



Application for Planning Approval

Land Use Planning and Approvals Act 1993

APPLICATION NO.

DA2025/163

LOCATION OF AFFECTED AREA

7A SHELMORE DRIVE, OLD BEACH

DESCRIPTION OF DEVELOPMENT PROPOSAL

OUTBUILDING

A COPY OF THE DEVELOPMENT APPLICATION MAY BE VIEWED AT www.brighton.tas.gov.au AND AT THE COUNCIL OFFICES, 1 TIVOLI ROAD, OLD BEACH, BETWEEN 8:15 A.M. AND 4:45 P.M, MONDAY TO FRIDAY OR VIA THE QR CODE BELOW. ANY PERSON MAY MAKE WRITTEN REPRESENTATIONS IN ACCORDANCE WITH S.57(5) OF THE LAND USE PLANNING AND APPROVALS ACT 1993 CONCERNING THIS APPLICATION UNTIL 4:45 P.M. ON **26/11/2025**. ADDRESSED TO THE CHIEF EXECUTIVE OFFICER AT 1 TIVOLI ROAD, OLD BEACH, 7017 OR BY EMAIL AT development@brighton.tas.gov.au. REPRESENTATIONS SHOULD INCLUDE A DAYTIME TELEPHONE NUMBER TO ALLOW COUNCIL OFFICERS TO DISCUSS, IF NECESSARY, ANY MATTERS RAISED.

JAMES DRYBURGH
Chief Executive Officer



Brighton
going places



LEGEND:
COVER PAGE
PAGE 1# LOCALITY PLAN
PAGE 2# SITE PLAN
PAGE 3# FLOOR PLAN/ELEVATIONS/DRAINAGE
PAGE 4# ELEVATIONS

CHECK CAREFULLY ALL ASPECTS OF THESE DOCUMENTS BEFORE COMMENCING WORK.

ANY ERRORS OR ANOMALIES TO BE REPORTED TO THE DRAWER BEFORE WORK IS CONTINUED

CONFIRM ALL SIZES AND HEIGHTS ON SITE

DO NOT SCALE OFF PLAN

ALL CONSTRUCTION IS TO COMPLY WITH THE BUILDING CODE OF AUSTRALIA AND ALL RELEVANT AUSTRALIAN STANDARDS

CONSTRUCTION STANDARDS:
ALL WORKS SHOULD BE GENERALLY INLINE WITH THE PRACTICES SET OUT IN THE 'GUIDE TO STANDARDS AND TOLERANCES 2007'

WIND LOADS DETERMINED IN ACCORDANCE WITH AS 4055 - WIND LOADS FOR HOUSING

THESE DOCUMENTS TO BE USED WITH ALL DOCUMENTATION PREPARED BY AN ENGINEER

THESE DOCUMENTS ARE INTENDED FOR COUNCIL APPLICATIONS AND NORMAL CONSTRUCTION, THEY ARE NOT TO BE USED FOR TENDERING PURPOSES OR INSPECTIONS.

THIS DESIGN IS COVERED UNDER COPYRIGHT AND ANY CHANGES MUST BE CONFIRMED BY "WILKIN DESIGN & DRAFTING" THE DRAWER RETAINS ALL "INTELLECTUAL PROPERTY"

REQUIREMENTS OF SCHEDULE 1

DESIGNER : T. WILKIN - CC678X
PROJECT ADDRESS : 7A SHELMORE DR OLD BEACH TAS 7017
CLIENT NAME : J. PARR & D. PRICE
TITLE REF : 179823/2
FLOOR AREA : 160.00m²
DESIGN WIND SPEED : N2
SOIL CLASSIFICATION : M
CLIMATE ZONE : 7
BAL LEVEL : LOW
ALPINE AREA : N/A
CORROSION ENVIRONMENT : N/A
KNOWN SITE HAZARDS : NONE

INDEX OF APPLICATION SET:
ARCHITECTURAL DRAWINGS - PAGE 00 - 04
ENGINEERING DRAWINGS - NO
SPECIFICATIONS - NO
ADDITIONAL PAGES - FORM 35

