



Application for Planning Approval

Land Use Planning and Approvals Act 1993

APPLICATION NO.

DA2025/167

LOCATION OF AFFECTED AREA

45B GLEN LEA ROAD, PONTVILLE

DESCRIPTION OF DEVELOPMENT PROPOSAL

STORAGE SHED

A COPY OF THE DEVELOPMENT APPLICATION MAY BE VIEWED AT www.brighton.tas.gov.au AND AT THE COUNCIL OFFICES, 1 TIVOLI ROAD, OLD BEACH, BETWEEN 8:15 A.M. AND 4:45 P.M, MONDAY TO FRIDAY OR VIA THE QR CODE BELOW. ANY PERSON MAY MAKE WRITTEN REPRESENTATIONS IN ACCORDANCE WITH S.57(5) OF THE LAND USE PLANNING AND APPROVALS ACT 1993 CONCERNING THIS APPLICATION UNTIL 4:45 P.M. ON **27/10/2025**. ADDRESSED TO THE CHIEF EXECUTIVE OFFICER AT 1 TIVOLI ROAD, OLD BEACH, 7017 OR BY EMAIL AT development@brighton.tas.gov.au. REPRESENTATIONS SHOULD INCLUDE A DAYTIME TELEPHONE NUMBER TO ALLOW COUNCIL OFFICERS TO DISCUSS, IF NECESSARY, ANY MATTERS RAISED.

JANINE BANKS
Acting Chief Executive Officer



Brighton
going places

GENERAL INFORMATION

Land Title Reference	-	189251/1
Building Class	-	10a
Property Zone	-	RURAL LIVING
Wind Classification	-	T.B.C.
Soil Classification (AS 2870)	-	CLASS T.B.C
Climate Zone (NCC 3.12)	-	NA
Alpine Area (900m above AHD) -	-	NA
BAL Rating (AS3959)	-	TBC
Heritage Building	-	NO
Flood Prone Area	-	NO
Coastal Ingress Area	-	NO
Coastal Erosion Area	-	NO
Corrosion Environment	-	Moderate

OTHER CONSULTANTS

Structural Engineer	-	T.B.C
Geological Report (Soil)	-	T.B.C
Energy Assessment	-	T.B.C
Waste Water Report	-	NA
Bushfire Assessment	-	TBC
Natural Value Assessment	-	TBC
Civil Engineer	-	NA
Mechanical Engineer	-	NA
Electrical Engineer	-	NA
Site Survey	-	NA
Hydrologist Report	-	NA
Contaminated Site Survey	-	NA

AREA SCHEDULE	(All measurements in m2)
Site Plan	- 5004 m2
Existing Residence	- 196.0m2
Residence (Ground Floor)	- NA
Residence (First Floor)	- NA
Alfresco Area	- NA
Verandah Area	- NA
Porch (Laundry)	- NA
Detached Office / Study	- NA
Porch	- NA
Decking Area	- NA
Balcony (existing)	- NA
Residential Shed / Outbuilding	- 96m2

Drawing Schedule:	
Sheet number	Sheet name
01	COVER PAGE
02	SITE PLAN-OVERALL
03	SITE PLAN
04	SITE DRAINAGE PLAN
05	SHED FLOOR PLAN
06	SHED PLUMBING PLAN
07	SHED ELEVATIONS
08	SHADOW DIAGRAMS

PROPOSED SHED

45B GLEN LEA ROAD

PONTVILLE TAS 7030

45b Glen Lea Road, Pontville TAS 7030
Site Area: 5,004m²
Existing Site Cover (Dwelling) 196m²= 3.91%
Proposed Site Cover Existing Dwelling 196m² +
Proposed Shed 96m²= 292m²
Total Site Cover: 292m² = 5.83%

PROPOSED

EXISTING

Site Plan-Overall
scale: 1:400 @A3



ISLAND LIFE DESIGNERS
BUILDING SERVICES PROVIDER
LICENCE No. 456943670
CONTACT: nick@islandlifedesigners.com

General Notes
The Builder shall check all dimensions and levels on site prior to construction.
Notify any errors, discrepancies or omissions to the building designer.
Drawings shall not be used for construction purposes until issued for construction.
Do not scale drawings.
All boundaries and contours subject to survey

notes	revision
	0

stage	
sketch design	
design development	
contract documentation	
DA	
BA	
construction drawings	

