMBING WORKS TO BE STRICTLY IN ACCORDANCE WITH A.S. 3500, NCC 2022 & APPROVED BY COUNCIL

 BUILDER/PLUMBER TO ENSURE ADEQUATE FALL TO SITE CONNECTION POINTS IN ACCORDANCE WITH A.S. 3500 FOR

COMMENCES THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE

STORMMATER AND SEMER BEFORE CONSTRUCTION

ENGINEER'S STRUCTURAL DRAWINGS

ALL WINDOWS AND GLAZING TO COMPLY WITH A.S. 1288 \$

ALL SET OUT OF BUILDINGS & STRUCTURES TO BE CARRIED

OUT BY A REGISTERED LAND SURVEYOR AND CHECKED PRIOR TO CONSTRUCTION

• IF CONSTRUCTION OF THE DESIGN IN THIS SET OF DRAWINGS DIFFER FROM THE DESIGN AND DETAIL IN THESE AND ANY ASSOCIATED DOCUMENTS BUILDER AND OWNER ARE TO

NOTIFY DESIGNER BUILDER'S RESPONSIBILITY TO COMPLY WITH ALL PLANNING

CONDITIONS BUILDER TO HAVE STAMPED BUILDING APPROVAL DRAWINGS AND PERMITS PRIOR TO COMMENCEMENT OF

DRAWINGS ARE REQUIRED TO BE VIEWED OR

PRINTED IN COLOUR.

CONSTRUCTION



10 Goodman Court, Invermay Tasmania 7248 p(1) + 03 6332 3790Shop 9, 105-111 Main Road, Moonah Hobart 7009 p(h)+ 03 6228 4575

info@primedesigntas.com.au primedesigntas.com.au

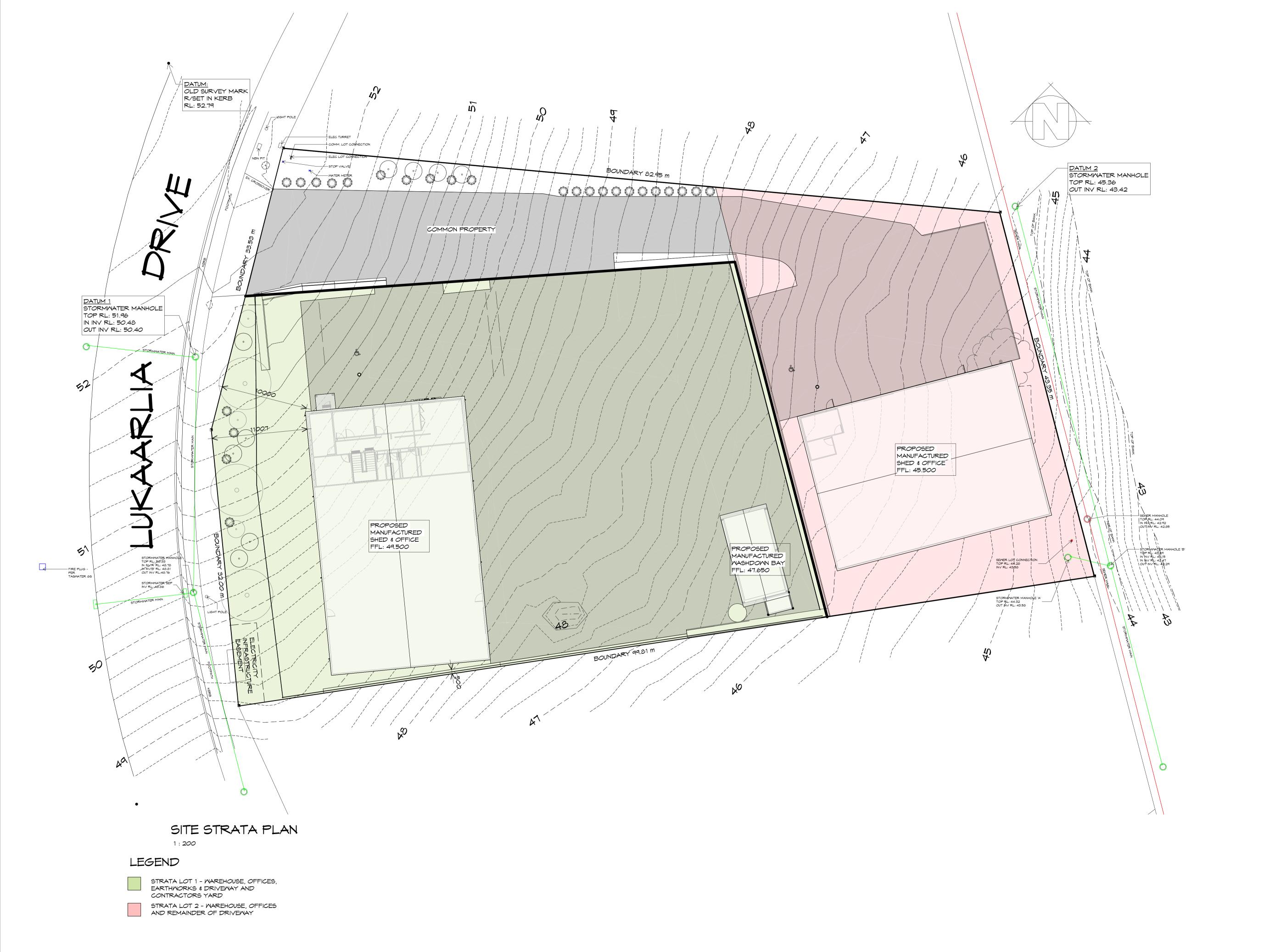
PROPOSED CONTRACTORS YARD & OFFICE 16 LUKAARLIA DRIVE BRIDGEWATER

SALTER RESERVE PTY LTD SITE PLAN

Drafted by: M.R. M.R. 09.12.2025 1 : 200@A1 Project/Drawing no:



PD25022 -01 05 Accredited building practitioner: Frank Geskus -No CC246A





10 Goodman Court, Invermay Tasmania 7248, p(l)+ 03 6332 3790 Shop 9, 105-111 Main Road, Moonah Hobart 7009 p(h)+ 03 6228 4575 info@primedesigntas.com.au primedesigntas.com.au

Project:
PROPOSED CONTRACTORS
YARD & OFFICE
16 LUKAARLIA DRIVE
BRIDGEWATER

Client name:
SALTER RESERVE PTY LTD

Drawing: SITE STRATA PLAN

	Drafted by: M.R.	Approved by: M.R.
	Date:	Scale:
	09.12.2025	As indicated@A1
	Project/Drawing no:	Revision:
bdga	PD25022 -02	05
BUILDING DESIGNERS ASSOCIATION OF AUSTRALIA	Accredited building pra-	ctitioner: Frank Geskus -No CC246A

SITE DRAINAGE PLAN

1:200

-PERVIOUS BACKFILL

-CRUSHED

ROCK

TYPICAL AG DRAIN DETAIL

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PROPOSED CONTRACTORS YARD & OFFICE 16 LUKAARLIA DRIVE BRIDGEWATER SALTER RESERVE PTY LTD

Drawing: SITE DRAINAGE PLAN

Drafted by: Approved by: M.R. M.R. 09.12.2025 As indicated@A1 Project/Drawing no:

LEGEND

XX MET AREAS

--- SEMER LINE

PLUMBING NOTES:

TRADESMAN ONLY.

AUTHORITIES.

- STORMWATER LINE

--- 1000 AG DRAIN

450X 450 SURFACE DRAINAGE PIT

ALL DRAINAGE WORK SHOWN IS PROVISIONAL ONLY AND IS SUBJECT TO AMENDMENT TO

AND MUST BE CARRIED OUT BY A LICENCED

AS/NZS 3500.2021 PART 3

AS/NZS 3500.2021 PART 2

AS/NZS 3500.2021 PART 2

3500.2021 PART 3

SEMER AND WATER SERVICES

TO THESE CODES

EMBANKMENT-

AG DRAIN @ MIN.

1% GRADIENT-

GEOTEXTILE FILTER-

COMPLY WITH THE REQUIREMENTS OF THE LOCAL

ALL WORK IS TO COMPLY WITH THE REQUIREMENTS

OF AS 3500.2021 & THE TASMANIAN PLUMBING CODE.

