



Application for Planning Approval

Land Use Planning and Approvals Act 1993

APPLICATION NO.

DA2025/151

LOCATION OF AFFECTED AREA

61 ROWE STREET, BRIGHTON

DESCRIPTION OF DEVELOPMENT PROPOSAL

DWELLING & OUTBUILDING

A COPY OF THE DEVELOPMENT APPLICATION MAY BE VIEWED AT www.brighton.tas.gov.au AND AT THE COUNCIL OFFICES, 1 TIVOLI ROAD, OLD BEACH, BETWEEN 8:15 A.M. AND 4:45 P.M, MONDAY TO FRIDAY OR VIA THE QR CODE BELOW. ANY PERSON MAY MAKE WRITTEN REPRESENTATIONS IN ACCORDANCE WITH S.57(5) OF THE LAND USE PLANNING AND APPROVALS ACT 1993 CONCERNING THIS APPLICATION UNTIL 4:45 P.M. ON **30/10/2025**. ADDRESSED TO THE CHIEF EXECUTIVE OFFICER AT 1 TIVOLI ROAD, OLD BEACH, 7017 OR BY EMAIL AT development@brighton.tas.gov.au. REPRESENTATIONS SHOULD INCLUDE A DAYTIME TELEPHONE NUMBER TO ALLOW COUNCIL OFFICERS TO DISCUSS, IF NECESSARY, ANY MATTERS RAISED.

JAMES DRYBURGH
Chief Executive Officer



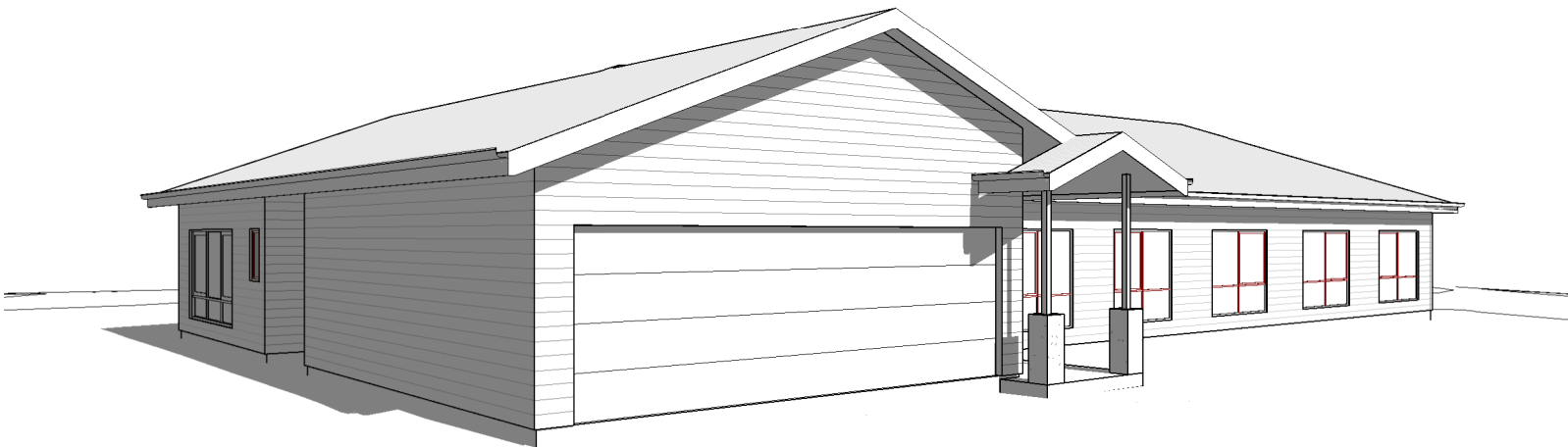
Brighton
going places

PROPOSED NEW RESIDENCE & SHED

61 ROWE STREET

BRIGHTON

J.C. & N.T. HOWLETT
PDH25025



PLANNING

BUILDING DRAWINGS

<u>No</u>	<u>DRAWING</u>
01	SITE PLAN
02	PART SITE PLAN
03	SITE DRAINAGE PLAN
04	LOCALITY PLAN
05	FLOOR PLAN
06	DOOR AND WINDOW SCHEDULES
07	ELEVATIONS
08	ELEVATIONS
09	ROOF PLAN
10	PERSPECTIVES

SHED DRAWINGS

<u>No</u>	<u>DRAWING</u>
S01	SHED PLAN
S02	ELEVATIONS
S03	ELEVATIONS
S04	ROOF PLAN

FLOOR AREA	280.37	m2	(30.18	SQUARES)
ALFRESCO AREA	53.69	m2	(5.78	SQUARES)
GARAGE AREA	58.72	m2	(6.32	SQUARES)
SHED AREA	121.81	m2	(13.11	SQUARES)
TOTAL AREA	514.59		55.39	

GENERAL PROJECT INFORMATION
TITLE REFERENCE: 181648/1
SITE AREA: 1.009 Ha
DESIGN WIND SPEED: N2
SOIL CLASSIFICATION: H1
CLIMATE ZONE: 7
ALPINE AREA: NO
CORROSIVE ENVIRONMENT: N/A
BAL RATING: BAL-19
OTHER KNOWN HAZARDS: BUSHFIRE PRONE AREA



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p(l) +03 6332 3790
Shop 9, 105-111 Main Road, Moonah Hobart 7009
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info@primedesignntas.com.au primedesignntas.com.au
Accredited Building Practitioner: Frank Geskus -No CC246A

SEPTEMBER 2025

- CHECK & VERIFY ALL DIMENSIONS & LEVELS ON SITE
- WRITTEN DIMENSIONS TO TAKE PREFERENCE OVER SCALED
- ALL WORK TO BE STRICTLY IN ACCORDANCE WITH NCC 2022, ALL S.A.A. CODES & LOCAL AUTHORITY BY-LAWS
- ALL DIMENSIONS INDICATED ARE FRAME AND DO NOT ALLOW FOR WALL LININGS
- CONFIRM ALL FLOOR AREAS
- ALL PLUMBING WORKS TO BE STRICTLY IN ACCORDANCE WITH A.S. 3500, NCC 2022 & APPROVED BY COUNCIL INSPECTOR
- BUILDER/PLUMBER TO ENSURE ADEQUATE FALL TO SITE CONNECTION POINTS IN ACCORDANCE WITH A.S. 3500 FOR STORMWATER AND SEWER BEFORE CONSTRUCTION COMMENCES
- THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE ENGINEER'S STRUCTURAL DRAWINGS
- ALL WINDOWS AND GLAZING TO COMPLY WITH A.S. 1288 & A.S. 2047

- SURVEYOR'S NOTES:

4. SURVEY PLUS CAN NOT ACCEPT LIABILITY WHATSOEVER FOR LOSS OR DAMAGE CAUSED TO ANY UNDERGROUND SERVICE WHETHER SHOWN BY OUR SURVEY OR NOT.

5. THIS NOTE IS AN INTEGRAL PART OF THIS PLAN/DATA. REPRODUCTION OF THIS PLAN OR ANY PART OF IT WITHOUT THIS NOTE BEING INCLUDED IN FULL WILL RENDER THE INFORMATION SHOWN ON SUCH A REPRODUCTION INVALID AND NOT SUITABLE FOR USE WITHOUT PRIOR AUTHORITY OF SURVEY PLUS.

6. HORIZONTAL DATUM IS MGA (GDA94).

7. VERTICAL DATUM IS AHD.

8. CONTOUR INTERVAL IS 0.2 METRE, INDEX IS 1.0 METRE.

- ## 9. SURVEY BY ROBOTIC TOTAL STATION AND GPS.

10. DUE TO THE AGE OF TITLE SURVEY IF ANY CONSTRUCTION WORKS ARE TO BE UNDERTAKEN ON OR NEAR THE TITLE BOUNDARY OR PRESCRIBED SETBACKS A RE-MARK SURVEY BY A REGISTERED LAND SURVEYOR WILL BE REQUIRED.

11. IMPORTED DATA SHOWN ON THIS PLAN WAS OBTAINED FOR PUBLIC AVAILABLE DATA FROM VARIOUS GOVERNMENT AUTHORITIES. THIS INFORMATION IS PROVIDED FOR GUIDANCE ONLY. THE ACCURACY OF ANY IMPORTED DATA IS PER THE ACCURACY QUOTED BY THE SOURCE AND IS IN NO WAY GUARANTEED BY SURVEY PLUS. USERS MUST NOT RELY ON THIS DATA FOR ON-GROUND LOCATION OF BOUNDARIES AND/OR SERVICES.

LIST DATA IMPORT

- TasWater-SewerLateralLine
- TasWater-SewerMain
- TasWater-SewerMaintenanceHole
- TasWater-SewerPressurisedMain
- TasWater-WaterHydrant
- TasWater-WaterLateralLine
- TasWater-WaterMain

12. BOUNDARIES ARE COMPILED ONLY FROM SP181643 AND RELEVANT SURVEY INFORMATION OBTAINED FROM LAND TITLES OFFICE AND ARE APPROXIMATE AND SUBJECT TO SURVEY.

13. 3D DATA TURNED OFF IN LAYER CONTROL.

- 3D TIN
- MAJOR CONTOUR 3D
- MINOR CONTOUR 3D

Project:
**PROPOSED NEW RESIDENCE &
SHED**
61 ROWE STREET
BRIGHTON

Drawing:
SITE PLAN

Client name:
J.C. & N.T. HOWLETT

Drafted by: S.P. Approved by: A.J.C.

