



Application for Planning Approval

Land Use Planning and Approvals Act 1993

APPLICATION NO.

DA2025/174

LOCATION OF AFFECTED AREA

11 FISHER DRIVE, HERDSMANS COVE

DESCRIPTION OF DEVELOPMENT PROPOSAL

SINGLE DWELLING

A COPY OF THE DEVELOPMENT APPLICATION MAY BE VIEWED AT www.brighton.tas.gov.au AND AT THE COUNCIL OFFICES, 1 TIVOLI ROAD, OLD BEACH, BETWEEN 8:15 A.M. AND 4:45 P.M, MONDAY TO FRIDAY OR VIA THE QR CODE BELOW. ANY PERSON MAY MAKE WRITTEN REPRESENTATIONS IN ACCORDANCE WITH S.57(5) OF THE LAND USE PLANNING AND APPROVALS ACT 1993 CONCERNING THIS APPLICATION UNTIL 4:45 P.M. ON **30/10/2025**. ADDRESSED TO THE CHIEF EXECUTIVE OFFICER AT 1 TIVOLI ROAD, OLD BEACH, 7017 OR BY EMAIL AT development@brighton.tas.gov.au. REPRESENTATIONS SHOULD INCLUDE A DAYTIME TELEPHONE NUMBER TO ALLOW COUNCIL OFFICERS TO DISCUSS, IF NECESSARY, ANY MATTERS RAISED.

JAMES DRYBURGH
Chief Executive Officer



Brighton
going places

DA
TASMANIAN PLANNING SCHEME

SHEET INDEX

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TOTAL FLOOR AREAS

MAIN DWELLING, GROUND FLOOR		
ALFRESCO		25.06
GARAGE		38.85
LIVING		106.76
PORCH		2.02
		172.69 m²

AS & NCC COMPLIANCE

- ALL CONSTRUCTION TO BE IN ACCORDANCE WITH NCC 2022 AND APPLICABLE AUSTRALIAN STANDARDS AT TIME OF APPROVAL.
- SLAB IN ACCORDANCE WITH AS 2870. REFER TO ENGINEERS DETAILS FOR ALL SLAB DETAILS.
 - BRICK CONTROL JOINTS PROVIDED IN ACCORDANCE WITH NCC 2022.
 - ALL STEEL FRAMING TO BE DESIGNED TO AS 4100-2020 OR AS/NZS 4600-2018.
 - INSULATION TO BE INSTALLED IN ACCORDANCE WITH NCC 2022 AND ALL APPLICABLE AUSTRALIAN STANDARDS.
 - TERMITE PROTECTION IN ACCORDANCE WITH AS 3660 AND NCC 2022.
 - GLAZING IN ACCORDANCE WITH AS 1288 AND NCC 2022.
 - SMOKE ALARMS IN ACCORDANCE WITH AS 3786 AND NCC 2022.
 - INTERNAL WATERPROOFING IN ACCORDANCE WITH NCC 2022 HOUSING PROVISIONS PART 10.2.
 - EXTERNAL WATERPROOFING IN ACCORDANCE WITH AS 3740 AND AS 4654.
 - WET AREA FLOORS TO FALL TO FLOOR WASTES AT MIN. 1:80 AND MAX. 1:50 GRADE (IF APPLICABLE).
 - CONDENSATION MANAGEMENT IN ACCORDANCE WITH NCC 2019.
 - BUILDING SEALING IN ACCORDANCE WITH NCC 2022.
 - SERVICES IN ACCORDANCE WITH NCC 2022.
 - EARTHWORKS IN ACCORDANCE WITH AS 3798-2007.
 - EXTERNAL WALL WRAP (SARKING) IN ACCORDANCE WITH NCC 2022 (IF APPLICABLE).
 - EXHAUST FANS DUCTED TO OUTSIDE AIR (IF APPLICABLE).

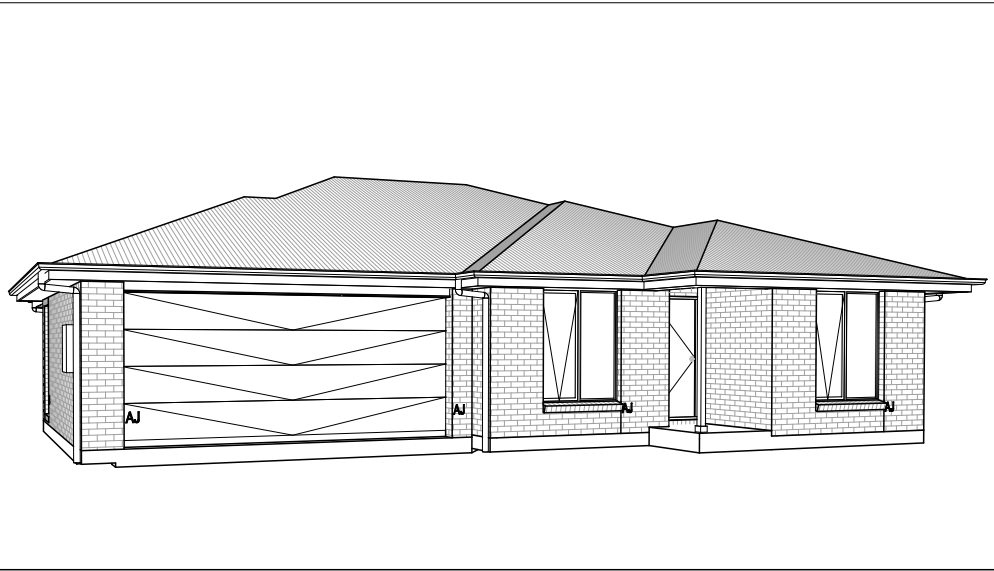
SITE SPECIFIC CONTROLS

CONTROL	DETAILS
ACID SULPHATE SOIL	NO
BIODIVERSITY	NO
BUILDING ENVELOPE	YES
BUSHFIRE	BAL-19
CLIMATE ZONE (NCC)	ZONE 7 - COOL TEMPERATE
DESIGN WIND CLASSIFICATION	N3 (EXPOSED TBC)
ESTATE/DEVELOPER GUIDELINES	NO
FLOOD OVERLAY	NO
HERITAGE	NO
LANDSLIP HAZARD	NO
MINIMUM FLOOR LEVEL	NO
NATURAL ASSET CODE	NO
NOISE ATTENUATION	NO
SALINE SOIL	NO
SHIELDING FACTOR	PS - PARTIAL SHIELDING
SITE CLASSIFICATION	M
SPECIFIC AREA PLAN OVERLAY	NO
TERRAIN CATEGORY	TC1
TOPOGRAPHIC CLASSIFICATION	T1
WATERWAY & COASTAL OVERLAY	NO
WIND REGION	A - NORMAL
WITHIN 1km CALM SALT WATER	96m
WITHIN 50km BREAKING SURF	24.00km
ZONING	GENERAL RESIDENTIAL
CROWN LAND	
CROWN LEASES	

BUILDING CONTROLS & COMPLIANCE

CONTROL	REQUIRED	PROPOSED
SETBACKS		
FRONT	MIN. 4,500mm	6,000mm
SIDE A	MIN. 1,500mm	2,050mm
SIDE B	MIN. 1,500mm	2,350mm
REAR	MIN. 1,500mm	18,368mm
BULK & SCALE		
SITE AREA	657m²	
SITE COVERAGE	MAX. 50%	26.28%
LANDSCAPE		
NO APPLICABLE CONTROLS		
EARTHWORKS		
CUT DEPTH	MAX. 2,000mm	1,011mm
FILL DEPTH	MAX. 1,000mm	958mm
ACCESS & AMENITY		
PARKING SPACES	MIN. 2 SPACES	2 SPACES

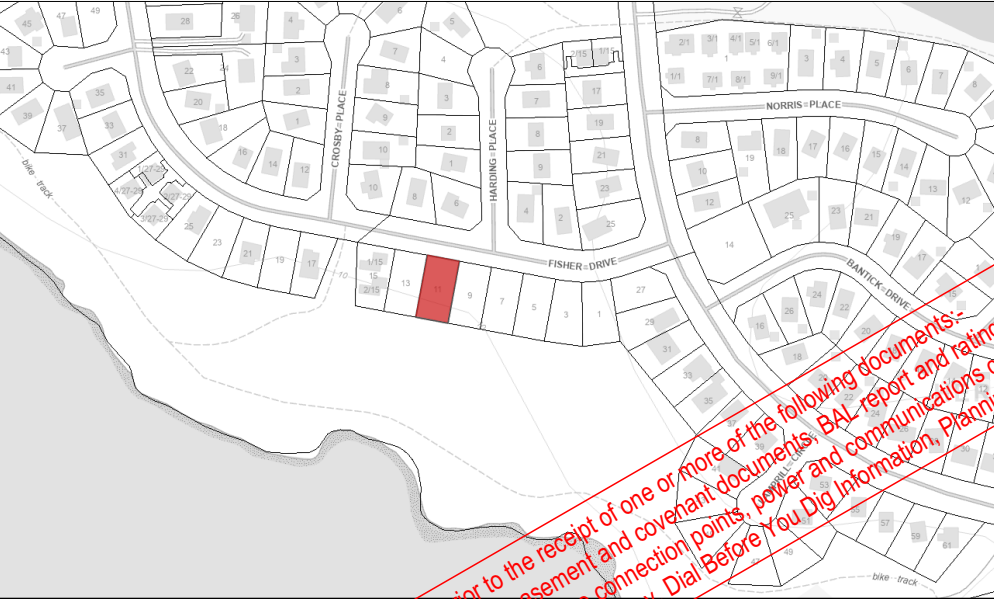
3D PERSPECTIVE



NOTE TO OWNER

THESE PLANS MAY FEATURE WORKS THAT ARE EXCLUDED FROM THE SCOPE OF WORKS WITH THE BUILDER, BUT THEY HAVE BEEN INCLUDED IN THESE DRAWINGS TO ASSIST IN THE OVERALL PLANNING AND ASSESSMENT OF THE BUILDING PROJECT. EXAMPLES OF SOME REGULARLY EXCLUDED WORKS INCLUDE DRIVEWAYS, RETAINING WALLS, SOLAR PANEL SPACING AND SITE DRAINAGE. PLEASE REFER TO YOUR SCOPE OF WORKS AND COLOUR SELECTIONS DOCUMENTATION FOR DETAILS OF INCLUDED WORKS. SOME DETAILS ARE INDICATIVE ONLY FOR EXAMPLE FLOORING, TILING, BRICKWORK AND CLADDING (EXPANSION JOINTS, ORIENTATION AND LAYOUT) AND ARE SUBJECT TO CHANGE.

LOCATION MAP



This Plan has been prepared prior to the receipt of one or more of the following documents:-
Certificate of Title inclusive of lot specific zoning, easement and covenant documents, BAL report and rating, approved subdivision plans providing crossover locations and service connection points, power and communications connection point information, Geotechnical Site Investigation, Contour Survey, Dial Before You Dig Information, Planning Approval.

BUILDING INFORMATION

GROUND FLOOR TOP OF WALL HEIGHT(S)	2445mm, 2515mm
NOTE: CEILING HEIGHT 45mm LOWER THAN TOP OF WALL	
ROOF PITCH (U.N.O.)	23.0°
ELECTRICITY SUPPLY	SINGLE PHASE
GAS SUPPLY	NONE
ROOF MATERIAL	SHEET METAL
ROOF COLOUR	N/A
WALL MATERIAL	BRICK VENEER
SLAB CLASSIFICATION	TBC

INSULATION

ROOF	MIN. 60mm FOIL FACED BLANKET UNDER ROOFING
CEILING	R4.1 BATTS (EXCL. GARAGE, ALFRESCO & PATIO)
EXT. WALLS	R2.0 BATTS (EXCL. GARAGE) WALL WRAP TO ENTIRE HOUSE
INT. WALLS	R2.0 BATTS ADJACENT TO GARAGE AND AS PER PLAN
FLOOR	BIAX SLAB R0.60

NCC 2022 LIVABLE HOUSING COMPLIANCE

ACCESSIBLE SANITARY COMPARTMENT: TBA
ACCESSIBLE SHOWER LOCATION: TBA

GENERAL NOTES:

- THRESHOLD OF ACCESSIBLE SHOWER ENTRY TO BE MAX. 5MM
- 1 EXTERIOR DOOR NOMINATED AS 870 OR GREATER TO ACHIEVE MIN 820MM CLEAR OPENING
- REFER TO APPLICABLE WET AREA PLANS AND INTERIOR ELEVATIONS OR LOCATIONS OF REQUIRED WALL REINFORCEMENT FOR FUTURE GRAB RAIL INSTALLATION.

BUSHFIRE REQUIREMENTS - BAL-19

THE BUILDER USES MATERIALS THAT COMPLY WITH AS 3959-2018 OR HAVE BEEN TESTED TO AS 1530.8.1 IN ACCORDANCE WITH AS 3959-2018 (CLAUSE 3.8).

ROOF:

- PROVIDE FOIL FACED BLANKET INSULATION TO ALL COLORBOND SHEET ROOFING.
- PROVIDE SARKING TO ALL TILED ROOFING INCLUDING PRESSTITE TO VALLEYS.
- PROVIDE BAL-19 RATED DEKTITE TO ALL AIR VENTS ON ROOF.
- PROVIDE BAL-19 RATED ALUMINIUM MESH TO ALL SOFFIT AND EAVE VENTS.
- PROVIDE BAL-19 RATED ALUMINIUM MESH TO ALL EXHAUST VENTS.

