



Application for Planning Approval

Land Use Planning and Approvals Act 1993

APPLICATION NO.

DA2025/173

LOCATION OF AFFECTED AREA

29 WILLIS STREET, BRIDGEWATER

DESCRIPTION OF DEVELOPMENT PROPOSAL

SECONDARY RESIDENCE

A COPY OF THE DEVELOPMENT APPLICATION MAY BE VIEWED AT www.brighton.tas.gov.au AND AT THE COUNCIL OFFICES, 1 TIVOLI ROAD, OLD BEACH, BETWEEN 8:15 A.M. AND 4:45 P.M, MONDAY TO FRIDAY OR VIA THE QR CODE BELOW. ANY PERSON MAY MAKE WRITTEN REPRESENTATIONS IN ACCORDANCE WITH S.57(5) OF THE LAND USE PLANNING AND APPROVALS ACT 1993 CONCERNING THIS APPLICATION UNTIL 4:45 P.M. ON **24/11/2025**. ADDRESSED TO THE CHIEF EXECUTIVE OFFICER AT 1 TIVOLI ROAD, OLD BEACH, 7017 OR BY EMAIL AT development@brighton.tas.gov.au. REPRESENTATIONS SHOULD INCLUDE A DAYTIME TELEPHONE NUMBER TO ALLOW COUNCIL OFFICERS TO DISCUSS, IF NECESSARY, ANY MATTERS RAISED.

JAMES DRYBURGH
Chief Executive Officer



Brighton
going places

B151 - PROPOSED ANCILLARY DWELLING FOR ANGELA HAYES
AT 29 WILLIS STREET, BRIDGEWATER

BRYDEN

homes

QUALITY BUILDERS

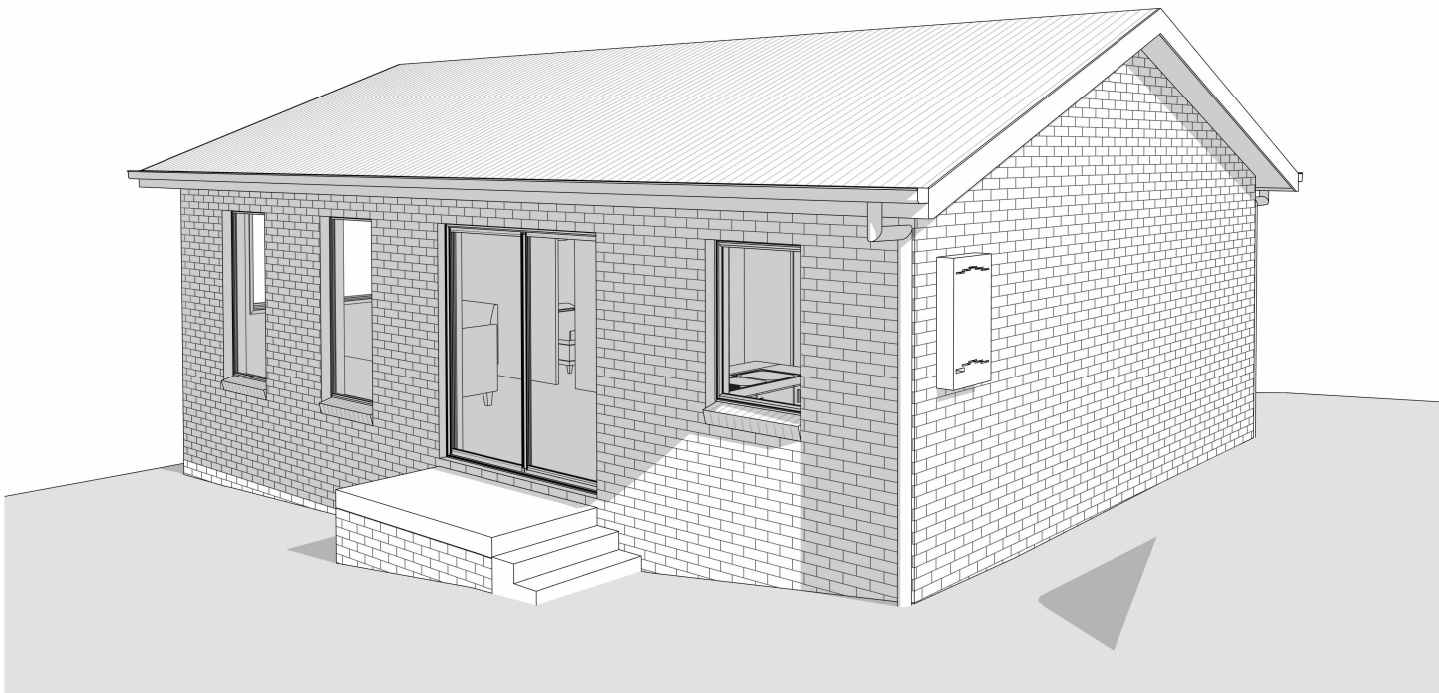
14 Clare Street, New Town, Tasmania, 7008