PROJECT NAME:
Proposed Shed

CLIENT:
Nicholas Patrick Ackerley & Katie Alison Calvert

SITE:
45B Glen Lea Road
Pontville TAS 7030

DRAWING TITLE:
Site Plan-Overall

REVISION NO. 0

DRAWING NO. 02

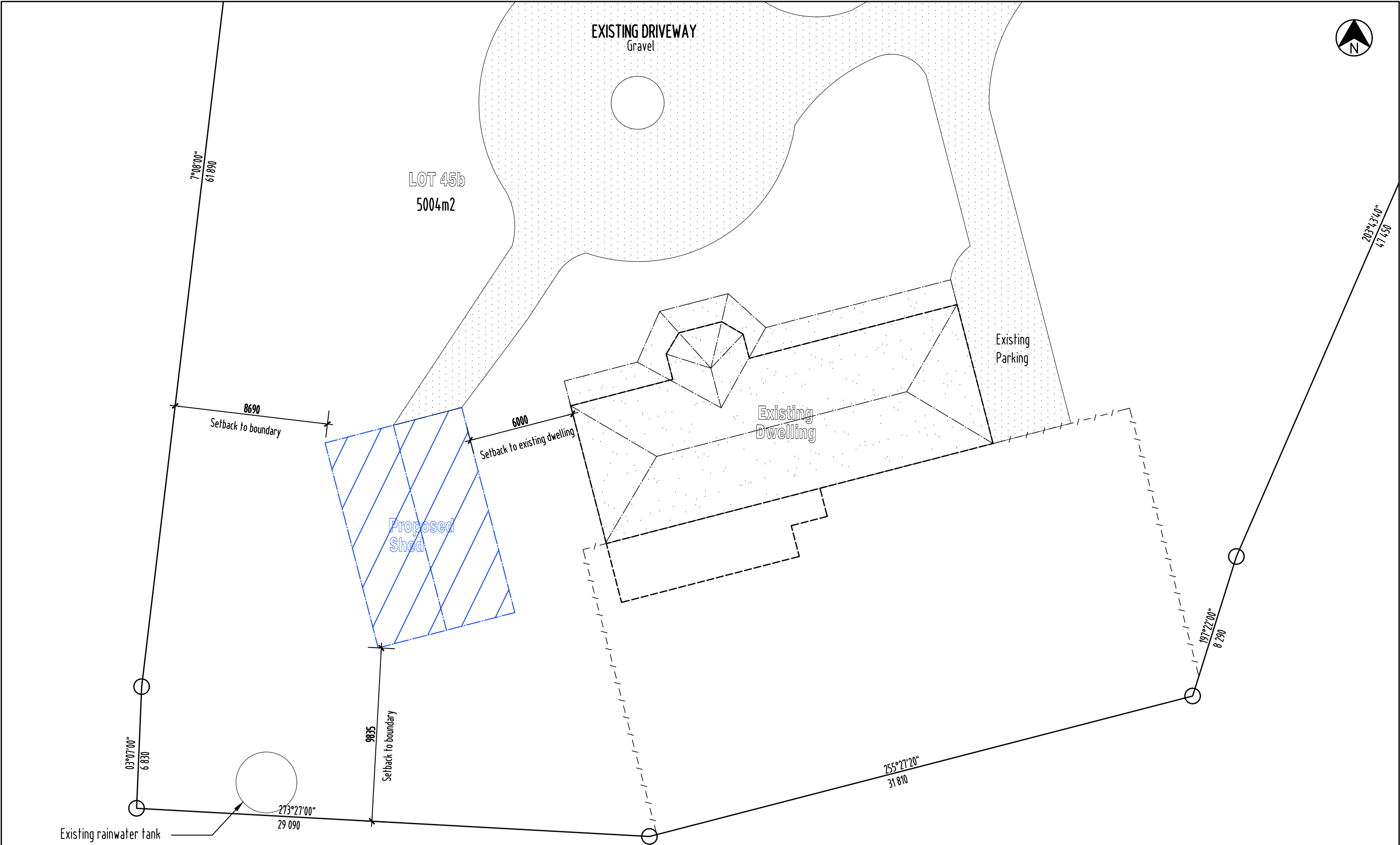
SCALE: As noted on A3 paper size

DRAWN BY: M.S.