WALLS, POSTS AND BEAMS:

- EXTERNAL TIMBER POSTS WITHIN 400mm OF ADJACENT FINISHED FLOOR LEVEL TO BE BUSHFIRE-RESISTING TIMBER UNLESS MOUNTED ON STIRRUPS TO PROVIDE MIN. 75mm CLEARANCE ABOVE ADJACENT FINISHED FLOOR LEVEL.
- PROVIDE SPARK ARRESTORS TO ALL EXTERNAL BRICKWORK.

WINDOWS AND DOORS:

- PROVIDE FLYSCREENS WITH CORROSION RESISTANT MESH TO ALL OPERABLE WINDOW SASHES (NO REQUIREMENT TO SCREEN BI-FOLD / FRENCH / SLIDING / STACKER DOORS).
- PROVIDE BAL-19 RATED ALUMINIUM WINDOWS AND EXTERNAL GLASS SLIDING / STACKER DOORS.
- SPECIFIED ALUMINIUM FRENCH DOORS HAVE BEEN TESTED TO AS 1530.8.1 WITHOUT SCREENS.
- SPECIFIED ALUMINIUM WINDOWS HAVE BEEN TESTED TO AS 1530.8.1 WITHOUT SCREENS TO FIXED PANELS.
- PROVIDE ALUMINIUM DOOR JAMBS TO ALL EXTERNAL TIMBER DOORS.
- PROVIDE SAFETY SCREENS WITH CORROSION RESISTANT MESH TO EXTERNAL TIMBER HUNG DOORS (IF REQUIRED).
- PROVIDE SEAL TO ALL GARAGE PANELIFT / ROLLER DOORS.

OTHER:

- PROVIDE COPPER WATER PIPES FROM WATER TANK TO HOUSE.

THE OWNERS ACKNOWLEDGE THAT THESE CONTRACT PLANS MAY NOT REFLECT ALL THE SELECTIONS THAT HAVE BEEN MADE OR CHANGES REQUESTED. THE OWNERS AGREE THAT FOLLOWING THE COLOUR SELECTIONS VARIATION OR UPDATING OF PLANS, THEY WILL BE PROVIDED WITH CONSTRUCTION PLANS FOR SIGNATURE PRIOR TO COMMENCEMENT OF CONSTRUCTION.

SIGNATURE:

DATE:

SUBJECT TO NCC 2022
(1 MAY 2023)
WATERPROOFING & PLUMBING

PLAN ACCEPTANCE BY OWNER

SIGNATURE: DATE:

SIGNATURE: DATE:

PLEASE NOTE THAT VARIATIONS WILL NOT BE ACCEPTED AFTER THIS PLAN ACCEPTANCE HAS BEEN SIGNED

PRELIMINARY PLAN SET

4	PRELIMINARY PLAN SET - INITIAL ISSUE	ALL	2025.07.24	DKZ	-
No.	AMENDMENT	SHEET	DATE	DRAWN	CHECK

© 2025 WILSON HOMES PTY LTD (ABN 96 126 636 897). THIS DRAWING IS AN ORIGINAL ARTISTIC WORK WITHIN THE MEANING OF THE COPYRIGHT ACT 1968 (CTH). WILSON HOMES PTY LTD IS THE OWNER OF COPYRIGHT IN THIS DRAWING. YOU HEREBY AGREE AND UNDERTAKE THAT YOU WILL NOT IN ANY WAY REPRODUCE, COPY, MODIFY, USE OR TAKE ADVANTAGE OF THE DRAWING TO BUILD A HOUSE BASED ON THIS PLAN (WHETHER IN WHOLE OR IN PART) WITHOUT THE PRIOR WRITTEN CONSENT OF WILSON HOMES PTY LTD.



SPECIFICATION: DISCOVERY	REVISION	DRAWN	CLIENT:	HOUSE DESIGN:	HOUSE CODE:	DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.
COPYRIGHT: © 2025	1 QUOTE SITING	HMI 27/05/2025	KATHERINE ALEXANDRA WRIGHT & KATIE TIERI LILINO	SHEFFIELD 16	H-WDCSHF10SB	
	2 DRAFT SALE PLAN - CT1	HMI 10/07/2025	ADDRESS: 11 FISHER DRIVE, HERDSMANS COVE TAS 7030	FACADE DESIGN: CLASSIC	FACADE CODE: F-WDCSHF10CLASA	
	3 DRAFT SALE PLAN - CT1 UPDATE	HMI 15/07/2025	LOT / SECTION / CT: 140 / - / 13844	SHEET TITLE: COVER SHEET	SCALES:	
	4 PRELIM PLANS - INITIAL ISSUE	DKZ 24/07/2025	COUNCIL: BRIGHTON		SHEET No.: 1 / 14	714338

REFER TO SHEET 1 (COVER SHEET) FOR
ALL BUILDING INFORMATION REGARDING:

- SUSTAINABILITY REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

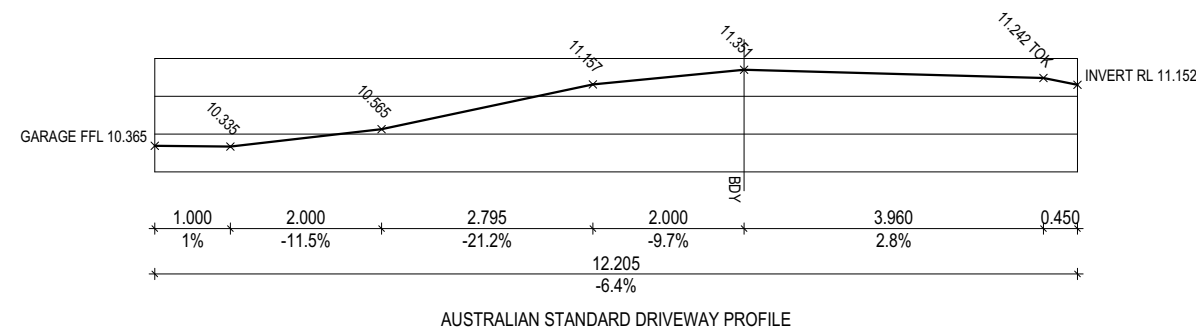
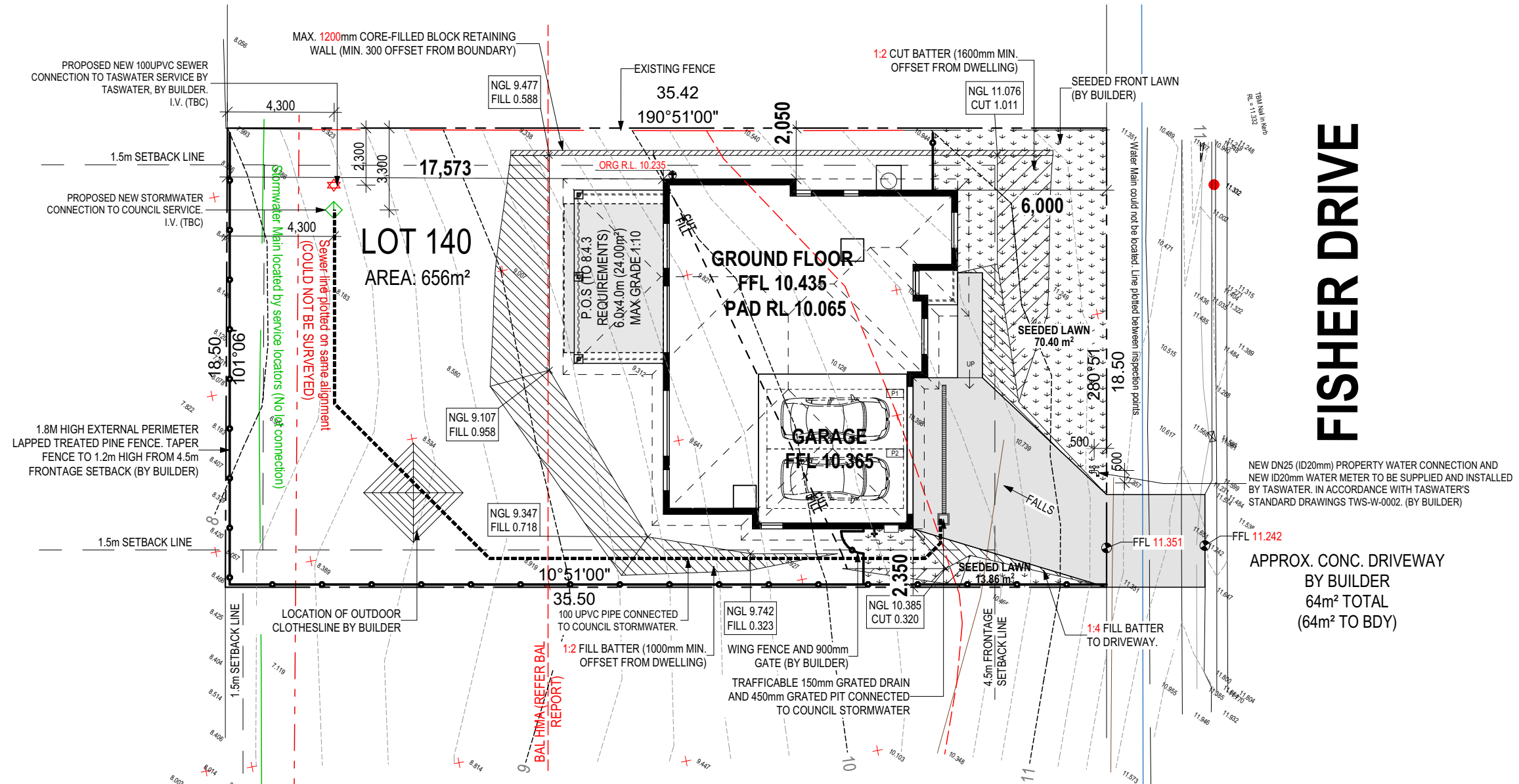
APPROX. CUT/FILL

CUT	68.01m³	153.02t
FILL	68.03m³	153.07t
DIFFERENCE	0.02m³	0.05t

EVEN CUT & FILL

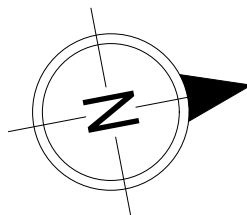
LOT SIZE:	657m ²
HOUSE (COVERED AREA):	172.69m ²
SITE COVERAGE:	26.28%

BAL-19 BUSHFIRE REQUIREMENTS
SEE SHEET 1 (COVER SHEET) FOR DETAILS



DRIVEWAY DETAILS

SCALE: 1:100



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COPYRIGHT:	2	DRAFT SALE PLAN - CT1	HMI 10/07/2025	ADDRESS:	FACADE DESIGN:	FACADE CODE:	
© 2025	3	DRAFT SALE PLAN - CT1 UPDATE	HMI 15/07/2025	11 FISHER DRIVE, HERDSMANS COVE TAS 7030	CLASSIC	F-WDCSHF10CLASA	
	4	PRELIM PLANS - INITIAL ISSUE	DKZ 24/07/2025	LOT / SECTION / CT: 140 / - / 13844	COUNCIL: BRIGHTON	SHEET No.: 2 / 14	
					SHEET TITLE: SITE PLAN	SCALES: 1:200, 1:100	714338

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Template Version: 24.038

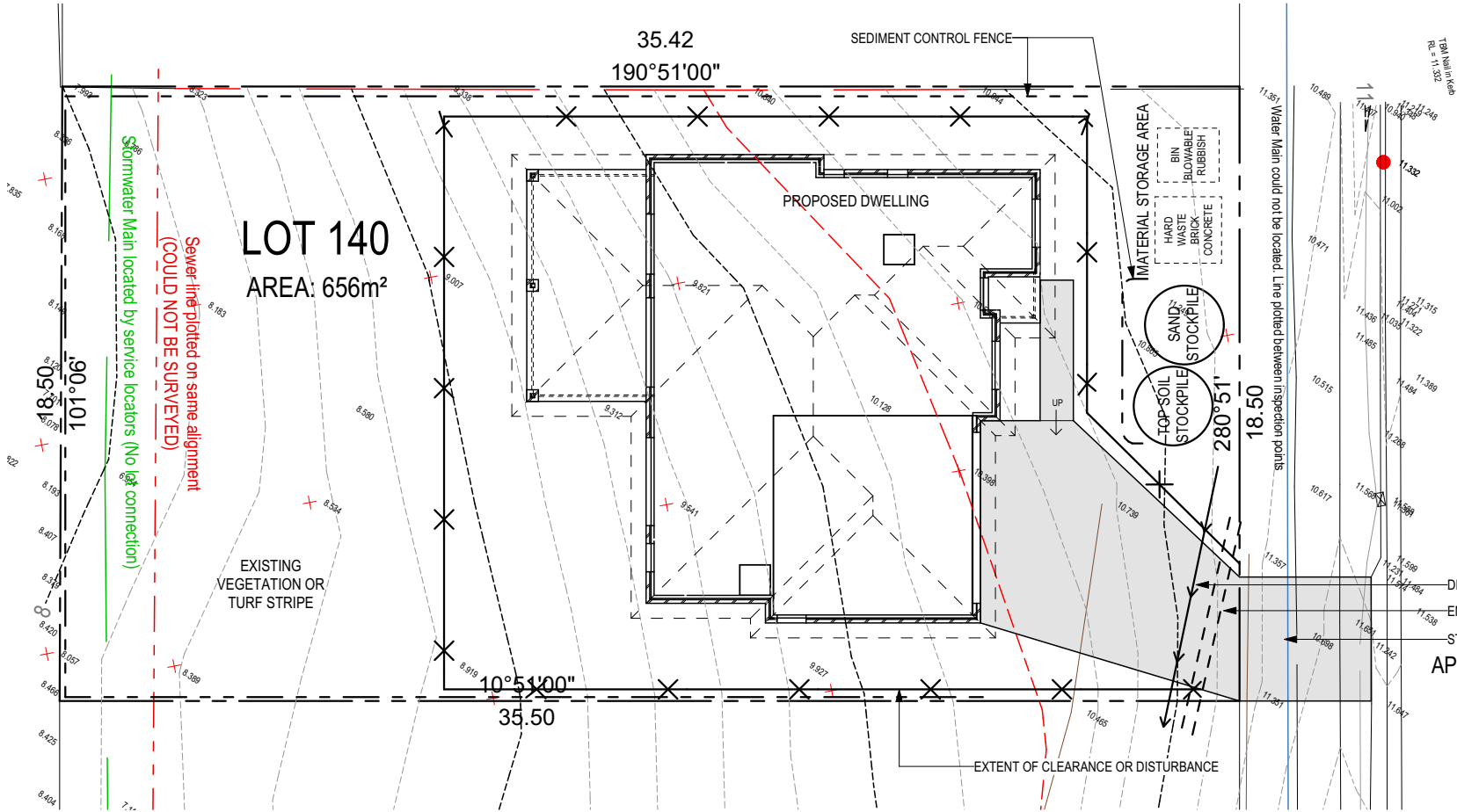
ALL VEGETATION OUTSIDE THE BUILDING ZONE WILL BE MAINTAINED.