Date: 08.09.2025 Scale: 1 : 1000

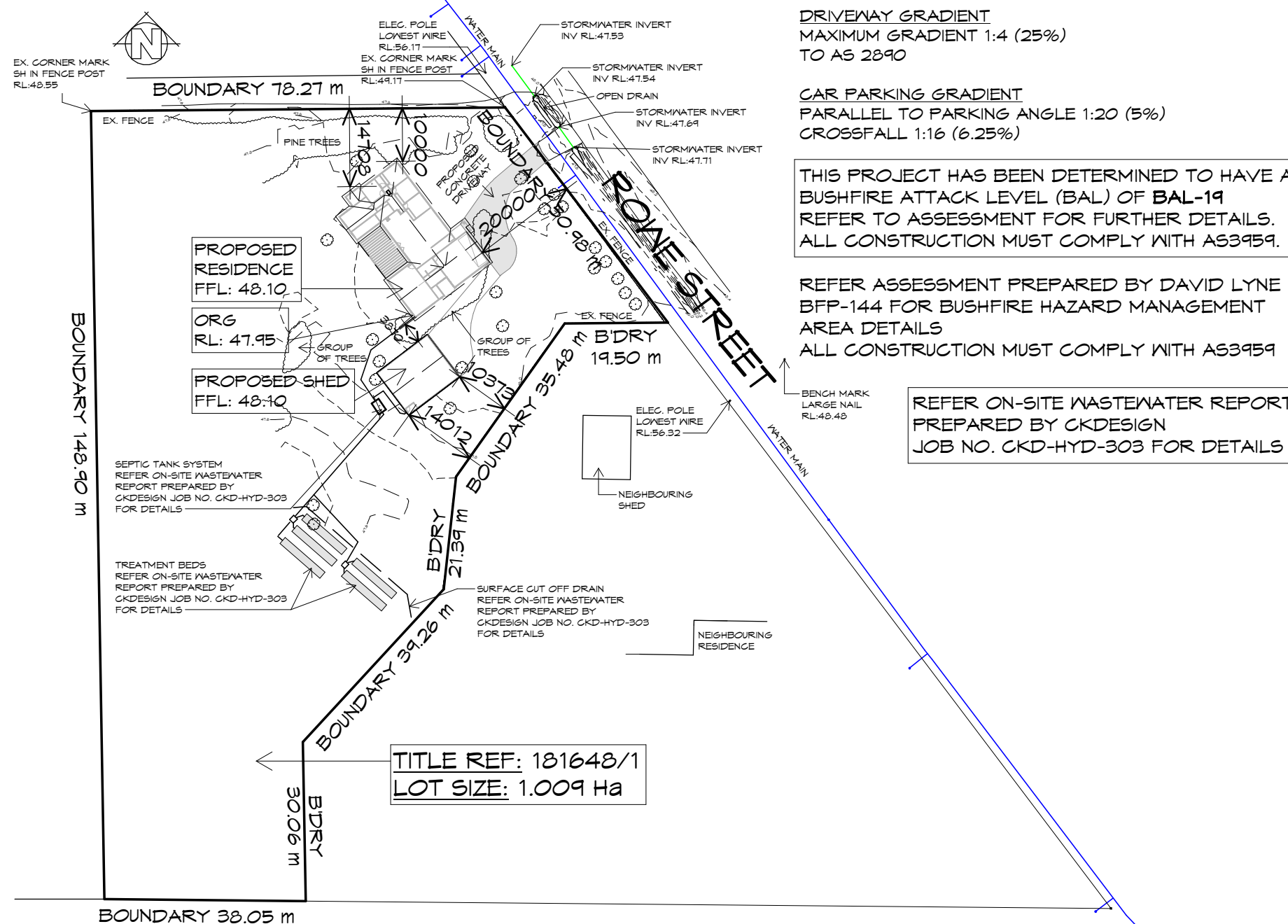
Project/Drawing no:
Revision:

PDH25025 -01 04

Accredited building practitioner: Frank Geskus -No CC246A

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS



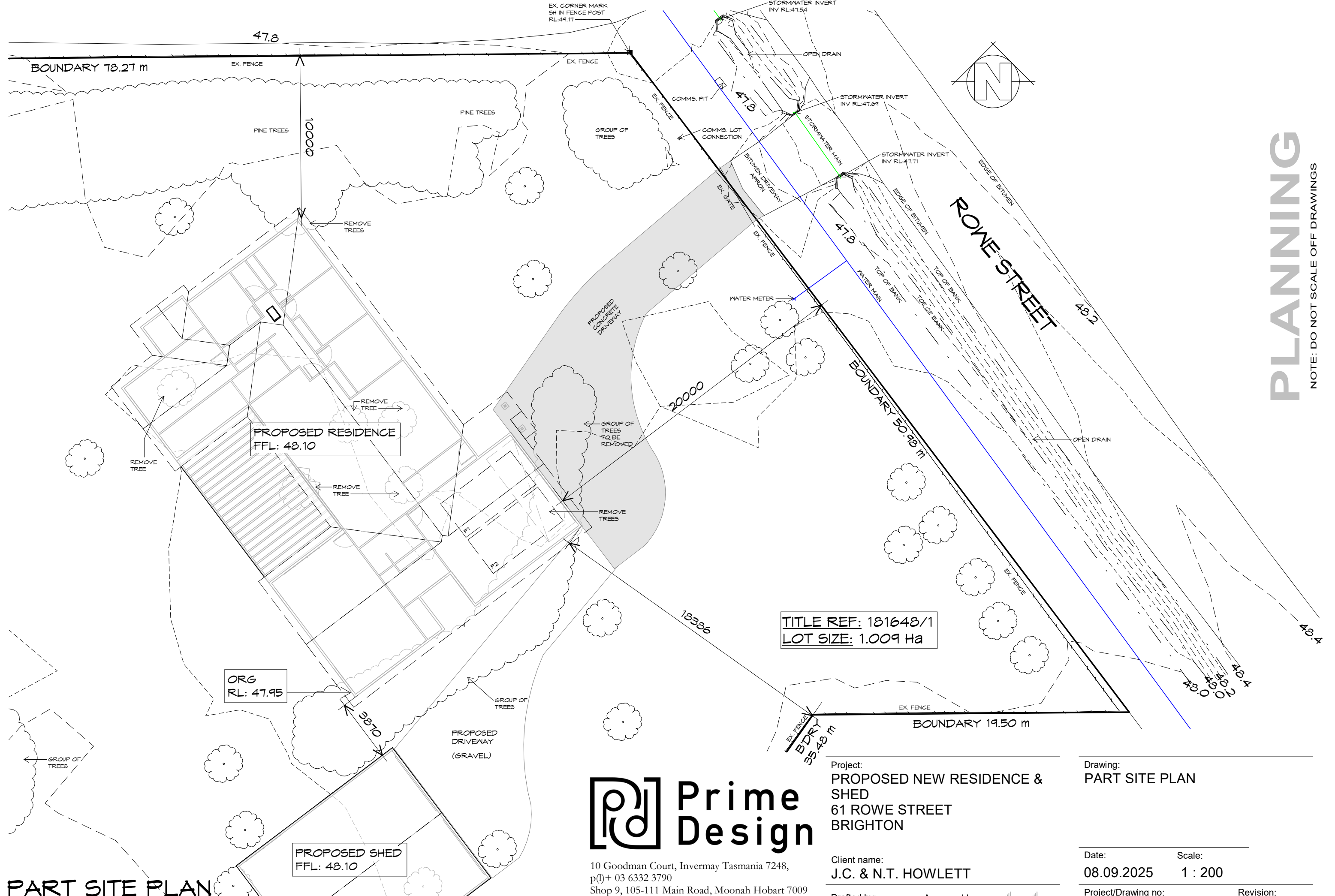
SITE PLAN

1 : 1000



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Shop 9, 105-111 Main Road, Moonah Hobart 7009
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PLANNING

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PART SITE PLAN

1 : 200



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61 ROWE STREET
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Drafted by:
S.P.

Approved by:
A.J.C.