PROPOSED SHED FOR J. PARR & D. PRICE AT 7A SHELMORE DR OLD BEACH TAS 7017



P.O. BOX 478
LAUNCESTON
TASMANIA 7250

ACCREDITATION NO:
CC678 X

DATE:
16/09/2025

JOB NUMBER:
DA/BA-25SRPARR



NOTE: TABLE FOR UNPROTECTED EMBANKMENT SLOPES SLOPE = H:L		
SOIL TYPE	COMPACTED FILL	CUT
STABLE ROCK	2:3	8:1
SAND	1:2	1:2
SILT	1:4	1:4
CLAY	(FIRM) 1:2	1:1
	(SOFT) NOT SUITABLE	2:3
SOFT SOILS	NOT SUITABLE	NOT SUITABLE

PLUMBING NOTES:

- ALL PLUMBING WORK BOTH WASTE AND WATER TO COMPLY WITH CURRENT BCA AND AS 3500 WITH ALL LOCAL COUNCIL REQUIREMENTS SATISFIED.
- ALL DRAINS ARE TO BE 100mm PVC SEWER PIPE SET IN 12mm BLUEMETAL WITH A MINIMUM DEPTH OF 500mm ALL AS PER AS 3500 "PLUMBING AND DRAINAGE".
- STORMWATER DRAIN INSTALLATION SHALL COMPLY WITH AS 3500.

NOTE:

THESE PLANS HAVE BEEN PREPARED ALONGSIDE INFORMATION AND DIMENSIONS FROM BOTH THE DIRECT CLIENT, TheList AND ONLINE INFORMATION. ALL ASPECTS OF THE DRAWING SHOULD BE CHECKED THOROUGHLY BEFORE COMMENCEMENT OF WORK. IF IN DOUBT SEEK ADVICE FROM WILKIN DESIGN.

SET OUT NOTES:

- THE BUILDER IS TO SET OUT THE WORKS IN CONJUNCTION WITH THE ACCOMPANYING PLANS. THE FINAL POSITION IS TO BE CONFIRMED BY THE CLIENT AS TO BEING CORRECT. ALL DIMENSIONS HEIGHTS AND LEVELS ARE TO BE CONFIRMED ON SITE BY ALL PARTIES INCLUDING LOCAL COUNCIL, OWNER AND ENGINEER BEFORE ANY EXCAVATION IS TO BE CARRIED OUT.

c.t.b. 4.36m. c.t.b. 1.65m.

SHELMORE DRIVE

LOCALITY PLAN
DNS

EXISTING ACCESS

c.t. boundary 184.59m.

c.t. boundary 135.54m.

STORM-WATER
DISCHARGE POINT

EXISTING
RESIDENCE

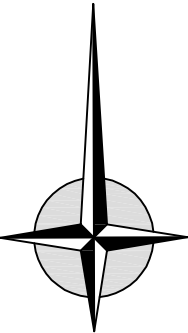
PROPOSED SHED

c.t. boundary 47.74m.

c.t. boundary 19.96m.

c.t. boundary 76.33m.

c.t. boundary 67.66m.



7A SHELMORE DR
OLD BEACH TAS 7017

TITLE REF: 179823/2
PROPERTY ID: 9021262
TITLE AREA = 5000m²



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design

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SHELMORE DRIVE
OLD BEACH

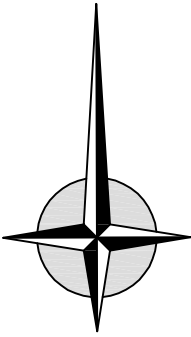
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PROPOSED RETAINING WALL
FOR FULL DETAILS SEE
HED DRAWINGS AND DETAILS

STORM-WATER
DISCHARGE POINT

900 OVERFLOW TO
DISCHARGE POINT

BATTER AS PER
TABLE

PROPOSED 8.0m. x 20.0m. x 4.2m (SPOUTING)
COLORBOND GARAGE. FOR FULL DETAILS
SEE RAINBOW BUILDING SOLUTIONS
DRAWINGS AND SPECIFICATIONS

EXISTING
ACCESS

MAX HEIGHT
OF WALL 2400

4.80m

6.14m

D.P.

D.P.