OWNER TO STABILISE THE SITE ON COMPLETION OF THE BUILD WITH TURF LAWNS, GRASS SEEDS, NATIVE GROUND COVERS AND/ OR MULCH SPREAD TO A DEPTH OF 75-100mm

THE FOLLOWING IS A STANDARD APPROACH. SEDIMENT AND EROSION CONTROL MEASURES WILL BE REVIEWED PRIOR TO COMMENCING WORK AND INSTALLED BASED ON THE OUTCOME OF THAT REVIEW.

- NOTES:
1. ALL EROSION AND SEDIMENT CONTROL STRUCTURES TO BE INSPECTED EACH WORKING DAY AND MAINTAINED IN GOOD WORKING ORDER.
 2. ALL GROUND COVER VEGETATION OUTSIDE THE IMMEDIATE BUILDING AREA TO BE PRESERVED DURING THE BUILDING PHASE.
 3. ALL EROSION AND SEDIMENT CONROL MEASURES TO BE INSTALLED PRIOR TO COMMENCEMENT OF MAJOR EARTHWORKS.
 4. STOCKPILES OF CLAYEY MATERIAL TO BE COVERED WITH AN IMPERVIOUS SHEET.
 5. ROOF WATER DOWNPIPES TO BE CONNECTED TO THE PERMANENT UNDERGROUND STORMWATER DRAINAGE SYSTEM AS SOON AS PRACTICAL AFTER THE ROOF IS LAID.

6. DIVERSION DRAINS ARE TO BE CONNECTED TO A LEAGAL DISCHARGE POINT (COUNCIL STORMWATER SYSTEM, WATERCOURSE OR ROAD DRAIN).
7. SEDIMENT RETENTION TRAPS INSTALLED AROUND THE INLETS TO THE STORMWATER SYSTEM TO PREVENT SEDIMENT & OTHER DEBRIS BLOCKING THE DRAINS.

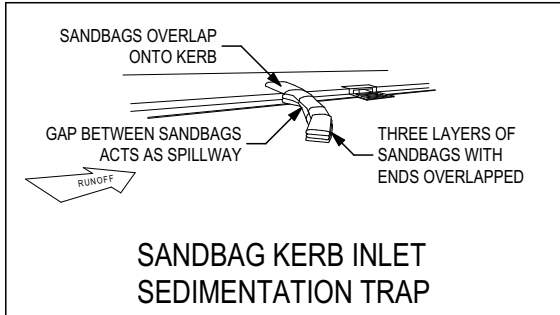
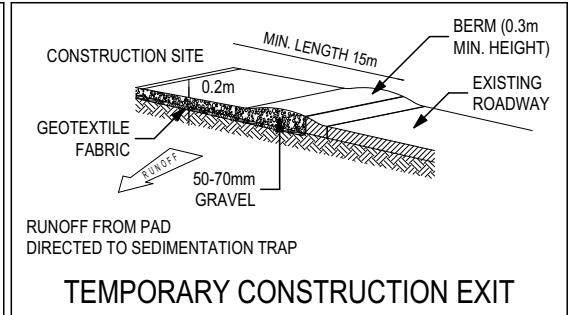
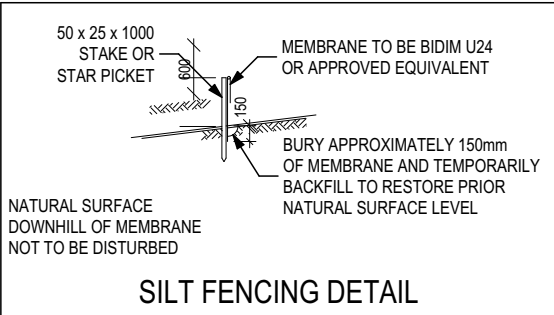


FISHER DRIVE

ALL RUNOFF AND SEDIMENT CONTROL STRUCTURES WILL BE INSPECTED EACH WORKING DAY AND MAINTAINED IN A FUNCTIONAL CONDITION.

ALL VEGETATION OUTSIDE THE BUILDING ZONE WILL BE MAINTAINED.

APPROX. CONC. DRIVEWAY
BY BUILDER
64m² TOTAL
(64m² TO BDY)



**SUBJECT TO NCC 2022
(1 MAY 2023)
WATERPROOFING & PLUMBING**

PLAN ACCEPTANCE BY OWNER

SIGNATURE: _____ DATE: _____

SIGNATURE: _____ DATE: _____

PLEASE NOTE THAT VARIATIONS WILL NOT BE ACCEPTED AFTER THIS PLAN ACCEPTANCE HAS BEEN SIGNED

	SPECIFICATION:		REVISION	DRAWN	CLIENT:		HOUSE DESIGN:		HOUSE CODE:	DO NOT SCALE DRAWINGS, USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.
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	© 2025	3	DRAFT SALE PLAN - CT1 UPDATE	HMI 15/07/2025	11 FISHER DRIVE, HERDSMANS COVE TAS 7030		CLASSIC		F-WDCSHF10CLASA	
		4	PRELIM PLANS - INITIAL ISSUE	DKZ 24/07/2025	LOT / SECTION / CT:	COUNCIL:	SHEET TITLE:	SHEET No.:	SCALES:	
					140 / - / 13844	BRIGHTON	SOIL & WATER MANAGEMENT PLAN	3 / 14	1:200	714338

BAL-19 BUSHFIRE REQUIREMENTS
SEE SHEET 1 (COVER SHEET) FOR DETAILS

REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:

- SUSTAINABILITY REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

ALL MECHANICAL VENTILATION TO BE DISCHARGED TO OUTDOOR AIR AS PER NCC 2022 REQUIREMENTS

FIRE RESISTANT PLASTERBOARD TO BE INSTALLED BEHIND COOKTOP

ALL GROUND FLOOR BULKHEAD AND SQUARE SET OPENING FRAMES TO BE 2155 ABOVE FFL UNLESS NOTED OTHERWISE

REFER TO WINDOW AND DOOR SCHEDULES FOR FULL DETAILS OF ALL WINDOWS AND DOORS. PLEASE NOTE WINDOW AND DOOR SIZES ARE BASED ON MANUFACTURERS SPECIFICATIONS AT DEPOSIT STAGE AND MAY DIFFER SLIGHTLY TO THE SIZES NOMINATED IN THE SCOPE OF WORKS DUE TO MANUFACTURING CHANGES AT THE TIME OF CONSTRUCTION.

FINAL WINDOW AND EXTERIOR DOOR LOCATIONS MAY BE ADJUSTED ON SITE TO SUIT BRICKWORK GAUGE
PROVIDE EXPOSURE GRADE BRICKS AND MORTAR TO ALL EXTERIOR WALLS

UNLESS NOTED OTHERWISE ALL ROOMS ARE REFERENCED AS FOLLOWS:



LEGEND

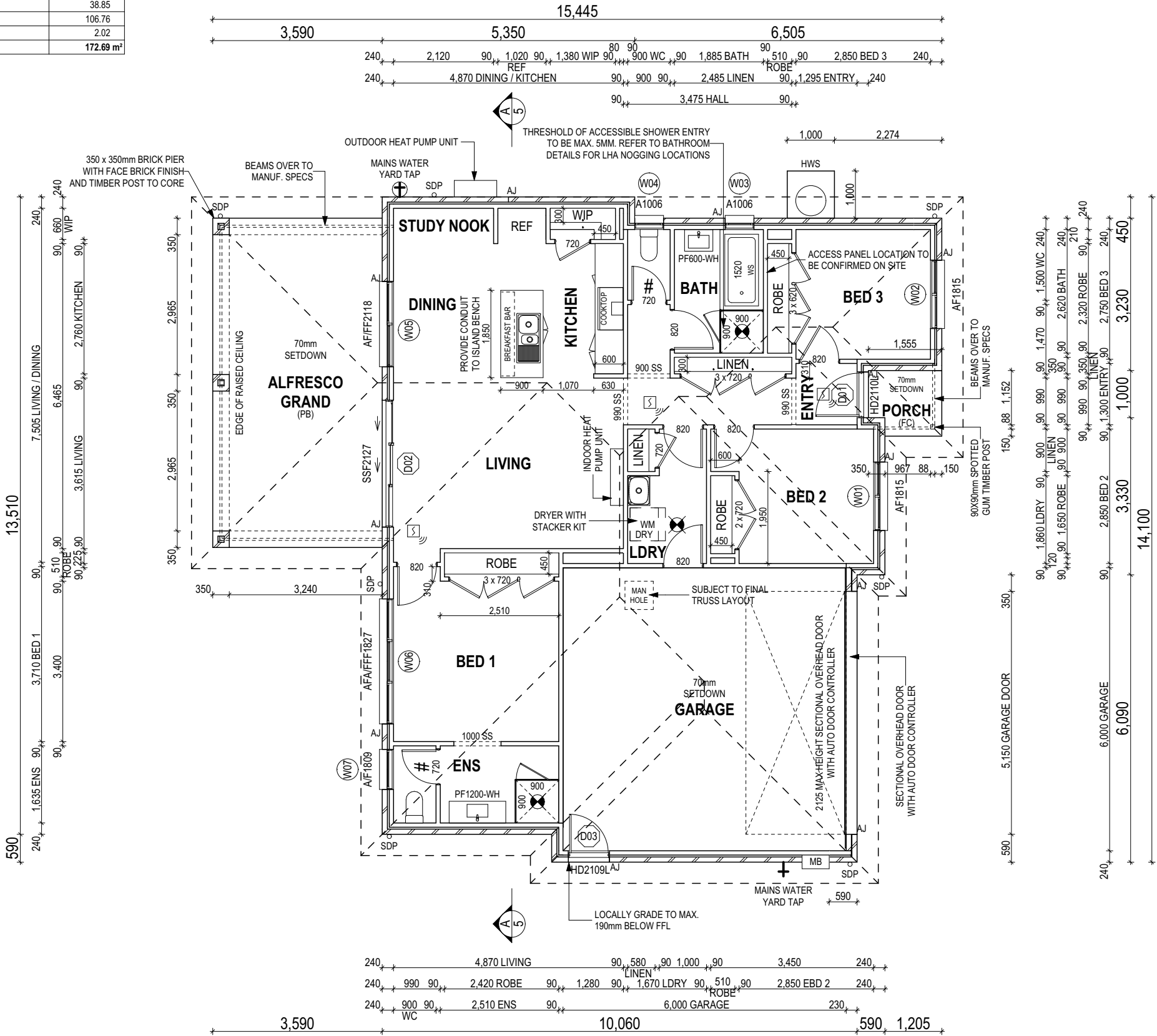
HS / WS	HOB SPOUT / WALL SPOUT
	FACE BRICK / COMMON BRICK
	RENDER
	SOUND INSULATION
AJ	BRICK ARTICULATION JOINT
SDP	STANDARD DOWNSPIPE
CDP	CHARGED DOWNSPIPE
	DENOTES DRAWER SIDE
	MECHANICAL VENTILATION
L.B.W	LOAD BEARING WALL
PB	PLASTERBOARD
FC	FIBRE CEMENT
	THIS DOOR OPENS FIRST
	SMOKE ALARM
#	LIFT OFF HINGE
+	WATER POINT
	FLOOR WASTE
	GAS BAYONET

MAIN DWELLING, GROUND FLOOR

ALFRESCO	25.06
GARAGE	38.85
LIVING	106.76
PORCH	2.02
	172.69 m²

ANY PART OF THE FASCIA, GUTTERING OR DOWNSPIPE THAT IS WITHIN 450mm OF ANY BOUNDARY IS TO BE NON-COMBUSTIBLE IN ACCORDANCE WITH NCC 2022

ALL EXTERIOR SLABS TO BE GRADED BY CONCRETE TO ACHIEVE APPROX. 1:100 FALL TO OUTSIDE EDGE WITH MAXIMUM CROSSFALL OF 30mm OVER ENTIRE SLAB.