CHECKED BY: Nicholas Young

PROJECT NO. 25-021

Plot Date: 25/09/2025



Site Plan
scale: 1:200 @A3





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notes	revision	stage
	0	sketch design
		design development
		contract documentation
		DA
		BA
		construction drawings

PROJECT NAME:
Proposed Shed

CLIENT:
Nicholas Patrick Ackerley & Katie Alison Calvert

SITE:
45B Glen Lea Road
Pontville TAS 7030

DRAWING TITLE:
Site Plan

REVISION NO. 0

DRAWING NO 03

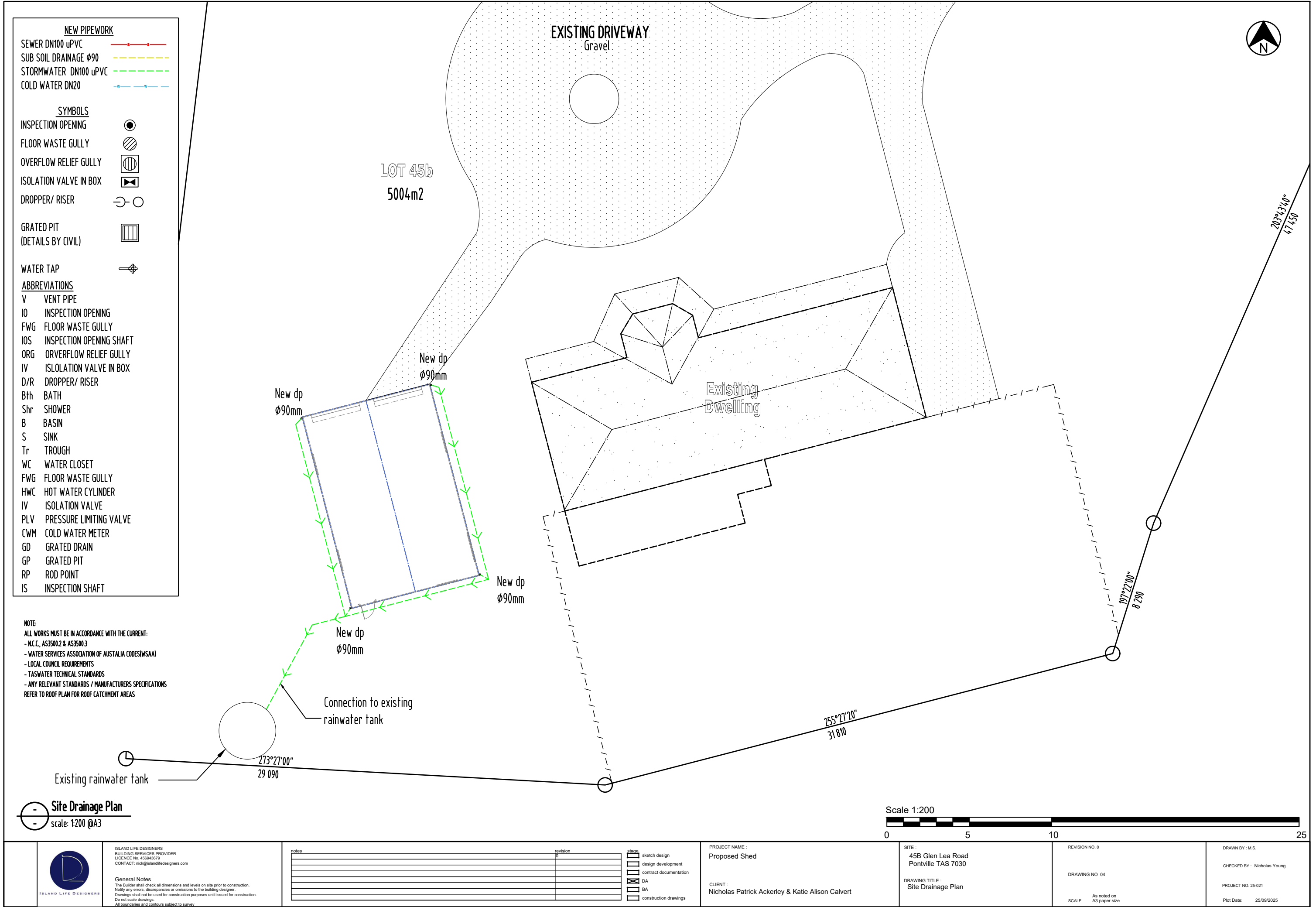
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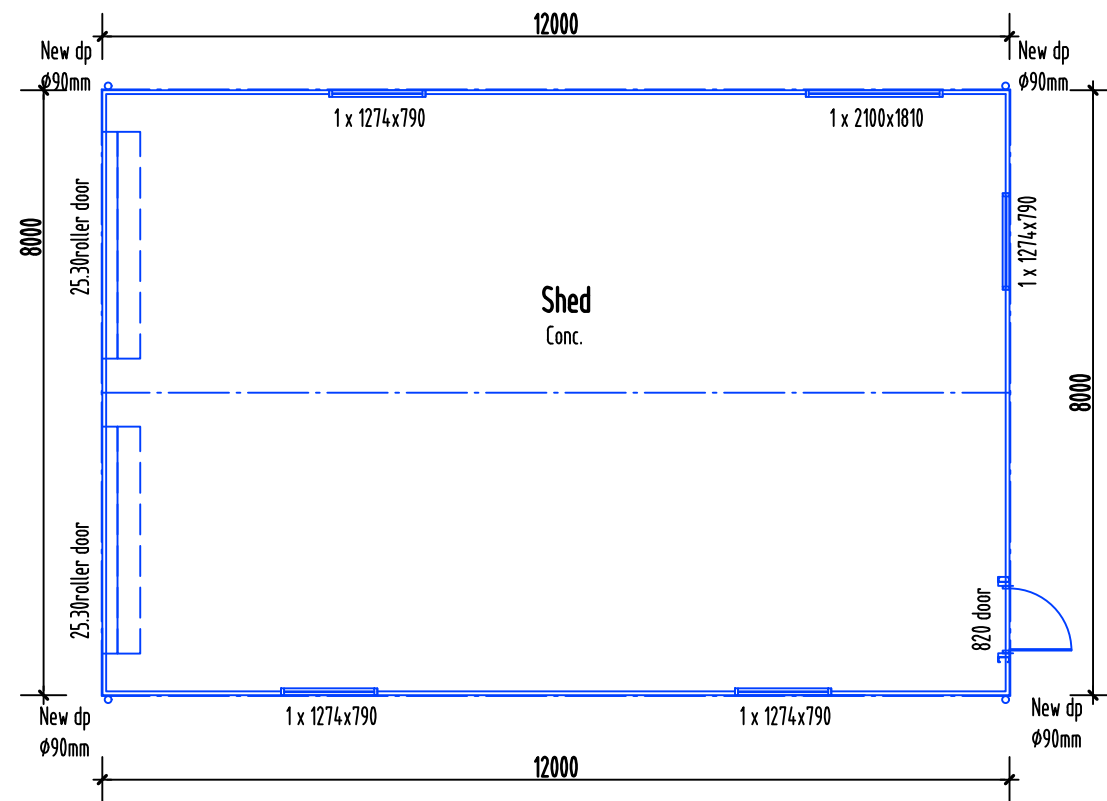
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AREAS