PITS: ALL GRATED PITS SIZED AND INSTALLED PER

ORGS: OVERFLOW RELIEF GULLYS TO BE BRANCHED

<u>VENTS:</u> DRAINAGE VENTS TO BE LOCATED BEFORE

 ALL WORKS IN ACCORDANCE WITH WATER SUPPLY CODE OF AUSTRALIA AND TASMATER SUPPLEMENTS MORKS TO BE DONE BY TASWATER AT DEVELOPERS

ALL TASMATER WORKS ARE TO BE IN ACCORDANCE

MSA 03-2011-3.1 VERSION 3.1 MRWA EDITION V2.0

AND SEMERAGE CODE OF AUSTRALIA MELBOURNE RETAIL WATER AGENCIES CODE WSA 02-2014-3.1 MRWA VERSION 2 AND TASMATERS SUPPLEMENTS

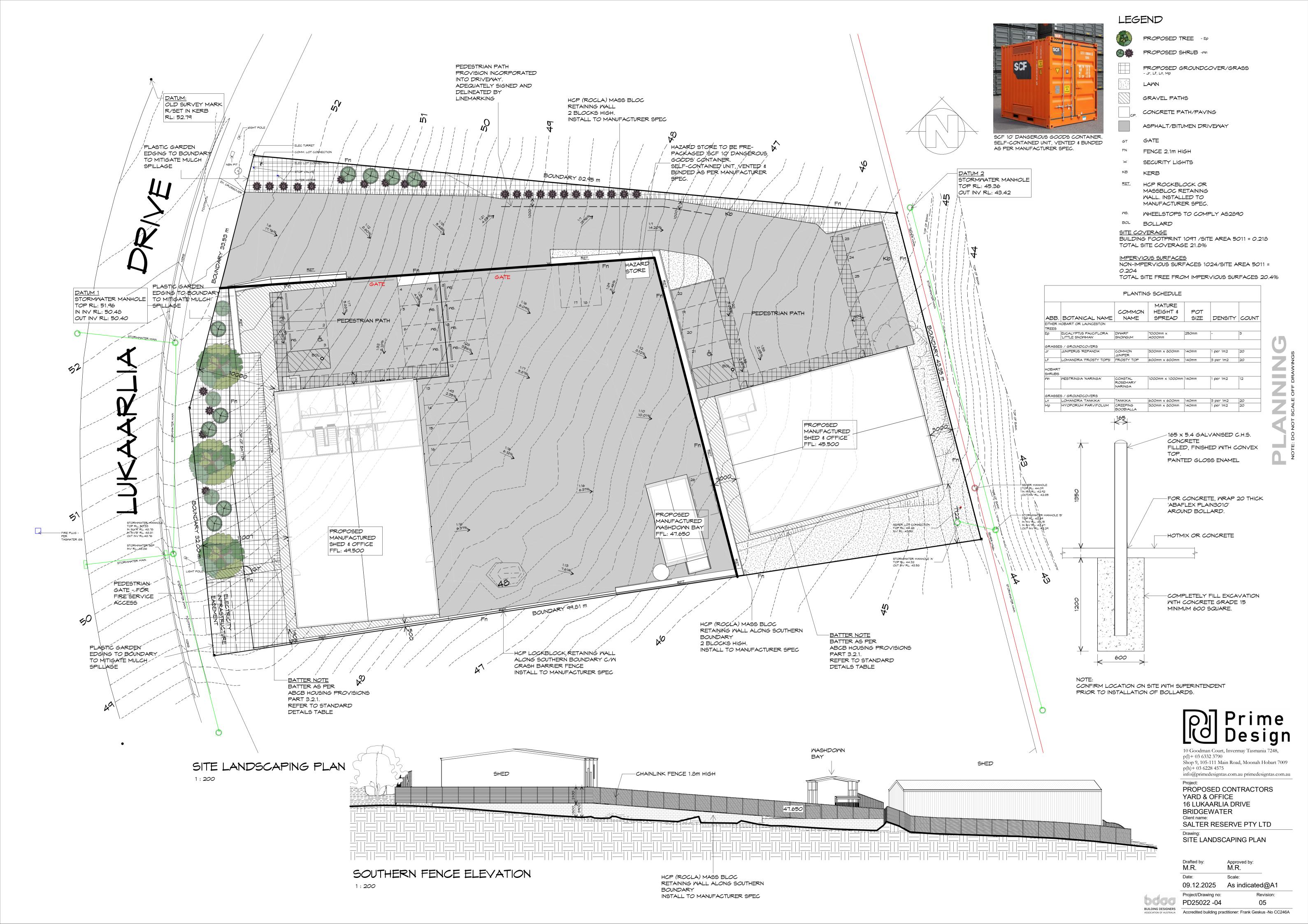
WITH THE WATER SUPPLY CODE OF AUSTRALIA

SEPERATE AND NOT PASS THROUGH. REFER

STORMWATER PIPES TO BE SIZED PER ASNZS

LAST FITTING AT THE END OF THE LINE PER

PD25022 -03 05 Accredited building practitioner: Frank Geskus -No CC246A





16 LUKAARLIA DRIVE BRIDGEMATER

LOCALITY PLAN 1 : 2000

THIS SITE IS ZONED **LIGHT INDUSTRIAL** AND **DOES NOT** FALL WITHIN A BUSHFIRE PRONE AREAS OVERLAY, THEREFORE **DOES NOT REQUIRE** A BUSHFIRE ASSESSMENT.

Drafted by: M.R. 09.12.2025 1 : 2000@A1 Project/Drawing no:

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Project:
PROPOSED CONTRACTORS
YARD & OFFICE
16 LUKAARLIA DRIVE
BRIDGEWATER

Client name:
SALTER RESERVE PTY LTD

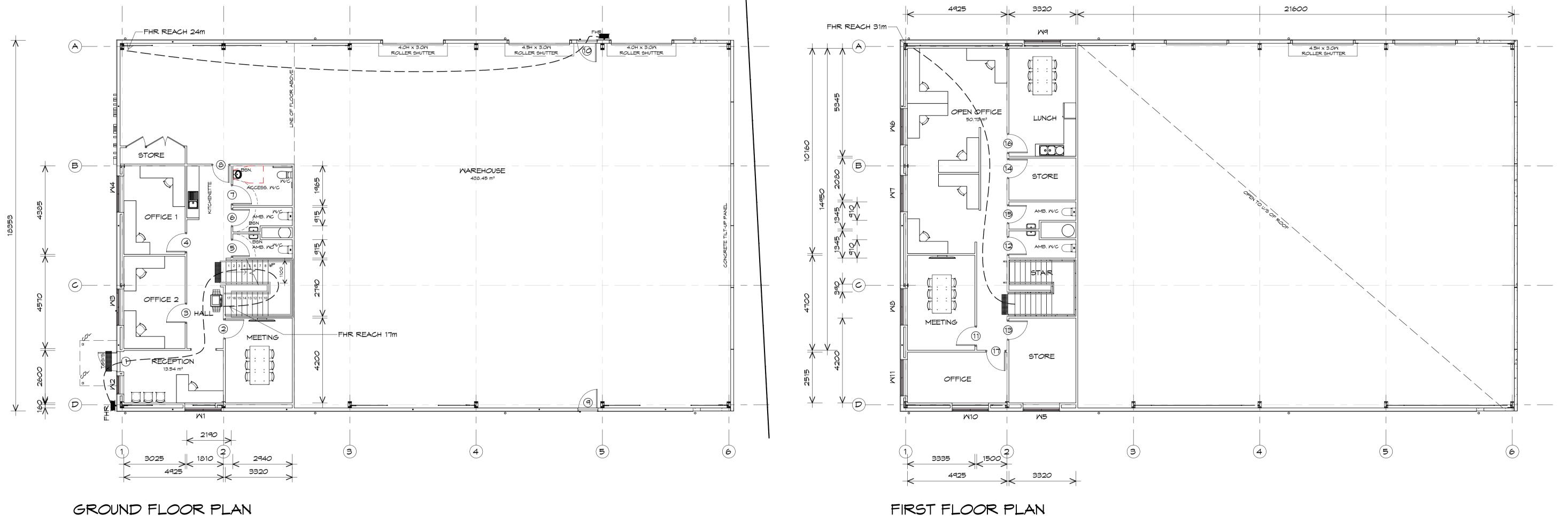
PTOJECT/DIAWING NO.

PD25022 -05

BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA

Accredited building practitioner: Frank Geskus -No CC246A

Drawing:
LOCALITY PLAN



GROUND FLOOR PLAN

1:100

OFFICE AREA 105.63 m2 (11.37 SQUARES) FIRST FLOOR AREA 160.18 m2 (17.24 SQUARES) MAREHOUSE 1 AREA 440.45 m2 (47.41 SQUARES) TOTAL AREA 706.26 76.02

NOTE: FLOOR AREAS INCLUDE TO EXTERNAL FACE OF BUILDING AND GARAGE, UNLESS OTHERWISE STATED. DECKS AND OUTDOOR AREAS ARE CALCULATED SEPARATELY.

PROPOSED NEW SHED, REFER TO SHED MANUFACTURERS DRAWINGS FOR ALL DETAILS. BY BISON ENGINEERING JOB NO: 6332 \$ 6333.

FIRE PATH TRAVEL REFER TO NGC 2022 VOL 1 PART D PROVISION FOR ESCAPE.

FIRE EXTINGUISHER: TO BE INSTALLED TO AS2444 \$ NCC 2022 VOL 1 E1D14.

SANITARY COMPARTMENTS REFER TO ACCESSIBILITY DETAILS. TO COMPLY WITH AS1428.1

FIRE HOSE REELS TO COMPLY WITH NCC 2022 VOLUME 1 E1D3 & AS2441-2005. ALL POINTS ON A FLOOR SHALL BE WITHIN REACH OF A 4m HOSE STREAM FROM A MAX 36m HOSE. THE FIRE HOSE REELS ARE DESIGNED TO MEET THE MINIMUM WATER SUPPLY QUANTITY REQUIREMENTS FOR THE BUILDING GROUP AND FLOOR AREA, AS PER PART E1 OF THE NCC.