ALL DIMENSIONS ARE FRAME DIMENSIONS

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SUBJECT TO NCC 2022
(1 MAY 2023)
WATERPROOFING & PLUMBING

PLAN ACCEPTANCE BY OWNER

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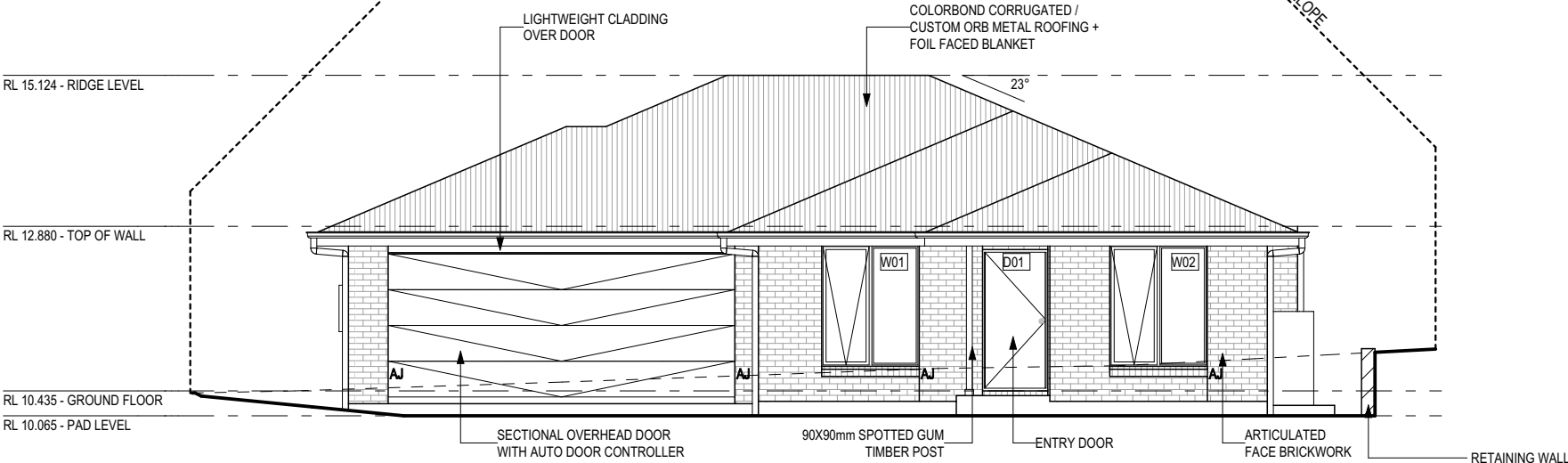
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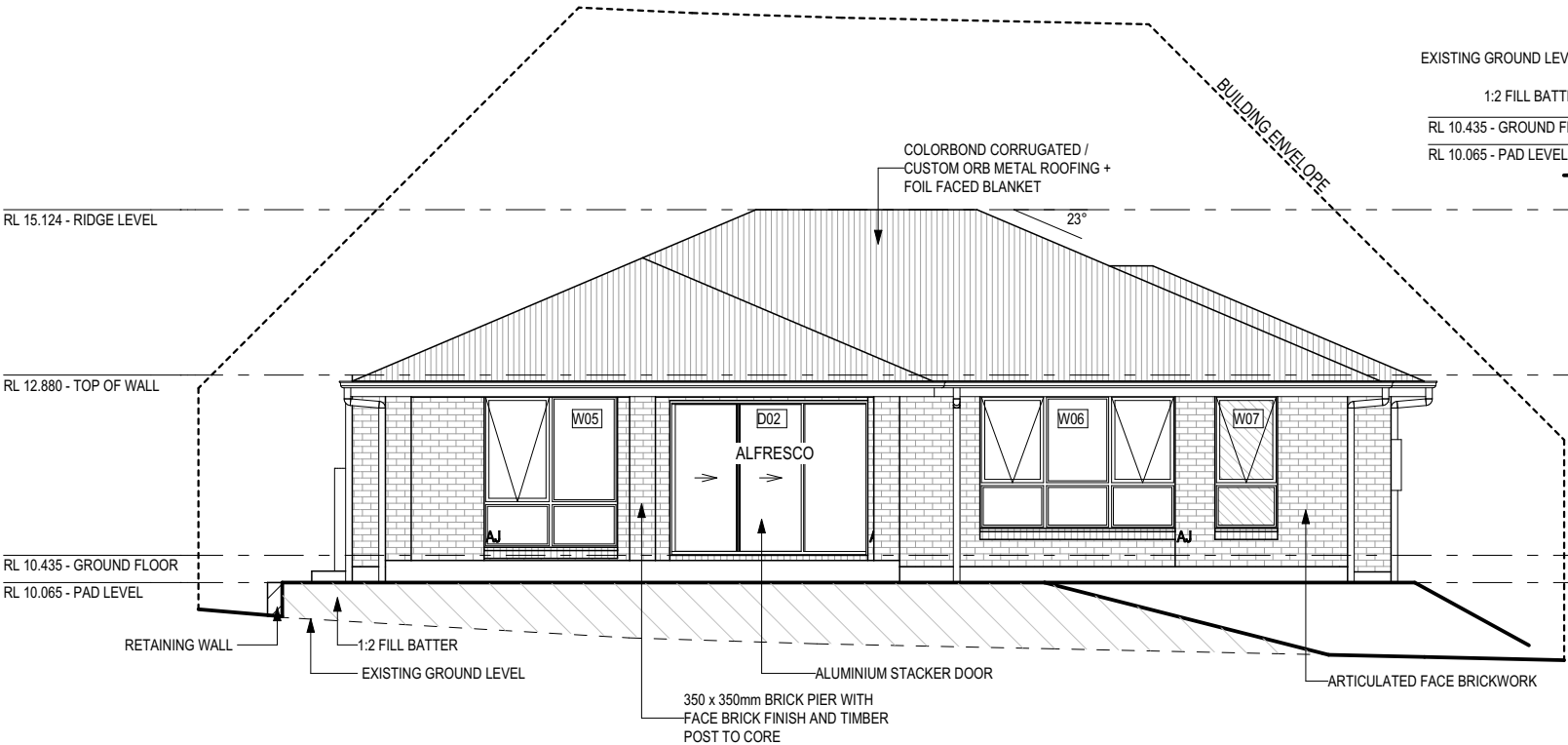


SPECIFICATION: DISCOVERY	REVISION	DRAWN	CLIENT: KATHERINE ALEXANDRA WRIGHT & KATIE TIERI LILINO	HOUSE DESIGN: SHEFFIELD 16	HOUSE CODE: H-WDCSHF10SB	DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE. 714338
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BAL-19 BUSHFIRE REQUIREMENTS
SEE SHEET 1 (COVER SHEET) FOR DETAILS

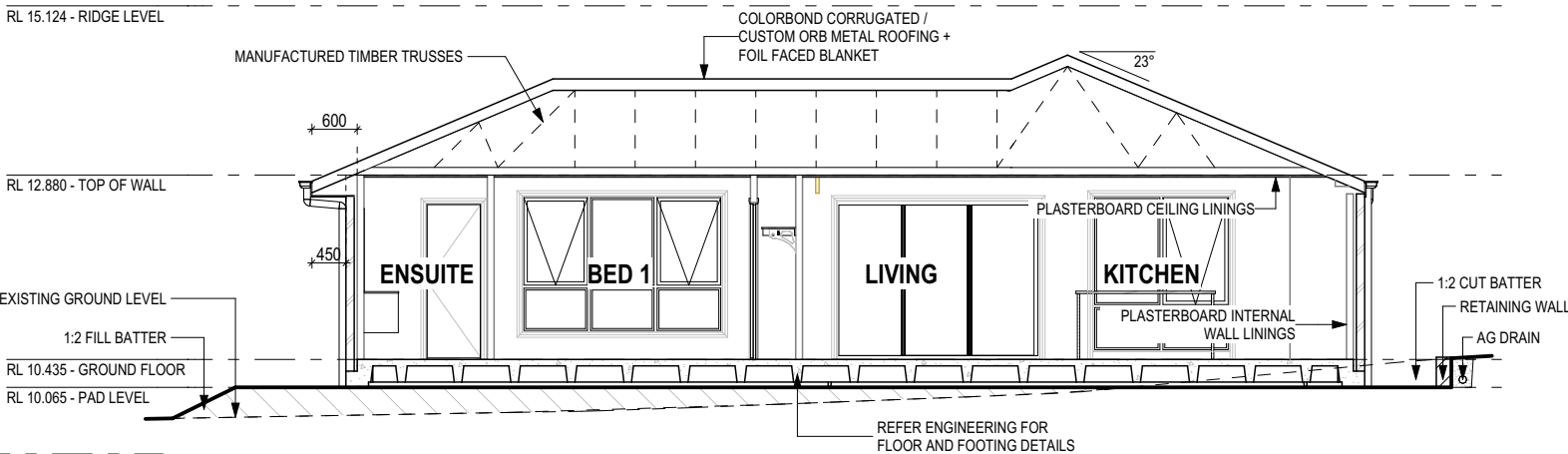


NORTH ELEVATION
SCALE: 1:100



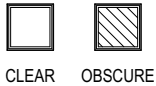
SOUTH ELEVATION
SCALE: 1:100

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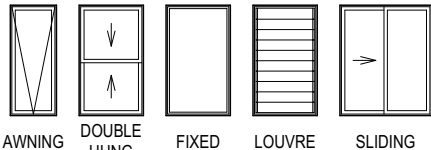


SECTION A-A
SCALE: 1:100

GLASS TYPE LEGEND



WINDOW TYPE LEGEND



PLAN ACCEPTANCE BY OWNER

SIGNATURE: DATE:

SIGNATURE: DATE:

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**SUBJECT TO NCC 2022
(1 MAY 2023)
WATERPROOFING & PLUMBING**



SPECIFICATION:
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REVISION	DRAWN
1 QUOTE SITING	HMI 27/05/2025
2 DRAFT SALE PLAN - CT1	HMI 10/07/2025
3 DRAFT SALE PLAN - CT1 UPDATE	HMI 15/07/2025
4 PRELIM PLANS - INITIAL ISSUE	DKZ 24/07/2025

CLIENT:
KATHERINE ALEXANDRA WRIGHT & KATIE TIERI LILINO
ADDRESS:
11 FISHER DRIVE, HERDSMANS COVE TAS 7030
LOT / SECTION / CT:
140 / - / 13844
COUNCIL:
BRIGHTON

HOUSE DESIGN:
SHEFFIELD 16
FACADE DESIGN:
CLASSIC
SHEET TITLE:
ELEVATIONS / SECTION

HOUSE CODE:
H-WDCSHF10SB
FACADE CODE:
F-WDCSHF10CLASA
SHEET No.:
5 / 14
SCALES:
1:100

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714338

BAL-19 BUSHFIRE REQUIREMENTS
SEE SHEET 1 (COVER SHEET) FOR DETAILS

RL 15.124 - RIDGE LEVEL

RL 12.880 - TOP OF WALL

RL 10.435 - GROUND FLOOR

RL 10.065 - PAD LEVEL

350 x 350mm BRICK PIER WITH
FACE BRICK FINISH AND TIMBER
POST TO CORE

ALFRESCO

COLORBOND CORRUGATED /
CUSTOM ORB METAL ROOFING +
FOIL FACED BLANKET

23°

D03

AJ

1,250

90X90mm SPOTTED
GUM TIMBER POST

ARTICULATED FACE BRICKWORK

SINGLE PHASE
METER BOX

1:2 CUT BATTER

ENTRY DOOR

1:2 FILL BATTER
EXISTING GROUND LEVEL

EAST ELEVATION
SCALE: 1:100

RL 15.124 - RIDGE LEVEL

RL 12.880 - TOP OF WALL

RL 10.435 - GROUND FLOOR

RL 10.065 - PAD LEVEL

COLORBOND CORRUGATED /
CUSTOM ORB METAL ROOFING +
FOIL FACED BLANKET

23°

NW03

NW04

ALFRESCO

350 x 350mm BRICK PIER WITH
FACE BRICK FINISH AND TIMBER
POST TO CORE

1:2 FILL BATTER

EXTENT OF RETAINING

HOT WATER SERVICE

ARTICULATED FACE BRICKWORK

1:2 CUT BATTER
EXISTING GROUND LEVEL

WEST ELEVATION
SCALE: 1:100

GLASS TYPE LEGEND



CLEAR



OBSCURE

WINDOW TYPE LEGEND



AWNING



DOUBLE
HUNG



FIXED



LOUVRE



SLIDING

PLAN ACCEPTANCE BY OWNER

SIGNATURE:

DATE:

SIGNATURE:

DATE:

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(1 MAY 2023)
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REVISION

1 QUOTE SITING

HMI

27/05/2025

2 DRAFT SALE PLAN - CT1

HMI

10/07/2025

3 DRAFT SALE PLAN - CT1 UPDATE

HMI

15/07/2025

4 PRELIM PLANS - INITIAL ISSUE

DKZ

24/07/2025

CLIENT:

KATHERINE ALEXANDRA WRIGHT & KATIE TIERI LILINO

ADDRESS:

11 FISHER DRIVE, HERDSMANS COVE TAS 7030

LOT / SECTION / CT:

140 / - / 13844

COUNCIL:

BRIGHTON

HOUSE DESIGN:

SHEFFIELD 16

FACADE DESIGN:

CLASSIC

SHEET TITLE:

ELEVATIONS

SHEET No.:

6 / 14

HOUSE CODE:

H-WDCSHF10SB

FACADE CODE:

F-WDCSHF10CLASA

SCALES:

1:100

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714338

EXTERIOR WINDOW & DOOR SCHEDULE ^{1,2} ASSUME LOOKING FROM OUTSIDE

STOREY	ID	CODE¹	TYPE	ROOM	HEIGHT	WIDTH	PERIMETER	AREA (m²)	FRAME TYPE	BAL RATING	SILL TYPE	ORIENT.	GLAZING AREA (m²)	GLAZING TYPE (SINGLE GLAZING U.N.O.)	ADDITIONAL INFORMATION²
WINDOW															
GROUND FLOOR	W01	AF1815	AWNING	BED 2	1,800	1,450	6,500	2.61	ALUMINIUM	BAL-19	ANGLED	N	2.13	CLEAR, DOUBLE GLAZED	MP 725
GROUND FLOOR	W02	AF1815	AWNING	BED 3	1,800	1,450	6,500	2.61	ALUMINIUM	BAL-19	ANGLED	N	2.13	CLEAR, DOUBLE GLAZED	MP 725
GROUND FLOOR	W03	A1006	AWNING	BATH	1,029	610	3,278	0.63	ALUMINIUM	BAL-19	ANGLED	W	0.44	OBSCURE, DOUBLE GLAZED, TOUGHENED	
GROUND FLOOR	W04	A1006	AWNING	WC	1,029	610	3,278	0.63	ALUMINIUM	BAL-19	ANGLED	W	0.44	OBSCURE, DOUBLE GLAZED, TOUGHENED	
GROUND FLOOR	W05	AF/FF2118	AWNING	DINING	2,057	1,810	7,734	3.72	ALUMINIUM	BAL-19	ANGLED	S	3.07	CLEAR, DOUBLE GLAZED	BP 600, MP 905/905
GROUND FLOOR	W06	AFA/FFF1827	AWNING	BED 1	1,800	2,650	8,900	4.77	ALUMINIUM	BAL-19	ANGLED	S	3.82	CLEAR, DOUBLE GLAZED	BP 600, MP 883-883/883-883
GROUND FLOOR	W07	A/F1809	AWNING	WC	1,800	850	5,300	1.53	ALUMINIUM	BAL-19	ANGLED	S	1.19	OBSCURE, DOUBLE GLAZED, TOUGHENED	BP 600
								16.50					13.22		
DOOR															
GROUND FLOOR	D01	HD2110L	SWINGING	ENTRY	2,100	970	6,140	2.04	ALUMINIUM	BAL-19	SNAP HEADER	N	1.41	N/A	
GROUND FLOOR	D02	SSF2127	STACKER	LIVING	2,100	2,688	9,576	5.64	ALUMINIUM	BAL-19	SNAP HEADER	S	4.96	CLEAR, DOUBLE GLAZED, TOUGHENED	
GROUND FLOOR	D03	HD2109L	SWINGING	GARAGE	2,100	870	5,940	1.83	ALUMINIUM	BAL-19	SNAP HEADER	E	1.22	N/A	
								9.51					7.59		
								26.01					20.81		

NOTE:
Provide BAL-19 rated aluminium windows and external glass sliding doors in lieu of standard.

Provide flyscreens with corrosion resistant mesh to all opening window sashes only.

Manufacturer - Clark Windows			
Window Type	Glazing	U-Value	SHGC
Awning	Single	6.5	0.67
	Double	4.1	0.57
Fixed	Single	5.9	0.75
	Double	3.2	0.67
Sliding	Single	6.4	0.76
	Double	4.2	0.59
Fixed Pane	Single	5.9	0.75
	Double	3.2	0.67
Fixed Glass Panel Hinged Door	Single	6.0	0.62
	Double	4.3	0.55
Sliding Door	Single	6.1	0.74
	Double	3.6	0.66
Stacking Door	Single	6.3	0.74
	Double	3.8	0.66
135 deg. Awning Bay Window	Single	6.5	0.67
	Double	4.1	0.57
135 deg. Sliding Bay Window	Single	6.5	0.76
	Double	4.2	0.59
90 deg. Awning Bay Window	Single	6.5	0.67
	Double	4.1	0.57
90 deg. Sliding Bay Window	Single	6.5	0.76
	Double	4.2	0.59
Bifold Doors	Single	6.1	0.61
	Double	4.4	0.53

NOTE:
Windows supplied MUST HAVE Uw better and or equal to stated figures and SHGC within +/- 5% of stated figures. Restricted windows to have their openability restricted as per N.C.C 11.3.6.

SUBJECT TO NCC 2022
(1 MAY 2023)
WATERPROOFING & PLUMBING

PLAN ACCEPTANCE BY OWNER

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INTERIOR WINDOW & DOOR SCHEDULE

STOREY	QTY	CODE	TYPE	HEIGHT	WIDTH	GLAZING TYPE	ADDITIONAL INFORMATION
DOOR							
GROUND FLOOR	1	1000 SS	SQUARE SET OPENING	2,155	1,000	N/A	
GROUND FLOOR	1	2 x 720	SWINGING	2,040	1,440	N/A	
GROUND FLOOR	1	3 x 620	SWINGING	2,040	1,894	N/A	
GROUND FLOOR	2	3 x 720	SWINGING	2,040	2,194	N/A	
GROUND FLOOR	2	720	SWINGING	2,040	720	N/A	
GROUND FLOOR	2	720	SWINGING	2,040	720	N/A	LIFT-OFF HINGES
GROUND FLOOR	6	820	SWINGING	2,040	820	N/A	
GROUND FLOOR	1	900 SS	SQUARE SET OPENING	2,155	900	N/A	
GROUND FLOOR	2	990 SS	SQUARE SET OPENING	2,155	990	N/A	

PICTURE, TV RECESS AND SS WINDOW OPENINGS				
QTY	TYPE	HEIGHT	WIDTH	AREA (m²)

REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:
- SUSTAINABILITY REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

BAL-19 BUSHFIRE REQUIREMENTS
SEE SHEET 1 (COVER SHEET) FOR DETAILS

NOTE: INTERNAL DOORS TO WET AREAS WITH MECHANICAL VENTILATION TO BE UNDERCUT 20mm

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	1	QUOTE SITING	HMI 27/05/2025	KATHERINE ALEXANDRA WRIGHT & KATIE TIERI LILINO		SHEFFIELD 16		H-WDCSHF10SB		
COPYRIGHT: © 2025	2	DRAFT SALE PLAN - CT1	HMI 10/07/2025	ADDRESS: 11 FISHER DRIVE, HERDSMANS COVE TAS 7030		FACADE DESIGN: CLASSIC		FACADE CODE: F-WDCSHF10CLASA		
	3	DRAFT SALE PLAN - CT1 UPDATE	HMI 15/07/2025							
	4	PRELIM PLANS - INITIAL ISSUE	DKZ 24/07/2025	LOT / SECTION / CT: 140 / - / 13844		COUNCIL: BRIGHTON		SHEET TITLE: WINDOW & DOOR SCHEDULES		
						SHEET No.: 7 / 14		SCALES:		714338

WHERE DOWNPIPES ARE FURTHER THAN 1.2m AWAY FROM VALLEY REFER TO N.C.C. 7.3.5(2)

POSITION AND QUALITY OF DOWNPIPES ARE NOT TO BE ALTERED WITHOUT CONSULTATION WITH DESIGNER.

AREA'S SHOWN ARE SURFACE AREAS/ CATCHMENT AREAS, NOT PLAN AREAS

Roofing Data		
	197.28	Flat Roof Area (excluding gutter and slope factor) (m ²)
	214.31	Roof Surface Area (includes slope factor, excludes gutter) (m ²)
Downpipe roof calculations (as per AS/NZA3500.3:2021)		
Ah	208.27	Area of roof catchment (including 115mm Slotted Quad Gutter) (m ²)
Ac	252.00	Ah x Catchment Area Multiplier for slope (Table 3.4.3.2 from AS/NZS 3500.3:2021) (1.21 for 23° pitch) (m ²)
Ae	6300	Cross sectional area of 57 x 115 Slotted Quad Gutter (mm ²)
DRI	83	Design Rainfall Intensity (determined from Table E1 from AS/NZS 3500.3:2021)
Acdp	64	Catchment area per Downpipe (determined from Figure 3.5(A) from AS/NZS 3500.3:2021) (m ²)
Required Downpipes	3.9	Ac / Acdp
Downpipes Provided	7	

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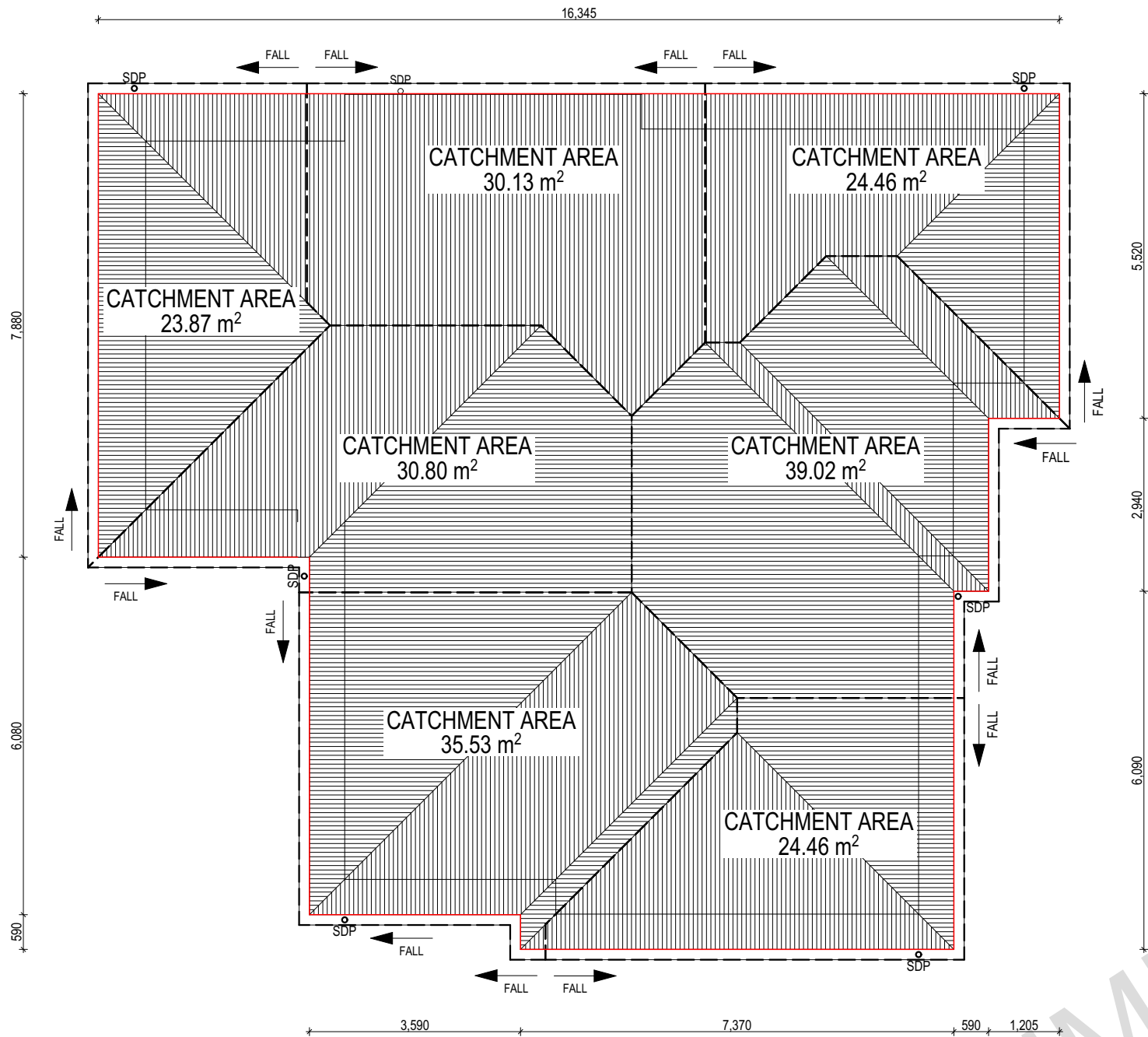
ADDRESS:
11 FISHER DRIVE, HERDSMANS COVE TAS 7030
LOT / SECTION / CT:
140 / - / 13844
COUNCIL:
BRIGHTON

HOUSE DESIGN:
SHEFFIELD 16
FACADE DESIGN:
CLASSIC
SHEET TITLE:
ROOF DRAINAGE PLAN

HOUSE CODE:
H-WDCSHF10SB
FACADE CODE:
F-WDCSHF10CLASA
SHEET No.:
8 / 14

SCALES:
1:100

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714338



EV SOFFIT EAVE VENT PROPOSED LOCATION TO BE MIN. 1M FROM CORNER JOINT

**SUBJECT TO NCC 2022
(1 MAY 2023)
WATERPROOFING & PLUMBING**

PLAN ACCEPTANCE BY OWNER

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REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:

- SUSTAINABILITY REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

FLOOR TILES SHOWN ON PLAN DO NOT INDICATE THE SIZE OR JOINT LOCATIONS OF THE ACTUAL FLOOR TILES.
TIMBER FLOORING SHOWN ON PLAN DOES NOT INDICATE THE BOARD SIZE OR DIRECTION OF THE ACTUAL FLOORING.