CONNECT DOWN PIPES TO NEW WATER TANKS
AS PER NOTES AND min. 1000 STORM-WATER LINE
AND OVERFLOW AS POER DETAIL

INITIAL INLET TO
TANKS

WATER STORAGE VOLUME
ABOVE RESTRICTED OVERFLOW
3.5m³ (3,500L)

900 OVERFLOW WITH
WITH SUITABLY SIZED ORIFICE
TO RESTRICT POST-DEVELOPMENT
FLOW TO PRE-DEVELOPMENT
LEVELS

FIRST TANK AS PER DETAIL

CONNECT SEWER LINE TO EXISTING SYSTEM
AS PER NOTES AND min. 1000 STORM-WATER LINE

EXISTING
SEPTIC

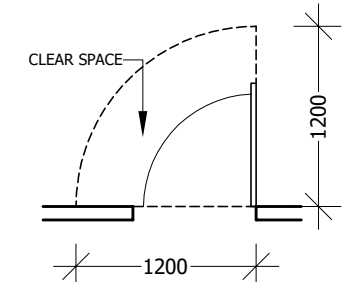
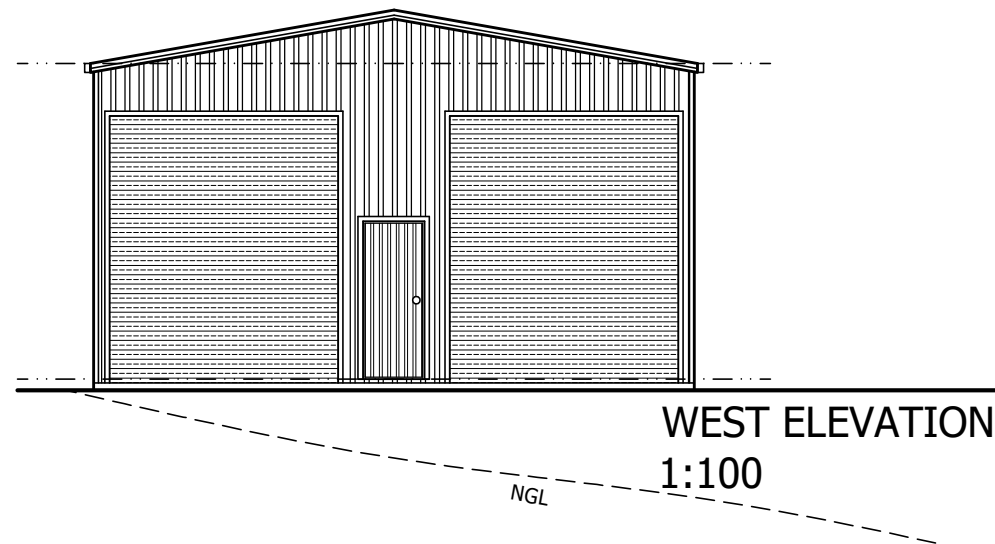
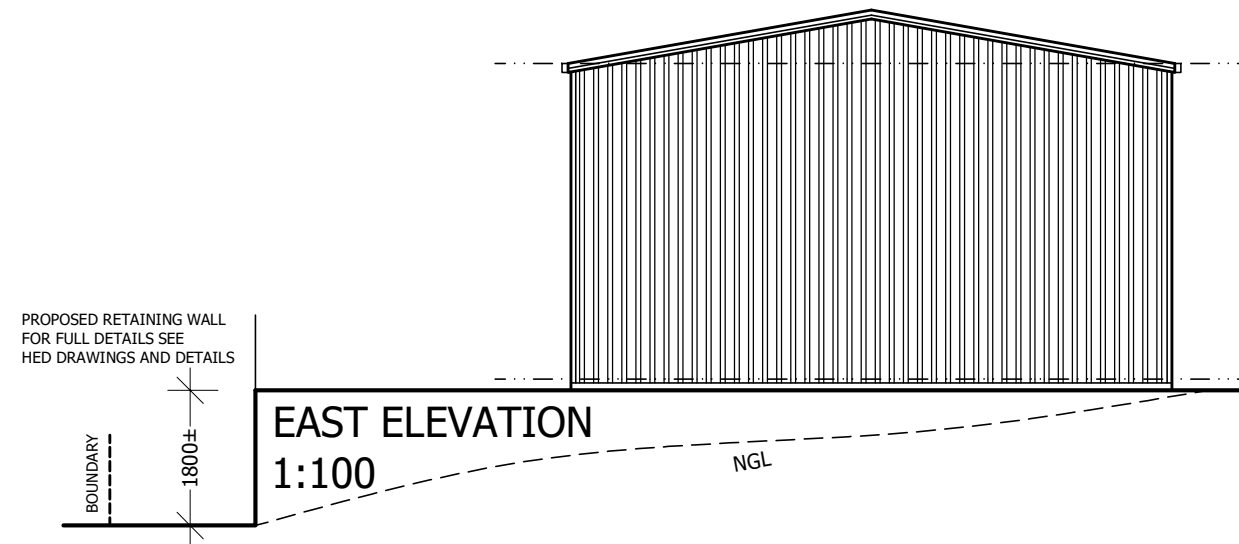
MAX HEIGHT
OF WALL 1800

7.43m

7.41m

SITE PLAN
1:200

NOTE: ALL DIMENSIONS TO BE CONFIRMED ON SITE.



