



Application for Planning Approval

Land Use Planning and Approvals Act 1993

APPLICATION NO.

DA2025/135

LOCATION OF AFFECTED AREA

2 STRONG STREET, BRIDGEWATER

DESCRIPTION OF DEVELOPMENT PROPOSAL

**ESTABLISHMENT OF A FOOD SERVICE USE (MOBILE FOOD VENDOR)
AND CONSTRUCTION OF CAR PARKING**

A COPY OF THE DEVELOPMENT APPLICATION MAY BE VIEWED AT www.brighton.tas.gov.au AND AT THE COUNCIL OFFICES, 1 TIVOLI ROAD, OLD BEACH, BETWEEN 8:15 A.M. AND 4:45 P.M, MONDAY TO FRIDAY OR VIA THE QR CODE BELOW. ANY PERSON MAY MAKE WRITTEN REPRESENTATIONS IN ACCORDANCE WITH S.57(5) OF THE LAND USE PLANNING AND APPROVALS ACT 1993 CONCERNING THIS APPLICATION UNTIL 4:45 P.M. ON **15/10/2025**. ADDRESSED TO THE CHIEF EXECUTIVE OFFICER AT 1 TIVOLI ROAD, OLD BEACH, 7017 OR BY EMAIL AT development@brighton.tas.gov.au. REPRESENTATIONS SHOULD INCLUDE A DAYTIME TELEPHONE NUMBER TO ALLOW COUNCIL OFFICERS TO DISCUSS, IF NECESSARY, ANY MATTERS RAISED.

JANINE BANKS
Acting Chief Executive Officer



Brighton
going places

Design Intent & Precedent Images

1. Colourful & playful design elements to form site identity, to include shelter from prevailing winds.
2. Utilise ground & vertical surfaces for art
3. Feature signage throughout, including key entry sign



Planting Strategy & Indicative Images

1. Native planting to enhance site character
2. Use mounding/landforming to create sheltered environment to protect against prevailing westerly winds
3. Under prune trees to maintain site lines



Legend

- Existing:
- Overhead Power Lines
 - Sewer Main
 - Gas Main
 - Post & Lock Box - Gas (To be relocated)
- Underground Power Lines
- Underground Power Lines
 - Water Main
 - Underground TasNetworks Fibre Optics
 - *I/O Gas (To be relocated)
- Proposed:
- 1 Heavy vehicle parking
 - 2 Light vehicle parking
 - 3 Food truck parking
 - 4 Concrete footpath, 1.2m wide
 - 5 Large Lawn
 - 6 Platform seating node With wind rated umbrellas
 - 7 Toilet block 2 x DDA toilets M | F
 - 8 Shelter with seating & bins Designed to provide shelter from westerly winds while framing views to Mt Dromedary
 - 9 Art 01- Ground surface mural
 - 10 Art 02- Wall mural
 - 11 Buffer planting Native planting to boundary to enhance character & create sheltered environment. CPTED principles applied to maintain view lines
 - 12 Entry Sign
- NOTE: Construction methodology/ details for any structures or vegetation located within an easement to be coordinated with relevant authority

Brighton Truck Stop Landscape Works, Brighton

Landscape Design Development

- PRELIMINARY SERIES
L000 Cover Sheet & Schedule
- SURFACES SERIES
L100 Surfaces and Finishes - Plan 1 of 1
L101 Services, Easement and Coordination - Plan 1 of 1
- LEVELS SERIES
L200 Levels and Drainage - Plan 1 of 1
- SECTIONS
L500 Landscape Sections - Plan 1 of 1



01 Location Plan

Scale 1:2000@A1

MATERIALS SCHEDULE

CODE	NAME	COMPOSITION / FINISH - DD	CONSTRUCTION DETAIL / REFERENCE	KNOWN SUPPLIER	REQUIRED DIMENSIONS	SAMPLE AND INSPECTION HOLD POINTS	QUANTITY
SURFACES							
HS01	Pavement - type 01	Vehicular grade.Insitu general purpose concrete, plate finish (swirly). Finish to visually remove picture frames. Curing by an approved method. Saw cut joints and other joints to LGAT standards. Isolation joints to objects, walls and pits. Ensure all corners and edges are rounded to a minimum radius of 3mm.	Refer Engineer	Boral Concrete (ph: 03 6274 1628)	150mm	2m2	148M2
HS02	Pavement - type 02	Coloured concrete vehicular grade.Insitu general purpose concrete, plate finish (swirly). Finish to visually remove picture frames. Curing by an approved method. Saw cut joints and other joints to LGAT standards. Isolation joints to objects, walls and pits. Ensure all corners and edges are rounded to a minimum radius of 3mm.	Refer Engineer	Boral Concrete (ph: 03 6274 1628)	150mm	2m2	84M2
HS03	Pavement - type 03	Pedestrian grade.Insitu general purpose concrete slab to shelter and toilet. Integrated footings/edge thickening as required to manufacturers specification. Plate finish (swirly). Finish to visually remove picture frames. Curing by an approved method. Saw cut joints and other joints to LGAT standards. Isolation joints to objects, walls and pits. Ensure all corners and edges are rounded to a minimum radius of 3mm.	Refer Engineer	Boral Concrete (ph: 03 6274 1628)	150mm	2m2	44M2
HS04	Asphalt	Bitumen hotmix.	Refer Engineer	Contractor to source	Subject to Engineer	2m2	448M2
HS05	Crossover to road	To LGAT standards	-	-	-	-	6.4Lm
HS06	Compacted gravel - type 01	'Tasman Gold' gravel 4mm screen with fines. Install topping over 100mm compacted FCR base over compacted subgrade. Compacted topping with moisture to create solid surface. Ensure final surface is smooth and even surface with a consistent gradient between spot heights. No loose gravel should be on the surface. Loose screenings should be removed.	-	The Pines Landscaping Supplies (ph: 6248 4994)	-	-	50M2
SS01	Grass hydromulch	Hydromulch 2000, 2400kg/Ha. Inbuilt tackifier. Seedmix - 50% Droughtsmaster (ryegrass), 50% Estate (fescue mix). Integrated fertiliser.	-	-	-	-	654M2
GB01	Garden bed	100mm pine post peelings. No topsoil to swale. Site top soil as required to form mounds.	-	Padgett's Pinebark (ph: 03 6352 2030)	-	-	292M2
EDGING, WALLS AND BUILT ELEMENTS							
ED01	Edging - type 1	Define edge with spade, remove any turf and clods of soil inside edge.	-	-	150mm depth	2Lm	60LM
ED02	Edging - type 2	General purpose flush concrete kerb to LGAT standards.	-	-	150x200mm	2Lm	87LM
ED03	Edging - type 2	Treated pine edging, fix with galvanised fixings. Ensure adjacent materials meet flush with edging. Timber stakes at 1.5m centres.	-	-	100x22mm	2Lm	60LM
SR01	Structure - type 01	4269mm x 6015mm ammenities block by HGA Speciality Products, to include internal lighting. Slab and services connection (at slab) by installer.	Installation, footings,slab, certification & fixings to manufacturer's specification.	Dylan Builders https://www.dillonbuilders.com.au/ (suppliers builder)	-	-	1 No.
SR02	Structure - type 02	8000m x 6000m Capricorn shelter by HGA Speciality Products.	Installation, footings, certification & fixings to manufacturer's specification.	Dylan Builders https://www.dillonbuilders.com.au/ (suppliers builder)	-	-	1 No
FURNITURE & FIXTURES							
FN01	Furniture - type 01	DDA bollard	-	-	-	-	1 No
FN02	Furniture - type 02	Fold down bollard	-	-	-	-	2 No
FN03	Furniture - type 03	Dual rubbish/recycling bins	-	-	-	-	1 each
FN04	Furniture type 04	Standard picnic setting	-	-	-	-	2 No
FN05	Furniture type 05	DDA picnic setting	-	-	-	-	1 No
TREES							
TRO1	Advanced tree - type 01	Advanced tree in garden bed. HDPE root barrier must be installed to 600 depth where tree is within 1.5m of underground services. Typhoon slow release fertiliser tablet(s) suitable to species to planting hole. Each tree to have 2x45x45 x2400 hardwood stake and 45mm wide hessian tie. Hardwood stakes to be painted black prior to installation 2 coats external weathershield.	-	-	-	• 1m ²	12 no.
MISCELLANEOUS							
JP01	Junction pit	Junction pit to engineers detail	Refer Engineer	-	-	-	1 No.
GP01	External GPO	External GPO's to engineers detail	Refer Engineer	-	-	-	3 No.
PL01	Pole lighting	Pole lighting to engineers detail	Refer Engineer	-	-	-	2 No.
MS01	Relocated I/O & lock box	To be coordinated with relevant authority	-	-	-	-	-
SB01	Switchboard & meter	Electrical switchboard and meter to engineers detail	Refer Engineer	-	-	-	1 No
SN01	Custom neon entry sign	To be designed	-	-	-	• 1m ²	1 No.
TG01	Trench grate	150mm wide heel guard lock down galvanised steel trench grate.	Refer Engineer	-	-	-	7.8Lm
TP01	Tapping point	Tapping point to engineers detail	Refer Engineer	-	-	-	1 No.
WC01	Water connection	Water connection to engineers detail	Refer Engineer	-	-	-	1 No.
WS01	Wheel stops	Concrete wheel stops.	Refer Engineer	-	-	-	8 No.