Ph: 6278 7782 Mob: 0407 721 824

Fax: 6278 7783 Accreditation No. CC284T

Architectural
Drawing No. Description

- 01 SITE PLAN
- 02 DRAINAGE PLAN
- 03 FLOOR PLAN
- 04 ELEVATIONS
- 04a PERSPECTIVES



PROTECTIVE COATINGS FOR STEELWORK

ENVIRONMENT	LOCATION	MINIMUM PROTECTION COATING	
		General structural steel members	Lintels in masonry
MEDIUM mild steel corrosion rate 25 to 50 µm/year Typically more than 1 km from breaking surf or aggressive industrial areas or more than 50 m from sheltered bays	INTERNAL	No protection required	
	EXTERNAL	Option 1	Hot dip galvanising - HDG225
		Option 2	Duplex system. See N.C.C. Table 6.3.9c
		Option 3	Paint. See N.C.C. Table 6.3.9b - ALC3, ACC4, ACC5, IZS1, PUR3, PUR4

NOTES:
1. Heavy industrial areas means industrial environments around major industrial complexes. There are only a few such regions in Australia, examples of which occur around Port Pirie and Newcastle.
2. The outer leaf and cavity of an external masonry wall of a building, including walls under open carports are considered to be external environments. A part of an internal leaf of an external masonry wall which is located in the roof space is considered to be in an internal environment.
3. Where a paint finish is applied the surface of the steel work must be hand or power tool cleaned to remove any rust immediately prior to painting.
4. All zinc coatings (including inorganic zinc) require a barrier coat to stop conventional domestic enamels from peeling.
5. Refer to the paint manufacturer where decorative finishes are required on top of the minimum coating specified in the table for protection of the steel against corrosion.
6. Internal locations subject to moisture, such as in close proximity to kitchen or bathroom exhaust fans are not considered to be in a permanently dry location and protection as specified for external locations is required.
7. For applications outside the scope of this table, seek specialist advice.

REVISION	DATE	SHEETS	DESCRIPTION
----------	------	--------	-------------

Climate Zone - 7

C.T. No. C.T.6707/601

Wind Speed - TBC

Soil Classification - TBC

Corrosion Environment -MEDIUM

FLOOR AREA -

Lower Floor = 60m²

Upper Floor = -

Total = -

= 6.5 sq

BAL - Not Bushfire Prone
As shown in the Tasmanian
Planning Scheme Overlay

30 September 2025

Preliminary drawings

Development application drawings (DA)

Preliminary construction drawings
Engineer not to sign this copy, only
provide notes, additions & amendments

Final construction drawings (BA)

Approved by Engineer

Approved by Building Surveyor

© This document is copyright and may not be reproduced without the written consent of Bryden Homes.
Drafted by Phil Chamberlain, Accreditation CC5652Y

DRAWING: COVER SHEET

DATE: 28/07/25

FILE NAME: B151 Prelim DA 280825

DRAWN BY: PC

DWG No: COVER SHEET

Important Note
This plan is of an identification survey only and as such is not registered by the Recorder of Titles. Subsequent registered or other surveys in this area may affect the boundary definition shown on the plan. Any differences so caused to the boundary definition shown on this plan are beyond the control of Leary, Cox and Cripps who can accept no responsibility for such differences.

NOTES:
While all reasonable effort has been made to locate all visible above ground services, there may be other services which were not located during the field survey.

The title boundaries as shown on this plan were not marked at the time of the survey and have been determined by existing title dimensions and occupation (where available) only and not by field survey, and as a result are considered approximate only. This plan should not be used for building to boundary, or to prescribed set-backs, without further survey.

Prior to any demolition, excavation, final design or construction on this site, a full site inspection should be completed by the relevant engineers.