Drawing:
PART SITE PLAN

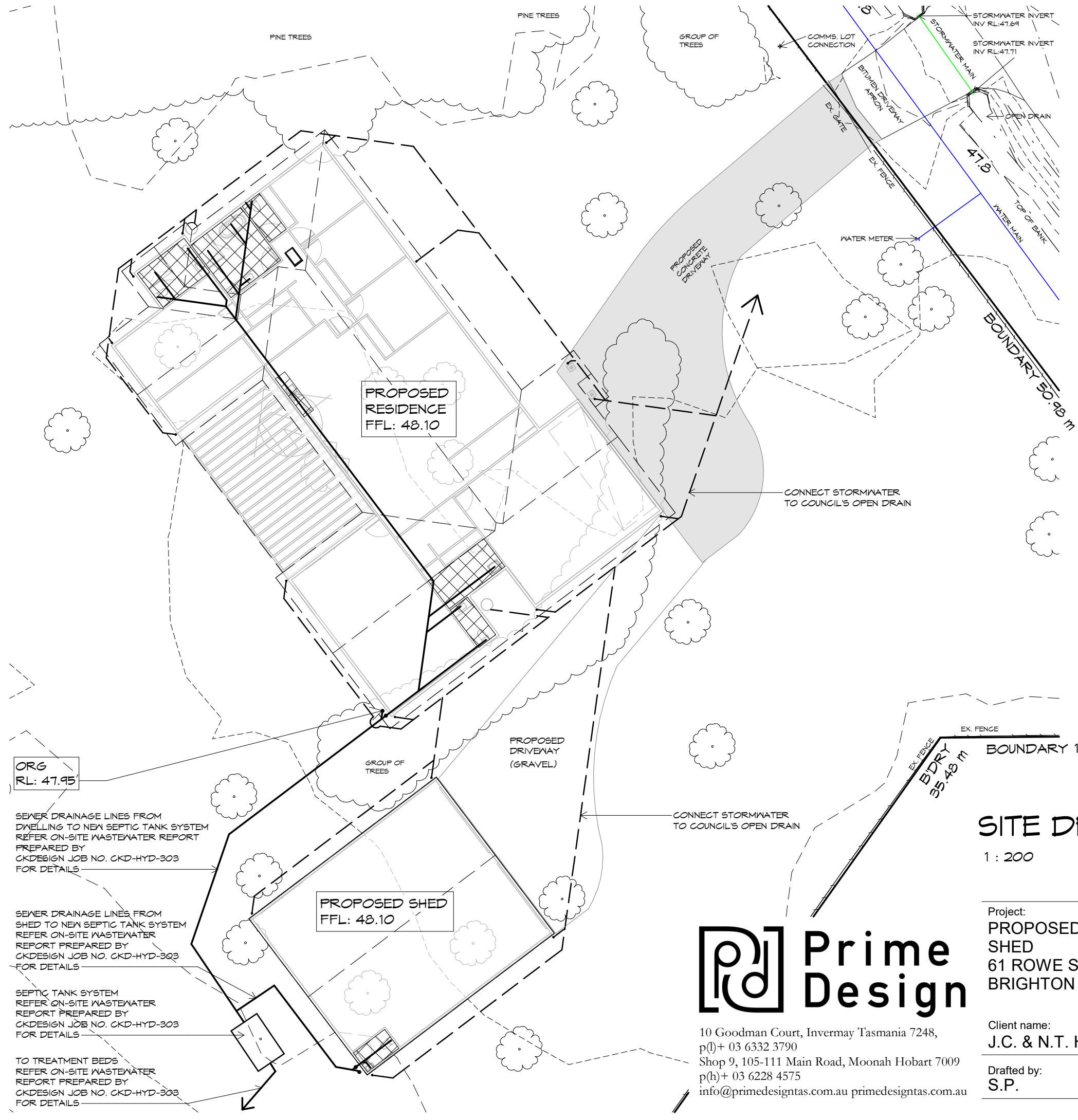
Date:
08.09.2025

Scale:
1 : 200

Project/Drawing no:
PDH25025 -02

Revision:
04

Accredited building practitioner: Frank Geskus -No CC246A



LEGEND

- WET AREAS
- SEWER LINE
- STORMWATER LINE

PLUMBING NOTES:
ALL DRAINAGE WORK SHOWN IS PROVISIONAL ONLY AND IS SUBJECT TO AMENDMENT TO COMPLY WITH THE REQUIREMENTS OF THE LOCAL AUTHORITIES.
ALL WORK IS TO COMPLY WITH THE REQUIREMENTS OF AS 3500.2021 & THE TASMANIAN PLUMBING CODE. AND MUST BE CARRIED OUT BY A LICENCED TRADESMAN ONLY.

READ IN CONJUNCTION WITH ON-SITE WASTEWATER REPORT PREPARED BY CKDESIGN JOB NO. CKD-HYD-303

SITE DRAINAGE PLAN

1 : 200



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61 ROWE STREET
BRIGHTON

Client name:
J.C. & N.T. HOWLETT

Drafted by:
S.P.

Approved by:
Approver



Drawing:
SITE DRAINAGE PLAN

Date:
08.09.2025

Scale:
As indicated

Project/Drawing no:
PDH25025 -03

Revision:
04

Accredited building practitioner: Frank Geskus -No CC246A

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS



LOCALITY PLAN

1 : 2000

THIS SITE IS ZONED RURAL LIVING AND REQUIRES A BUSHFIRE ASSESSMENT.
RESIDENCE IS NOT OVER 100m FROM UNMANAGED BUSH/GRASSLANDS GREATER THAN 1 HECTARE.

REFER TO BUSHFIRE ASSESSMENT REPORT FOR MANAGMENT PLAN

PROPOSED NEW RESIDENCE & SHED
61 ROWE STREET,
BRIGHTON

THIS PROJECT HAS BEEN DETERMINED TO HAVE A
BUSHFIRE ATTACK LEVEL (BAL) OF **BAL-19**
REFER TO ASSESSMENT FOR FURTHER DETAILS.
ALL CONSTRUCTION MUST COMPLY WITH AS3959.

REFER ASSESSMENT PREPARED BY DAVID LYNE
BFP-144 FOR BUSHFIRE HAZARD MANAGEMENT
AREA DETAILS
ALL CONSTRUCTION MUST COMPLY WITH AS3959



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Project:
PROPOSED NEW RESIDENCE &
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61 ROWE STREET
BRIGHTON
Client name:
J.C. & N.T. HOWLETT

Drawing:
LOCALITY PLAN

Drafted by: S.P. Approved by: A.J.C.

Date: 08.09.2025 Scale: 1 : 2000

Project/Drawing no: PDH25025 -04 Revision: 04

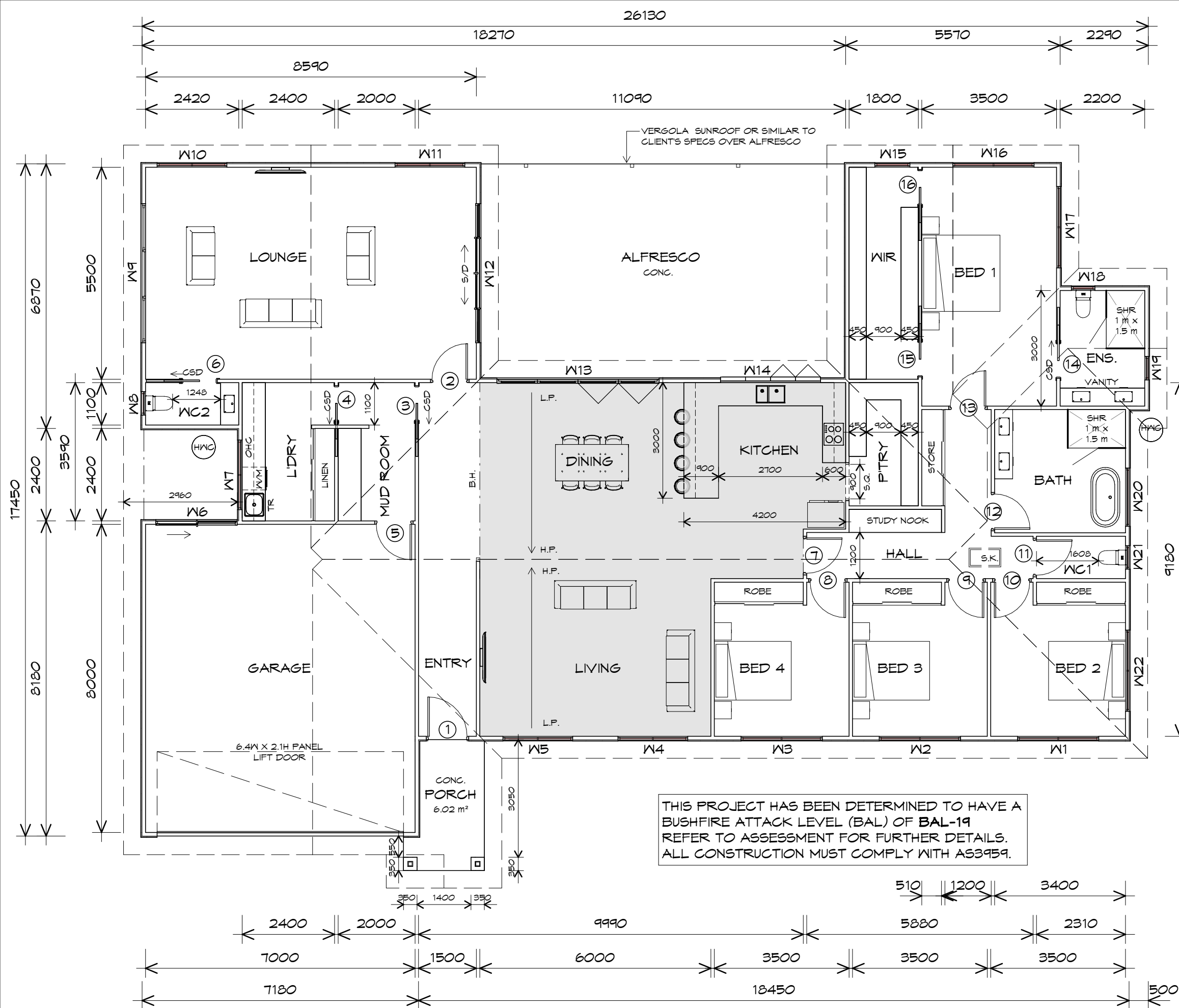
Accredited building practitioner: Frank Geskus -No CC246A



BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS



FLOOR PLAN

1 : 100

FLOOR AREA	280.37	m ²	(30.18	SQUARES)
ALFRESCO AREA	53.69	m ²	(5.78	SQUARES)
GARAGE AREA	58.72	m ²	(6.32	SQUARES)
TOTAL AREA	392.78		42.28	

NOTE:
FLOOR AREAS INCLUDE TO EXTERNAL FACE OF BUILDING AND GARAGE, UNLESS OTHERWISE STATED. DECKS AND OUTDOOR AREAS ARE CALCULATED SEPARATELY.