ISSUE	STATUS	DATE	REVIEWED
-	Design Development	12-08-2024	PST

L000

SHEET TITLE
COVERSHEET



PROJECT NAME
BTH - TRUCK STOP UPGRADES

SITE ADDRESS
Lot 1 Strong St
BRIGHTON 7030

PROJECT NO.
24-023

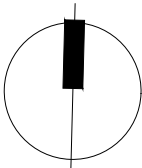
STAGE
Design Development

DESIGNED
ALA

DRAWN
ALA

SCALE
N/A

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DRAWINGS.



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ARCHITECTURE
92 ARGYLE STREET, NIPALUNA HOBBART 7000
OFFICE: 0450 022 266
WWW.PLAYSTREET.COM.AU



MATERIALS KEY
REFER MATERIALS SCHEDULE (L001)

- XX00 Surfaces tag
XX00 Element / item tag

SURFACES

- HS01 Concrete Pavement - Type 01
HS02 Concrete Pavement - Type 02
HS03 Concrete Pavement - Type 03
HS04 Asphalt
HS05 Crossover to road
SS01 Grass hydromulch
GB01 Garden bed

EDGING, WALLS & BUILT ELEMENTS

- ED01 Spade edge
ED02 Flush concrete kerb
ED02 Timber edge
SR01 Structure - Toilet
SR02 Structure - Shelter

FURNITURE & FIXTURES

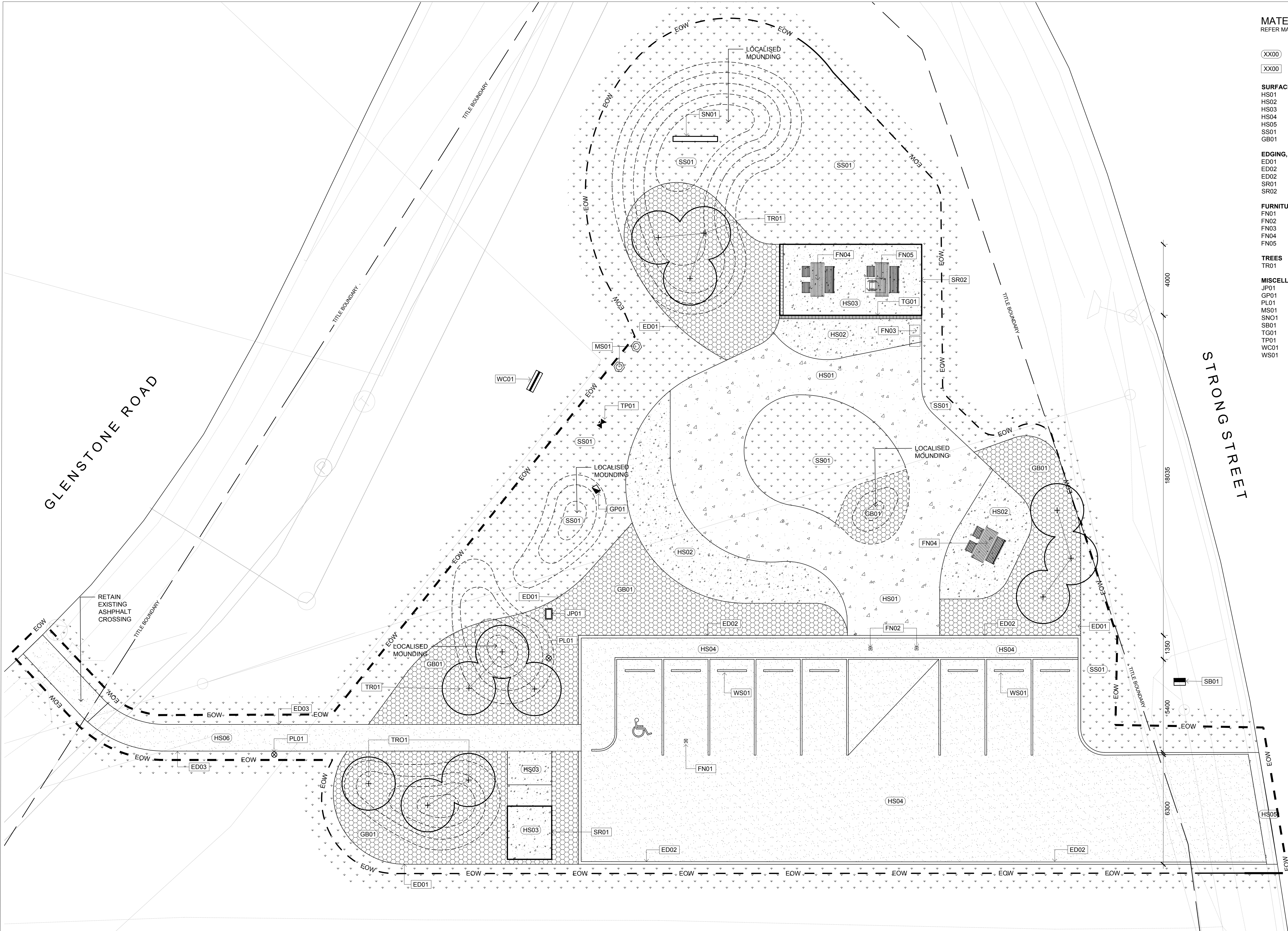
- FN01 Furniture - Type 1
FN02 Furniture - Type 2
FN03 Furniture - Type 3
FN04 Furniture - Type 4
FN05 Furniture - Type 5

TREES

- TR01 Advanced tree in garden bed

MISCELLANEOUS

- JP01 Junction pit (to engineers specification)
GP01 External GPO (to engineer specification)
PL01 Pole light (to engineers specification)
MS01 Relocated Gas I/O and lock box
SNO1 Custom neon entry sign
SB01 Switchboard/meter (to engineers specification)
TG01 Trench grate (to engineers specification)
TP01 Tapping point (to engineers specification)
WC01 Water Connection (to engineers specification)
WS01 Wheel stops (to engineers specification)



ISSUE	STATUS	DATE	REVIEWED
	Design Development	12-08-2024	PST

L100

SHEET TITLE
SURFACES &
FINISHES PLAN

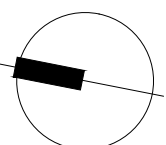


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SITE ADDRESS
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BRIGHTON 7030

PROJECT NO.
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STAGE
Design Development

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DRAWN
ALA

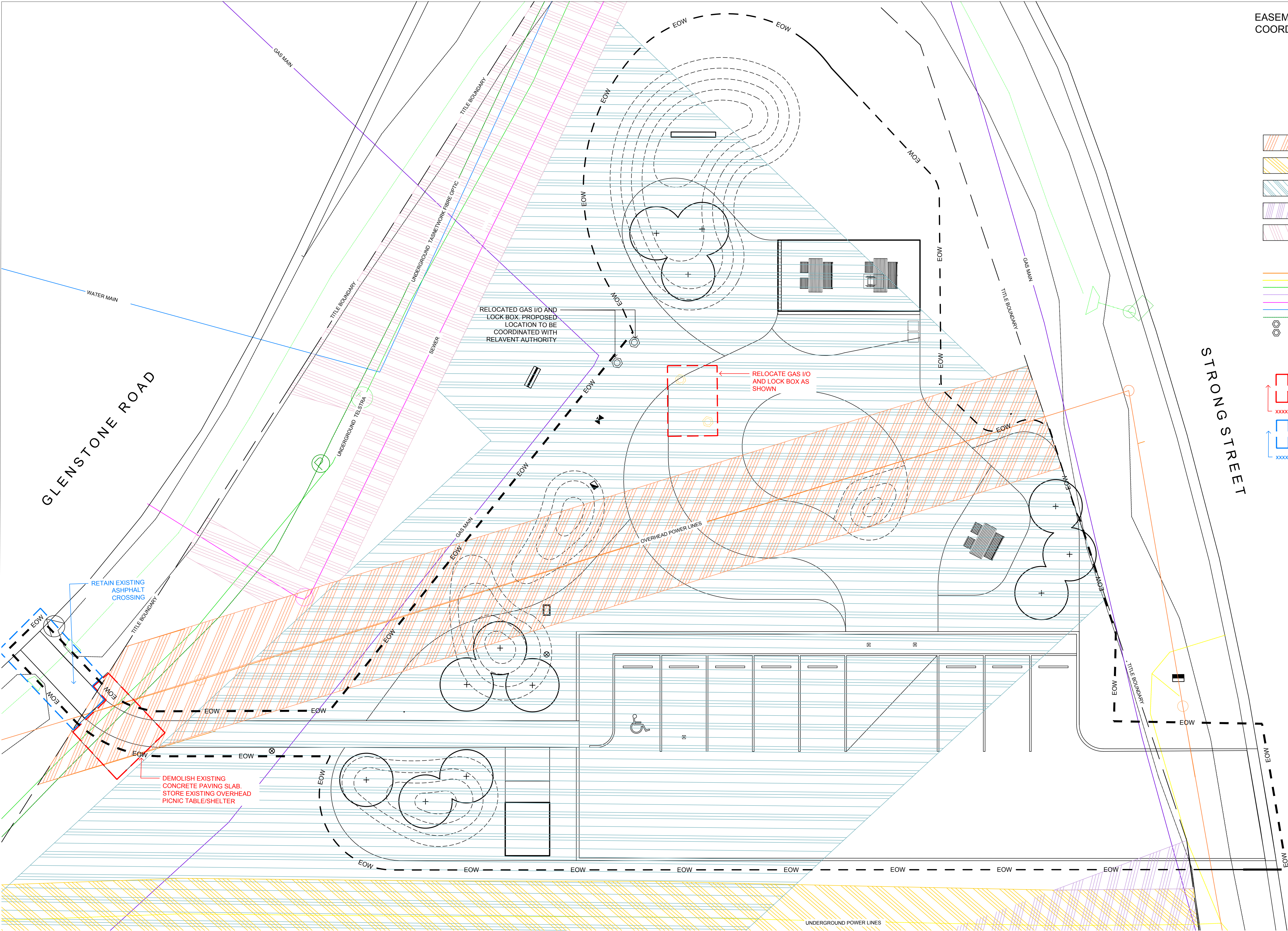
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EASEMENTS & COORDINATION KEY