Shed:	96.00m ²
TOTAL FLOOR AREA:	96.00m ²

 **Shed Floor Plan**
scale 1:100@A3

Scale 1:100



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notes	revision
	0

stage	
sketch design	☐
design development	☐
contract documentation	☐
DA	☒
BA	☐
construction drawings	☐

PROJECT NAME :
Proposed Shed

CLIENT :
Nicholas Patrick Ackerley & Katie Alison Calvert

SITE :
**45B Glen Lea Road
Pontville TAS 7030**

DRAWING TITLE :
Proposed Shed plan

REVISION NO. 0

DRAWING NO 05

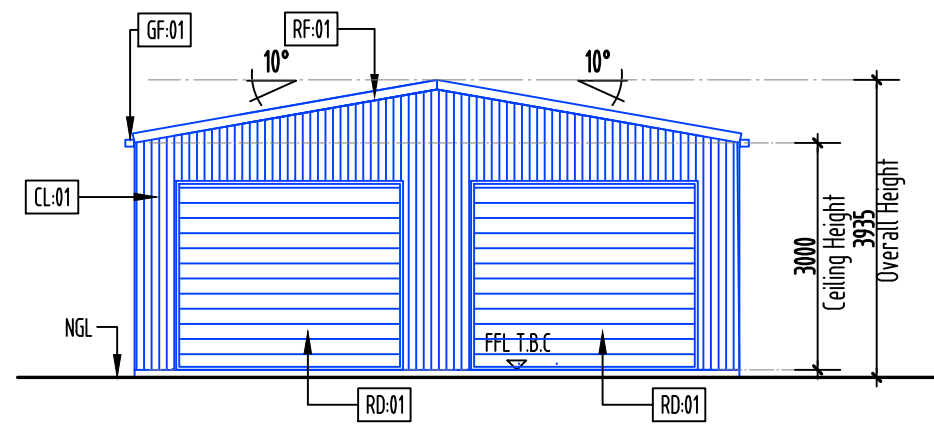
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DRAWN BY : M.S.