LEGEND

- CSD CAVITY SLIDING DOOR
- S/D SLIDING DOOR
- COL COLUMN
- G.S. GLASS SCREEN
- HWC HOT WATER CYLINDER
- S.Q. SQUARE STOP
- S.K. SKYLIGHT TO CLIENT'S SPECS.
- B.H. BULKHEAD
- EXTENT OF RAKED CEILING

PLANNING

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Project:
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61 ROWE STREET
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Client name:
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Drawing:
FLOOR PLAN

Drafted by: S.P. Approved by: A.J.C.
Date: 08.09.2025 Scale: 1 : 100

Project/Drawing no: PDH25025 -05 Revision: 04
Accredited building practitioner: Frank Geskus -No CC246A



DOOR SCHEDULE			
MARK	WIDTH	TYPE	REMARKS
1	1020	EXTERNAL SOLID DOOR	
2	920	INTERNAL TIMBER DOOR	
3	920	CAVITY SLIDING DOOR	
4	920	CAVITY SLIDING DOOR	
5	920	INTERNAL TIMBER DOOR	
6	920	CAVITY SLIDING DOOR	
7	920	INTERNAL TIMBER DOOR	
8	920	INTERNAL TIMBER DOOR	
9	920	INTERNAL TIMBER DOOR	
10	920	INTERNAL TIMBER DOOR	
11	920	INTERNAL TIMBER DOOR	
12	920	INTERNAL TIMBER DOOR	
13	920	INTERNAL TIMBER DOOR	
14	920	CAVITY SLIDING DOOR	
15	920	CAVITY SLIDING DOOR	
16	920	CAVITY SLIDING DOOR	

WINDOW SCHEDULE				
MARK	HEIGHT	WIDTH	TYPE	REMARKS
W1	1800	2110	AWNING WINDOW	
W2	1800	2110	AWNING WINDOW	
W3	1800	2110	AWNING WINDOW	
W4	1800	1810	AWNING WINDOW	
W5	1800	1810	AWNING WINDOW	
W6	2100	2110	SLIDING DOOR	
W7	900	1810	AWNING WINDOW	
W8	900	610	AWNING WINDOW	
W9	1800	3610	AWNING WINDOW	
W10	1800	1810	AWNING WINDOW	
W11	1800	1810	AWNING WINDOW	
W12	2100	3610	DOUBLE SLIDING DOOR	
W13	2100	4210	GLASS BI-FOLD DOOR	
W14	1200	2600	GLASS BI-FOLD DOOR	BI FOLD WINDOW
W15	1800	910	AWNING WINDOW	
W16	1800	2110	AWNING WINDOW	
W17	1800	2110	AWNING WINDOW	
W18	900	610	AWNING WINDOW	
W19	1800	610	AWNING WINDOW	OPAQUE
W20	1500	1510	AWNING WINDOW	OPAQUE
W21	900	610	AWNING WINDOW	OPAQUE
W22	600	2110	AWNING WINDOW	
W23	870	460	VELUX FCM FIXED SKYLIGHT	

ALUMINIUM WINDOWS **DOUBLE GLAZING** COMPLETE
WITH FLY SCREENS TO SUIT **BAL-19** RATING.
ALL WINDOW MEASUREMENTS TO BE VERIFIED ON SITE
PRIOR TO ORDERING



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Drafted by: S.P. Approved by: A.J.C.



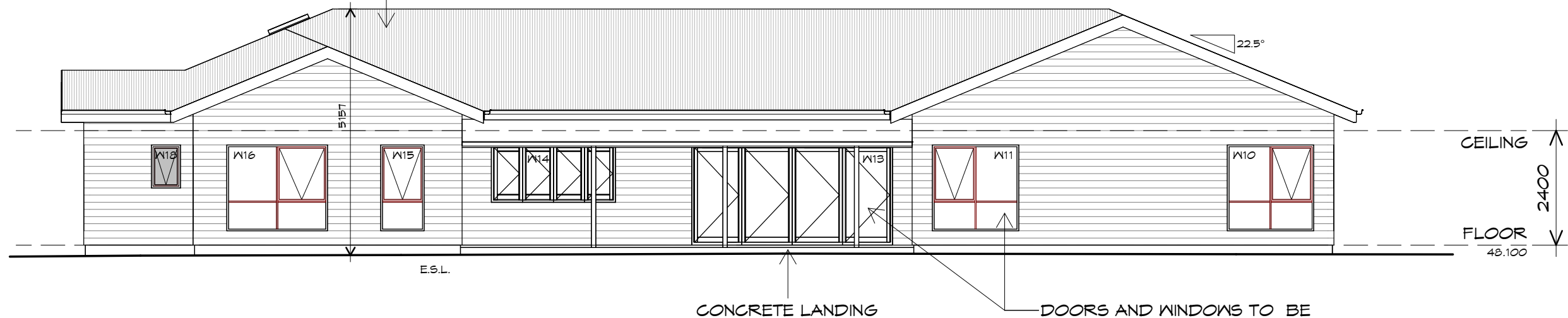
Drawing:
DOOR AND WINDOW
SCHEDULES

Date: Scale:
08.09.2025

Project/Drawing no: PDH25025 -06 Revision: 04

Accredited building practitioner: Frank Geskus -No CC246A

ROOF FRAMING
 PREFABRICATED ROOF TRUSSES
 @ 900 CRS MAX
 BRACING BY OTHERS

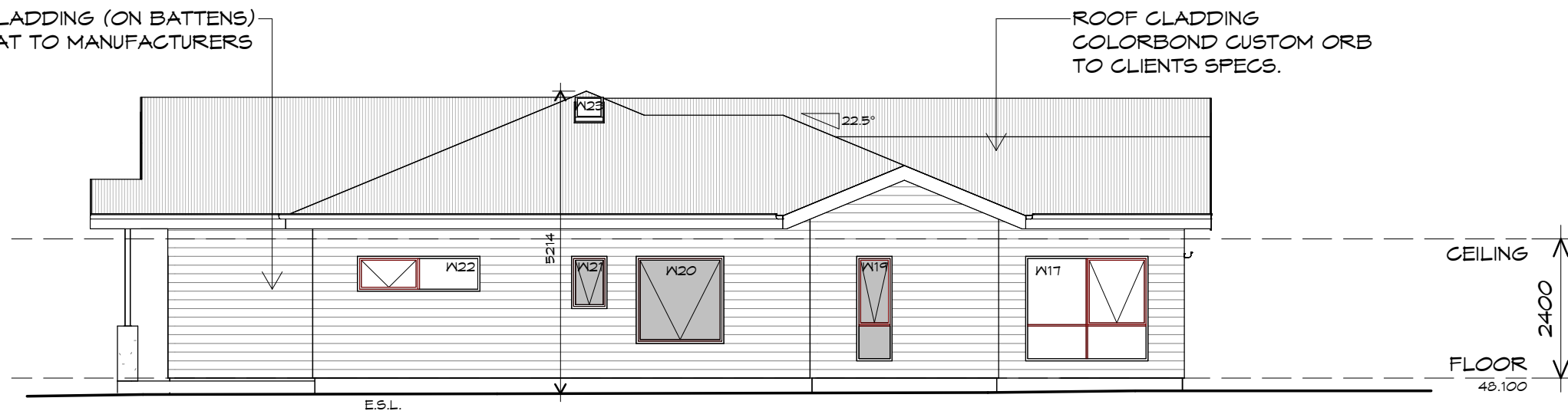


SOUTH WESTERN ELEVATION

1 : 100

DOORS AND WINDOWS TO BE
 SEALED IN ACCORDANCE WITH
 ABCB HOUSING PROVISIONS PART 13.4

CEMENT SHEET CLADDING (ON BATTENS)
 INSTALL AND COAT TO MANUFACTURERS
 SPECIFICATIONS.



NORTH WESTERN ELEVATION

1 : 100

THIS PROJECT HAS BEEN DETERMINED TO HAVE A
 BUSHFIRE ATTACK LEVEL (BAL) OF **BAL-19**
 REFER TO ASSESSMENT FOR FURTHER DETAILS.
 ALL CONSTRUCTION MUST COMPLY WITH AS3959.



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Approved by:
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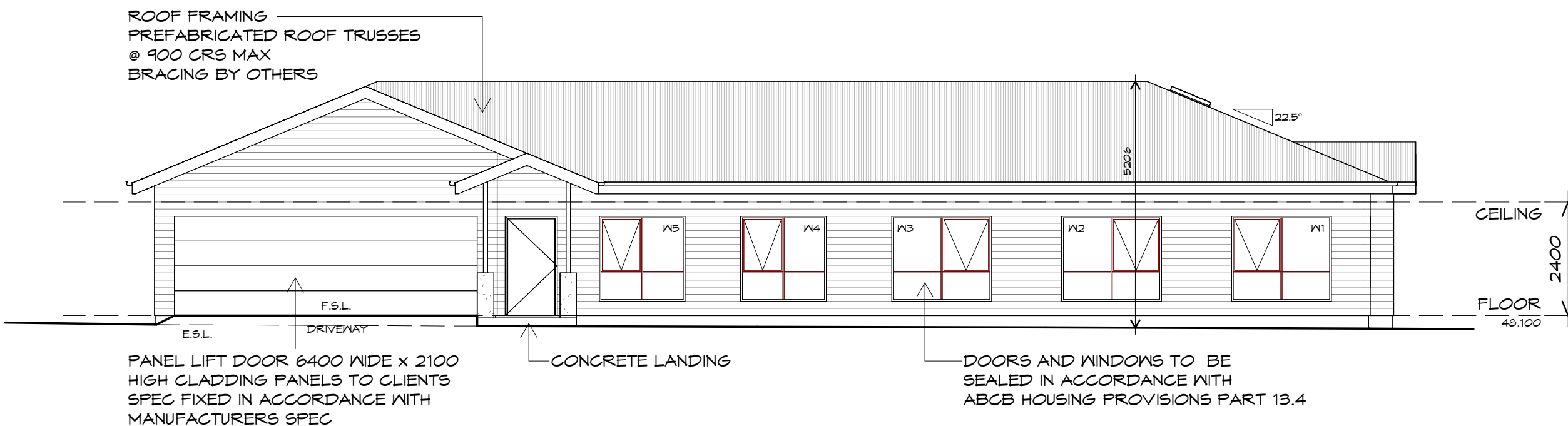