GENERAL NOTES

 CONTINUOUS ACCESSIBLE PATHS OF TRAVEL TO BE 1000mm MINIMUM CLEAR UNOBSTRUCTUED WIDTH TO COMPLY WITH AS1428.1 DOOR OPENINGS TO MAINTAIN 850mm CLEAR MIN.

LOOSE FURNITURE & JOINERY TO CLIENTS SPECS. U.N.O. ALL WORKSTATION LOCATIONS TO BE POSITIONED ON-SITE PRIOR TO INSTALLATION OF CABLING FOR CLIENTS APPROVAL.

GROUND FLOOR DOOR SCHEDULE MARK MIDTH TYPE REMARKS INTERNAL TIMBER DOOR 920 INTERNAL TIMBER DOOR 920 INTERNAL TIMBER DOOR INTERNAL TIMBER DOOR 920 INTERNAL TIMBER DOOR 820 INTERNAL TIMBER DOOR 820 920 INTERNAL TIMBER DOOR 820 INTERNAL TIMBER DOOR 920 INTERNAL TIMBER DOOR INTERNAL TIMBER DOOR 920

GROUND FLOOR WINDOW SCHEDULE				
MARK	HEIGHT	MIDTH	TYPE	REMARKS
M1	1200	1810	AMNING MINDOM	
M2	1200	910	AMNING MINDOM	
M3	900	1810	AMNING MINDOM	
M4	900	1810	AMNING MINDOM	

ALUMINIUM WINDOWS DOUBLE GLAZING COMPLETE MITH FLY SCREENS. ALL WINDOW MEASUREMENTS TO BE VERIFIED ON SITE PRIOR TO ORDERING

MARK	MIDTH	TYPE	RE
11	920	INTERNAL TIMBER DOOR	
12	870	INTERNAL TIMBER DOOR	
13	920	INTERNAL TIMBER DOOR	
14	920	INTERNAL TIMBER DOOR	
15	870	INTERNAL TIMBER DOOR	
16	920	INTERNAL TIMBER DOOR	
17	920	INTERNAL TIMBER DOOR	

FIRST FLOOR MINDOM SCHEDULE				
MARK	HEIGHT	MIDTH	TYPE	REMARKS
M5	1800	1810	AMNING MINDOM	
M6	1800	1810	AMNING MINDOM	
M7	1800	1810	AMNING MINDOM	
MB	1800	1810	AMNING MINDOM	
M9	1800	1810	AMNING MINDOM	
M10	1800	1810	AMNING MINDOM	
M11	1800	1810	AMNING MINDOM	

ALL DOORS WITH LOCKS TO BE KEYED TO BUILDING OWNERS SPEC & MASTER KEY SYSTEM.

		TREAD
NO RISERS	RISER H'T	DEPTH
17	108	260

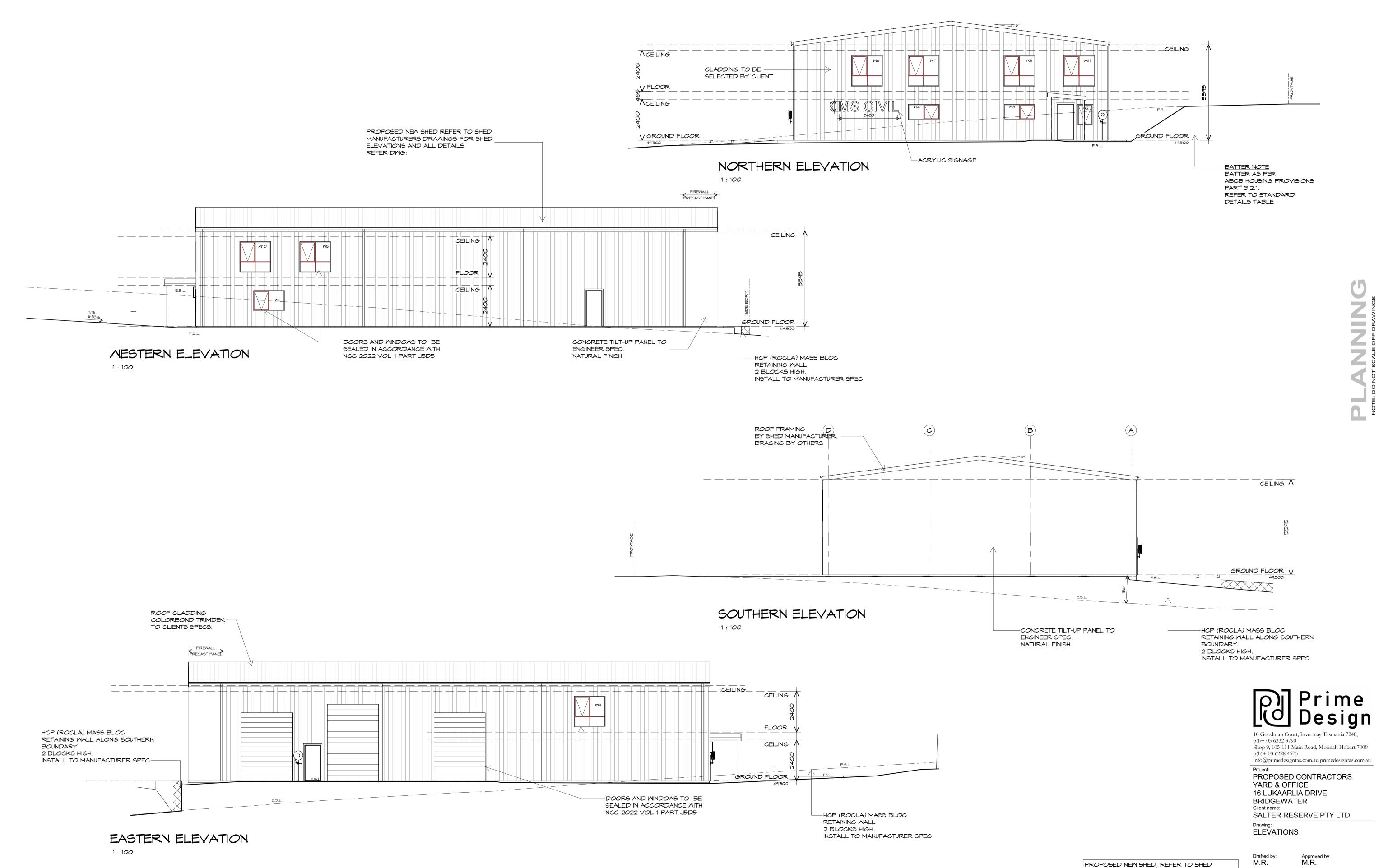


10 Goodman Court, Invermay Tasmania 7248, p(l)+ 03 6332 3790 Shop 9, 105-111 Main Road, Moonah Hobart 7009 p(h)+ 03 6228 4575 info@primedesigntas.com.au primedesigntas.com.au

PROPOSED CONTRACTORS YARD & OFFICE 16 LUKAARLIA DRIVE BRIDGEWATER SALTER RESERVE PTY LTD

Drawing: FLOOR PLANS

Drafted by: M.R.	Approved by: M.R.	(*
Date:	Scale:	\
09.12.2025	1:100@A1	
Project/Drawing no:	Revisi	ion