All survey data is 3D. The level (z-value) of any specific feature can be interrogated with a suitable CAD package. Spot heights of all features, including pipe inverts, are included in the model space but are not displayed on the PDF. Spot heights are organised into appropriate layers, and can be displayed as required.

DATUM - Vertical : AHD per SPM7066 with reputed AHD level of 25.084 from SURCOM on 27/11/2023

At the time of this survey, CT.6707/601 was owned by K Hayes

Date of Survey : 22/11/2023

SW main not located at time of survey. Alignment is per DBYD data and should be considered approximate only.

Sewer main not located at time of survey. Alignment is per DBYD data and should be considered approximate only.

SW main located on site by builder

1000 Between centre of pipe and wall

Paling fence predominantly on correct boundary alignment

Paling fence predominantly on correct boundary alignment

Paling fence predominantly on correct boundary alignment

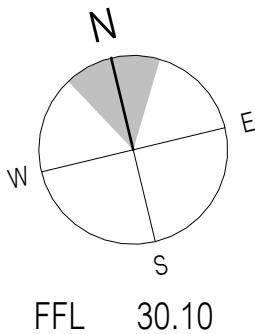
Front on low concrete wall predominantly on correct boundary alignment

BM Nail TOK
RL = 32.194

BM Spike
RL = 30.540

BM D'hole TOK
RL = 28.957

Water main not located at time of survey. Alignment is per DBYD data and should be considered approximate only.



Scale 1 : 200

C.T.6707/601
628m²

PROPOSED ANCILLARY DWELLING FOR ANGELA HAYES
AT 29 WILLIS STREET, BRIDGEWATER

BRYDEN
homes
QUALITY BUILDERS

14 Clare Street, New Town, Tasmania, 7008
Ph: 6278 7782 Mob: 0407 721 824
Fax: 6278 7783 Accreditation No. CC284T

BAL - Not Bushfire Prone
As shown in the Tasmanian
Planning Scheme Overlay

REVISION	DATE	DESCRIPTION
----------	------	-------------

© This document is copyright and may not be reproduced without the written consent of Bryden Homes.
Drafted by Phil Chamberlain, Accreditation CC5652Y

DRAWING: SITE PLAN

DATE: 28/07/25
FILE NAME: B151 Prelim DA 280825
DRAWN BY: PC
DWG No:

01

Important Note
This plan is of an identification survey only and as such is not registered by the Recorder of Titles. Subsequent registered or other surveys in this area may affect the boundary definition shown on the plan. Any differences so caused to the boundary definition shown on this plan are beyond the control of Leary, Cox and Cripps who can accept no responsibility for such differences.

NOTES:
While all reasonable effort has been made to locate all visible above ground services, there may be other services which were not located during the field survey.

The title boundaries as shown on this plan were not marked at the time of the survey and have been determined by existing title dimensions and occupation (where available) only and not by field survey, and as a result are considered approximate only. This plan should not be used for building to boundary, or to prescribed set-backs, without further survey.

Prior to any demolition, excavation, final design or construction on this site, a full site inspection should be completed by the relevant engineers.

All survey data is 3D. The level (z-value) of any specific feature can be interrogated with a suitable CAD package. Spot heights of all features, including pipe inverts, are included in the model space but are not displayed on the PDF. Spot heights are organised into appropriate layers, and can be displayed as required.

DATUM - Vertical : AHD per SPM7066 with reputed AHD level of 25.084 from SURCOM on 27/11/2023

At the time of this survey, CT.6707/601 was owned by K Hayes

Date of Survey : 22/11/2023

SW main not located at time of survey. Alignment is per DBYD data and should be considered approximate only.

Sewer main not located at time of survey. Alignment is per DBYD data and should be considered approximate only.

SW main located on site by builder

100 UPVC pipe to connect into ex sewer on site

100 UPVC pipe to connect into ex. stormwater

Paling fence predominantly on correct boundary alignment

C.T.6707/601
628m²

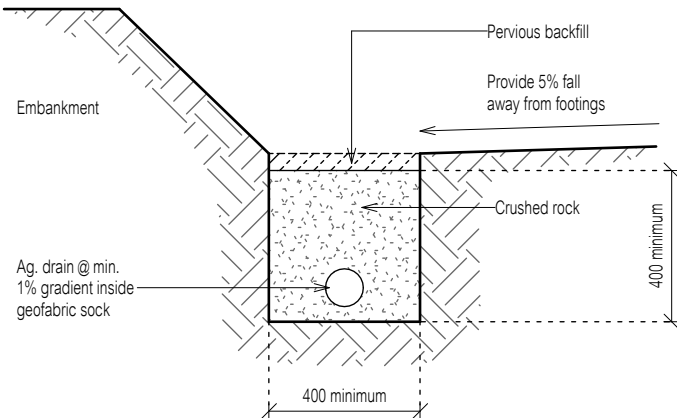
DRAINAGE PLAN

1 : 200

Water main not located at time of survey. Alignment is per DBYD data and should be considered approximate only.