Drawing:
 ELEVATIONS

Date: 08.09.2025
 Scale: 1 : 100

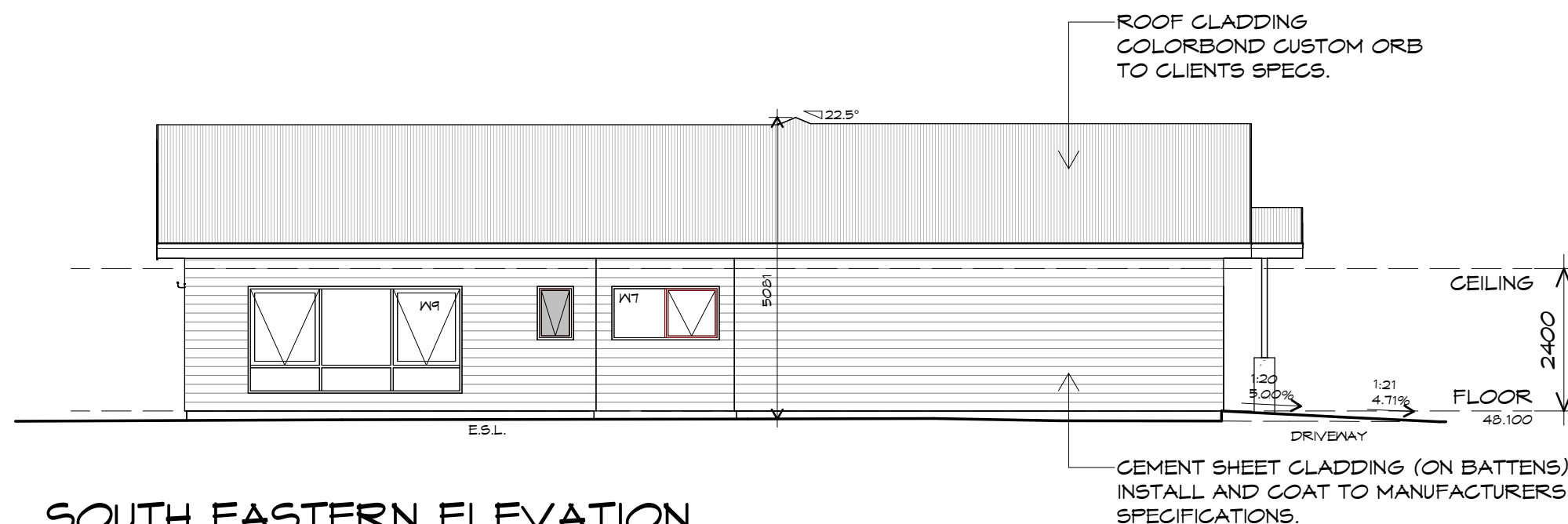
Project/Drawing no: PDH25025 -07
 Revision: 04

Accredited building practitioner: Frank Geskus -No CC246A



NORTH EASTERN ELEVATION

1 : 100



SOUTH EASTERN ELEVATION

1 : 100



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61 ROWE STREET
BRIGHTON

Client name:
J.C. & N.T. HOWLETT

Drafted by:
S.P.

Approved by:
A.J.C.



Drawing:
ELEVATIONS

Date:
08.09.2025

Scale:
1 : 100

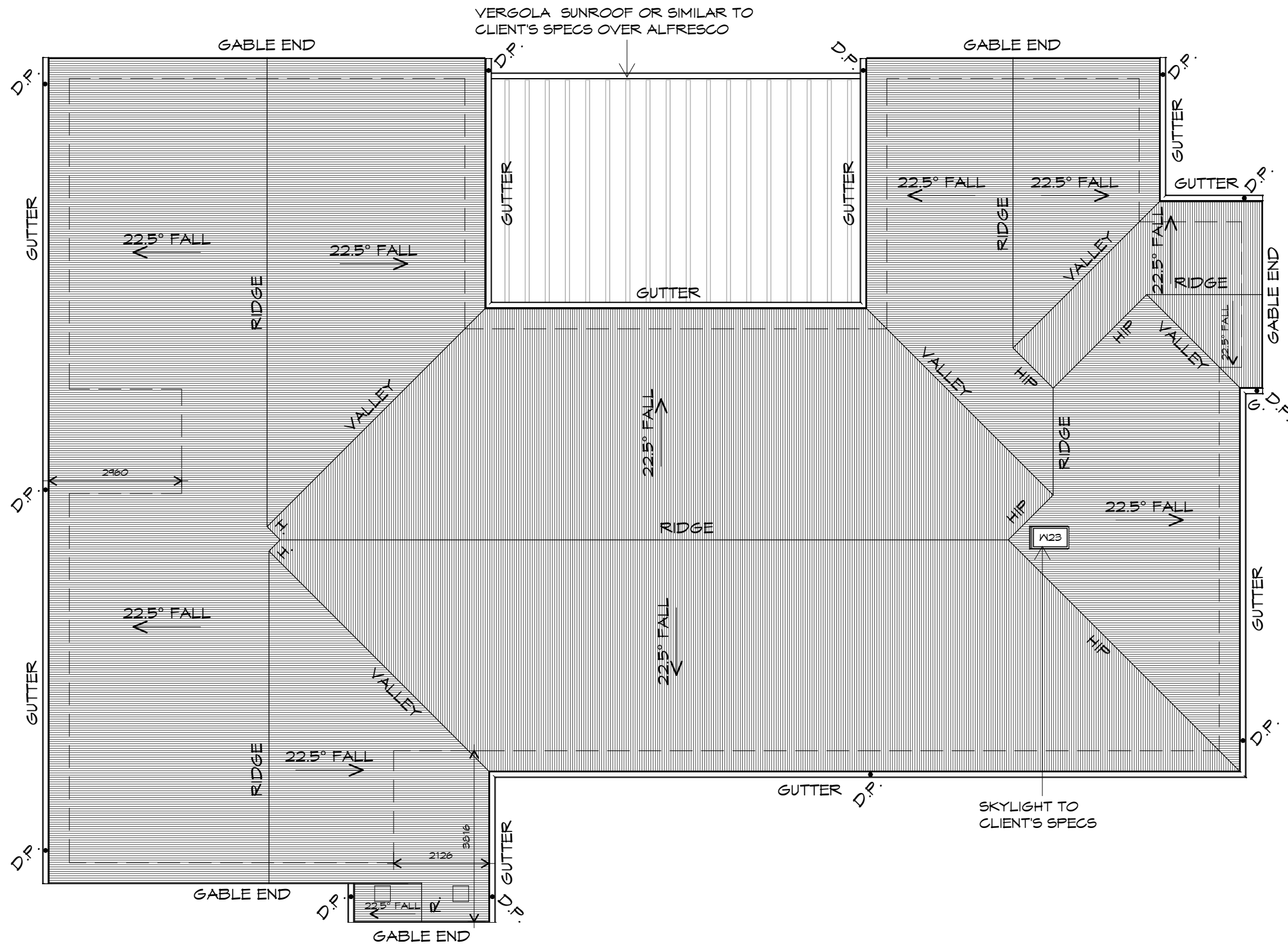
Project/Drawing no:
PDH25025 -08

Revision:
04

Accredited building practitioner: Frank Geskus -No CC246A

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS



ROOF PLUMBING NOTES:

GUTTER INSTALLATION
TO BE IN ACCORDANCE WITH
ABCB HOUSING PROVISIONS PART 7.4.4
WITH FALL NO LESS THAN
1:500 FOR EAVES GUTTER
BOX GUTTERS IN ACCORDANCE WITH AS33500.3:2021

UNLESS FIXED TO METAL FASCIA
EAVES GUTTER TO BE FIXED
@ 1200 CRS MAX.

VALLEY GUTTERS ON A ROOF WITH A PITCH:
A) MORE THAN 12.5° DEGREES - MUST
HAVE A WIDTH OF NOT LESS THAN
400mm AND ROOF OVERHANG OF NOT
LESS THAN 150mm EACH SIDE OF VALLEY
GUTTER.
B) LESS THAN 12.5° DEGREES, MUST BE
DESIGNED AS A BOX GUTTER.

LAP GUTTERS 75mm IN THE DIRECTION
OF FLOW, RIVET & SEAL WITH AN
APPROVED SILICONE SEALANT.

DOWNPIPE POSITIONS SHOWN ON THIS
PLAN ARE NOMINAL ONLY.
EXACT LOCATION & NUMBER OF D.P.'S
REQUIRED ARE TO BE IN ACCORDANCE
WITH ABCB HOUSING PROVISIONS PART 7.4.5
REQUIREMENTS.
SPACING BETWEEN DOWNPIPES MUST NOT
BE MORE THAN 12m & LOCATED AS CLOSE AS POSSIBLE
TO VALLEY GUTTERS

METAL ROOF
METAL SHEETING ROOF TO BE INSTALLED IN ACCORDANCE
WITH ABCB HOUSING PROVISIONS PART 7.2. REFER TO
TABLE 7.2.2a FOR ACCEPTABLE CORROSION PROTECTION
FOR SHEET ROOFING, REFER TO TABLE 7.2.2b-7.2.2e FOR
ACCEPTABILITY OF CONTACT BETWEEN DIFFERENT
ROOFING MATERIALS. FOR FIXING, SHEET LAYING
SEQUENCE, FASTENER FREQUENCY FOR TRANVERSE
FLASHINGS AND CAPPINGS, ANTI CAPILLARY BREAKS,
FLASHING DETAILS REFER TO ABCB HOUSING PROVISIONS
PART 7.2.5- 7.2.7. ROOF PENETRATION FLASHING DETAILS.
REFER TO TO ABCB HOUSING PROVISIONS PART 7.2.5- 7.2.7.
ROOF SHEETING MUST OVERHANG MIN 35mm AS PER ABCB
HOUSING PROVISIONS PART 7.2.8

ROOF PLAN

1 : 100

ADDITIONAL ROOF LOAD
NO SOLAR P.V. SYSTEM HAS BEEN ALLOWED FOR,
NO SOLAR HOT WATER HAS BEEN ALLOWED FOR.



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Drafted by:
S.P.

Approved by:
A.J.C.