STAGE 1

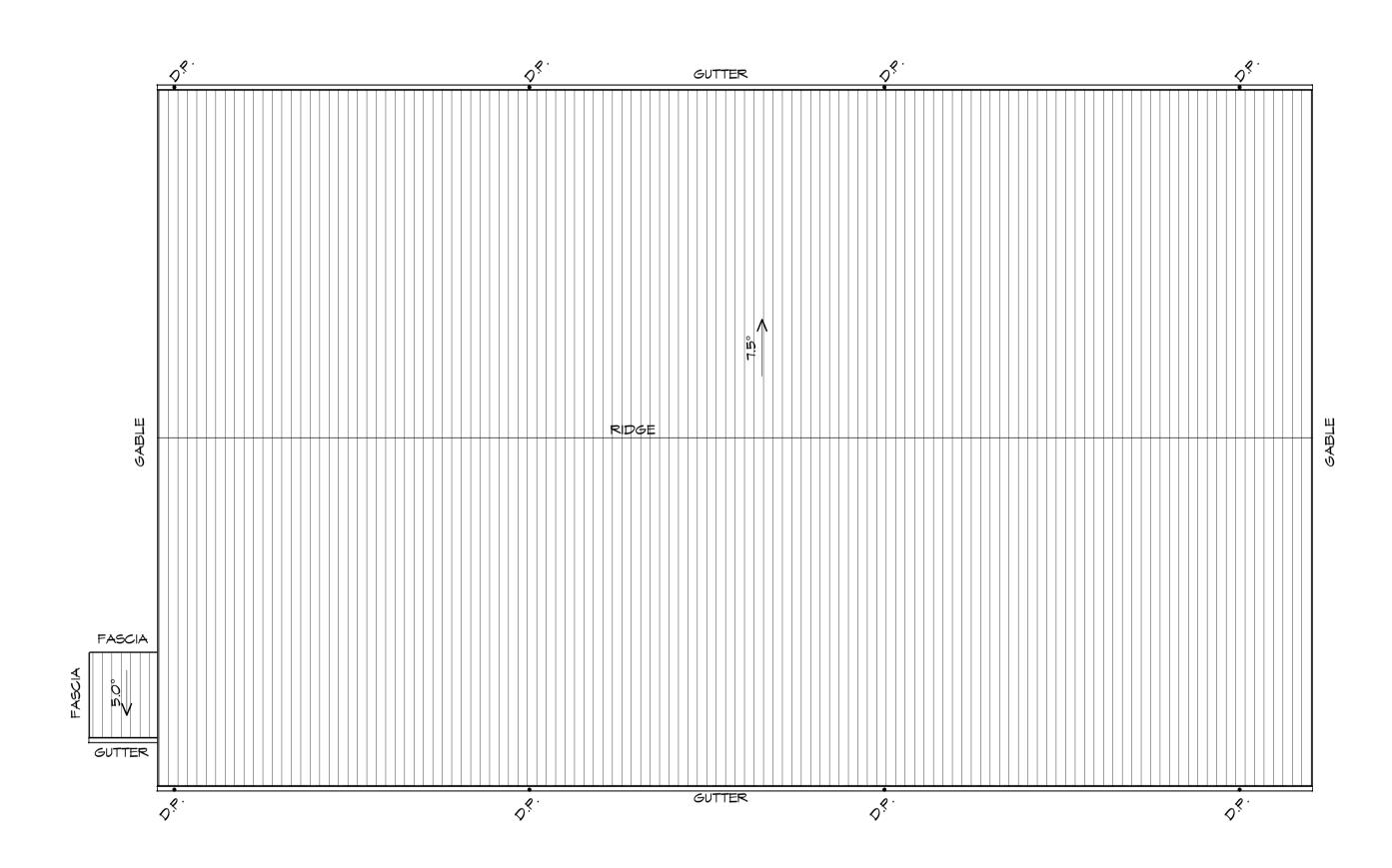
BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA

Accredited building practitioner: Frank Geskus -No CC246A

BY BISON ENGINEERING

JOB NO: 6332 & 6333.

MANUFACTURERS DRAWINGS FOR ALL DETAILS. 09.12.2025 1 : 100@A1 Project/Drawing no: PD25022 -07 05



ROOF PLUMBING NOTES:

GUTTER INSTALLATION
TO BE IN ACCORDANCE WITH AS3500.3 MITH FALL NO LESS THAN 1:100 FOR BOX GUTTERS

1:500 FOR EAVES GUTTER

<u>LAP GUTTERS</u> 75mm IN THE DIRECTION OF FLOW, RIVET & SEAL WITH AN APPROVED SILICONE SEALANT.

DOWNPIPE POSITIONS SHOWN ON THIS PLAN ARE NOMINAL ONLY. EXACT LOCATION & NUMBER OF D.P'S REQUIRED ARE TO BE IN ACCORDANCE MITH AS3500.3 SPACING BETWEEN DOWNPIPES MUST NOT BE MORE THAN 12m & LOCATED AS CLOSE AS POSSIBLE TO VALLEY GUTTERS

METAL ROOF METAL SHEETING ROOF TO COMPLY WITH NCC 2022 VOL 1 F3 D2 & A.S. 1562.1

OVERFLOW MEASURES INSTALL 10MM CONTROLLED BACK GAP, STAND OFF BRACKET WITH SPACER. BACK OF GUTTER INSTALLED A MINIMUM OF 10mm BELOW THE TOP OF FASCIA INSTALL IN ACCORDANCE WITH AS3500.3-2021

ROOF PLAN

1 : 100

PROPOSED NEW SHED, REFER TO SHED MANUFACTURERS DRAWINGS FOR ALL DETAILS. BY BISON ENGINEERING JOB NO: 6332 \$ 6333.



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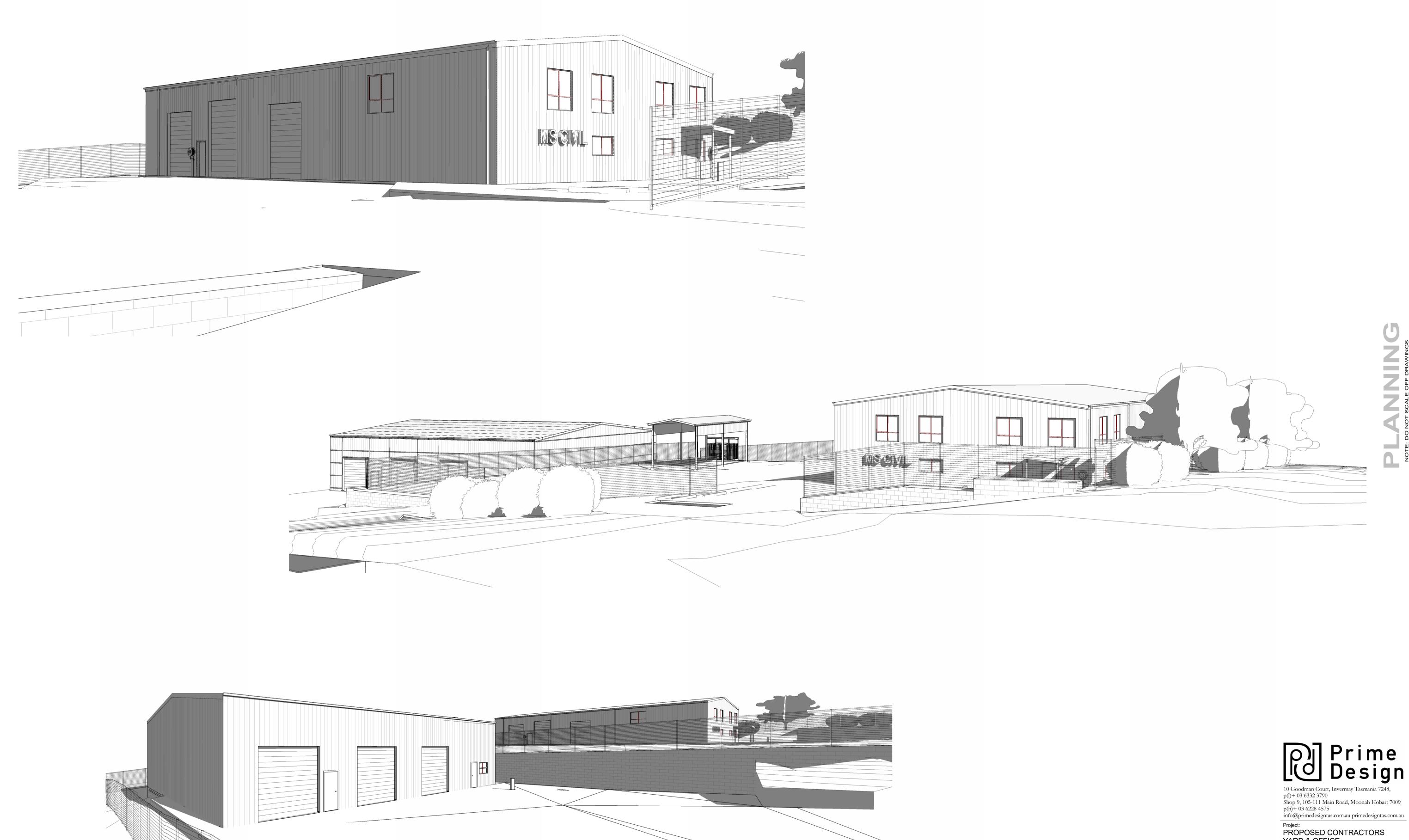
PROPOSED CONTRACTORS
YARD & OFFICE 16 LUKAARLIA DRIVE BRIDGEWATER SALTER RESERVE PTY LTD

Drawing: ROOF PLAN

Drafted by: M.R. 09.12.2025 1 : 100@A1

05

Project/Drawing no: PD25022 -08 BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA
Accredited building practitioner: Frank Geskus -No CC246A