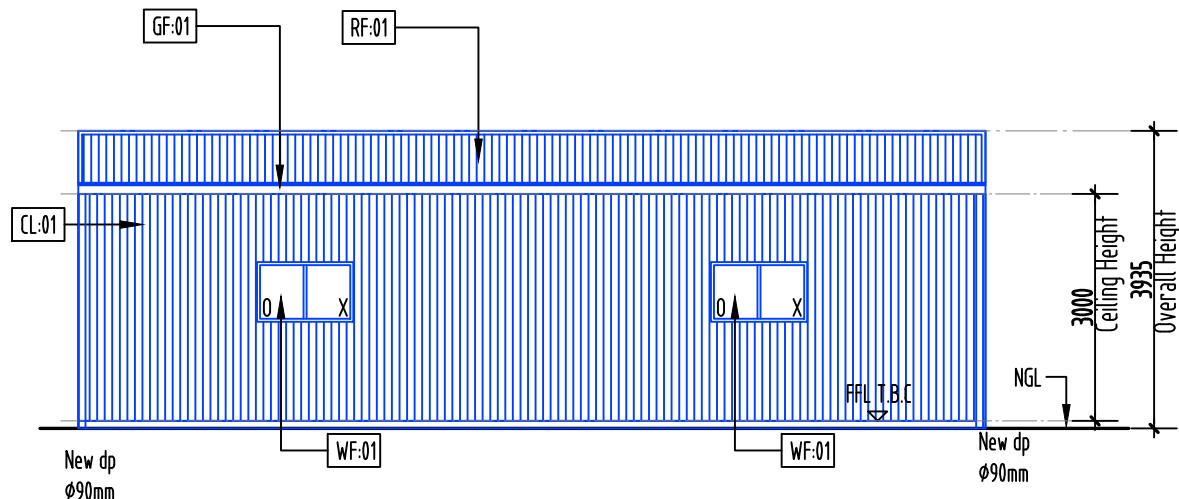
CHECKED BY : Nicholas Young

PROJECT NO. 25-021

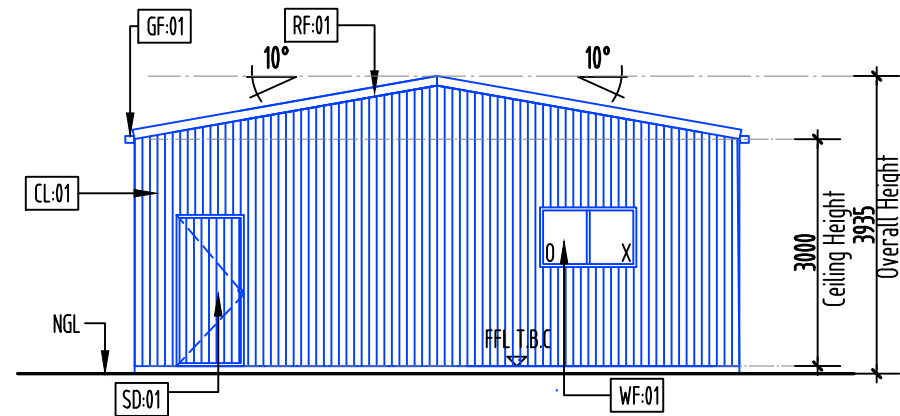
Plot Date: 25/09/2025



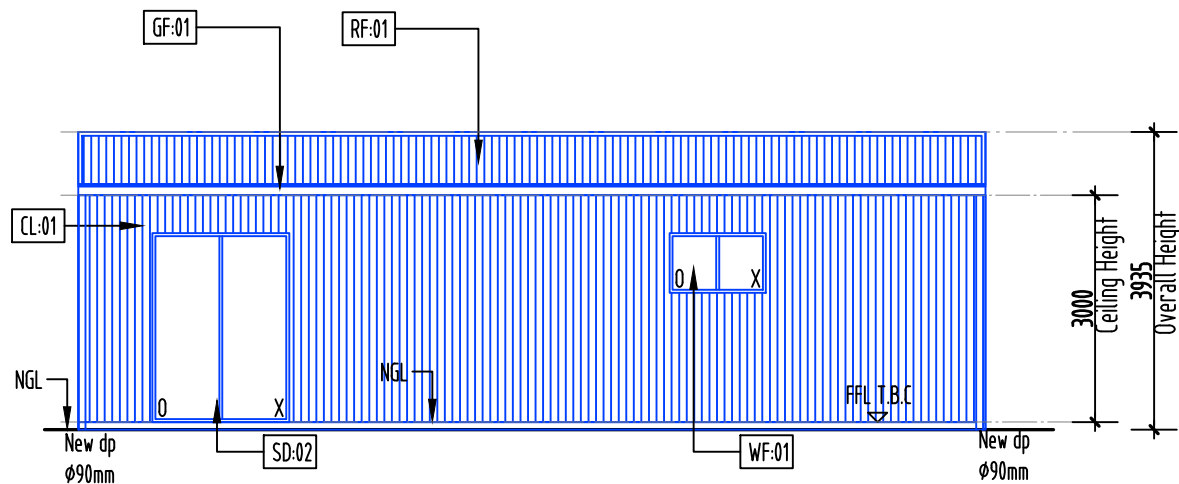
Elevation 1 - North
scale 1:100@A3



Elevation 2 - West
scale 1:100@A3



Elevation 3 - South
scale 1:100@A3



Elevation 4 - East
scale 1:100@A3

LEGEND & NOTES

- DP: Downpipe Ø90 PVC
Colour: Classic Cream (Colorbond)
- CL-01 External wall: SteelClad .42bmt Colorbond
Colour: Classic Cream (Colorbond)
- RF-01 SteelClad .42bmt Colorbond metal roofing
minimum 5°-10° roof slope, installed as
per manufacturers specifications.
Colour: Classic Cream (Colorbond)
- GF-01 Colorbond metal Fascia and Gutter:
Colour: Classic Cream (Colorbond)
- RD-01 2x Roller Doors: H2500xW3000
ROW Roller Door
Colour: T.B.C
- SD-01 Personnel doors: 1x Larner 2040 x 820 x
35mm - Pre Hung - Colorbond Single Skin -
P/C Tube Frame Outward Swing Monument
Colour: T.B.C
- SD-02 Personnel doors: 1x 1x 2100X1810 OX
Classic Cream
- WF-01 Powdercoated aluminium window / door
frames
Colour: Classic Cream (Colorbond)

Scale 1:100



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notes

revision	description
0	

stage

- sketch design
design development
contract documentation
DA
BA
construction drawings

PROJECT NAME:
Proposed Shed

CLIENT:
Nicholas Patrick Ackerley & Katie Alison Calvert

SITE:
45B Glen Lea Road
Pontville TAS 7030

DRAWING TITLE:
Shed Elevations

REVISION NO. 0

DRAWING NO. 06

SCALE: As noted on
A3 paper size

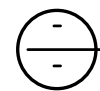
DRAWN BY: M.S.

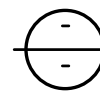
CHECKED BY: Nicholas Young

PROJECT NO. 25-021

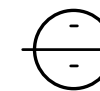
Plot Date: 25/09/2025



 **SUN SHADOW DIAGRAM 21st JUNE-9am**
SCALE NTS

 **SUN SHADOW DIAGRAM 21st JUNE-10am**
SCALE NTS

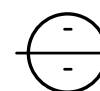
 **SUN SHADOW DIAGRAM 21st JUNE-11am**
SCALE NTS

 **SUN SHADOW DIAGRAM 21st JUNE-12am**
SCALE NTS



 **SUN SHADOW DIAGRAM 21st JUNE-1pm**
SCALE NTS

 **SUN SHADOW DIAGRAM 21st JUNE-2pm**
SCALE NTS

 **SUN SHADOW DIAGRAM 21st JUNE-3pm**
SCALE NTS



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stage	
sketch design	☐
design development	☐
contract documentation	☐
DA	☒
BA	☐
construction drawings	☐

PROJECT NAME:
Proposed Shed

CLIENT:
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SITE:
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DRAWING TITLE:
Sun Shadow Diagrams

REVISION NO. 0

DRAWING NO 07

SCALE: As noted on
A3 paper size

DRAWN BY: M.S.

CHECKED BY: Nicholas Young

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Plot Date: 25/09/2025