NOTES

The purpose of this plan is to show relevant easements/responsible authorities and infrastructure to be coordinated with. Refer survey for complete site information.

EASEMENTS

- Overhead power line easement
Authority: TasNetworks
- Underground power line easement
Authority: TasNetworks
- Gas Pipeline easement 'D'
Authority: Tas Gas Networks
- Pipeline easment 'T'
Authority: Tas Water
- Transmission line easement
Authority: TasNetworks

EXISTING INFRASTRUCTURE

- Electric line overhead
- Electric line underground
- Telestra line underground
- Gas main
- Sewer Main
- Water main as per DBYD
- TasNetworks Fibre Optics
- Gas I/O
- Gas lock box

RELOCATION, DEMOLITION & RETENTION

- Denotes elements requiring demolition or relocation. May require coordination with relevant authority as noted.
- Denotes elements requiring protection

ISSUE	STATUS	DATE	REVIEWED
	Design Development	12-08-2024	PST

L101

SHEET TITLE
EASEMENT &
COORDINATION
PLAN

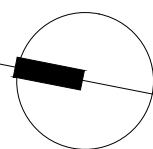


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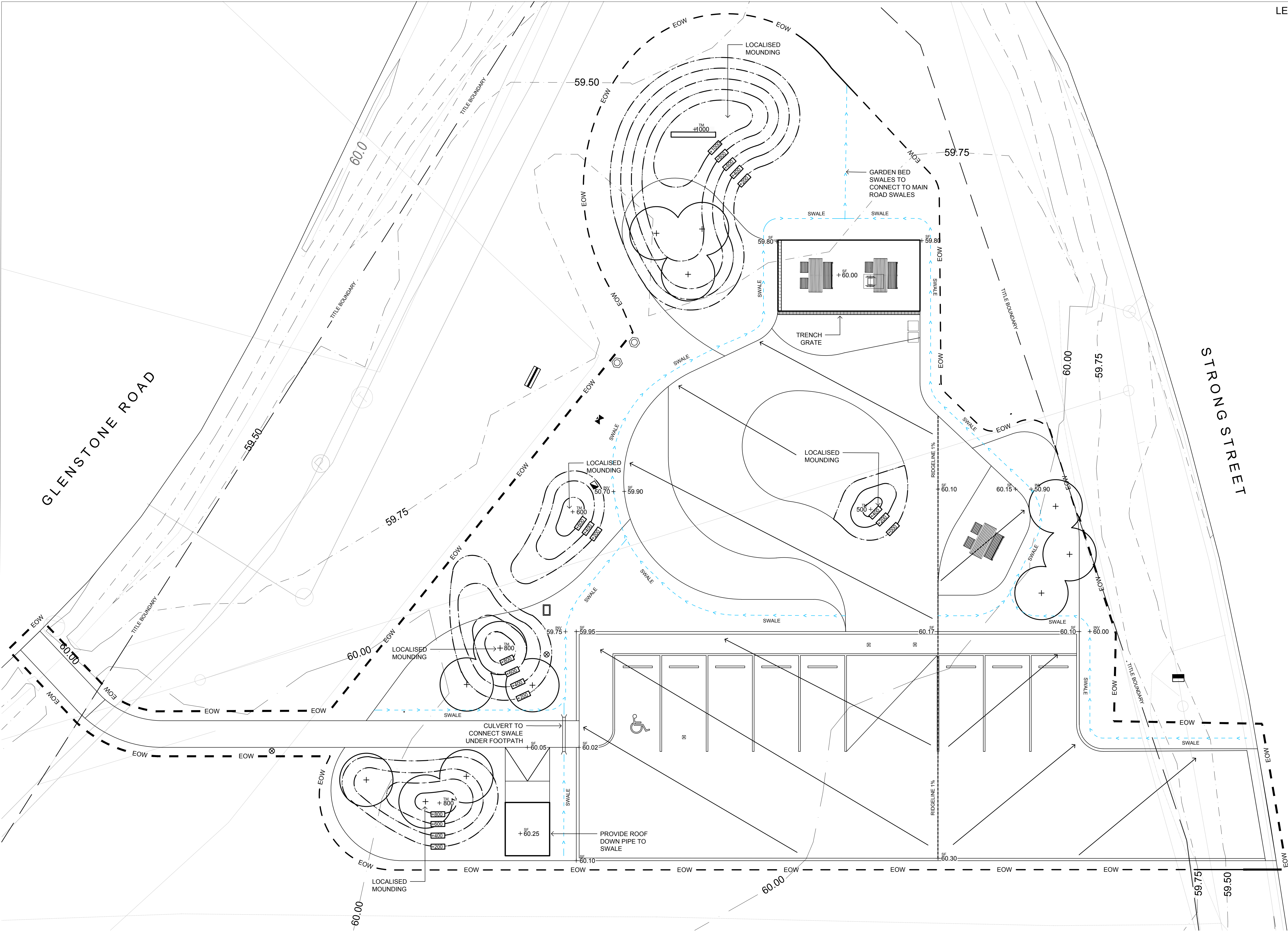
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LEVELS & DRAINAGE KEY

- +000.00 Existing spot height
+1000 Design level spot height
Direction of fall on surface
Swale
TM Top of mound
INV Invert

NOTES

- The design levels for the project are generally to follow natural grade, with a ridgeline to sheet stormwater to perimeter swales.
The topsoil for civil pavements and swales will need to be stripped (to 200mm depth) and stockpiled for re use into the proposed mounds shown. These can grow as required to accommodate the soil but are not to exceed heights shown.
Civil pavements will be then built up over the compacted subgrade formation level (~300mm total pavement for 2 coat seal and 250mm for concrete, subject to civil design.



ISSUE	STATUS	DATE	REVIEWED
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L200