Project:
PROPOSED CONTRACTORS
YARD & OFFICE
16 LUKAARLIA DRIVE
BRIDGEWATER
Client name:
SALTER RESERVE PTY LTD

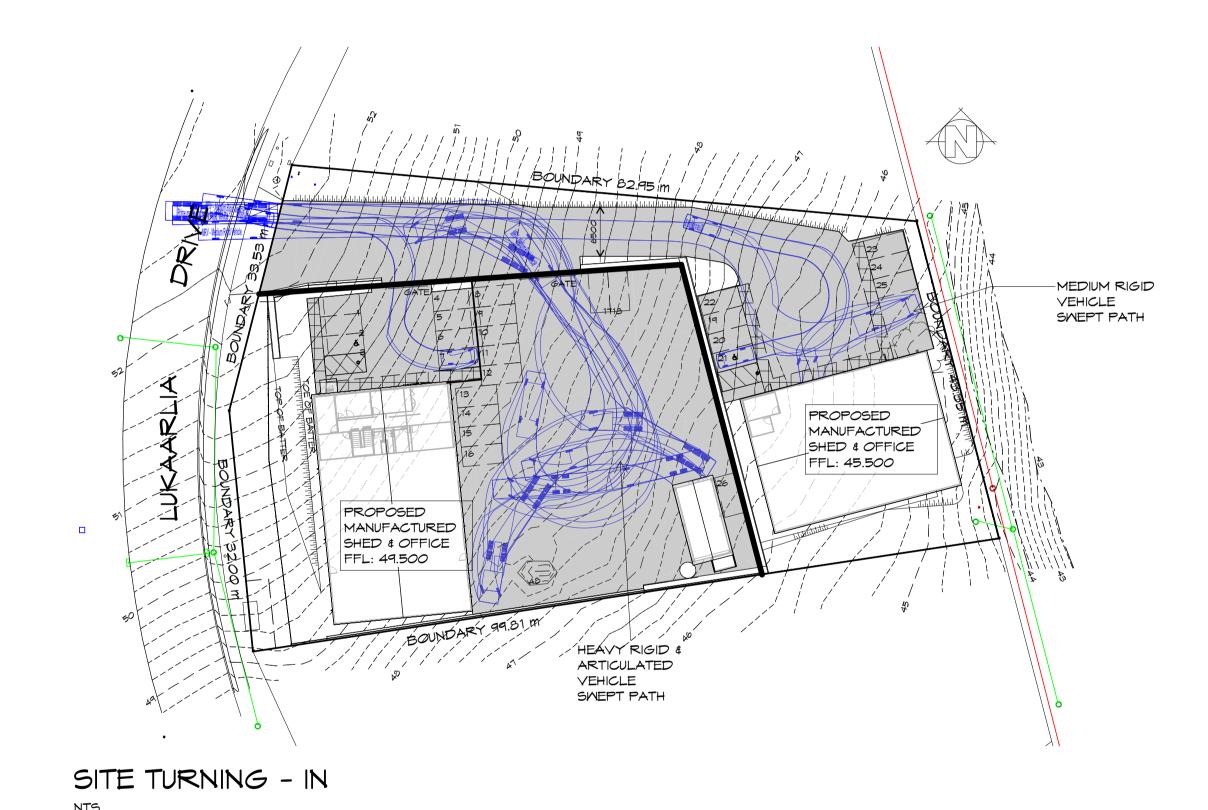
Drawing:
PERSPECTIVES

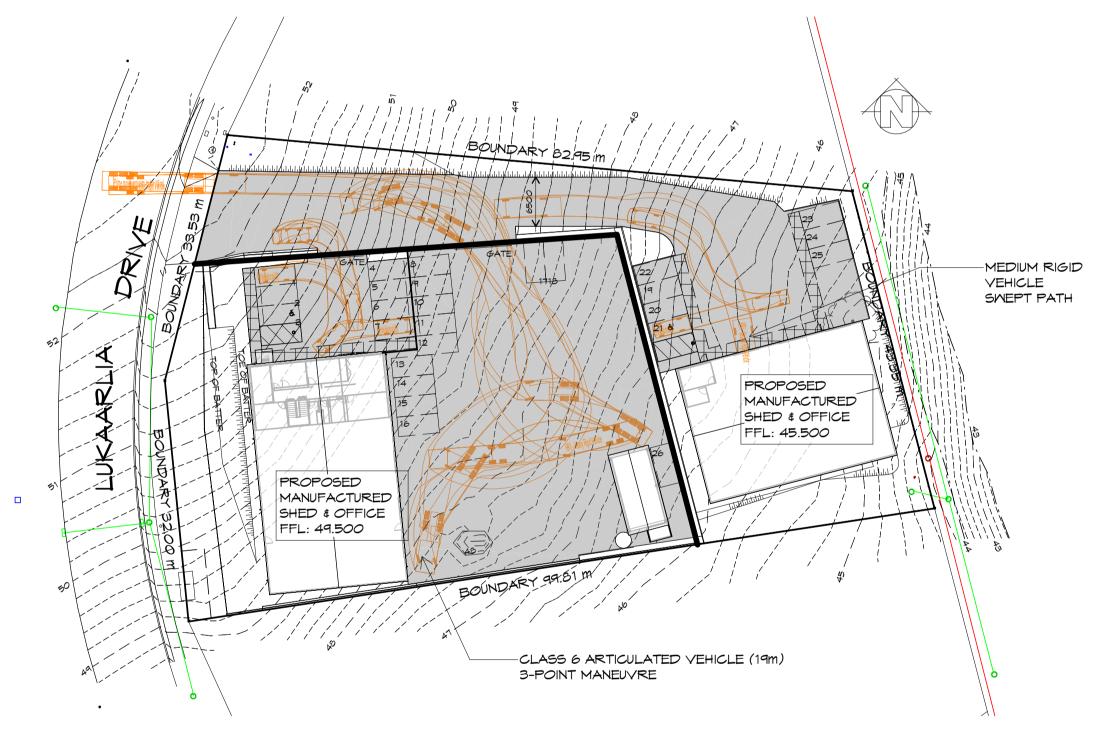
Drafted by: M.R. 09.12.2025 @A1 Project/Drawing no: Revision:

PD25022 -09

BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA

Accredited building practitioner: Frank Geskus -No CC246A





SITE TURNING - OUT

NOTE: TURNING CIRCLE AS PER AUSTROADS 2013/AS2890 FORWARD DESEIGN SPEED: 5HM/HR REVERSE DESIGN SPEED: 2.5KM/HR



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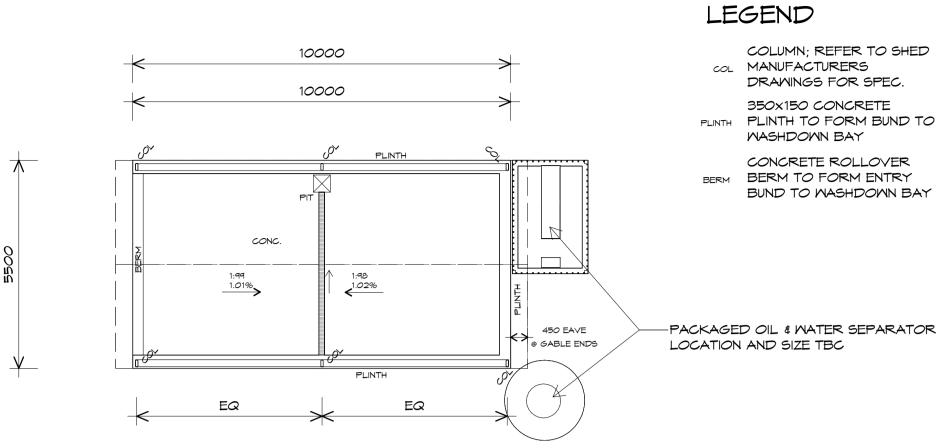
PROPOSED CONTRACTORS
YARD & OFFICE
16 LUKAARLIA DRIVE
BRIDGEWATER

SALTER RESERVE PTY LTD

Drawing: SITE TURNING

Drafted by: M.R. 09.12.2025 1 : 500@A1 Project/Drawing no: PD25022 -10 05 BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA

Accredited building practitioner: Frank Geskus -No CC246A



FLOOR PLAN

WASHDOWN BAY

WASHDOWN BAY AREA 55.00 m2 (5.92 SQUARES) TOTAL AREA 55.00 5.92

FLOOR AREAS INCLUDE TO EXTERNAL FACE OF BUILDING, UNLESS OTHERWISE STATED. OUTDOOR AREAS ARE CALCULATED SEPARATELY.

 OIL WATER SEPERATOR PUMP FOR TANK READ IN CONJUNCTION WITH

SITE DRAINAGE PLAN

ROOF CLADDING -COLORBOND TRIMDEK TO CLIENTS SPECS.

STEEL FENCING TO CLIENTS SPEC. ALTERNATIVELY

COLORBOND FENCE TO CLIENTS SPEC.

4 BLOCKS HIGH.

INSTALL TO MANUFACTURER SPEC

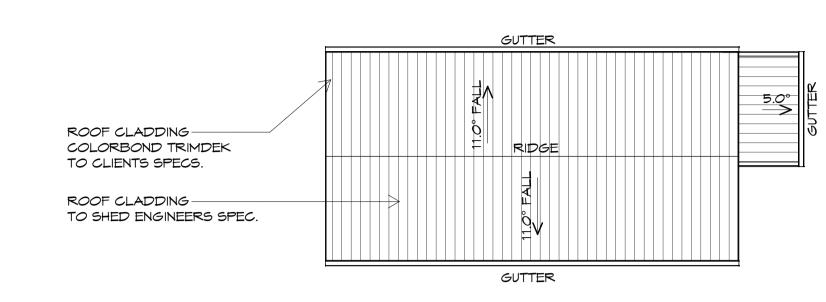
PROPOSED NEW SHED; REER TO SHED MANUFACTURERS DRAWINGS FOR SHED ELEVATIONS AND DETAILS.