DRAINAGE LEGEND

1	WC	100 dia
2	HANDBASIN	40 dia
3	SHOWER	50 dia
4	BATH	40 dia
5	LAUNDRY TROUGH	50 dia
6	KITCHEN SINK	50 dia
7	VENT	50 dia
8	TAP CHARGED O.R.G. MIN. 150mm BELOW FFL	
9	DOWNPIPE	90 dia
10	TAP	
11	INSPECTION OPENING TO GROUND LEVEL	
f/w	FLOOR WASTE	



All materials and construction to comply with AS/NZS3500, 2025 and to be inspected and approved by a qualified engineer.

BAL - Not Bushfire Prone
As shown in the Tasmanian Planning Scheme Overlay

REVISION	DATE	DESCRIPTION
----------	------	-------------

© This document is copyright and may not be reproduced without the written consent of Bryden Homes. Drafted by Phil Chamberlain, Accreditation CC5652Y

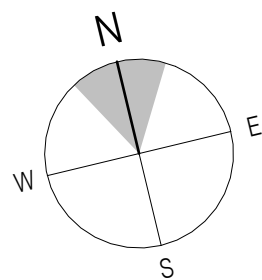
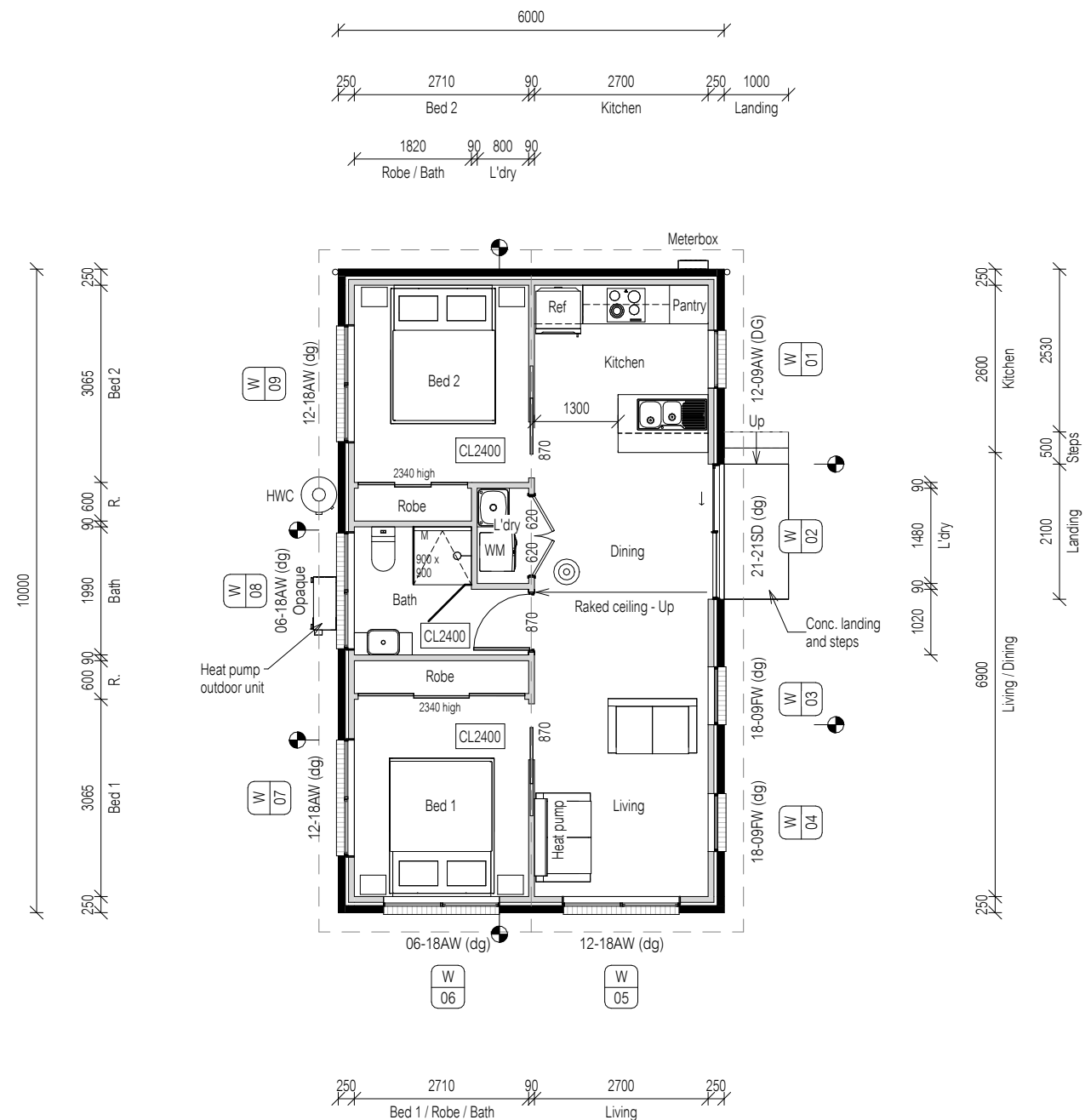
DRAWING: DRAINAGE PLAN