SHEET TITLE
LEVELS &
DRAINAGE PLAN

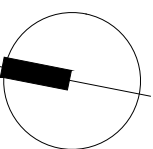


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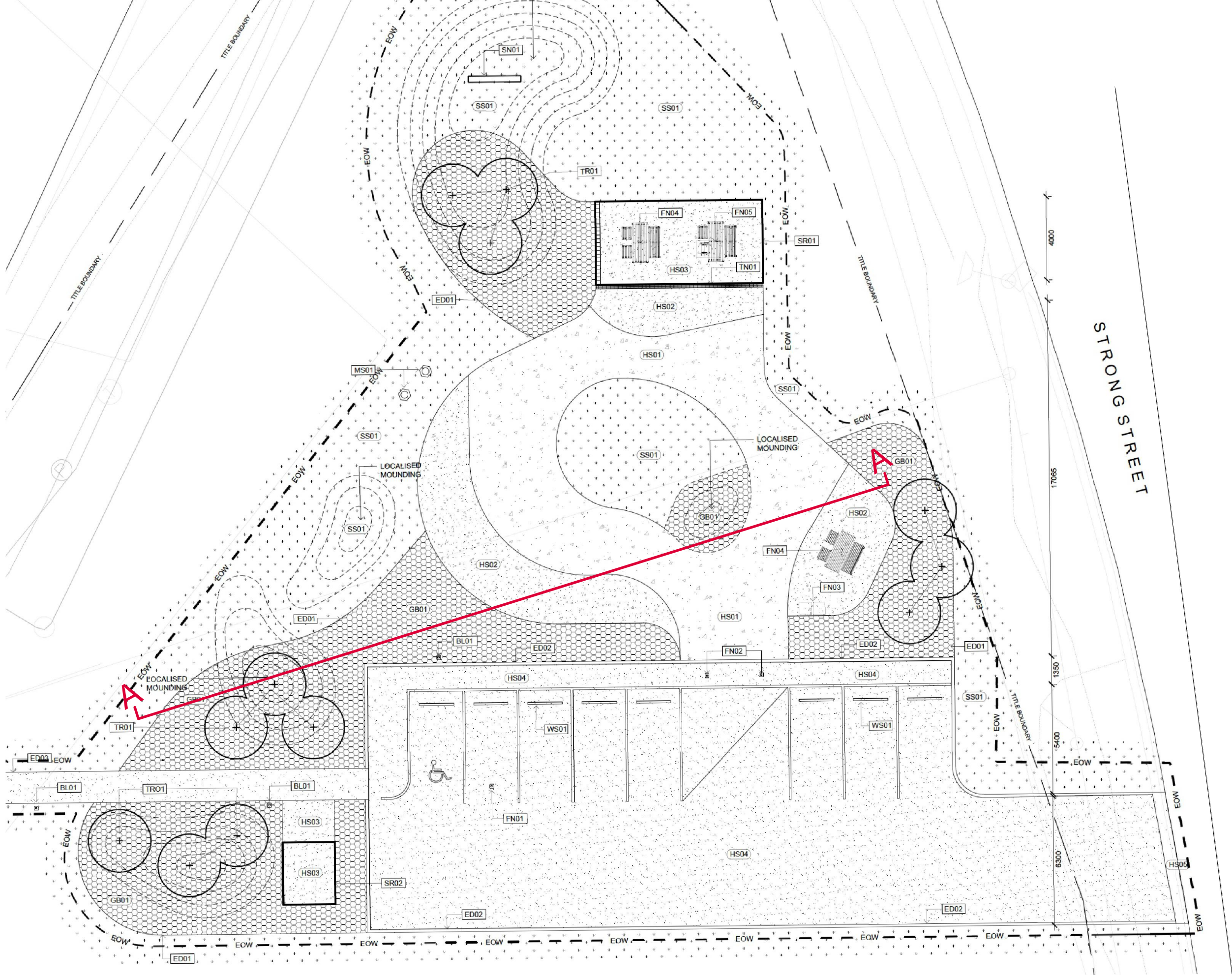
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01 Key Plan

■ N.T.S

Overhead powerlines.
(Indicative height only, confirm with TasNetworks).

MATERIALS KEY

REFER MATERIALS SCHEDULE (L001)

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ED02 Timber edge
SR01 Structure - Toilet
SR02 Structure - Shelter

FURNITURE & FIXTURES

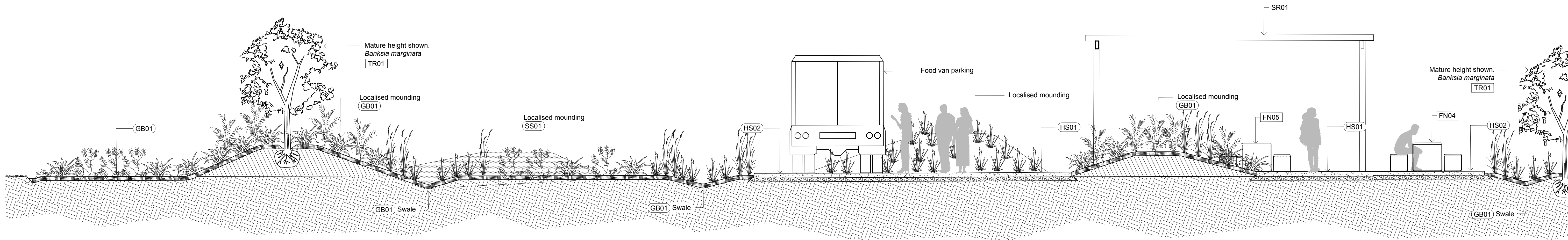
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TP01 Tapping point (to engineers specification)
WC01 Water Connection (to engineers specification)



02 Section AA

■ Scale 1:50@A1

ISSUE	STATUS	DATE	REVIEWED
1	Design Development	20-08-2024	PST
2			
3			
4			
5			

L500

SHEET TITLE
SECTIONS



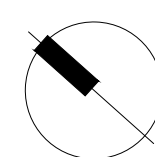
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GENERAL

WORK HEALTH & SAFETY NOTICE

JMC HAVE CONSIDERED THE HAZARDS AND RISKS ASSOCIATED WITH THE CONSTRUCTION, OPERATION, MAINTENANCE AND EVENTUAL DEMOLITION OF THIS PROJECT. THERE ARE A NUMBER OF HAZARDS AND HENCE RISKS WHICH ARE NOT UNIQUE TO THIS PROJECT WHICH NEED TO BE MANAGED DURING THESE PHASES, AND REMAINING CONTRACTORS, OPERATORS, MAINTENERS AND DEMOLISHERS OF THEIR RESPONSIBILITIES UNDER WORK HEALTH & SAFETY ACTS AND REGULATIONS. THE FOLLOWING RISKS HAVE BEEN IDENTIFIED WHICH ARE UNUSUAL TO THIS PROJECT. EXISTING UNDERGROUND GAS MAIN, EXISTING OVERHEAD POWER

UNLESS SPECIFIED OTHERWISE BY DOCUMENTATION SPECIFIC TO THIS PROJECT ALL DIMENSIONS, MATERIALS, WORKMANSHIP ETC SHALL COMPLY WITH DSSO STANDARD CONTRACT DOCUMENTS AND SPECIFICATIONS (R SERIES) AND IPWEA TASMANIAN DIMENSION STANDARD DRAWINGS (INCLUDING THE AUTHORITIES LISTED DEPARTURES FROM THE IPWEA STANDARD DRAWINGS) VERSION 3 ISSUED DECEMBER 2020.

ONLY THOSE SERVICES CONSIDERED DURING FIELD SURVEYS HAVE BEEN PLOTTED. THE LOCATION OF THESE SERVICES IS APPROXIMATE ONLY AND NO GUARANTEE IS GIVEN THAT ALL SERVICES ARE SHOWN. THE CONTRACTOR SHALL CONFIRM ON SITE PRIOR TO THE START OF WORKS THE LOCATION OF ALL SERVICES WITH THE RELEVANT AUTHORITY.

THE CONTRACTOR MUST POT-HOLE ALL EXISTING SERVICES AT PROPOSED CROSSING POINTS WITH NEW SERVICES, STRUCTURES AND WHERE UNDER REDUCED FINISHED SURFACE LEVELS PRIOR TO THE COMMENCEMENT OF WORKS TO DETERMINE IF THE EXISTING OR PROPOSED SERVICE WILL BE ADVERSELY AFFECTED BY CLASH OR REDUCED MINIMUM COVER. THE CONTRACTOR MUST POT-HOLE EXISTING SERVICES AT ALL PROPOSED CONNECTION POINTS FOR NEW SERVICES TO CONFIRM THAT MINIMUM COVER AND OR GRADIENT FOR THE NEW SERVICE WILL BE ACHIEVED. WHERE A CONFLICT WITH AN EXISTING OR PROPOSED SERVICE IS IDENTIFIED THE CONTRACTOR SHALL SEEK DIRECTION FROM THE SUPERINTENDENT. NO CLAIM FOR VARIATION OR EXTENSION OF TIME WILL BE CONSIDERED AS A RESULT OF THE CONTRACTORS FAILURE TO UNDERTAKE THIS INVESTIGATION AT A SUFFICIENT TIME PRIOR TO THE INSTALLATION WORKS, TO ALLOW ANY REDESIGN TO OCCUR.

PRIOR TO THE COMMENCEMENT OF SITE WORKS THE CONTRACTOR SHALL PREPARE, SUBMIT AND GAIN APPROVAL FROM THE RELEVANT COUNCIL FOR A SOIL AND WATER MANAGEMENT PLAN FOR THE CONSTRUCTION WORKS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF ALL REQUIRED PROTECTION MEASURES FOR THE DURATION OF THE CONTRACT AND UNTIL NEW VEGETATION IS FULLY ESTABLISHED.

PRIOR TO THE COMMENCEMENT OF ANY COUNCIL INFRASTRUCTURE WORKS, THE CONTRACTOR SHALL APPLY TO COUNCIL AND RECEIVE A PERMIT TO CONSTRUCT PUBLIC INFRASTRUCTURE.