EAVE HEIGHT 1

FLOOR V

PROVIDE POWER SUPPLY FOR:

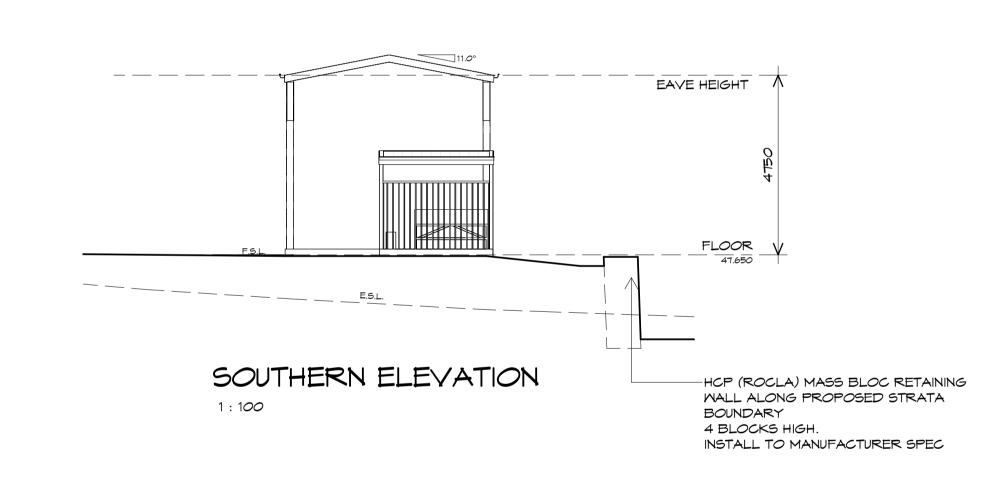
HIGH PRESSURE CLEANER

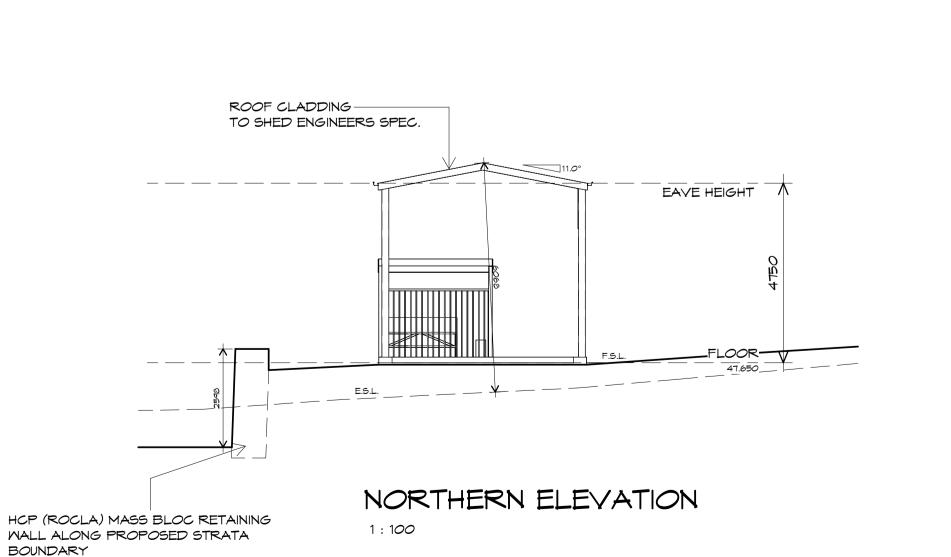


ROOF PLAN

1:100

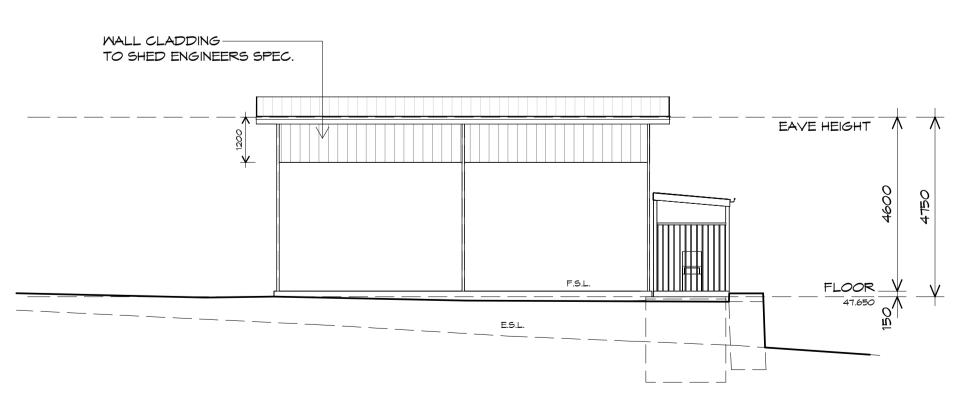
PLUMBING MAY BE SUBJECT TO CHANGE DUE TO UNFORESEEN SITE/HEIGHT CONDITIONS.





EASTERN ELEVATION

1:100



MESTERN ELEVATION

1:100

GUTTER INSTALLATION TO BE IN ACCORDANCE WITH AS3500.3 MITH FALL NO LESS THAN 1:100 FOR BOX GUTTERS

1:500 FOR EAVES GUTTER

ROOF PLUMBING NOTES:

LAP GUTTERS 75mm IN THE DIRECTION OF FLOW, RIVET & SEAL WITH AN APPROVED SILICONE SEALANT.

POSSIBLE TO VALLEY GUTTERS

DOWNPIPE POSITIONS SHOWN ON THIS PLAN ARE NOMINAL ONLY. EXACT LOCATION & NUMBER OF D.P'S REQUIRED ARE TO BE IN ACCORDANCE WITH AS3500.3 SPACING BETWEEN DOWNPIPES MUST NOT BE MORE THAN 12m & LOCATED AS CLOSE AS

METAL ROOF

METAL SHEETING ROOF TO COMPLY WITH NCC 2022 VOL 1 F3 D2 & A.S. 1562.1

PLUMBING NOTES: ALL DRAINAGE WORK SHOWN IS PROVISIONAL

ONLY AND IS SUBJECT TO AMENDMENT TO COMPLY WITH THE REQUIREMENTS OF THE LOCAL ALL WORK IS TO COMPLY WITH THE REQUIREMENTS OF AS 3500.2021 & THE NATIONAL CONSTRUCTION CODE. AND MUST BE CARRIED OUT BY A LICENCED

LEGEND OF DIAMETERS SEMER = 100mm uPVC DP = 100mm STORMWATER = 150mm uPVC

TRADESMAN ONLY.

THE INSTALLATION OF WATER PIPE LINES, USE POLY OR COPPER PIPE, MUST COMPLY WITH AS/NZS 3500.2021. MAIN COLD WATER LINE FROM METER TO BUILDING TO BE DN 25mm WITH DN 16mm BRANCHES