CONSTRUCTION OF
SANITARY
COMPARTMENTS

BCA VOL. 2, FIGURE 3.8.3.3

THE DOOR TO A FULLY ENCLOSED
SANITARY COMPARTMENT MUST -
(a) OPEN OUTWARDS; OR
(b) SLIDE; OR
(c) BE READILY REMOVABLE FROM THE
OUTSIDE OF THE COMPARTMENT,
UNLESS THERE IS A CLEAR SPACE OF AT
LEAST 1.2m, MEASURED IN ACCORDANCE
WITH FIGURE 3.8.3.3, BETWEEN THE
CLOSET PAN WITHIN THE SANITARY
COMPARTMENT AND THE DOORWAY.



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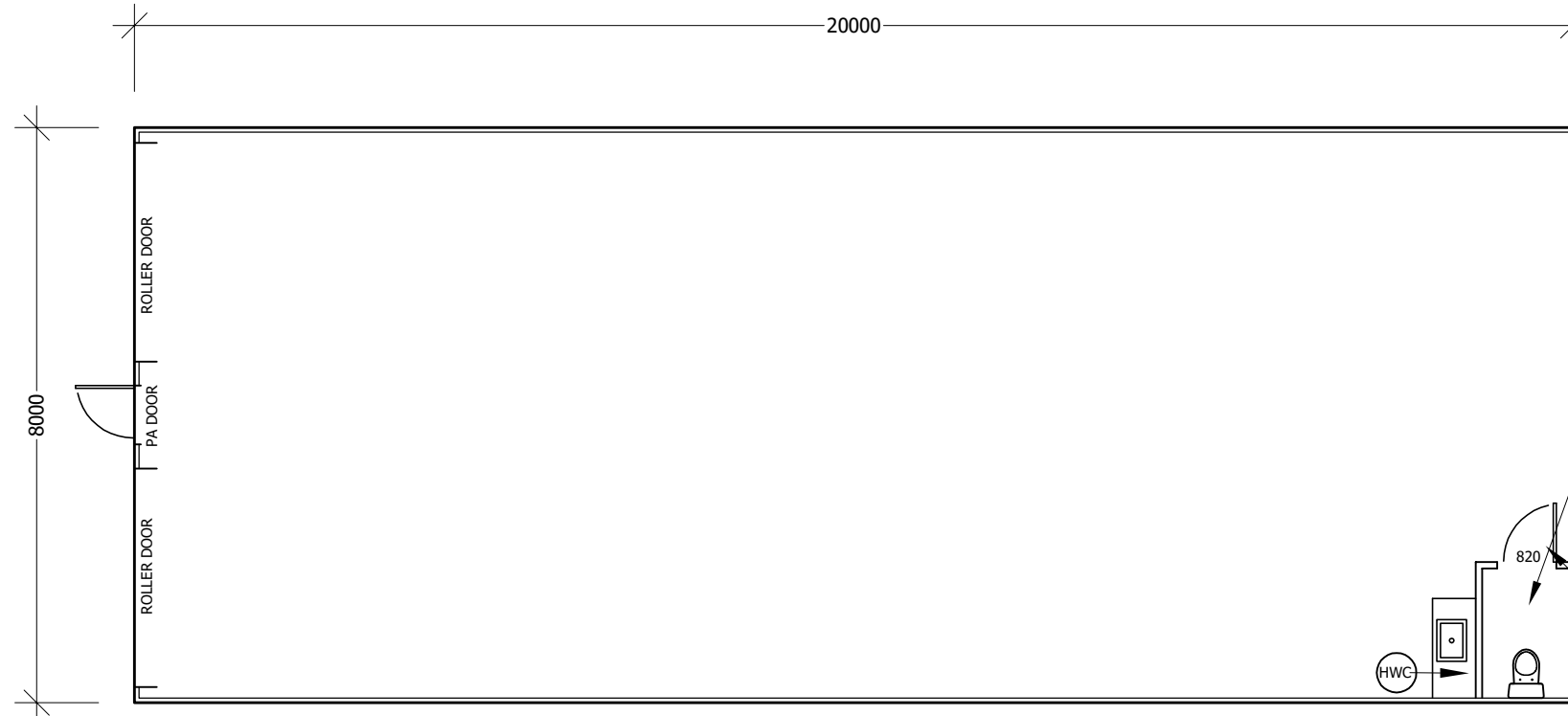
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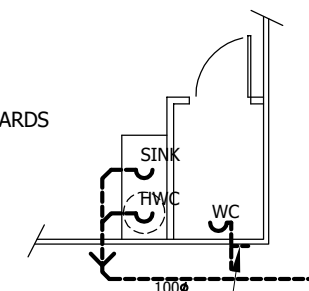
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90 x 35 MGP10 FRAMING.
STUDS @ 450crs. MAXIMUM.
NOGGINGS @ 1350crs. MAXIMUM.
2/90 x 35 MGP10 PLATES
(USE TTPINE BOTTOM PLATE)
TO LOAD BEARING WALLS.
9mm VILLA-BOARD INTERNAL LINING.