FOR WORKS WITHIN THE ROAD RESERVATION THE CONTRACTOR SHALL APPLY FOR AND RECEIVE A ROAD OPENING PERMIT FROM COUNCIL. PRIOR TO THE COMMENCEMENT OF WORKS, THIS APPLICATION SHALL INCLUDE THE PREPARATION OF TRAFFIC AND PEDESTRIAN MANAGEMENT PLANS AS APPLICABLE.

PRIOR TO THE COMMENCEMENT OF ANY TASWATER INFRASTRUCTURE WORKS, THE CONTRACTOR SHALL APPLY TO TASWATER, AND RECEIVE A PERMIT TO CONSTRUCT TASWATER INFRASTRUCTURE.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF ALL PEDESTRIAN AND TRAFFIC MANAGEMENT DEVICES TO COMPLY WITH AS1742 FOR THE DURATION OF THE WORKS.

THE CONTRACTOR SHALL PREPARE IN ELECTRONIC (DWG) FORMAT 'AS CONSTRUCTED' DRAWINGS TO THE SATISFACTION OF JMC, COUNCIL, MUNICIPAL ENGINEER AND/OR TASWATER SHOWING THE AS INSTALLED LOCATION OF ALL ABOVE AND BELOW GROUND WORKS. CONFIRMATION OF APPROVAL FROM THE RELEVANT AUTHORITIES, OF THE COMPLETED DRAWINGS SHALL BE SUBMITTED TO THE SUPERINTENDENT PRIOR TO THE ISSUING OF THE CERTIFICATE OF PRACTICAL COMPLETION.

PROPRIETARY PRODUCTS ARE TO BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S WRITTEN INSTRUCTIONS.

EARThWORKS

DEMOLISH AND REMOVE ALL CONCRETE SLABS, KERBS, WALLS ETC. AS NOTED AND REQUIRED FOR THE CONSTRUCTION OF THE Nominated WORKS.

FOLLOWING DEMOLITION AND REMOVAL OF SLABS, KERBS ETC. AND STRIPPING OF THE SITE TO THE REQUIRED FORMATION LEVELS, GRADE SUB-GRADE TO A SMOOTH PROFILE AND CONSOLIDATE TO 98% MAXIMUM DRY DENSITY (AS 12883) PROOF ROLL IN THE PRESENCE OF THE CONSULTING ENGINEER USING A SINGLE AXLE ROAD TRUCK WITH A FULL LEGAL LIMIT LOAD. REMOVE ANY UNSUITABLE SOFT, WET OR HEAVING MATERIAL, AS DIRECTED BY THE SUPERINTENDENT AND REPLACE WITH COMPACTED SELECT FILL IN LAYERS NOT EXCEEDING 200mm LOOSE TO ACHIEVE 98% STANDARD COMPACTION (AS12883).

ALL STRIPPED TOPSOIL SHALL BE STOCKPILED ON-SITE FOR RESPEADING ON BATTERS AND DISTURBED AREAS, ALL EXCESS EXCAVATED MATERIAL SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE DISPOSED OF OFF SITE AT THE CONTRACTORS COST UNLESS APPROVED OTHERWISE BY THE SUPERINTENDENT.

ANY IMPORTED FILL MATERIAL, FOR UNDER ROADWAYS AND CARPARKS WILL BE WELL GRADED WITH A MAXIMUM PARTICLE SIZE OF 75mm, 80% LESS THAN 20mm, HAVE A MINIMUM CBR VALUE OF 15% AND A PLASTICITY INDEX LESS THAN 12%, COMPACT TO A MINIMUM OF 98% STANDARD COMPACTION TO DSSO SPECIFICATION R22 IN LAYERS NOT EXCEEDING 200mm THICKNESS.

ALL EXISTING PAVEMENTS INCLUDING EMBANKMENTS SHALL BE PREPARED AND CONSTRUCTED TO DSSO SPECIFICATION R22 & R23

WHERE EMBANKMENT FILLS EXCEED 400mm IN HEIGHT ABOVE STRIPPED SURFACE LEVEL, THE CONTRACTOR SHALL PROVIDE COMPACTION TEST RESULTS FOR THE PLACED MATERIAL AT A RATE OF AT LEAST 1 PER 500M2 OR A MINIMUM OF 3 TEST LAYERS WHICHEVER IS THE GREATER UNLESS APPROVED OTHERWISE BY THE SUPERINTENDENT. EMBANKMENT COMPACTION SHALL BE IN ACCORDANCE WITH DSSO SPECIFICATION R22 TABLE 2.2.1.

WHERE EMBANKMENTS ARE TO BE CONSTRUCTED ON NATURAL GROUND WITH SLOPES EXCEEDING 3 HORIZONTAL TO 1 VERTICAL (3:1) THE FOUNDATION SHALL BE CUT INTO HORIZONTAL BENCHES TO DSSO SPECIFICATION R22.8.1 PRIOR TO THE COMMENCEMENT OF EMBANKMENT CONSTRUCTION.

DURING FORMATION WORKS THE CONTRACTOR SHALL ENSURE THAT ADEQUATE STEPS ARE TAKEN TO PROTECT THE SUBGRADE FROM WET WEATHER PRIOR TO THE PLACEMENT OF THE SUB-BASE. NO CLAIM WILL BE CONSIDERED AS A RESULT OF THE CONTRACTORS FAILURE TO PROTECT THE WORKS.

ROADWORKS

WHERE NEW WORKS ADJACENT EXISTING SAWCUT ALL INTERFACES TO NEAT STRAIGHT LINES AND RECTANGULAR SHAPES AND MAKE GOOD TO MATCH.

BACKFILL ALL TRENCHES AND EXCAVATIONS WITHIN VEHICLE PAVEMENTS FULL DEPTH WITH 20mm FINE CRUSHED ROCK CONSOLIDATED IN MAXIMUM 150mm LAYERS TO 98% MODIFIED COMPACTION.

SUBMIT TO THE CONSULTING ENGINEER PRIOR TO THEIR USE MATERIAL PROPERTIES AND SOURCE FOR ALL ROAD MAKING MATERIALS. UNLESS NOTED OTHERWISE PAVEMENT MATERIALS SHALL COMPLY WITH THE REQUIREMENTS OF DSSO SPECIFICATION R40 FOR BASE CLASS A AND SUB-BASE 1 MATERIALS.

EACH COMPLETED PAVEMENT LAYER SHALL BE COMPACTED TO A MINIMUM DOR OF 98% FOR SUB-BASE AND 98% FOR BASE COURSE AND PROOF ROLLED IN THE PRESENCE OF THE SUPERINTENDENT AND COUNCIL'S WORKS INSPECTOR WHERE REQUIRED USING A SINGLE AXLE ROAD TRUCK WITH A FULL LEGAL LIMIT LOAD.

CONSTRUCT PAVEMENT BETWEEN NOMINATED LEVELS TO SMOOTH GRADES AND TRANSITION TO DRAIN TO PITS, KERBS AND GUTTER, V-DRAINS ETC.

ASPHALT AND PAVED SURFACES SHALL HAVE A BITUMEN EMULSION PRIME COAT APPLIED TO THE CLEAN SWEPT SURFACE OF THE BASE COURSE AT THE MINIMUM RATE OF 0.15 l/m² RESIDUAL BINDER.

ROADWORKS (CONT.)

CARPARK SPACES ARE TO BE DELINEATED BY PAINTED LINES, 80mm WIDE WITH TWO COATS OF ROAD MARKING PAINT TO DSSO SPECIFICATION R64, CLEARLY MARK 'DISABLED' SPACES BY PAINTED SYMBOL TO AUSTRALIAN STANDARD.

CONCRETE COMPRESSIVE STRENGTH SHALL BE:

- PAVEMENTS AND GRATED TRENCH - R32
- PITS & MINOR WORKS - R25

WORKMANSHIP, MATERIALS AND DESIGN SHALL BE IN ACCORDANCE WITH AS3680 AND THE ASSOCIATED CODES LISTED THEREIN AND THE SPECIFICATION.

GRADE AND ROLL MINIMUM 150mm TOPSOIL TO ALL GRASSED LANDSCAPED AREAS, WHERE NECESSARY TO RAISE LEVELS, PLACE AND CONSOLIDATE GENERAL FILL FROM SITE BENEATH TOPSOIL, HYDROMULCH AND SEED DISTURBED AREAS WITH TYPE A SEED MIX TO DSSO SPECIFICATION R70.

PRECAST CONCRETE WHEEL STOPS TO BE HUMPS OR EQUIVALENT 200mm LONG WITH 26m, 16da GALV. SPIKES 300mm LONG.

CONCRETE PAVEMENTS GENERAL

CONSTRUCT PAVEMENT BETWEEN NOMINATED LEVELS TO SMOOTH GRADES AND TRANSITION TO PITS, KERBS, V-DRAINS, EDGES ETC. THEN FOR APPROVAL TO UNDERTAKE WORKS, ARRANGE FOR INSPECTIONS, CO-ORDINATE WORKS REQUIRED TO BE UNDERTAKEN BY THE AUTHORITY AND PAY ALL COSTS.