> PROPOSED NEW SHED, REFER TO SHED MANUFACTURERS DRAWINGS FOR ALL DETAILS. TBC BY CLIENT



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PROPOSED CONTRACTORS YARD & OFFICE 16 LUKAARLIA DRIVE BRIDGEWATER

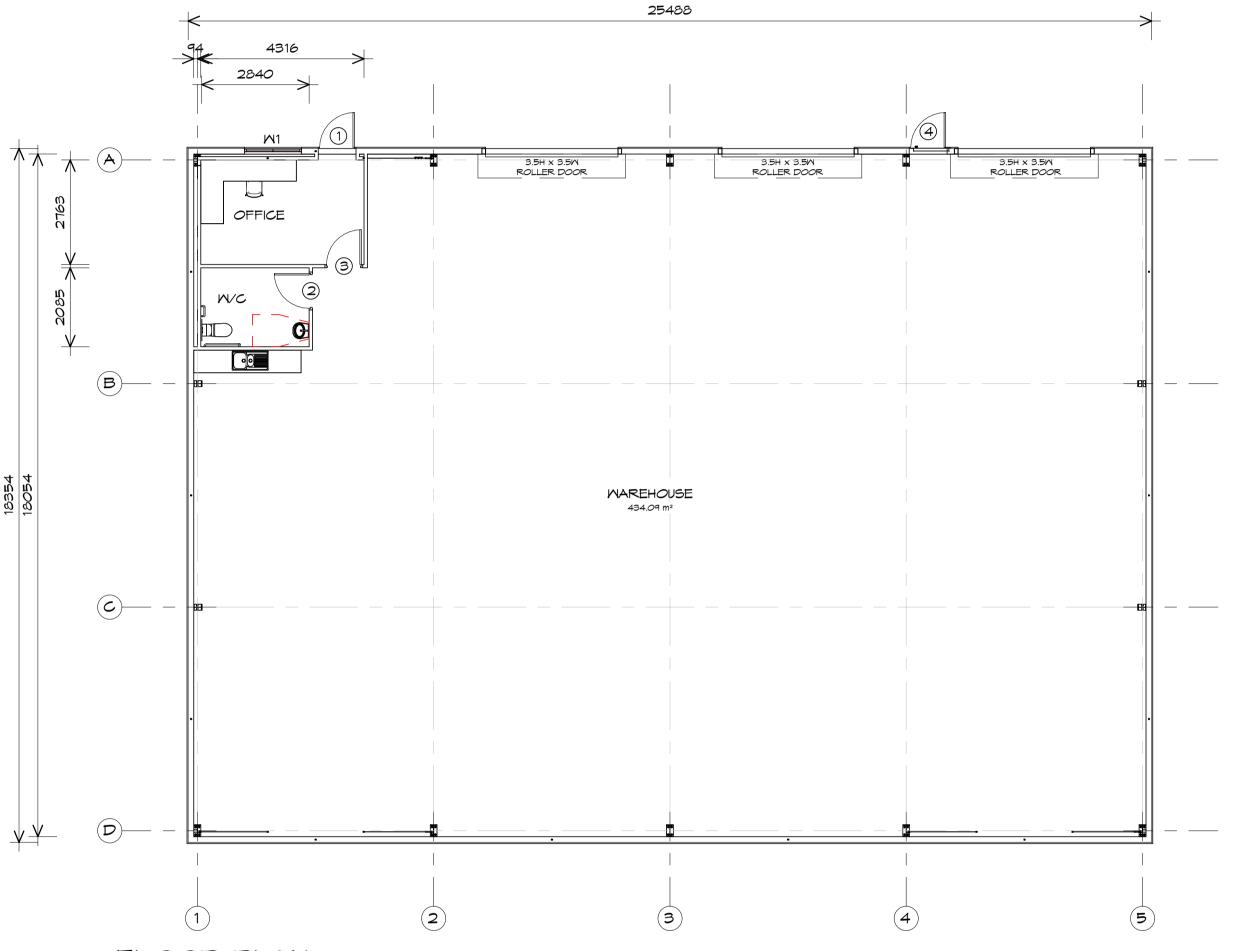
SALTER RESERVE PTY LTD

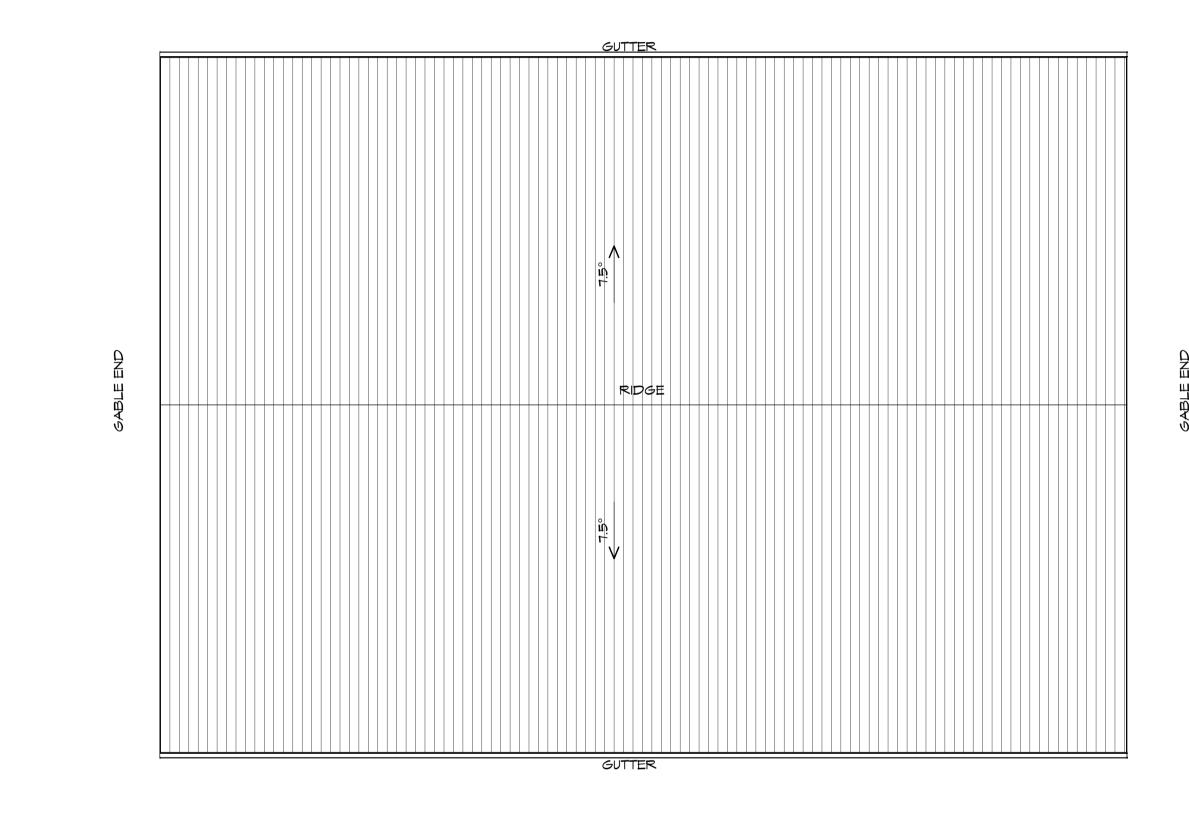
Drawing: FLOOR PLAN

Drafted by: M.R.

12.11.2025 1 : 100@A1 Project/Drawing no: PD25022 -W-01

Accredited building practitioner: Frank Geskus -No CC246A





FLOOR PLAN

1:100

MAREHOUSE 1 AREA 474.46 m2 (51.07 SQUARES) TOTAL AREA 474.46 51.07

FLOOR AREAS INCLUDE TO EXTERNAL FACE OF BUILDING AND GARAGE, UNLESS OTHERWISE STATED. DECKS AND OUTDOOR AREAS ARE CALCULATED SEPARATELY.

READ IN CONJUNCTION WITH SHED ENGINEERING DOCUMENTATION BY BISON ENGINEERING JOB NO: 6332 \$ 6333.

	GROUN	ID FLOOR DOOR SCHEDU	LE
MARK	MIDTH	TYPE	REMARKS
1	920	INTERNAL TIMBER DOOR	
2	920	INTERNAL TIMBER DOOR	
3	920	INTERNAL TIMBER DOOR	

INTERNAL TIMBER DOOR

FIRE PATH TRAVEL: REFER TO NCC 2022 VOL 1 PART D PROVISION FOR ESCAPE

SANITARY COMPARTMENTS: REFER TO ACCESSIBILITY DETAILS. TO COMPLY WITH AS1428.1

920

GENERAL NOTES • CONTINUOUS ACCESSIBLE PATHS OF TRAVEL TO BE 1000mm MINIMUM CLEAR UNOBSTRUCTUED WIDTH TO COMPLY WITH AS1428.1 • DOOR OPENINGS TO MAINTAIN 850mm CLEAR MIN. LOOSE FURNITURE & JOINERY TO CLIENTS SPECS. U.N.O.

 ALL WORKSTATION LOCATIONS TO BE POSITIONED ON-SITE PRIOR TO INSTALLATION OF CABLING FOR CLIENTS APPROVAL.

ROOF PLAN

1:100

GROUND FLOOR WINDOW SCHEDULE MARK HEIGHT WIDTH TYPE REMARKS 1000 | 1510 | AMNING MINDOM

ALUMINIUM WINDOWS DOUBLE GLAZING COMPLETE WITH FLY SCREENS. ALL WINDOW MEASUREMENTS TO BE VERIFIED ON SITE PRIOR TO ORDERING

ALL DOORS WITH LOCKS TO BE KEYED TO BUILDING OWNERS SPEC & MASTER KEY SYSTEM

DETAILS. BY BISON ENGINEERING JOB NO: 6332 \$ 6333.

PROPOSED NEW SHED, REFER TO SHED MANUFACTURERS DRAWINGS FOR ALL



p(l)+ 03 6332 3790 Shop 9, 105-111 Main Road, Moonah Hobart 7009 p(h)+ 03 6228 4575 info@primedesigntas.com.au primedesigntas.com.au