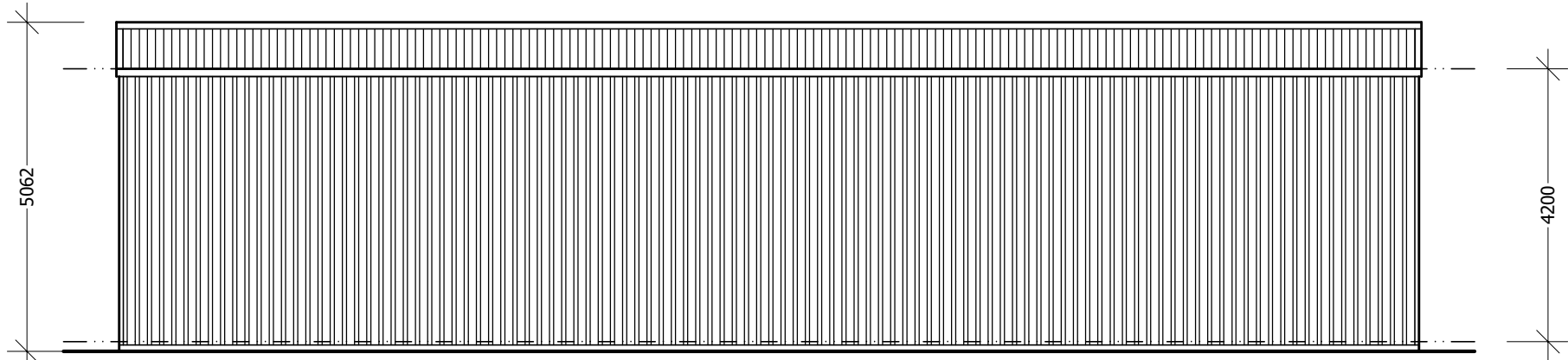
IF CEILING IS FITTED USE
90 x 35 MGP10 CEILING JOISTS AT 450
CENTRES TO SHORT SPAN