DATE: 28/08/25
FILE NAME: B151 Prelim DA 280825
DRAWN BY: PC
DWG No:

Scale As indicated

PROPOSED ANCILLARY DWELLING FOR ANGELA HAYES
AT 29 WILLIS STREET, BRIDGEWATER

Floor Area = 60m²
-
-
Landing Areas = 2.6m²



Scale 1 : 100

PROPOSED ANCILLARY DWELLING FOR ANGELA HAYES
AT 29 WILLIS STREET, BRIDGEWATER

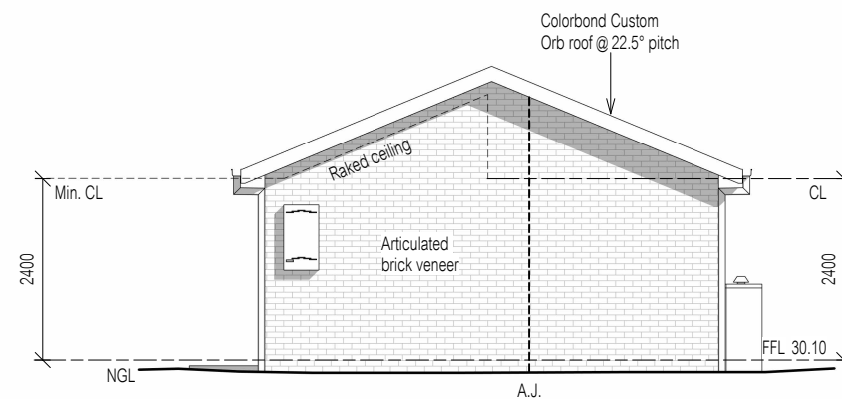
BAL - Not Bushfire Prone
As shown in the Tasmanian
Planning Scheme Overlay