THE FINISHED SURFACE LEVEL OF ANY PAVEMENT ADJACENT TO BUILDINGS SHALL BE BELOW THE WALL CAMP PROOF COURSE AND SHALL NOT OCCURRE VEEF HOLES OR DRAINAGE OPENINGS. THE PAVEMENT SHALL GRADE AWAY FROM THE BUILDING.

INSTALL 26m, N16 x 2100mm LONG TRIMMER BARS AT 45deg ACROSS ALL RE-ENTRANT CORNERS.

INSTALL CONTROL AND EXPANSION JOINTS AS SHOWN ON THE DRAWINGS.

INSTALL ISOLATION JOINTS AT ALL INTERFACES WITH EXISTING OR PROPOSED STRUCTURES.

ALL JOINT SEALANTS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S WRITTEN SPECIFICATIONS.

TOLERANCES OF FINISHED SURFACES

- MAXIMUM DEVIATION UNDER A 3m STRAIGHT EDGE - +40mm
- MAXIMUM LEVEL DIFFERENCE FROM DESIGN LEVELS - +40mm
- CONCRETE THICKNESS AND REINFORCEMENT LOCATION TO AS3680

CURE SURFACE FOR MINIMUM 7 DAYS AFTER PLACEMENT. CONTRACTOR TO SUBMIT TO THE SUPERINTENDENT FOR APPROVAL, THE PROPOSED METHOD OF CURING PRIOR TO THE COMMENCEMENT OF PAVEMENT WORKS. PROTECT SURFACE FROM VEHICULAR TRAFFIC DURING CURING PERIOD.

COLOURED & EXPOSED AGGREGATE CONCRETE PAVEMENTS

ALL NEW COLOURED AND EXPOSED AGGREGATE PAVEMENT SHALL USE AGGREGATE AS DEFINED BY THE LANDSCAPE ARCHITECT SPECIFICATION.

28 DAYS PRIOR TO COMMENCING THE PLACEMENT OF THE MAIN CONCRETE PAVEMENT SLABS THE CONTRACTOR SHALL POUR A TEST PANEL OF AT LEAST 2m² FOR ACCEPTANCE BY THE SUPERINTENDENT. ACCEPTANCE OR REJECTION WILL BE ON THE BASIS OF COMPARISON OF THE AGGREGATE TYPE, COLOURING AND SURFACE TEXTURE. IF ACCEPTED THE TEST PANEL MAY BE PERMITTED TO BE RETAINED IN THE FINISHED WORKS PROVIDED IT WAS CONSTRUCTED IN ACCORDANCE WITH THE DRAWINGS. THE ACCEPTANCE OR OTHERWISE OF ALL CONCRETE WORKS SHALL INCLUDE A VISUAL INSPECTION AND COMPARISON AGAINST THE TEST PANEL. DIRECTIONS OF DEFECTIVE WORK SHALL BE AT THE DISCRETION OF THE SUPERINTENDENT. COSTS ASSOCIATED WITH REPLACEMENT OF DEFECTIVE WORK SHALL BE BORNE BY THE CONTRACTOR.

CONCRETE STRENGTH TO BE 52 MPa WITH SLUMP 100mm.

PROTECT ADJACENT SURFACES FROM STAINING DURING PLACEMENT AND FINISHING OF THE SLAB. ENSURE WASH WATER DOES NOT ENTER EXISTING STORMWATER SYSTEM.

WATER RETICULATION - TASWATER

ALL WORKS ARE TO BE TO TASWATER APPROVAL. IN ACCORDANCE WITH THE WATER SERVICES ASSOCIATION OF AUSTRALIA WATER SUPPLY CODE OF AUSTRALIA WATER AGENCIES EDITION/ GRAVITY SEWERAGE CODE WSA 02-2014 V1 VERSION 2.0 INCLUDING STANDARD DRAWINGS REFERENCED THEREIN AND ALSO TO TASWATER'S SUPPLEMENT TO THIS CODE AND THE STANDARD DRAWINGS REFERENCED THEREIN. THE CONTRACTOR SHALL MAKE APPLICATION TO TASWATER FOR APPROVAL TO UNDERTAKE WORKS. ARRANGE FOR INSPECTIONS, CO-ORDINATE WORKS REQUIRED TO BE UNDERTAKEN BY THE AUTHORITY AND PAY ALL COSTS.

UNLESS NOTED OTHERWISE PIPE MATERIALS SHALL BE AS FOLLOWS

- 20-32mm - HDPE PN16 PE100 - INSTALL IN DN100 5M uPVC SLEEVE UNDER ROADWAYS
- 40-80mm - HDPE PN16 PE100 WITH COMPRESSION FITTINGS - INSTALL IN DN100 5M uPVC SLEEVE UNDER ROADWAYS
- 100mm POLYETHYLENE (PE) PIPE WITH TRACE WIRE IS APPROVED FOR USE IN PROPERTY SERVICE CONNECTIONS AND ROOS
- 100-300 NB - uPVC SERIES 2 CLASS 16 RR

WATERMAIN ROAD CROSSING DETAILS

- 100mm POLYETHYLENE (PE) PIPE WITH TRACE WIRE IS TO BE INSERTED INTO A SLEEVE PIPE OF MINIMUM CLASS SM DN100 FOR MAX. 6300 SERVICE. SLEEVED PIPES SHALL BE INSTALLED SO THAT WATER HAMMER AND PRESSURE FLUCTUATIONS DO NOT CAUSE PIPE MOVEMENT WITHIN THE CONDUIT.

WATER MAINS TO HAVE CLEARANCE TO OTHER SERVICES IN ACCORDANCE WITH TABLE 5.5 'WATER MAIN CLEARANCES' OF THE WATER SUPPLY CODE OF AUSTRALIA WSA 02-2014.3 MINIA EDITION VERSION 2.0 AND TASWATER SUPPLEMENT TO THIS CODE.

ALL VALVES, FIRE HYDRANTS AND PIPE FITTINGS SHALL BE TASWATER AND WSA APPROVED INSTALLED IN ACCORDANCE WITH WSA STANDARD DRAWINGS MW-WA-300 TO 305 AND TASWATER STANDARD DRAWINGS TW-WA-305, TW-WA-308 AND TW-WA-311 TO 313.

WHEREIN PROPOSED EMBANKMENT CONSTRUCTION, TRENCHING AND EXCAVATION FOR ALL PROPOSED TASWATER PIPEWORK INFRASTRUCTURE SHALL BE UNDERTAKEN POST EMBANKMENT CONSTRUCTION.

THRUST BLOCKS SHALL BE INSTALLED TO ALL TEES, BLANK ENDS, VALVES, FIRE HYDRANTS AND BENDS IN ACCORDANCE WITH TASWATER STANDARD DRAWING TW-WA-300W. WHERE WATER MAINS ARE INSTALLED IN COMMON TRENCHES WITH OTHER SERVICES ENSURE THAT THE WATER MAIN IS ON THE OUTSIDE OF THE TRENCH AND THAT THRUST BLOCKS BEAR ON UNDISTURBED GROUND.

FOR PIPE BEDDING AND BACKFILL REFER WSA STD DRG. MW-WA-001. PIPE EMBEDMENT TO BE 7mm CLEAN AGGREGATE (UNO). BACKFILL ALL TRENCHES WITHIN VEHICLE PAVEMENTS TO THE UNDERSIDE OF THE PAVEMENT LAYER FULL DEPTH WITH 20mm FINE CRUSHED ROCK CONSOLIDATED IN MAXIMUM 150mm LAYERS TO 98% MODIFIED COMPACTION.

COVER TO WATER MAINS SHALL BE AS PER TABLE 7.4.2.1 OF THE TASWATER SUPPLEMENT TO THE WATER SUPPLY CODE OF AUSTRALIA, WSA02-2014.3.1. MINIA EDITION V2.1.

A DETECTABLE MARKER TAPE WITH THE WORKING WATER MAIN SHALL BE PLACED OVER ALL WATER MAINS, INCLUDING PROPERTY CONNECTIONS BRANCHES, FOR FULL LENGTH ON TOP OF THE BEDDING.

PAINT HYDRANT COVERS AND KERB TOPS AND INSTALL TWO-WAY BLUE RETRO REFLECTIVE TO TASWATER STANDARD DRAWING TW-WA-311, TW-WA-312 AND TW-WA-313.

PAINT SURROUNDS AND INSTALL PAINTED MARKER POSTS ADJACENT TO ALL STOP VALVES TO WSA STD. DRG. MW-WA-300.

PROPERTY CONNECTIONS TO BE TO TASWATER STANDARD DRAWING SERIES TW-WA-002, METER AND VALVE BOX TO BE SUPPLIED BY TASWATER AT DEVELOPERS COST. VALVE BOX TO BE LOCATED 1m INSIDE PROPERTY BOUNDARY.