DOOR OPENING OUTWARDS
OR AS PER DETAIL



BATHROOM
DRAINAGE PLAN
1:100

OVERFLOW RELIEF GULLY
ON BRANCH-LINE
100 ABOVE GROUND LEVEL
100 BELOW FLOOR LEVEL
WITH GARDEN TAP OVER



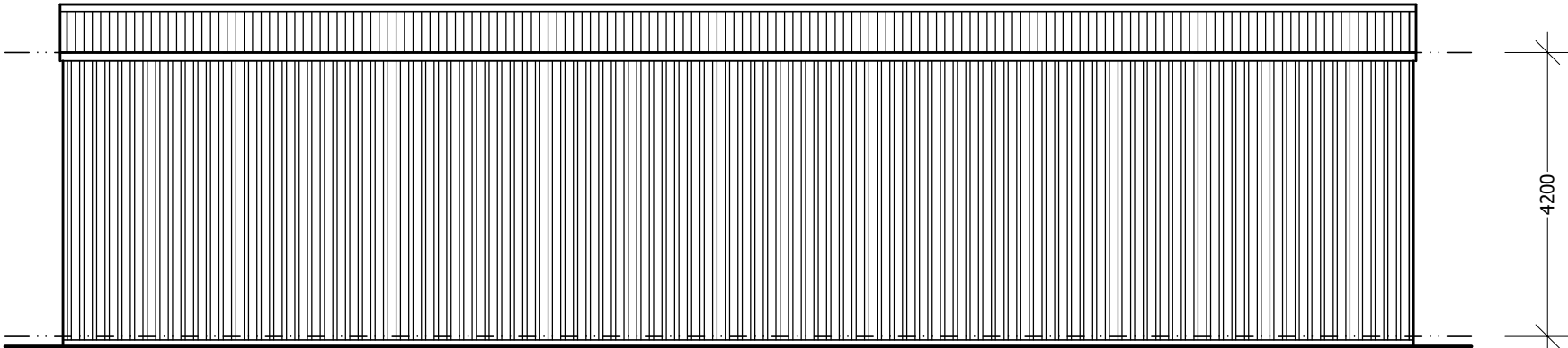
SOUTH ELEVATION
1:100

VENTILATION NOTES:

- MECHANICAL VENTILATION SYSTEMS ARE TO BE INSTALLED AS PER AS 1668.2 "MECHANICAL VENTILATION FOR ACCEPTABLE INDOOR AIR QUALITY".
- CONTAMINATED AIR FROM A SANITARY COMPARTMENT OR BATHROOM MUST EXHAUST DIRECTLY TO OUTSIDE THE BUILDING BY WAY OF DUCTS OR EXHAUST INTO THE ROOF SPACE ONLY IF IT IS ADEQUATELY VENTILATED BY OPEN EAVES, AND/OR ROOF VENTS OR THE ROOF IS CLAD IN TILES WITHOUT SARKING OR SIMILAR MATERIALS WHICH WOULD PREVENT VENTING THROUGH GAPS IN TILES.
- VENTILATION MUST BE PROVIDED TO A HABITABLE ROOM BY PERMANENT OPENINGS, WINDOWS, DOORS OR OTHER DEVICES WHICH CAN BE OPENED WITH AN AGGREGATE OPENING SIZE NOT LESS THAN 5% OF THE FLOOR AREA AND OPEN TO A SUITABLY SIZED COURT, OPEN VERANDAH, CARPORT, OR THE LIKE, OR TO AN ADJOINING ROOM PROVIDED THAT ROOM OR THE ROOM TO BE VENTILATED IS NOT A SANITARY COMPARTMENT AND THE WINDOW, OPENING, DOOR OR OTHER DEVICE HAS A VENTILATING AREA OF NOT LESS THAN 5% OF THE FLOOR AREA OF THE ROOM TO BE VENTILATED AND THE ADJOINING ROOM HAS A WINDOW, OPENING, DOOR OR OTHER DEVICE WITH A VENTILATING AREA OF NOT LESS THAN 5% OF THE COMBINED FLOOR AREAS OF BOTH ROOMS AND THE VENTILATING AREAS SPECIFIED MAY BE REDUCED AS APPROPRIATE IF DIRECT NATURAL VENTILATION IS PROVIDED FROM ANOTHER SOURCE AS PER BCA 2009 PART 3.8.5.

PLUMBING NOTES:

- ALL PLUMBING WORK BOTH WASTE AND WATER TO COMPLY WITH CURRENT BCA AND AS 3500 WITH ALL LOCAL COUNCIL REQUIREMENTS SATISFIED.
- ALL DRAINS ARE TO BE 100mm PVC SEWER PIPE SET IN 12mm BLUEMETAL WITH A MINIMUM DEPTH OF 500mm ALL AS PER AS 3500 "PLUMBING AND DRAINAGE".
- STORMWATER DRAIN INSTALLATION SHALL COMPLY WITH AS 3500.
- MAXIMUM OPERATING PRESSURE WITHIN THE BUILDING OF 500kpa.
- TEMPERING VALVES TO BE FITTED IN ACCORDANCE WITH AS 3500 PART 4.
- CHECK WITH LOCAL COUNCIL FOR EXACT SITE SERVICE CONNECTION POINTS.