PROPOSED CONTRACTORS YARD 16 LUKAARLIA DRIVE BRIDGEWATER

SALTER RESERVE PTY LTD Drawing: FLOOR PLAN

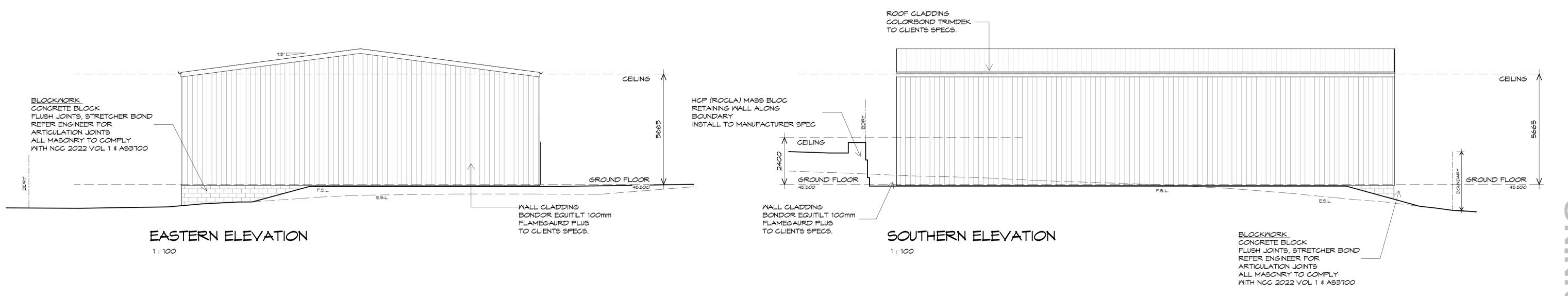
Drafted by: M.R.	Approved by: Approver
Date:	Scale:
02.10.2025	1:100@A1
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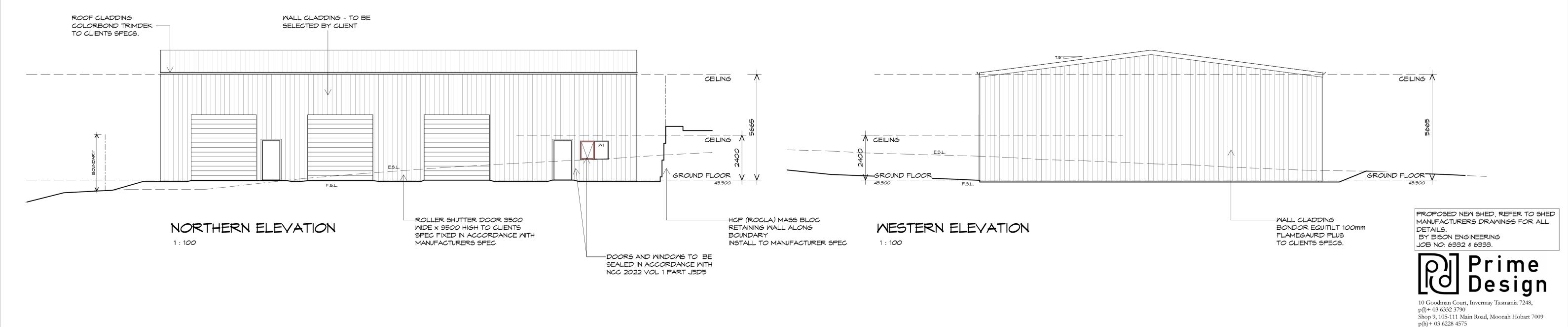
03

BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA

Accredited building practitioner: Frank Geskus -No CC246A

PD25022 -S01





Drafted by: Approved by: Approver

Date: Scale:

02.10.2025 1:100@A1

Project/Drawing no: Revision:

PD25022 -S02 03

Accredited building practitioner: Frank Geskus -No CC246A

YARD

Client name:

info@primedesigntas.com.au primedesigntas.com.au

PROPOSED CONTRACTORS

SALTER RESERVE PTY LTD

16 LUKAARLIA DRIVE

BRIDGEWATER

Drawing: ELEVATIONS



Submission to Planning Authority Notice

Application details

Council Planning Permit No. DA 2025 / 00177

Council notice date 12/12/2025

TasWater Reference No. TWDA 2025/01522-BTN

Date of response 18/12/2025
TasWater Contact Timothy Carr
Phone No. 0419 306 130

Response issued to

Council name BRIGHTON COUNCIL

Contact details development@brighton.tas.gov.au

Development details

Address 16 LUKAARLIA DR, BRIDGEWATER

Property ID (PID) 9638572

Description of development Warehouses x 2

Schedule of drawings/documents

Prepared by	Drawing/document No.	Revision No.	Issue date
Prime Design	Site & Site Strata Plan – PD25022-01 & 02	04	12/11/2025
Prime Design	Floor Plans - PD25022-06	04	12/11/2025
Prime Design	Floor Plans - PD25022-S01	03	02/10/2025

Conditions

Pursuant to the *Water and Sewerage Industry Act* 2008 (TAS) Section 56P(1) TasWater imposes the following conditions on the permit for this application:

CONNECTIONS, METERING & BACKFLOW

- A suitably sized water supply with metered connection(s) and sewerage system and connection(s) to the development must be designed and constructed to TasWater's satisfaction and be in accordance with any other conditions in this permit.
- Any removal/supply and installation of water meters and/or the removal of redundant and/or installation of new and modified property service connections must be carried out by TasWater at the developer's cost.
- 3. Prior to commencing construction of the development, any water connection utilised for construction must have a backflow prevention device and water meter installed, to the satisfaction of TasWater.



ASSET CREATION & INFRASTRUCTURE WORKS

- 4. Prior to applying for a Certificate for Certifiable Works, the developer must physically locate all existing infrastructure to provide sufficient information for accurate design and physical works to be undertaken.
- 5. Plans submitted with the application for Certificate(s) for Certifiable Work (Building and/or Plumbing) must, to the satisfaction of TasWater show, all existing, redundant and/or proposed property services and mains.
- 6. Prior to undertaking any works related to water and/or sewerage, physical markers must be in place that clearly identify where water and/or sewer connections are to be made in accordance with any approved plan to TasWater's satisfaction.

TRADE WASTE

- 7. Prior to the commencement of operation the developer/property owner must obtain Consent to discharge Trade Waste from TasWater.
- 8. The developer must install appropriately sized and suitable pre-treatment devices prior to gaining Consent to discharge.
- 9. The Developer/property owner must comply with all TasWater conditions prescribed in the Trade Waste Consent

DEVELOPER CHARGES

- 10. Prior to TasWater issuing a Certificate(s) for Certifiable Work (Building) and/or (Plumbing), the applicant or landowner as the case may be, must pay a developer charge totalling \$4,993.39 to TasWater for water infrastructure for 2.842 additional Equivalent Tenements, indexed by the Consumer Price Index All groups (Hobart) from the date of this Submission to Planning Authority Notice until the date it is paid to TasWater.
- 11. Prior to TasWater issuing a Certificate(s) for Certifiable Work (Building) and/or (Plumbing), the applicant or landowner as the case may be, must pay a developer charge totalling \$8,516.18 to TasWater for sewerage infrastructure for 4.847 additional Equivalent Tenements, indexed by the Consumer Price Index All groups (Hobart) from the date of this Submission to Planning Authority Notice until the date it is paid to TasWater.
- 12. In the event Council approves a staging plan, prior to TasWater issuing a Certificate(s) for Certifiable Work (Building) and/or (Plumbing) for each stage, the developer must pay the developer charges commensurate with the number of Equivalent Tenements in each stage, as approved by Council.

DEVELOPMENT ASSESSMENT FEES

13. The applicant or landowner as the case may be, must pay a development assessment fee of \$417.63 to TasWater, as approved by the Economic Regulator and the fee will be indexed, until the date paid to TasWater.

The payment is required within 30 days of the issue of an invoice by TasWater.

Advice

General

For information on TasWater development standards, please visit

https://www.taswater.com.au/building-and-development/technical-standards

For application forms please visit

https://www.taswater.com.au/building-and-development/application-information/application-for-development-services-form



Important Notice Regarding Plumbing Plans and Associated Costs

The SPAN includes references to documents submitted as part of the application. These plans are acceptable for planning purposes only and are subject to further detailed assessment and review during the next stage of the development proposal.

TasWater's assessment staff will ensure that the design contains sufficient detail to assess compliance with relevant codes and regulations. Additionally, the plans must be clear enough for a TasWater contractor to carry out any water or sewerage-related work.

Depending on the nature of the project, your application may require Building and/or Plumbing permits or could be exempt from these requirements. Regardless, TasWater's assessment process and associated time are recoverable through an assessment fee.

Please be aware that your consultant may need to make revisions to their documentation to ensure the details are fit for construction. Any costs associated with updating these plans should be discussed directly with your consultant.

Developer Charges

For information on Developer Charges please visit the following webpage – https://www.taswater.com.au/building-and-development/developer-charges

Water Submetering

As of July 1 2022, TasWater's Sub-Metering Policy no longer permits TasWater sub-meters to be installed for new developments. Please ensure plans submitted with the application for Certificate(s) for Certifiable Work (Building and/or Plumbing) reflect this. For clarity, TasWater does not object to private sub-metering arrangements. Further information is available on our website (www.taswater.com.au) within our Sub-Metering Policy and Water Metering Guidelines.

Trade Waste

Prior to any Building and/or Plumbing work being undertaken, the applicant will require a Certificate for Certifiable Work (Building and/or Plumbing). The Certificate for Certifiable Work (Building and/or Plumbing) must accompany all documentation submitted to Council. Documentation must include a floor and site plan with:

Location of all pre-treatment devices (i.e Oil Water Separator System)

Schematic drawings and specification (including the size and type) of any proposed pretreatment device and drainage design;

At the time of submitting an application for Certificate for Certifiable Work (Building and/or Plumbing) a Trade Waste Application form is required.

The application forms are available at http://www.taswater.com.au/Customers/Liquid-Trade-Waste/Commercial.

Service Locations

Please note that the developer is responsible for arranging to locate the existing TasWater infrastructure and clearly showing it on the drawings. Existing TasWater infrastructure may be located by a surveyor and/or a private contractor engaged at the developers cost to locate the infrastructure.

a. A permit is required to work within TasWater's easements or in the vicinity of its infrastructure. Further information can be obtained from TasWater.



- b. TasWater has listed a number of service providers who can provide asset detection and location services should you require it. Visit https://www.taswater.com.au/building-and-development/service-locations for a list of companies.
- c. Sewer drainage plans or Inspection Openings (IO) for residential properties are available from your local council.

Declaration

The drawings/documents and conditions stated above constitute TasWater's Submission to Planning Authority Notice.