CLEAN, DEPRESSURE AND PRESSURE TEST ALL PIPEWORK IN ACCORDANCE WITH WSA STANDARD SPECIFICATION CONSTRUCTION CLAUSE 10 PRIOR TO CONNECTION TO EXISTING INFRASTRUCTURE. ALL PIPELINES MUST BE INSPECTED BY TASWATER PRIOR TO BACKFILL. FOLLOWING BACKFILL, PRESSURE TEST TO 1500kpa AT THE LOW POINT OF THE SYSTEM FOR A MINIMUM 2 HOURS.

CONNECTIONS TO EXISTING TASWATER INFRASTRUCTURE TO BE PERFORMED BY AN ACCREDITED TASWATER CONTRACTOR AT CONTRACTORS COST. CONTRACTOR IS RESPONSIBLE FOR CO-ORDINATION OF CONNECTION WORKS WITH TASWATER.

THE CONTRACTOR SHALL ENSURE THAT WATER MAINS INCLUDING ALL TEES, BENDS, VALVES AND PROPERTY CONNECTION LINES ARE LEFT EXPOSED UNTIL SUCH TIME AS THEY HAVE BEEN LOCATED BY THE SURVEYOR UNDERTAKING THE AS CONSTRUCTED SURVEY. THE SURVEYOR SHALL BE PROVIDED WITH AT LEAST 48hrs ADVANCE NOTICE TO ALLOW THEM TO ATTEND THE SITE. FAILURE TO DO SO MAY RESULT IN THE CONTRACTOR HAVING TO RE-EXPOSE ALL PIPEWORK TO ALLOW ACCURATE PICK UP OF THE SERVICE.

WHERE MANAGED BY THE THE CONTRACTOR, THE CONTRACTOR SHALL ENSURE THE AS-CONSTRUCTED DRAWINGS, SURVEY & CONTROL, AND DATA COLLECTION IS UNDERTAKEN AND PROVIDED TO TASWATER IN ACCORDANCE WITH TASWATER'S ASSET SPATIAL DATA SPECIFICATION.

SEWER RETICULATION - TASWATER

ALL WORKS ARE TO BE TO TASWATER APPROVAL IN ACCORDANCE WITH THE WATER SERVICES ASSOCIATION OF AUSTRALIA (MELBOURNE RETAIL WATER AGENCIES EDITION/ GRAVITY SEWERAGE CODE WSA 02-2014 VERSION 2.0 INCLUDING STANDARD DRAWINGS REFERENCED THEREIN AND TASWATER'S SUPPLEMENT TO THIS CODE. THE CONTRACTOR SHALL MAKE APPLICATION TO TASWATER FOR APPROVAL TO UNDERTAKE WORKS. ARRANGE FOR INSPECTIONS, CO-ORDINATE WORKS REQUIRED TO BE UNDERTAKEN BY THE AUTHORITY AND PAY ALL COSTS.

ALL SEWER PIPES TO BE

- DN100 SEWER MAINS TO BE uPVC SCJ CLASS SN10 (UNO).
- DN150-225 SEWER MAINS TO BE uPVC SCJ CLASS SN1 (UNO).

FOR PIPE GRADES <1.20%, PIPE EMBEDMENT MATERIAL TO BE ITEM F 7mm CLEAN AGGREGATE (UNO). FOR GRADES OF >1.20% TO 30% EMBEDMENT MATERIAL TO BE ITEM F, COMPACTED 3% CEMENT STABILISED 20mm FCR (BASE A OR CLASS 3 FCR). REFER TABLE 2.0.4 ON STD DRG MW-WA-5-002.

BACKFILL ALL TRENCHES WITHIN VEHICLE PAVEMENTS TO THE UNDERSIDE OF THE PAVEMENT LAYER FULL DEPTH WITH BASE A 20mm FINE CRUSHED ROCK CONSOLIDATED IN MAXIMUM 150mm LAYERS TO 98% MODIFIED COMPACTION.

WHEREIN PROPOSED EMBANKMENT CONSTRUCTION, TRENCHING AND EXCAVATION FOR ALL PROPOSED TASWATER PIPEWORK INFRASTRUCTURE SHALL BE UNDERTAKEN POST EMBANKMENT CONSTRUCTION.

INSTALL CONCRETE BULKHEADS IN ACCORDANCE WITH STD. DRG. MW-WA-5-001 AND ALL PIPEWORK WITH GRADES GREATER THAN 1% IN ACCORDANCE WITH THE SPODING REQUIREMENTS OF STD DRG MW-WA-5-005.

MANHOLES TO BE DN150 PRECAST (UNO) CONSTRUCTED IN ACCORDANCE WITH STD DRG. MW-WA-5-007, 308, 309, 310, 311 & 313, 1302-4 AND ALL OTHER REFERENCED DRAWINGS. STEP IRONS ARE NOT TO BE INSTALLED IN MANHOLES.

MANHOLES TO ALL PITS AND MANHOLES ARE INSTALLED FLUSH WITH FINISHED SURFACE LEVEL. MANHOLES OUTSIDE OF SEALED AREAS OR GRADES EXCEEDING 1% SHALL BE INSTALLED HORIZONTAL WITH A 1m SAFE LEVEL WORKING AREA SURROUNDING. PT COVERS SHALL BE OF A TYPE APPROVED BY COUNCIL, AND OTHER CLASSED WHERE LOCATED WITHIN ROADWAY PAVEMENTS OR CLASS B IN OTHER LOCATIONS.

ALL SEWER MAINS TO BE AIR TESTED AND MIRRORED BY TASWATER PRIOR TO CONSTRUCTION OF MANHOLE BASES AND BACKFILLING. PROVIDE CCTV FLOOD AND INSPECTION REPORT FOR SEWERS IN ACCORDANCE WITH THE LATEST VERSION OF TASWATER'S REQUIREMENTS FOR 'SEWER CCTV CONDUIT INSPECTIONS' AT PRACTICAL COMPLETION.

CONNECTIONS TO EXISTING TASWATER INFRASTRUCTURE TO BE PERFORMED BY AN ACCREDITED TASWATER CONTRACTOR AT CONTRACTORS COST. CONTRACTOR IS RESPONSIBLE FOR CO-ORDINATION OF CONNECTION WORKS WITH TASWATER.

PROPERTY CONNECTIONS TO HAVE SURFACE INSPECTION OPENING LOCATED 1.0m INSIDE PROPERTY BOUNDARY WITH SURFACE CAP TO STD-DRG MW-WA-5-301 F301-4. PROPERTY CONNECTION TO MAINS TO BE IN ACCORDANCE WITH STD-DRG MW-WA-5-301, 302 & 303.

DEPTH OF INVERT OF PROPERTY CONNECTIONS TO BE <150mm BELOW FINISHED SURFACE LEVEL OF LOTS.

NEW SEWER MANHOLES CONSTRUCTED WITHIN 2m OF NEW STORMWATER MANHOLES TO HAVE LID LEVEL HEIGHT DIFFERENCE OF <20mm.

THE CONTRACTOR SHALL ENSURE THAT SEWER MAINS INCLUDING ALL MANHOLES, BRANCHES AND PROPERTY CONNECTION LINES ARE LEFT EXPOSED UNTIL SUCH TIME AS THEY HAVE BEEN LOCATED BY THE SURVEYOR UNDERTAKING THE AS CONSTRUCTED SURVEY. THE SURVEYOR SHALL BE PROVIDED WITH AT LEAST 48hrs ADVANCE NOTICE TO ALLOW THEM TO ATTEND THE SITE. FAILURE TO DO SO MAY RESULT IN THE CONTRACTOR HAVING TO RE-EXPOSE ALL PIPEWORK TO ALLOW ACCURATE PICK UP OF THE SERVICE.

WHERE MANAGED BY THE THE CONTRACTOR, THE CONTRACTOR SHALL ENSURE THE AS-CONSTRUCTED DRAWINGS, SURVEY & CONTROL, AND DATA COLLECTION IS UNDERTAKEN AND PROVIDED TO TASWATER IN ACCORDANCE WITH TASWATER'S ASSET SPATIAL DATA SPECIFICATION.

POWER CONDUITS TO BE ORANGE HEAVY DUTY 500 WITH DRAW CABLE AND INSTALLED IN ACCORDANCE WITH AS/NZS 3000 SECTION 3.1.1

FOLLOWING COMPLETION OF THE WORKS, FLUSH ALL PIPING SYSTEMS AND LEAVE FREE OF FOREIGN MATTER.