NORTH ELEVATION
1:100



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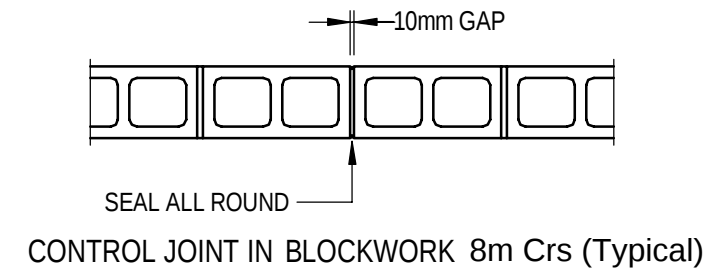
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STANDARD RETAINING WALL DESIGN ASSUMPTIONS (AS 4678)		
RETAINED SOIL FRICTION ANGLE ϕ	30°	CLASS I, CLASS II OR INSITU MATERIAL
BASE COHESION 'C'	0 kPa	
STRUCTURE CLASSIFICATION	B	
MIN. ALLOWABLE FOUNDATION BEARING PRESSURE	150 kPa	
LOADING CONDITIONS	1:4 BACK SLOPE+ 2.5 kPa (OR) 1:100 BACK SLOPE+ 5.0 kPa	
CAST FOOTING BASE EXCAVATION	ROUGHENED SURFACE	

RW1. ALL WORK TO BE IN ACCORDANCE WITH AS4678, AS3600, AS3700 AND THE CMAA DESIGN AND CONSTRUCTION GUIDE.

RW2. GROUT FOR FILLING OF BLOCKWORK WALLS TO BE MIN. 25MPa WITH MAXIMUM AGGREGATE SIZE OF 10mm. SLUMP SHALL BE MAXIMUM REQUIRED TO ALLOW PUMPING AND PLACEMENT BUT LIMITED TO 120 – 200 +/- 50mm.

RW3. COVER TO REINFORCEMENT SHALL BE A MINIMUM OF 50mm FOR FOOTINGS AND 65mm FOR GROUTED BLOCK WALLS, MEASURED FROM EXTERNAL FACE OF BLOCKWORK.

RW4. ALLOW MINIMUM 3 DAYS FOR MORTAR TO CURE BEFORE GROUT FILLING MASONRY BLOCK WALLS.

RW5. ALLOW MINIMUM 14 DAYS FOR GROUT TO CURE PRIOR TO BACKFILLING BEHIND WALLS.

RW6. DRAINAGE SHALL BE PROVIDED AT THE REAR OF THE WALL COMPRISING OF (AS A MINIMUM) A MIN. 90mm DIAMETER SLOTTED PVC PIPE POSITIONED TO FALL AT NO LESS THAN 1:100 AND A MIN. 300mm WIDE DRAINAGE LAYER FILLED WITH 20mm CLEAN AGGREGATE TO FULL HEIGHT OF WALL. GEOTEXTILE FABRIC SHALL BE PROVIDED TO THE UP-SLOPE SIDE OF THE DRAINAGE LAYER.

RW7. ARTICULATION JOINTS SHALL BE AS SPECIFIED BY THE ENGINEER U.N.O MAX 6m CENTRES.

RW8. BLOCKWORK CAVITIES SHALL BE KEPT FREE OF MORTAR DROPPINGS CLEAN OUT BLOCKS SHALL BE PROVIDED TO THE BOTTOM COURSE FOR WALLS EXCEEDING 1.8m HIGH.

RW9. ALL RETAINING WALLS SHALL BE WATERPROOFED WITH A SUITABLE PROPRIETY PRODUCT U.N.O. PROTECTIVE BACKING SHEET SHALL BE INSTALLED PRIOR TO PLACEMENT OF AGGREGATE BACKFILL. WATERPROOFING SHALL BE INSPECTED IF BLOCKWORK FORMS AN INTERIOR WALL LINING.



BLOCKWORK RETAINING WALL (OVER 2 METERS)
(FOOTING IN FRONT OF RETAINED FILL)
SCALE 1:20

NO.		REVISION		DATE		DRAWN:		DATE:		LIED CONSULTING Ground Floor, The Sandstone Building 1 Liverpool St, Hobart TASMANIA 7000 phone (03) 6146 0334 e info@hed-consulting.com.au www hed-consulting.com.au		PROJECT: 7A SHELMOORE DRIVE,OLD BEACH TAS-7017		CLIENT: JOHN PARR		SCALE : 1:20 AT A3		JOB NO. : H2895	
				DESIGNED:		DATE:													
				CHECKED:		DATE:													
				MM		23/08/2024													
						APPROVED:		DATE:											
						MM		23/08/2024											
												DRAWING TITLE:		RETAINING WALL 2800(Maximum)		ISSUE : CLC		SHEET : SI-1-000	
														REV: 0		DATE : 23/08/2024			