Drawing:
ROOF PLAN

Date:
08.09.2025

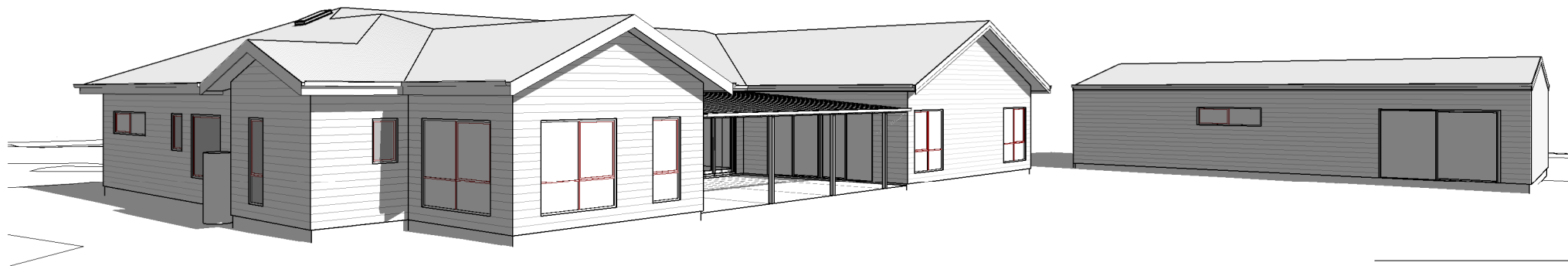
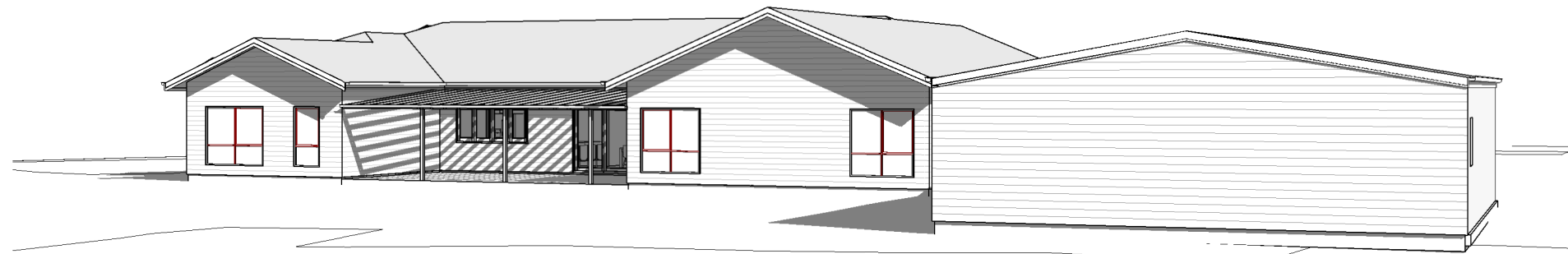
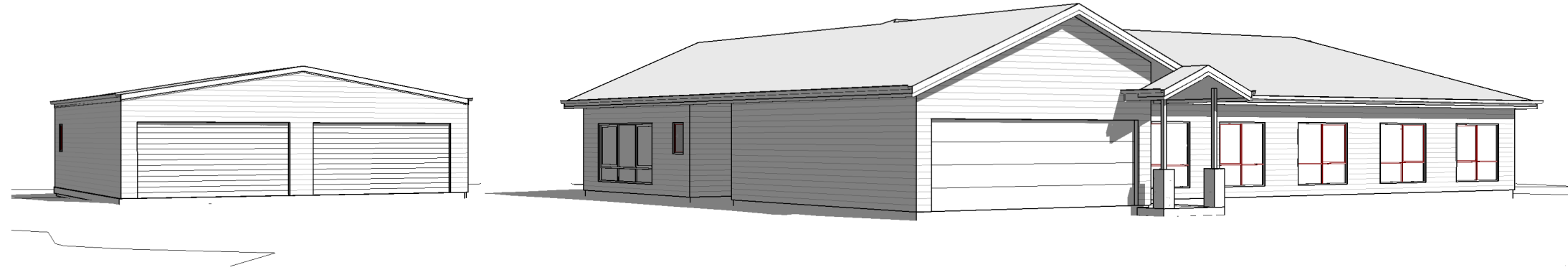
Project/Drawing no:
PDH25025 -09

Accredited building practitioner: Frank Geskus -No CC246A

Revision:
04

PLANNING

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Drawing:
PERSPECTIVES

Date: 08.09.2025 Scale:

Project/Drawing no: PDH25025 -10 Revision: 04

Accredited building practitioner: Frank Geskus -No CC246A

DOOR SCHEDULE			
MARK	WIDTH	TYPE	REMARKS
1	820	INTERNAL TIMBER DOOR	

WINDOW SCHEDULE				
MARK	HEIGHT	WIDTH	TYPE	REMARKS
W1	900	610	AWNING WINDOW	OPAQUE
W2	2100	2710	SLIDING DOOR	
W3	600	1810	AWNING WINDOW	

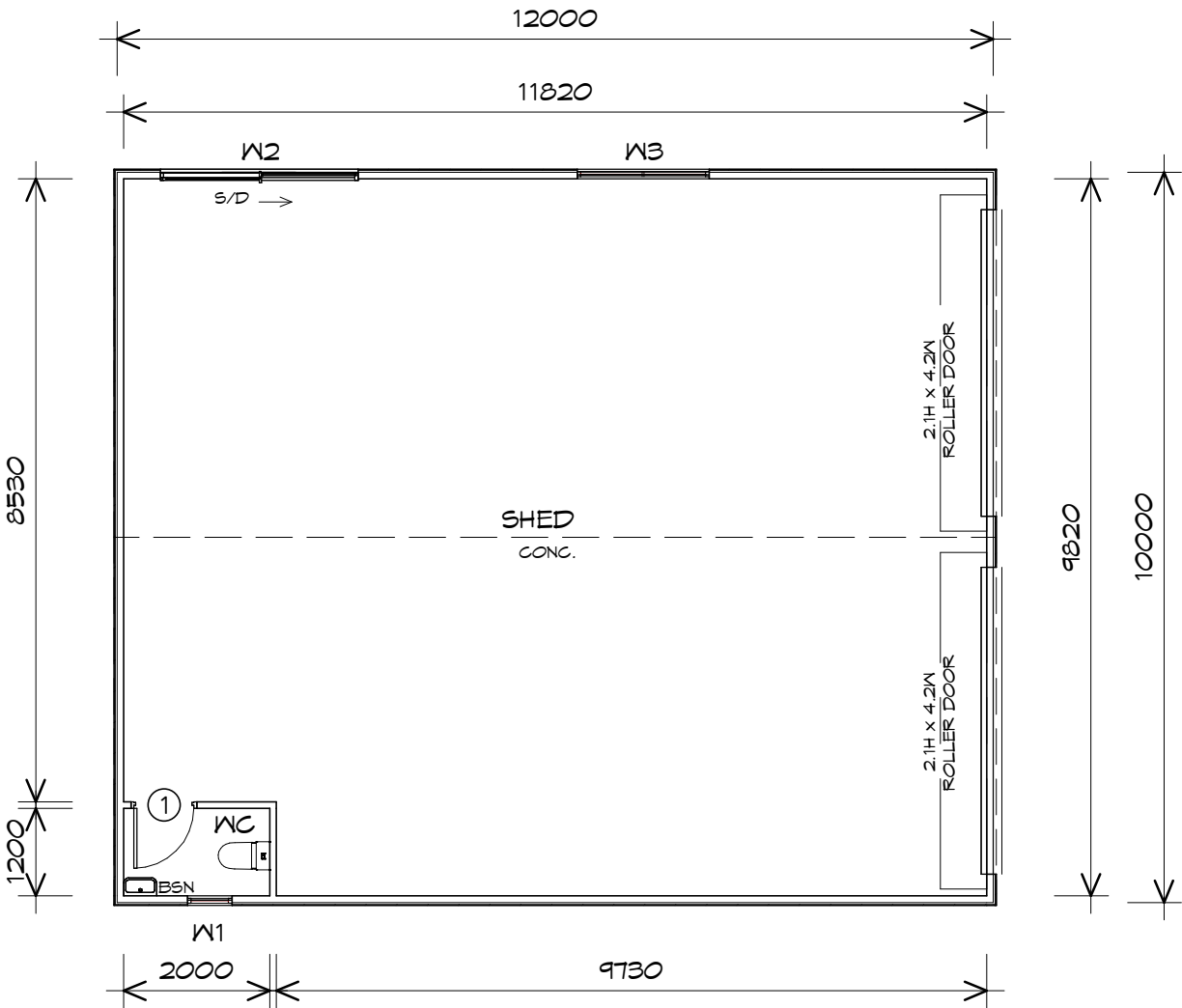
ALUMINIUM WINDOWS **DOUBLE GLAZING** COMPLETE
WITH FLY SCREENS TO SUIT **BAL-19** RATING.
ALL WINDOW MEASUREMENTS TO BE VERIFIED ON SITE
PRIOR TO ORDERING

SHED PLAN

1 : 100

SHED AREA	121.81	m2	13.11	SQUARES)
TOTAL AREA	121.81		13.11	

NOTE:
FLOOR AREAS INCLUDE TO EXTERNAL FACE OF
BUILDING AND GARAGE, UNLESS OTHERWISE STATED.
DECKS AND OUTDOOR AREAS ARE CALCULATED
SEPARATELY.



LEGEND

S/D SLIDING DOOR

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS



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S.P.