COVERINGS LEGEND

	NO COVERING
	COVER GRADE CONCRETE
	CARPET
	LAMINATE
	TILE (STANDARD WET AREAS)
	TILE (UPGRADED AREAS)
	DECKING



BAL-19 BUSHFIRE REQUIREMENTS
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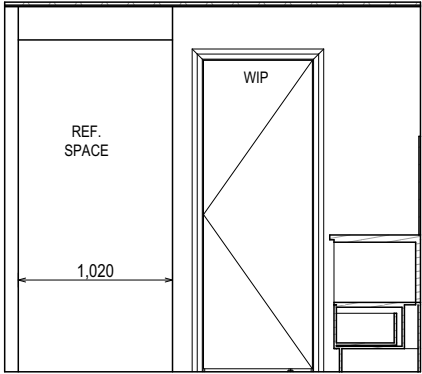
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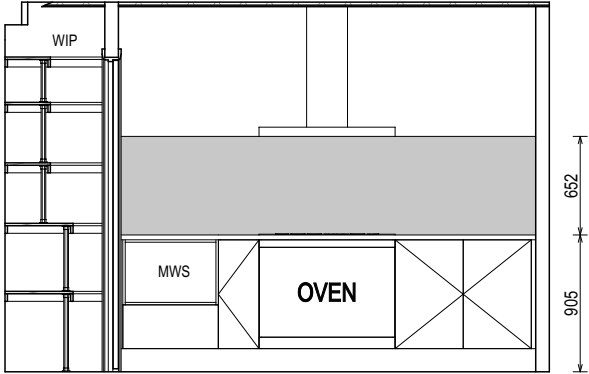


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	2 DRAFT SALE PLAN - CT1	HMI 10/07/2025	ADDRESS:	FACADE DESIGN:	FACADE CODE:	
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	4 PRELIM PLANS - INITIAL ISSUE	DKZ 24/07/2025	LOT / SECTION / CT:	SHEET TITLE:	SCALES:	
			140 / - / 13844	FLOOR COVERINGS	9 / 14 1:100	
			COUNCIL:			
			BRIGHTON			

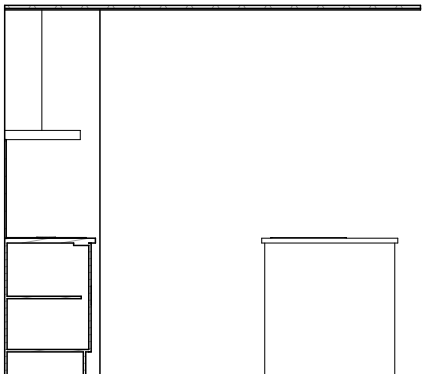
BAL-19 BUSHFIRE REQUIREMENTS
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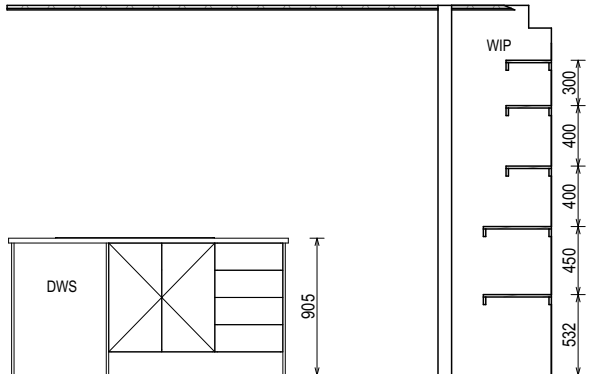
ELEVATION A
SCALE: 1:50



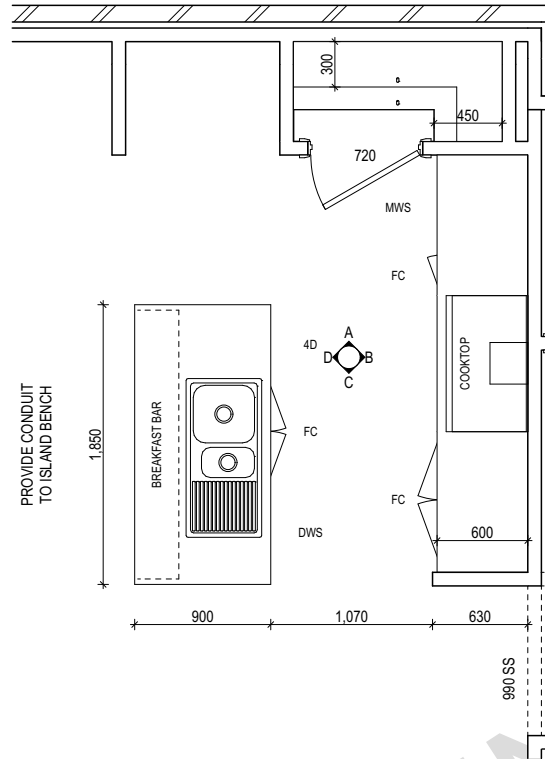
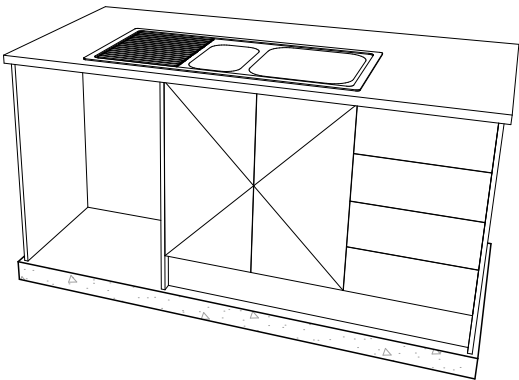
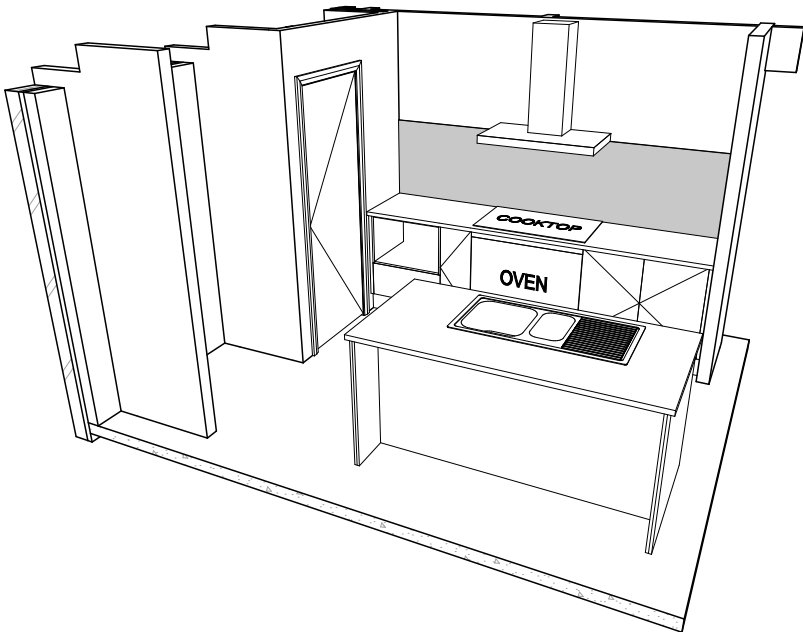
ELEVATION B
SCALE: 1:50



ELEVATION C
SCALE: 1:50



ELEVATION D
SCALE: 1:50



KITCHEN PLAN
SCALE: 1:50

REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:
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- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

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			140 / - / 13844	KITCHEN DETAILS	10 / 14	
			COUNCIL:		SCALES:	
			BRIGHTON		1:50	
						714338

BAL-19 BUSHFIRE REQUIREMENTS
SEE SHEET 1 (COVER SHEET) FOR DETAILS

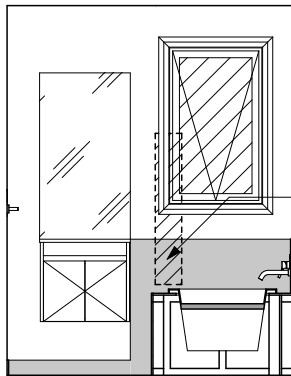
REFER TO THE FOLLOWING DETAILS:
VANITY DETAILS G-VANI-001
WINDOW OVER BATH HOB D-WIND-ALU001
STANDARD BATH HOB D-WETA-BATH003
WET AREA TILING LAYOUTS D-WETA-TILE002
SQUARE SET WINDOWS G-WIND-SSET02
FULL HEIGHT TILING D-LINI-WETA

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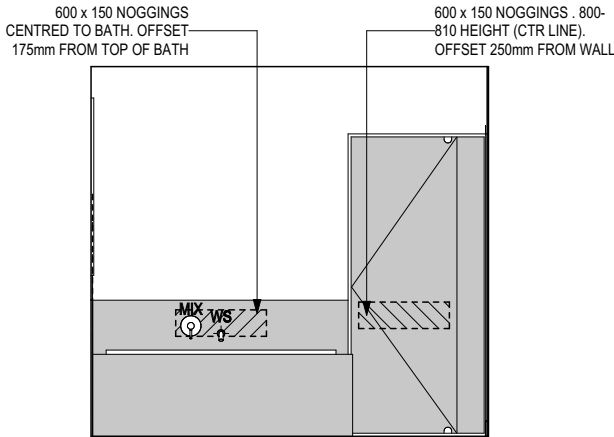
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LEGEND

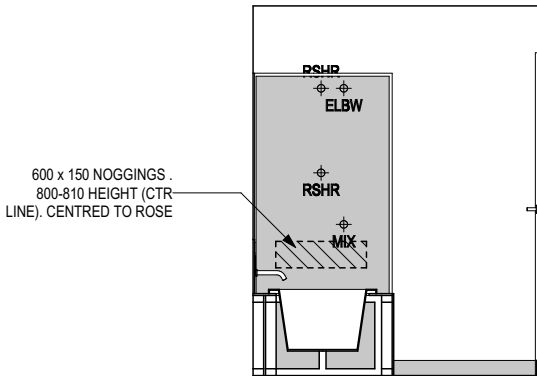
RSHR	RAIL SHOWER
ROSE	SHOWER ROSE
ELBW	SHOWER ELBOW CONNECTION
MIX	MIXER TAP
HT	HOT TAP
CT	COLD TAP
HS	HOB SPOUT
WS	WALL SPOUT
SC	STOP COCK
TRH	TOILET ROLL HOLDER
TR-S	TOWEL RAIL - SINGLE
TR-D	TOWEL RAIL - DOUBLE
TL	TOWEL LADDER
TH	TOWEL HOLDER
TR	TOWEL RACK
TMB	TUMBLER HOLDER
RNG	TOWEL RING
RH	ROBE HOOK
SHLF	SHELF
SR	SHAMPOO RECESS
SOAP	SOAP HOLDER



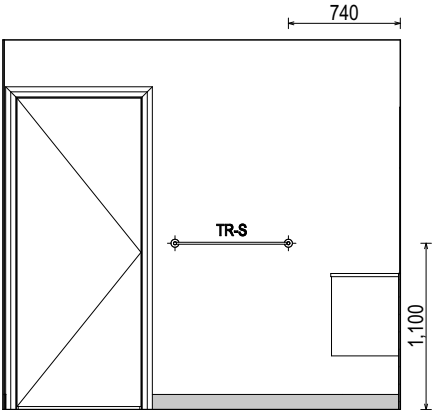
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SCALE: 1:50



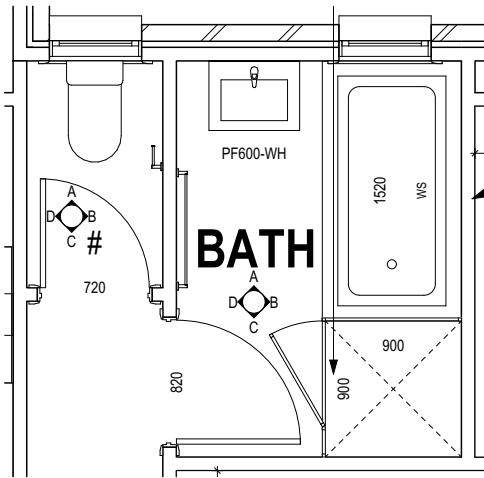
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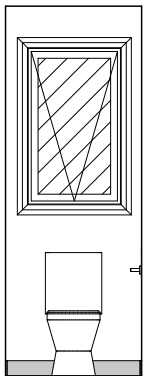
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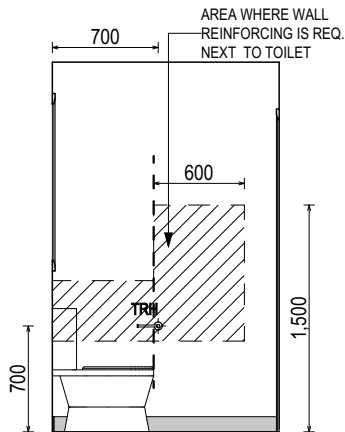
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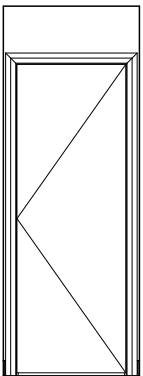
BATHROOM PLAN
SCALE: 1:50



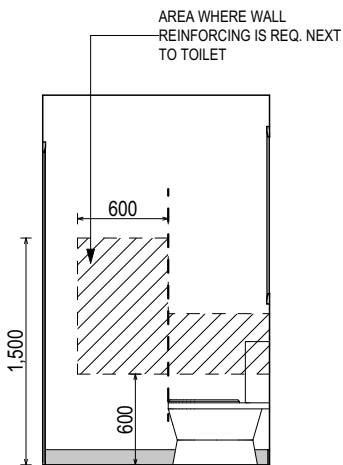
ELEVATION A
SCALE: 1:50



ELEVATION B
SCALE: 1:50



ELEVATION C
SCALE: 1:50



ELEVATION D
SCALE: 1:50

SHAMPOO RECESS SIZE		STRUCTURAL DIMENSIONS	
"SMALL"	470 x 380mm	WIDTH	HEIGHT
"MEDIUM"	800 x 380mm	548mm	446mm
"LARGE"	1500 x 380mm	878mm	446mm
		1578mm	446mm

REFER WILSON HOMES' DETAIL G-WETA-TILE01 FOR
FURTHER DETAIL PRIOR TO INSTALLATION.