REVISION	DATE	DESCRIPTION
----------	------	-------------

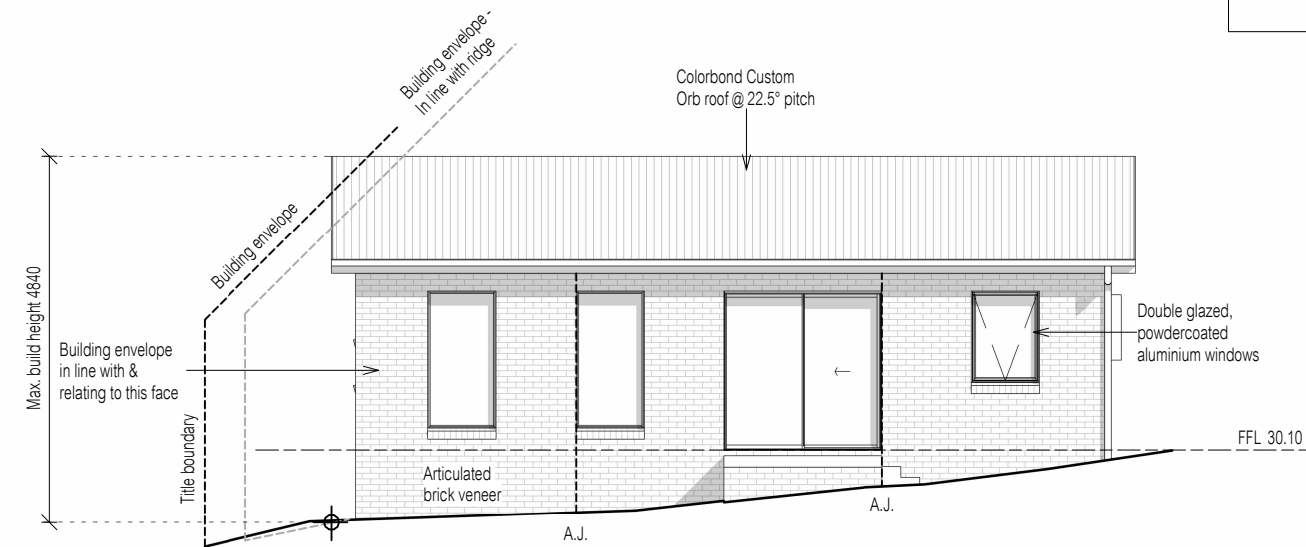
© This document is copyright and may not be reproduced without the written consent of Bryden Homes.
Drafted by Phil Chamberlain, Accreditation CC5652Y

DRAWING: FLOOR PLAN

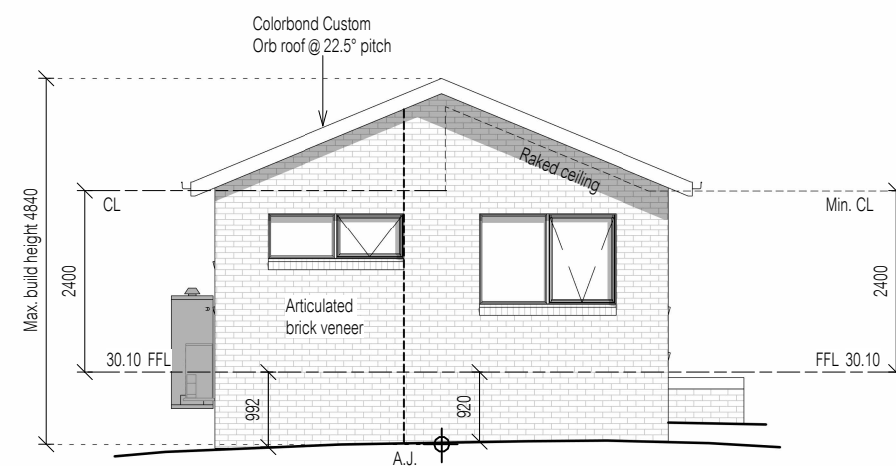
DATE: 28/07/25
FILE NAME: B151 Prelim DA 280825
DRAWN BY: PC
DWG No:



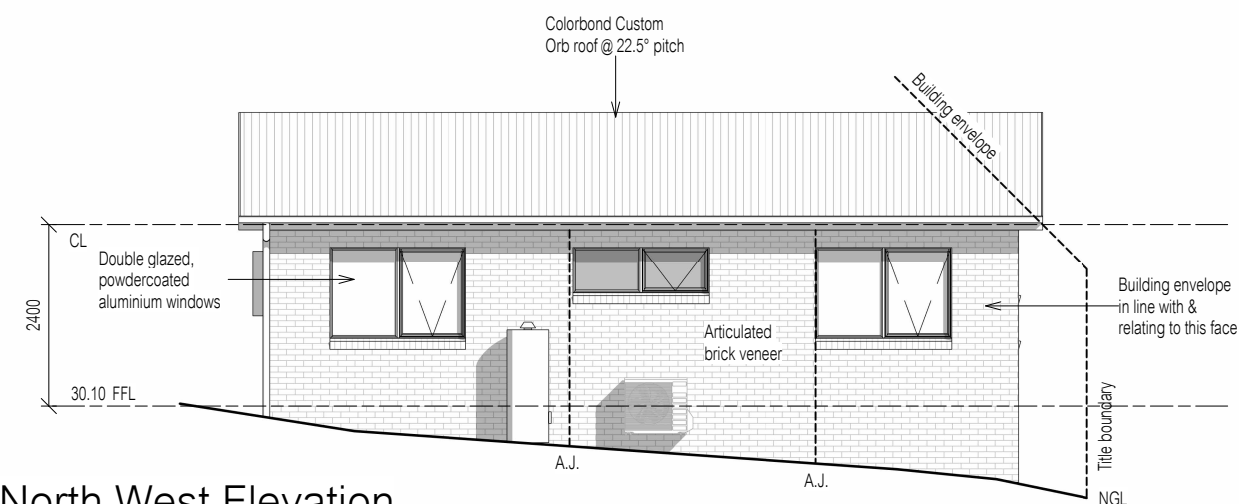
North East Elevation



South East Elevation



South West Elevation



North West Elevation

BAL - Not Bushfire Prone
 As shown in the Tasmanian
 Planning Scheme Overlay

REVISION	DATE	DESCRIPTION
----------	------	-------------

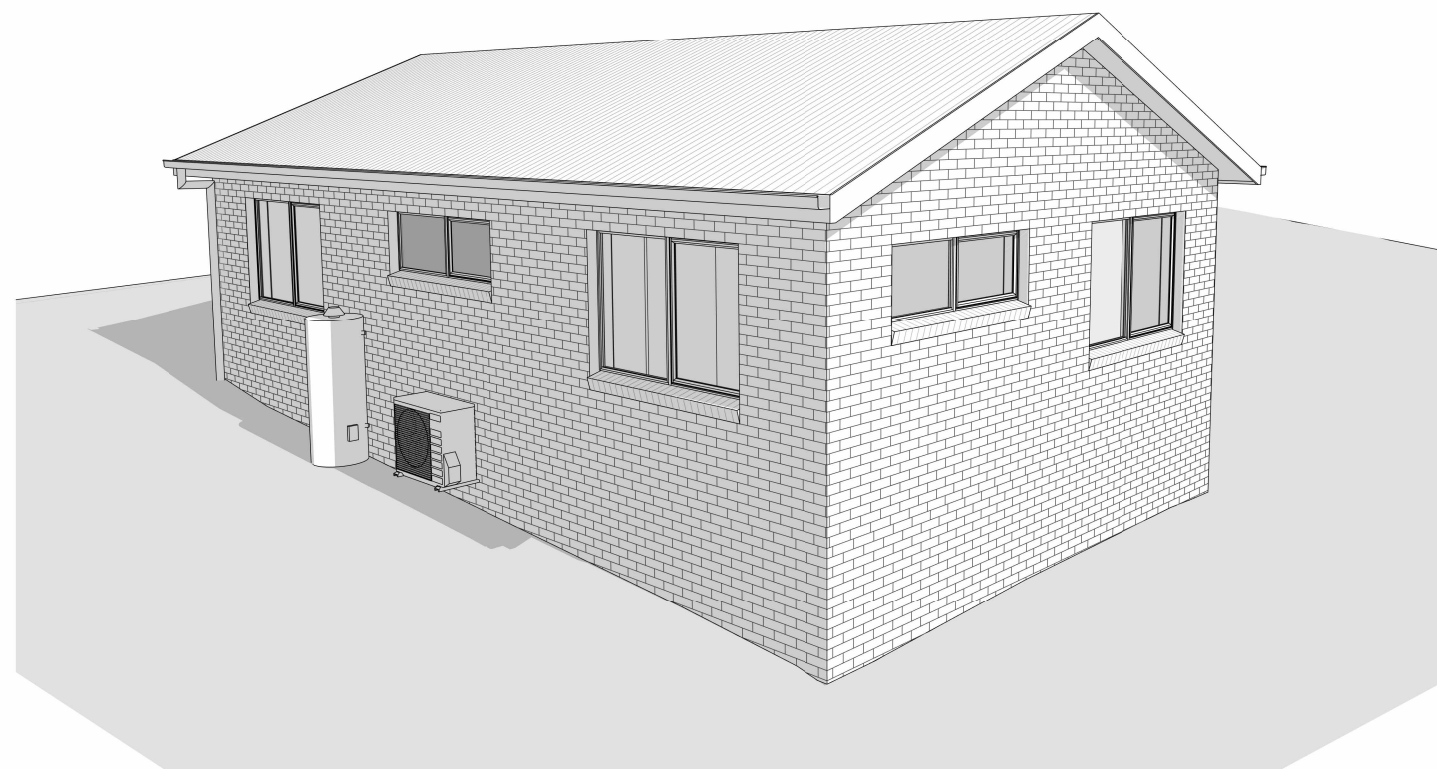
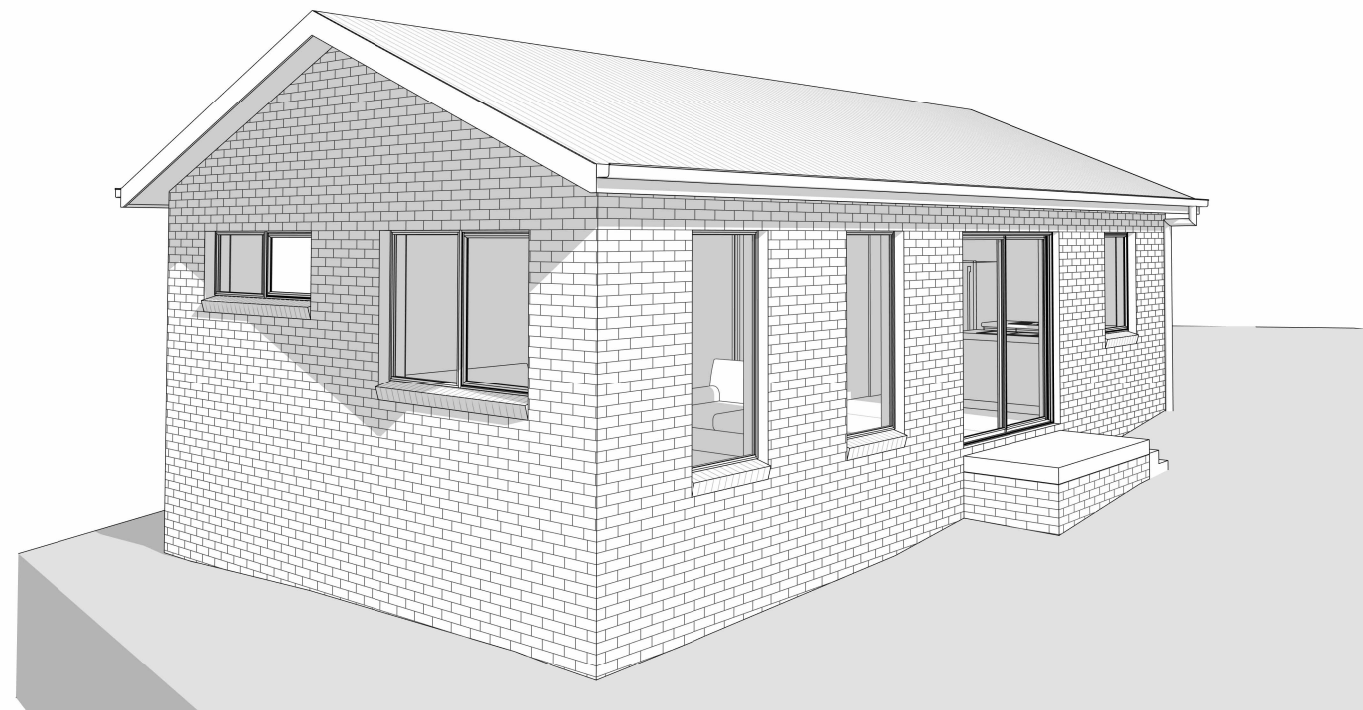
© This document is copyright and may not be reproduced without the written consent of Bryden Homes. Drafted by Phil Chamberlain, Accreditation CC5652Y

DRAWING: ELEVATIONS

DATE: 28/08/25
 FILE NAME: B151 Prelim DA 280825
 DRAWN BY: PC
 DWG No:

Scale 1 : 100

PROPOSED ANCILLARY DWELLING FOR ANGELA HAYES
 AT 29 WILLIS STREET, BRIDGEWATER



BAL - Not Bushfire Prone
As shown in the Tasmanian
Planning Scheme Overlay

REVISION	DATE	DESCRIPTION
----------	------	-------------

© This document is copyright and may not be reproduced without the written consent of Bryden Homes.
Drafted by Phil Chamberlain, Accreditation CC5652Y

DRAWING: PERSPECTIVES

DATE: 28/08/25
FILE NAME: B151 Prelim DA 280825
DRAWN BY: PC
DWG No:

Scale

PROPOSED ANCILLARY DWELLING FOR ANGELA HAYES
AT 29 WILLIS STREET, BRIDGEWATER

04a