Approved by:
Approver



Drawing:
SHED PLAN

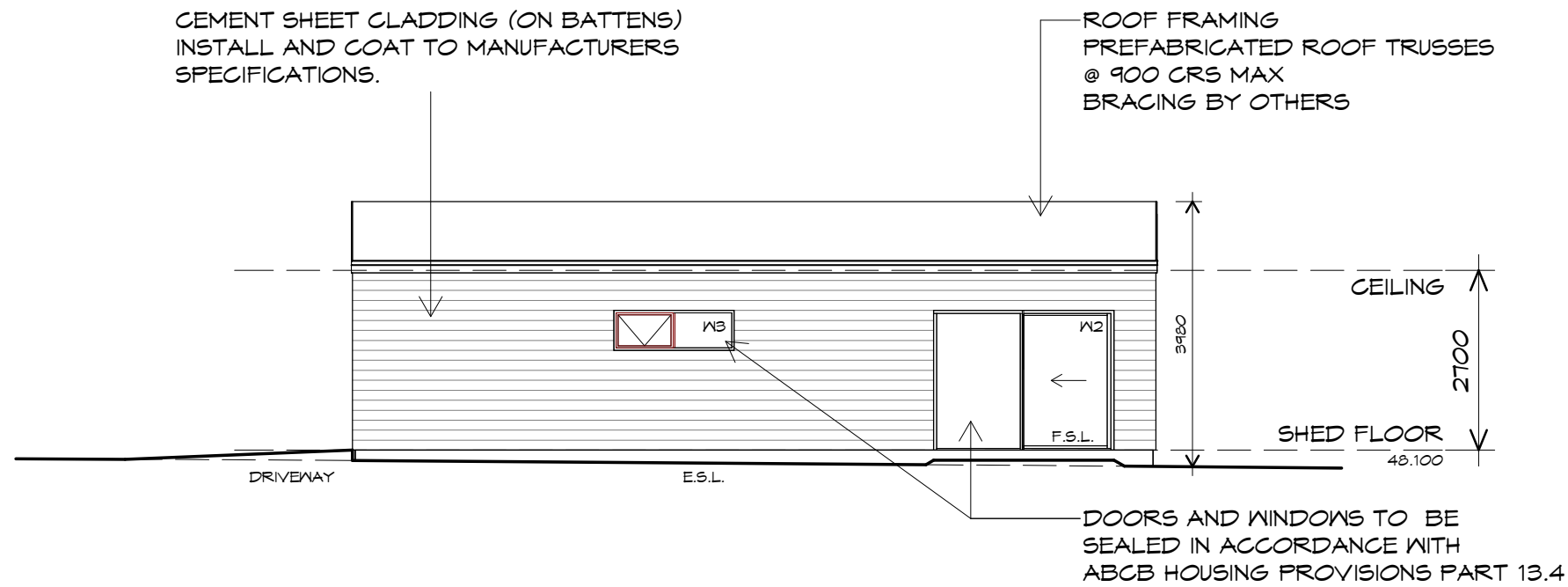
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08.09.2025

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Project/Drawing no:
PDH25025 -S01

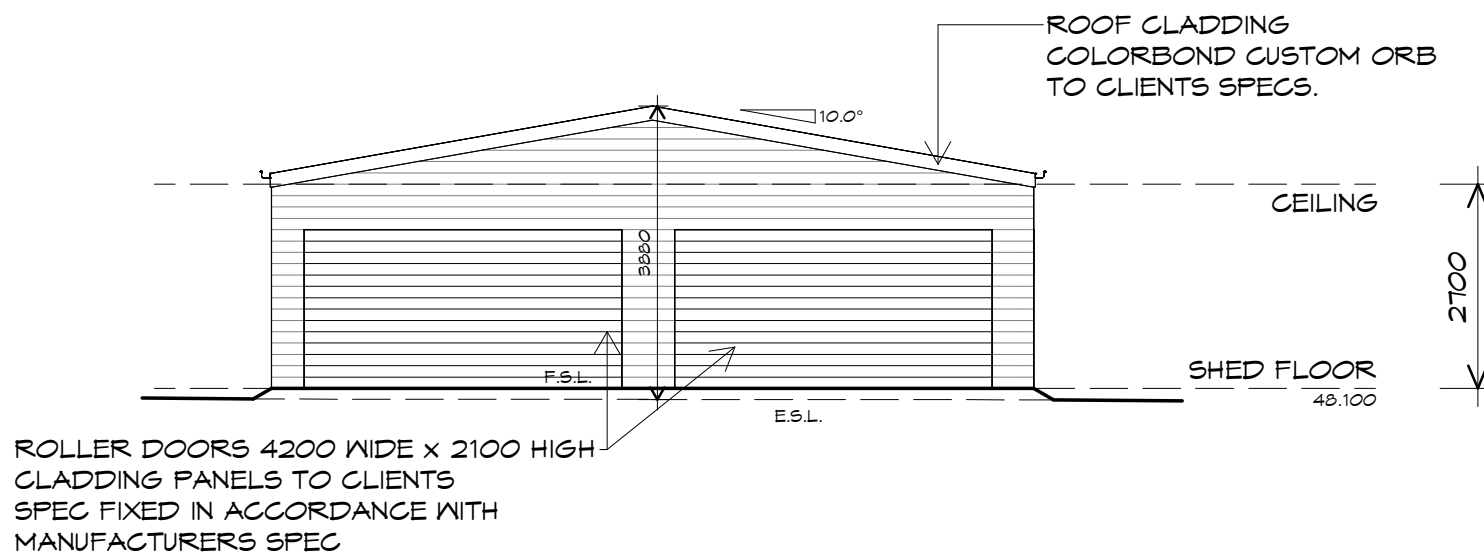
Revision:
04

Accredited building practitioner: Frank Geskus -No CC246A



NORTHERN ELEVATION

1 : 100



EASTERN ELEVATION

1 : 100

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS



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Project:
**PROPOSED NEW RESIDENCE
61 ROWE STREET,
BRIGHTON**

Client name:
J.C. & N.T. HOWLETT

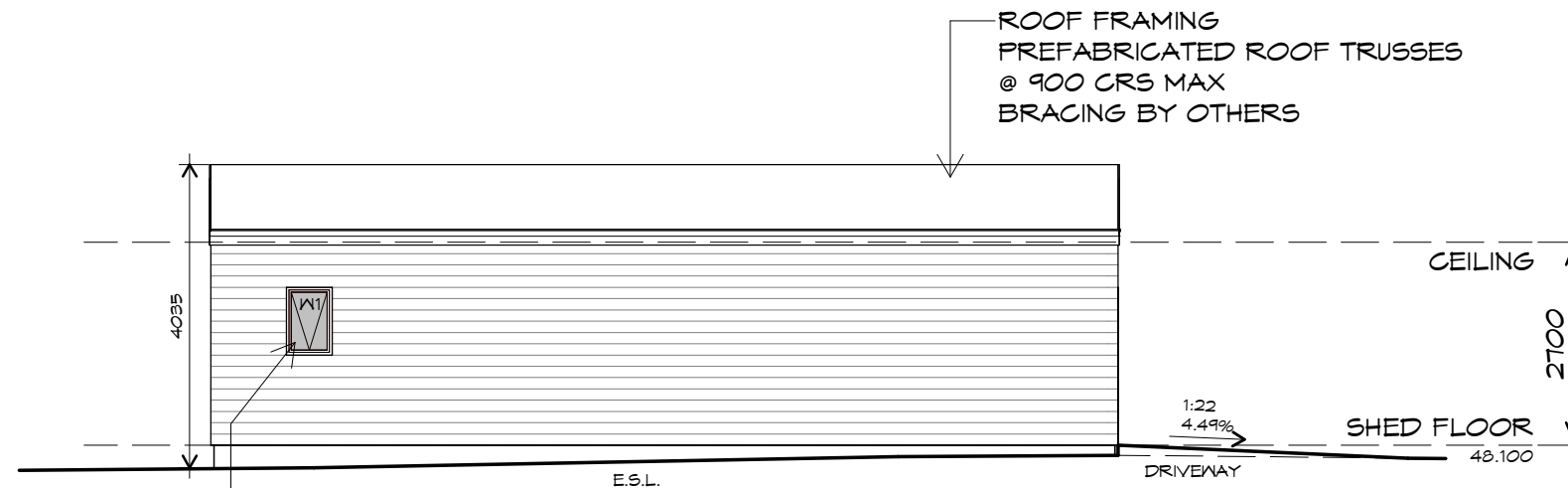
Drawing:
ELEVATIONS

Drafted by: S.P. Approved by: Approver

Date: 08.09.2025 Scale: 1 : 100

Project/Drawing no: PDH25025 -S02 Revision: 04

Accredited building practitioner: Frank Geskus -No CC246A

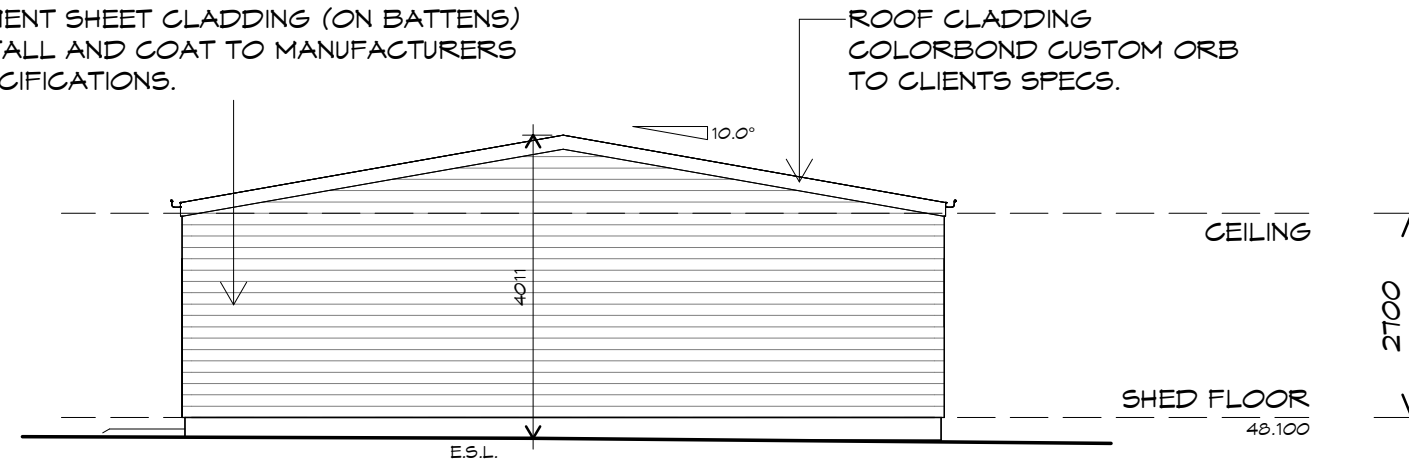


DOORS AND WINDOWS TO BE
 SEALED IN ACCORDANCE WITH
 ABCB HOUSING PROVISIONS PART 13.4

SOUTHERN ELEVATION

1 : 100

CEMENT SHEET CLADDING (ON BATTENS)
 INSTALL AND COAT TO MANUFACTURERS
 SPECIFICATIONS.