SUBJECT TO NCC 2022
(1 MAY 2023)
WATERPROOFING & PLUMBING

PLAN ACCEPTANCE BY OWNER

SIGNATURE: DATE:

SIGNATURE: DATE:

PLEASE NOTE THAT VARIATIONS WILL NOT BE ACCEPTED
AFTER THIS PLAN ACCEPTANCE HAS BEEN SIGNED

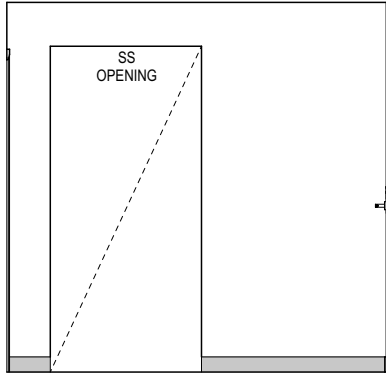
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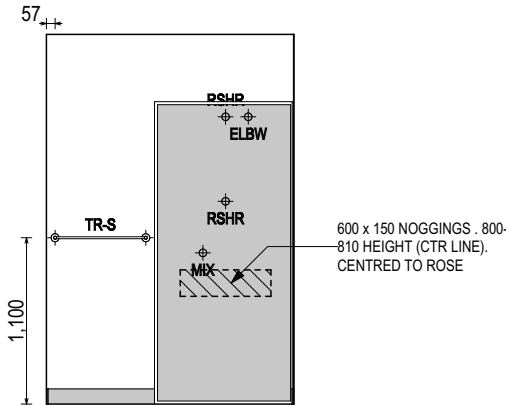


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	2 DRAFT SALE PLAN - CT1	HMI 10/07/2025	ADDRESS:	FACADE DESIGN:	FACADE CODE:	
	3 DRAFT SALE PLAN - CT1 UPDATE	HMI 15/07/2025	11 FISHER DRIVE, HERDSMANS COVE TAS 7030	CLASSIC	F-WDCSHF10CLASA	
	4 PRELIM PLANS - INITIAL ISSUE	DKZ 24/07/2025	LOT / SECTION / CT:	SHEET TITLE:	SHEET No.:	714338
			140 / - / 13844	BATHROOM DETAILS	11 / 14	
			COUNCIL:		SCALES:	
			BRIGHTON		1:50	

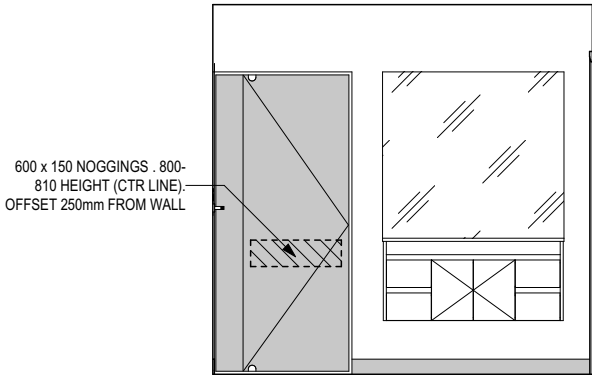
BAL-19 BUSHFIRE REQUIREMENTS
SEE SHEET 1 (COVER SHEET) FOR DETAILS



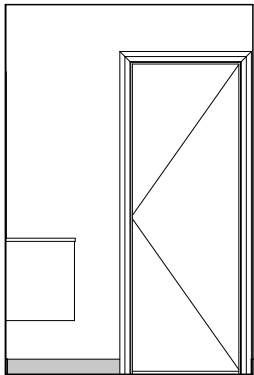
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SCALE: 1:50



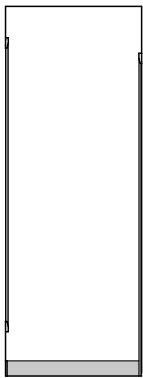
ELEVATION B
SCALE: 1:50



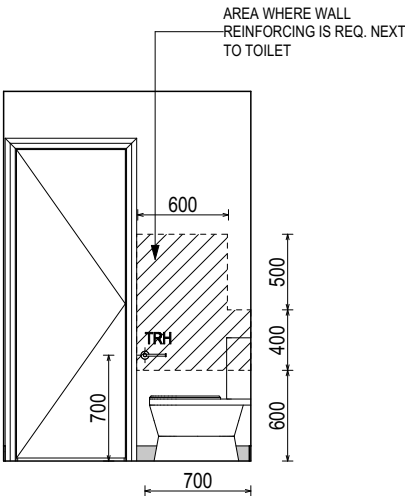
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SCALE: 1:50



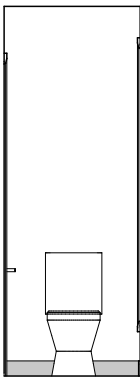
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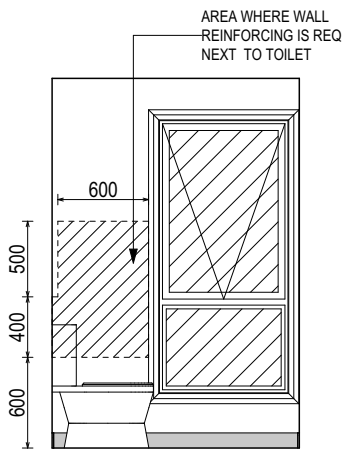
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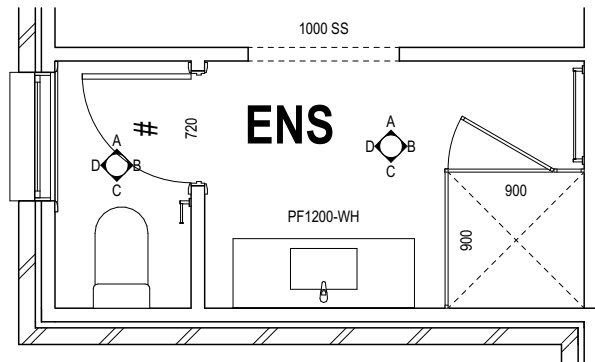
ELEVATION B
SCALE: 1:50



ELEVATION C
SCALE: 1:50



ELEVATION D
SCALE: 1:50



ENSUITE PLAN
SCALE: 1:50

REFER TO THE FOLLOWING DETAILS:
VANITY DETAILS G-VANI-001
WINDOW OVER BATH HOB D-WIND-ALU001
STANDARD BATH HOB D-WETA-BATH003
WET AREA TILING LAYOUTS D-WETA-TILE002
SQUARE SET WINDOWS G-WIND-SSET02
FULL HEIGHT TILING D-LINI-WETA

REFER TO SHEET 1 (COVER SHEET) FOR
ALL BUILDING INFORMATION REGARDING:
- SUSTAINABILITY REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

DETAILS DEPICTED ON THIS SHEET ARE A
REPRESENTATION ONLY

LEGEND

RSHR	RAIL SHOWER
ROSE	SHOWER ROSE
ELBW	SHOWER ELBOW CONNECTION
MIX	MIXER TAP
HT	HOT TAP
CT	COLD TAP
HS	HOB SPOUT
WS	WALL SPOUT
SC	STOP COCK
TRH	TOILET ROLL HOLDER
TR-S	TOWEL RAIL - SINGLE
TR-D	TOWEL RAIL - DOUBLE
TL	TOWEL LADDER
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SHAMPOO RECESS SIZE		STRUCTURAL DIMENSIONS	
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**SUBJECT TO NCC 2022
(1 MAY 2023)
WATERPROOFING & PLUMBING**

PLAN ACCEPTANCE BY OWNER

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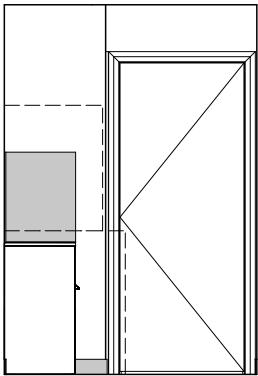
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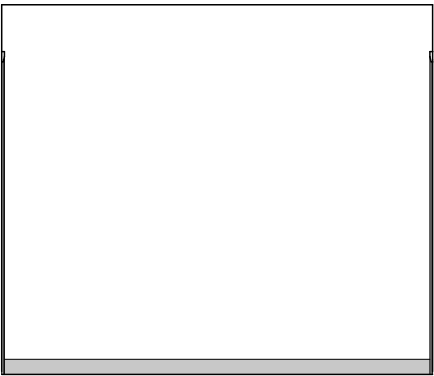
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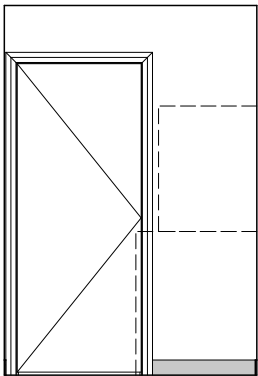
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	2 DRAFT SALE PLAN - CT1	HMI 10/07/2025	ADDRESS:	FACADE DESIGN:	FACADE CODE:	
	3 DRAFT SALE PLAN - CT1 UPDATE	HMI 15/07/2025	11 FISHER DRIVE, HERDSMANS COVE TAS 7030	CLASSIC	F-WDCSHF10CLASA	
	4 PRELIM PLANS - INITIAL ISSUE	DKZ 24/07/2025	LOT / SECTION / CT:	SHEET TITLE:	SHEET No.:	714338
			140 / - / 13844	ENSUITE DETAILS	12 / 14	
			COUNCIL:		SCALES:	
			BRIGHTON		1:50	



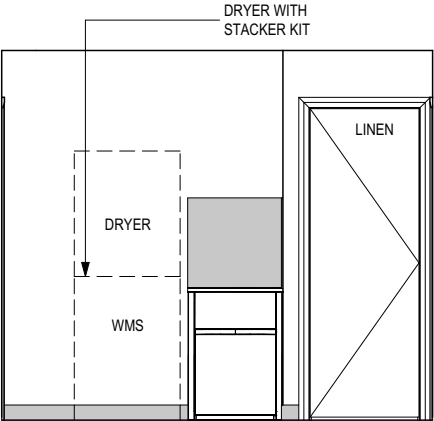
ELEVATION A
SCALE: 1:50



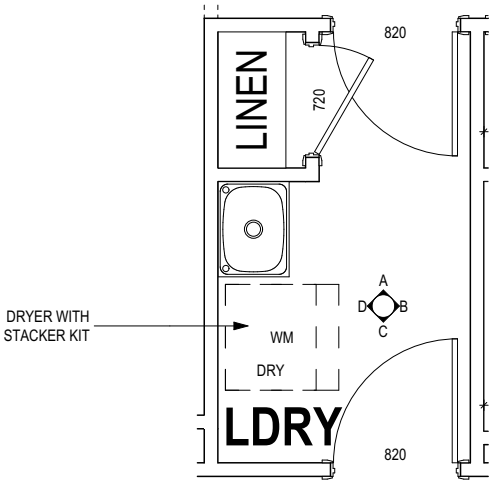
ELEVATION B
SCALE: 1:50



ELEVATION C
SCALE: 1:50



ELEVATION D
SCALE: 1:50



LAUNDRY PLAN
SCALE: 1:50

SUBJECT TO NCC 2022
(1 MAY 2023)
WATERPROOFING & PLUMBING

PLAN ACCEPTANCE BY OWNER

SIGNATURE: DATE:

SIGNATURE: DATE:

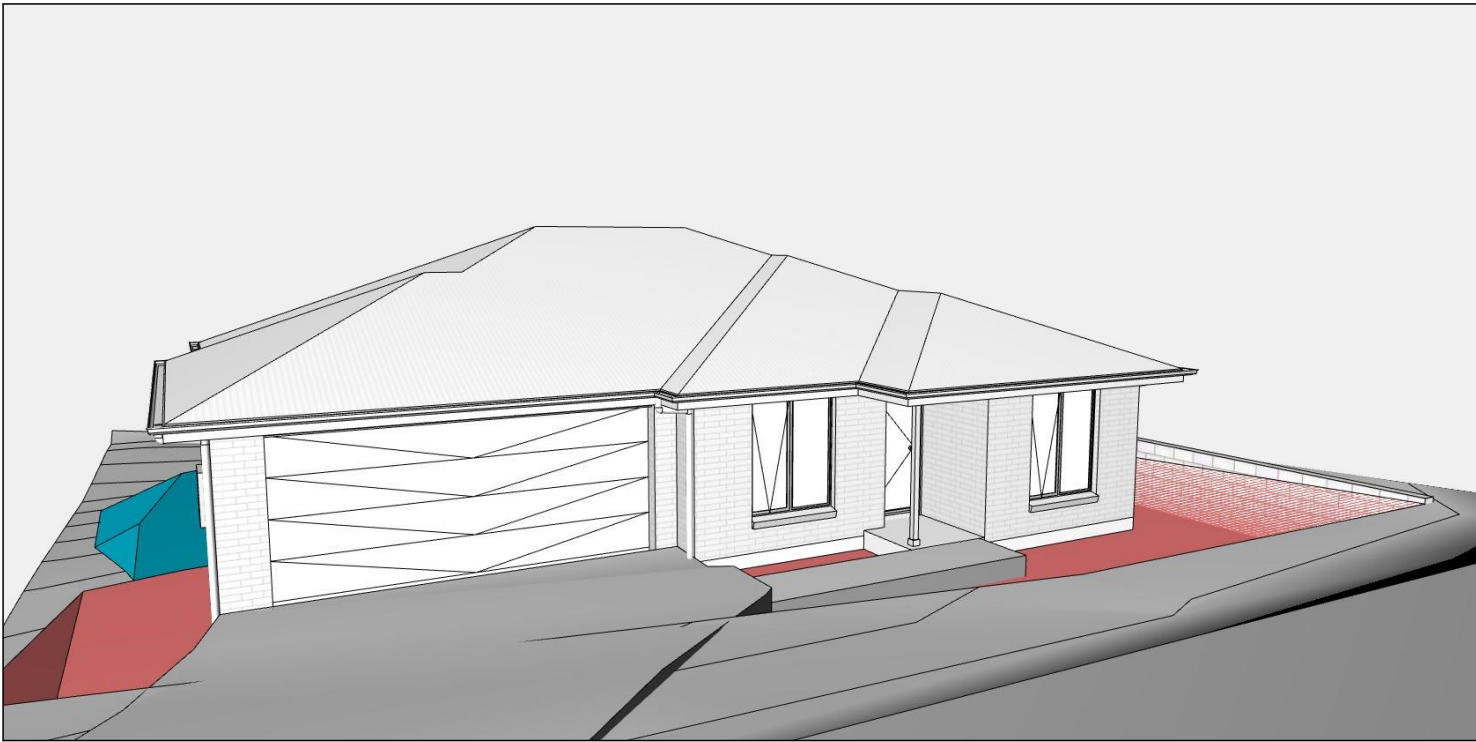
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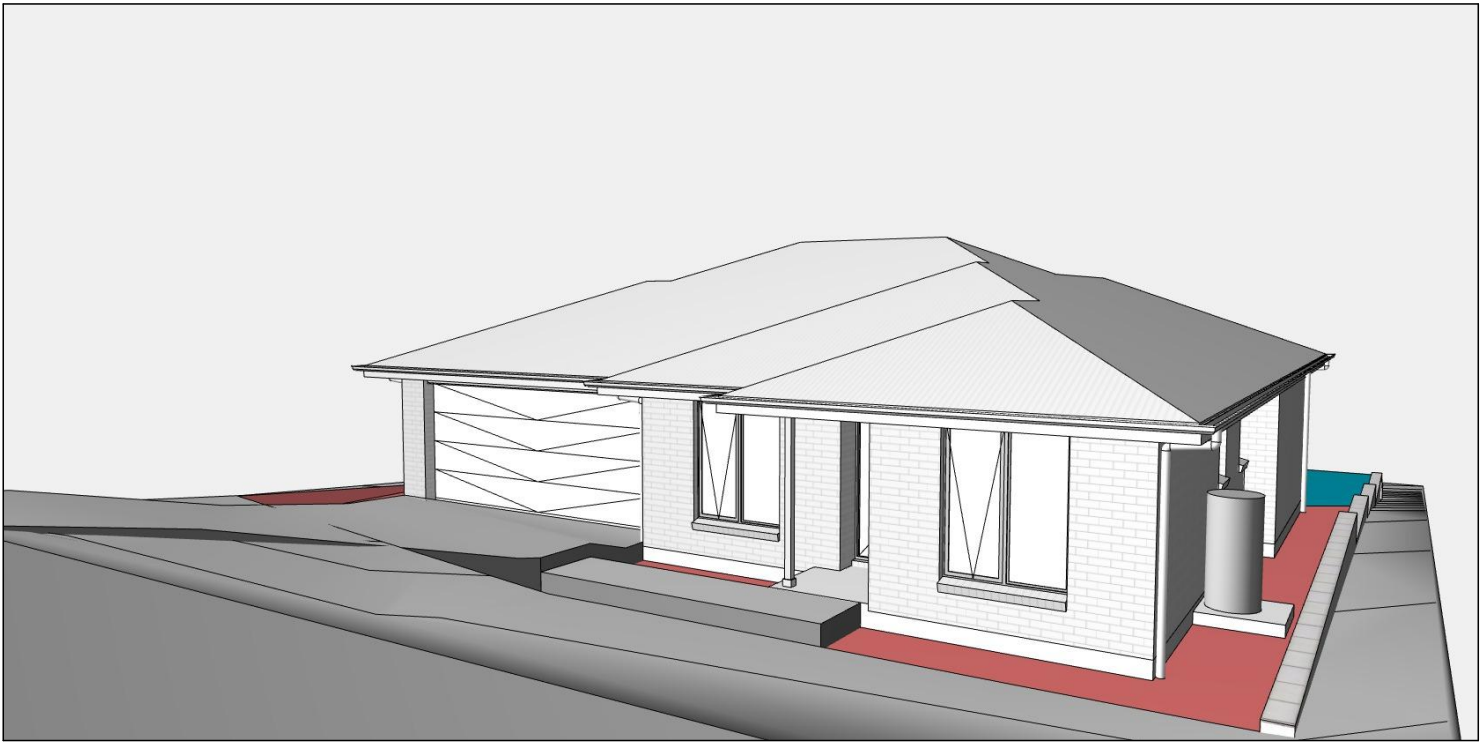
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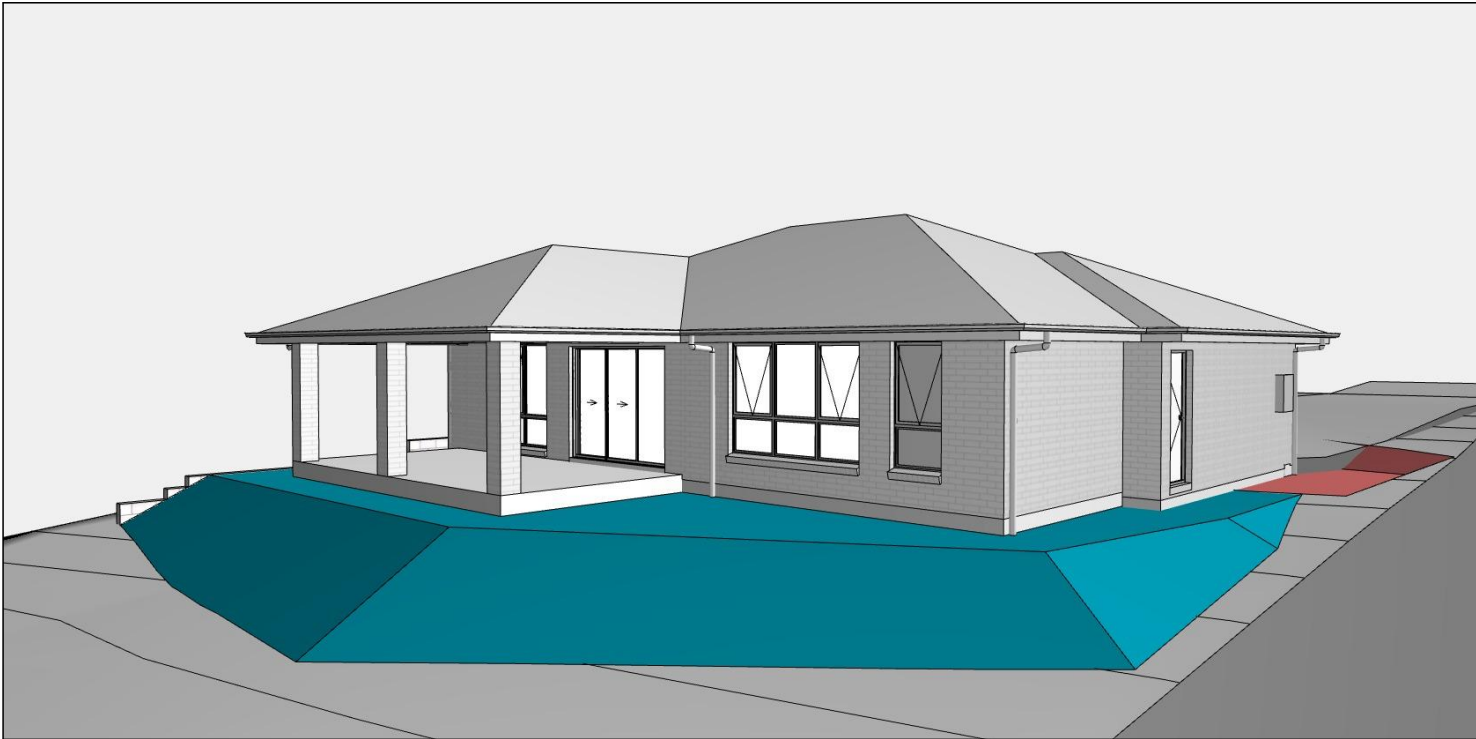
SPECIFICATION: DISCOVERY COPYRIGHT: © 2025	REVISION		DRAWN		CLIENT: KATHERINE ALEXANDRA WRIGHT & KATIE TIERI LILINO ADDRESS: 11 FISHER DRIVE, HERDSMANS COVE TAS 7030 LOT / SECTION / CT: 140 / - / 13844 COUNCIL: BRIGHTON	HOUSE DESIGN: SHEFFIELD 16 FACADE DESIGN: CLASSIC SHEET TITLE: LAUNDRY DETAILS	HOUSE CODE: H-WDCSHF10SB FACADE CODE: F-WDCSHF10CLASA SHEET No.: 13 / 14	SCALES: 1:50	DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE. 714338
	1	QUOTE SITING	HMI	27/05/2025					
	2	DRAFT SALE PLAN - CT1	HMI	10/07/2025					
	3	DRAFT SALE PLAN - CT1 UPDATE	HMI	15/07/2025					
	4	PRELIM PLANS - INITIAL ISSUE	DKZ	24/07/2025					



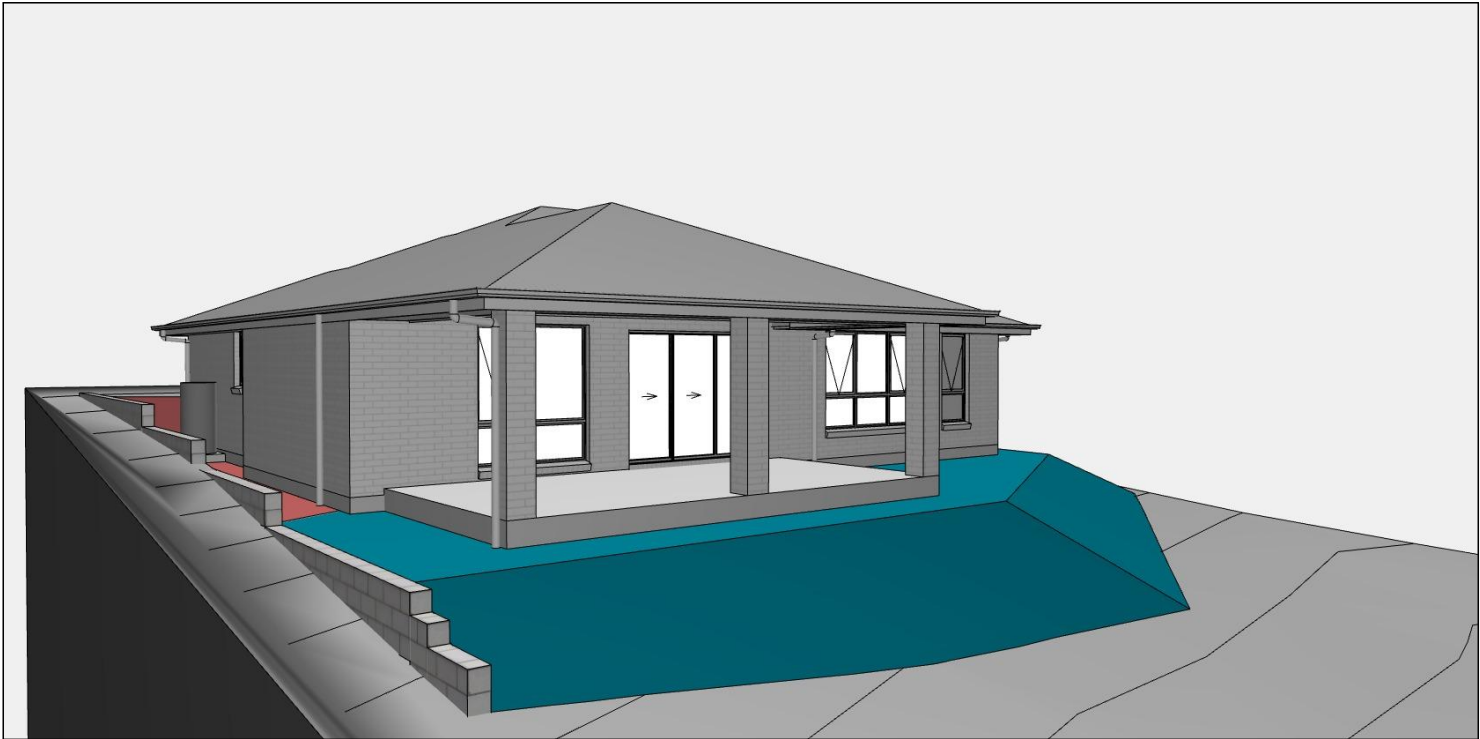
FRONT LEFT



FRONT RIGHT



REAR LEFT



REAR RIGHT

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		4	PRELIM PLANS - INITIAL ISSUE	DKZ 24/07/2025	LOT / SECTION / CT:	COUNCIL:	SHEET TITLE:	SHEET No.:	SCALES:		
					140 / - / 13844	BRIGHTON	3D VIEWS	14 / 14		714338	