WESTERN ELEVATION

1 : 100

PLANNING

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Project:
 PROPOSED NEW RESIDENCE
 61 ROWE STREET,
 BRIGHTON

Client name:
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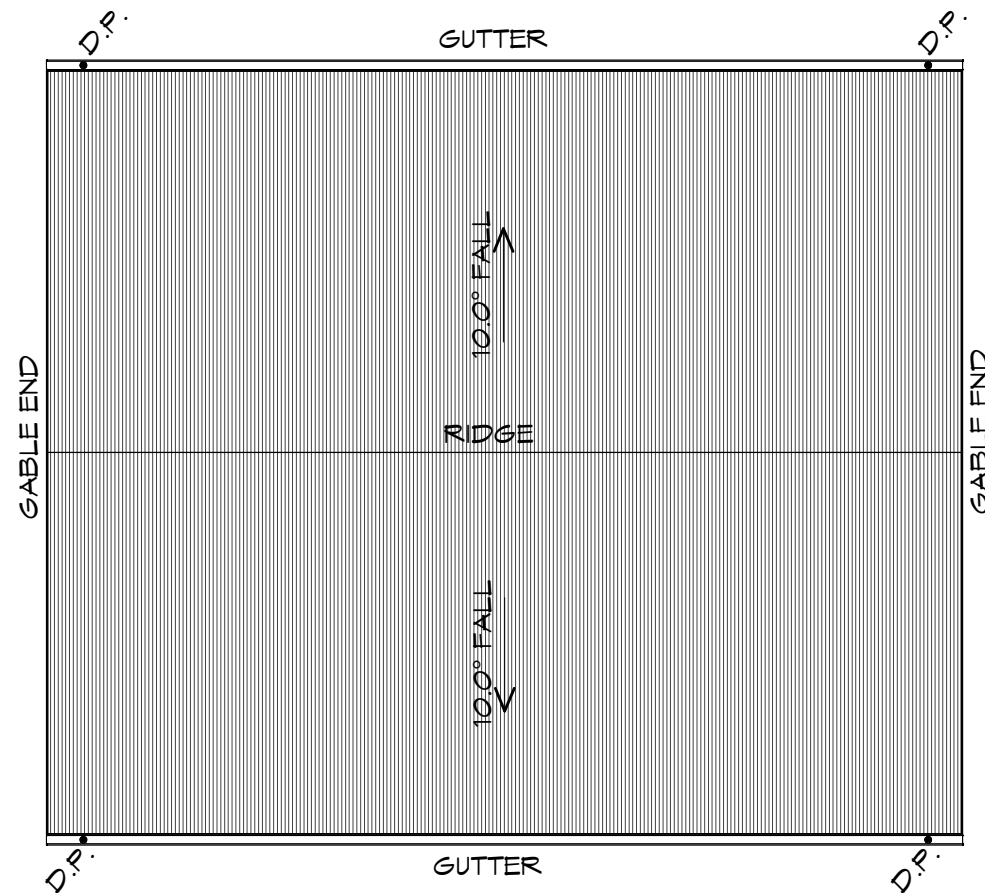
Drawing:
 ELEVATIONS

Drafted by: S.P. Approved by: Approver

Date: 08.09.2025 Scale: 1 : 100

Project/Drawing no: PDH25025 -S03 Revision: 04

Accredited building practitioner: Frank Geskus -No CC246A



ROOF PLAN

1 : 100

ADDITIONAL ROOF LOAD
NO SOLAR P.V. SYSTEM HAS BEEN ALLOWED FOR,
NO SOLAR HOT WATER HAS BEEN ALLOWED FOR.

ROOF PLUMBING NOTES:

GUTTER INSTALLATION
TO BE IN ACCORDANCE WITH
ABCB HOUSING PROVISIONS PART 7.4.4
WITH FALL NO LESS THAN
1:500 FOR EAVES GUTTER
BOX GUTTERS IN ACCORDANCE WITH
AS33500.3:2021

UNLESS FIXED TO METAL FASCIA
EAVES GUTTER TO BE FIXED
@ 1200 CRS MAX.

VALLEY GUTTERS ON A ROOF WITH A PITCH:
A) MORE THAN 12.5° DEGREES - MUST
HAVE A WIDTH OF NOT LESS THAN
400mm AND ROOF OVERHANG OF NOT
LESS THAN 150mm EACH SIDE OF VALLEY
GUTTER.
B) LESS THAN 12.5° DEGREES, MUST BE
DESIGNED AS A BOX GUTTER.

LAP GUTTERS 75mm IN THE DIRECTION
OF FLOW, RIVET & SEAL WITH AN
APPROVED SILICONE SEALANT.

DOWNPIPE POSITIONS SHOWN ON THIS
PLAN ARE NOMINAL ONLY.
EXACT LOCATION & NUMBER OF D.P.'S
REQUIRED ARE TO BE IN ACCORDANCE
WITH ABCB HOUSING PROVISIONS PART 7.4.5
REQUIREMENTS.
SPACING BETWEEN DOWNPIPES MUST NOT
BE MORE THAN 12m & LOCATED AS CLOSE AS
POSSIBLE TO VALLEY GUTTERS

METAL ROOF
METAL SHEETING ROOF TO BE INSTALLED IN
ACCORDANCE WITH ABCB HOUSING PROVISIONS PART
7.2. REFER TO TABLE 7.2.2a FOR ACCEPTABLE
CORROSION PROTECTION FOR SHEET ROOFING,
REFER TO TABLE 7.2.2b-7.2.2e FOR ACCEPTABILITY
OF CONTACT BETWEEN DIFFERENT ROOFING
MATERIALS. FOR FIXING, SHEET LAYING SEQUENCE,
FASTENER FREQUENCY FOR TRANVERSE FLASHINGS
AND CAPPINGS, ANTI CAPILLARY BREAKS, FLASHING
DETAILS REFER TO ABCB HOUSING PROVISIONS PART
7.2.5- 7.2.7. ROOF PENETRATION FLASHING DETAILS.
REFER TO TO ABCB HOUSING PROVISIONS PART
7.2.5- 7.2.7. ROOF SHEETING MUST OVERHANG MIN
35mm AS PER ABCB HOUSING PROVISIONS PART 7.2.8



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Project:
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Client name:
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Drafted by:
S.P.

Approved by:
Approver



Drawing:
ROOF PLAN

Date:
08.09.2025

Scale:
1 : 100

Project/Drawing no:
PDH25025 -S04

Revision:
04

Accredited building practitioner: Frank Geskus -No CC246A

PLANNING

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8 September 2025

Brighton Council
1 Tivoli Road,
Old Beach TAS 7017

Dear Planner,

Proposed New Residence 61 Rowe Street, Brighton

Please see a proposal for a proposed new residence with 4 bedrooms, 2.5 bath, open living/ kitchen/ dining, walk-in pantry, laundry, Double car garage, lounge room and alfresco & New Shed with 1 Powder room and storage space. The proposal falls in the Rural Living zone in the Tasmanian Planning Scheme.

I will be looking to address the codes where possible. Please do not hesitate to get in touch if you require further information for us to complete this application.

Development Standards – Rural Living Zone

11.4.1 Site Coverage

- A1** Does not comply – site coverage over 400m²
- P1** Site coverage is compatible with the character of the existing development in the area covering approximately 2.6% of the total site area. Moreover, the development assists with the management of stormwater runoff.
- a) Proposed dwelling and shed are sited to best match the topography of site
 - b) Proposal only covers 2.6% of the total site area providing enough space to absorb runoff
 - c) The Size and shape of the site is consistent with that on established properties in the area
 - d) The proposed dwelling and shed are within the allocated setback requirements of the planning scheme and does not impose any constraints to the neighbouring sites.
 - e) Only some vegetation is to be removed for the proposal. Plantation of vegetation to be carried out around the proposal maintaining the character of the surrounding. Moreover, the property is currently grassland with managed gardens in the form of planted native and non-native trees. Please refer Bushfire Assessment Report for details and photos of site.
 - f) Character of proposal is coherent to existing established properties in the area.

11.4.2 Building Height, Setback & Siting

- A4** Buildings for a sensitive use must be separated from an Agriculture Zone or Rural Zone a distance of:
- g) not less than 200m; does not comply as the proposed dwelling is within 200m of agricultural & rural zones to the adjoining property.

P4



Buildings for a sensitive use must be sited as to not conflict or interfere with uses in the Agriculture Zone or Rural Zone.

- a) The site works required for the proposed dwelling are not disruptive to the topography of the neighbouring zones. The significant area of the lot allows any retaining or battering to be well within a respectable area, more than 100m away from the adjoining rural zoned land.
- b) The 100m separation of the proposed residence to the existing buildings on the rural zoned site ensures there is no conflict or interference.
- c) The proposed dwelling does not have any impact on the existing use, nor will it have an impact on any potential/ future use of the neighbouring rural site.
- d) Not applicable to the application. There are no attenuation measures to conflict with the proposed development of a sensitive use.
- e) The proposed dwelling does not conflict with any buffers created by natural or other features.

C2.6. Development Standards for Buildings & Works

C2.6.1 Construction of Parking Areas

A1 All parking, access ways, manoeuvring and circulation spaces must:

- a) be constructed with a durable all-weather pavement. Does not comply as driveway is proposed with a part gravel finish. From proposed residence to shed only. The rest of the driveway to be concrete.

P1 All parking, access ways, manoeuvring and circulation spaces must be readily identifiable and constructed so that they are useable in all weather conditions, having regard to:

- a) The nature of the use as a gravel driveway will remain useable in all weather conditions.
- b) The proposed gravel driveway is modelled to best work with the topography of the land
- c) All stormwater runoffs will be managed on site
- d) The nature of the gravel driveway ensures vehicles using the driveway will not transport sediment or debris from the site onto a road.
- e) The gravel is not likely to generate any unreasonable amount of dust as vehicles move between the property & Fallow Drive.
- f) It is not unreasonable to propose gravel as a driveway material as the majority of existing driveways in the area are gravel.

Thank you for your consideration of our application and we look forward to your response.

Kind regards,

Sadixya Pant