PRIVATE SERVICES - POWER & COMMUNICATIONS

POWER CONDUITS TO BE ORANGE HEAVY DUTY 500 WITH DRAW CABLE AND INSTALLED IN ACCORDANCE WITH AS/NZS 3000 SECTION 3.1.1

SURVEY CONTROL

DATE OF SURVEY: 27.04.2023

AS SUPPLIED BY ROGERSON AND BIRCH SURVEYORS

HORIZONTAL DATUM IS GDA2020 PER 0.0M LH LIFT LUG WITH COORDINATES OF E 518656.288

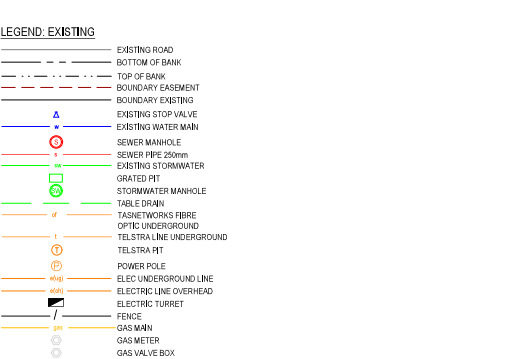
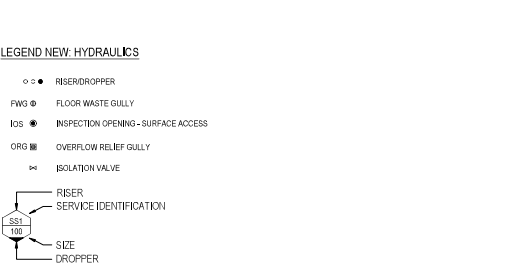
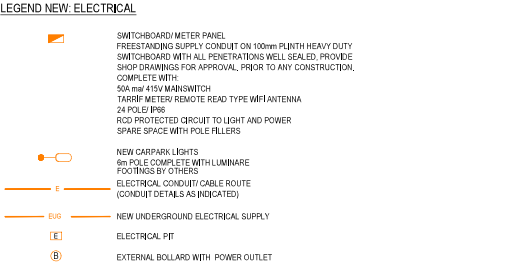
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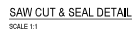
CONTOUR INTERVAL IS 0.25m.

WHERE REASONABLE EFFORT HAS BEEN MADE TO LOCATE ALL VISIBLE ABOVE GROUND SERVICES, THERE MAY BE OTHER SERVICES THAT WERE NOT LOCATED DURING THIS SURVEY.

NEW SERVICES

ALL NEW SERVICES INSTALLED UNDER HARDBAND AND ROAD PAVEMENTS TO BE BACKFILLED FULL DEPTH WITH COMPACTED BASE A.

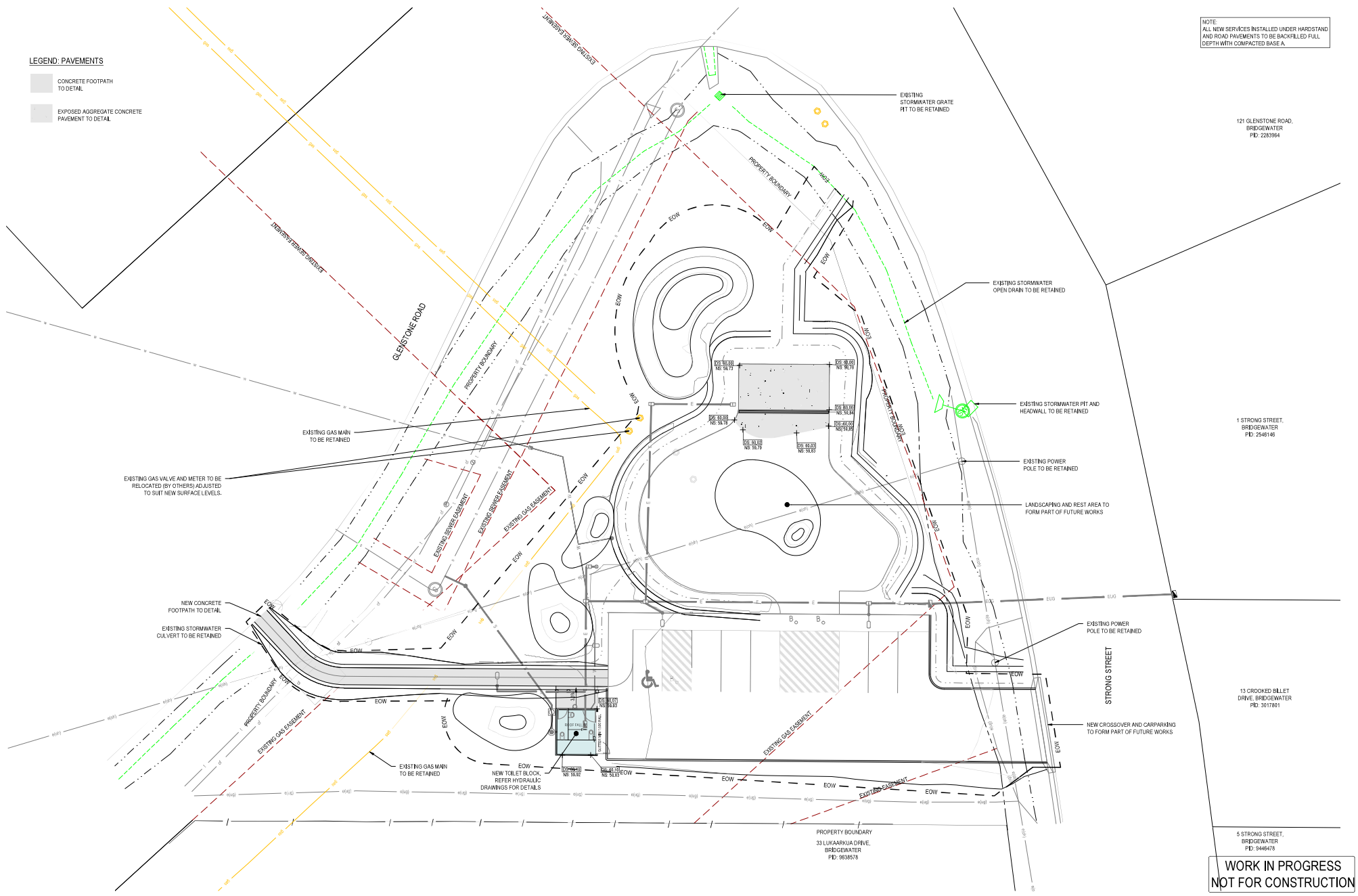




LEGEND: PAVEMENTS

- CONCRETE FOOTPATH TO DETAIL
- EXPOSED AGGREGATE CONCRETE PAVEMENT TO DETAIL

NOTE:
ALL NEW SERVICES INSTALLED UNDER HARDSTAND AND ROAD PAVEMENTS TO BE BACKFILLED FULL DEPTH WITH COMPACTED BASE A.



121 GLENSTONE ROAD, BRIDGEWATER PD: 2283984

1 STRONG STREET, BRIDGEWATER PD: 2546146

13 CROOKED BILLET DRIVE, BRIDGEWATER PD: 3017801

5 STRONG STREET, BRIDGEWATER PD: 9446478

WORK IN PROGRESS
NOT FOR CONSTRUCTION

P2 17.12.2024 REVISED PRELIMINARY ISSUE
P1 13.12.2024 PRELIMINARY ISSUE

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SAFETY IN DESIGN REPORT PER VHS REGULATIONS

Reviewed	Approved	Date
C.M.	C.M.	
MJR	C.M.	
C.M.	C.M.	

SCALES @ A1

DESIGNED BY	DRAWN BY
C.M.	C.M.
PLOT DATE	10/01/2025



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PROJECT
LOT 1 STRONG STREET, BRIDGEWATER
TRUCK STOP UPGRADES
CONTRACT 1 PACKAGE

TITLE
CIVIL SERVICES

PROJECT NO. 240626CS
DWG NO. C013
REVISION P2
PLOT DETAILS 240626CS-A1-A10 (11) P. 12/20

NOTE:
ALL NEW SERVICES INSTALLED UNDER HARDSTAND
AND ROAD PAVEMENTS TO BE BACKFILLED FULL
DEPTH WITH COMPACTED BASE A.

121 GLENSTONE ROAD,
BRIDGEWATER
PID: 2283964

1 STRONG STREET,
BRIDGEWATER
PID: 2546146

13 CROOKED BILLET
DRIVE, BRIDGEWATER
PID: 3017801

5 STRONG STREET,
BRIDGEWATER
PID: 9446478

WORK IN PROGRESS
NOT FOR CONSTRUCTION

P3 15.01.2025 REVISED PRELIMINARY ISSUE
P2 17.12.2024 REVISED PRELIMINARY ISSUE
P1 13.12.2024 PRELIMINARY ISSUE
REV DATE REMARK

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This report does not release contractors from their responsibilities under the Act to identify, report, mitigate and manage all aspects of risk and safety.

Accepted (Discipline Head) CJM Date
Accepted (Team Leader) MJR Date
Approved (Principal) CJM Date
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NTS CEF CEF
PLOT DATE 15/01/2025
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PROJECT
LOT 1 STRONG STREET, BRIDGEWATER
TRUCK STOP UPGRADES
CONTRACT 1 PACKAGE

TITLE
ELECTRICAL SERVICES

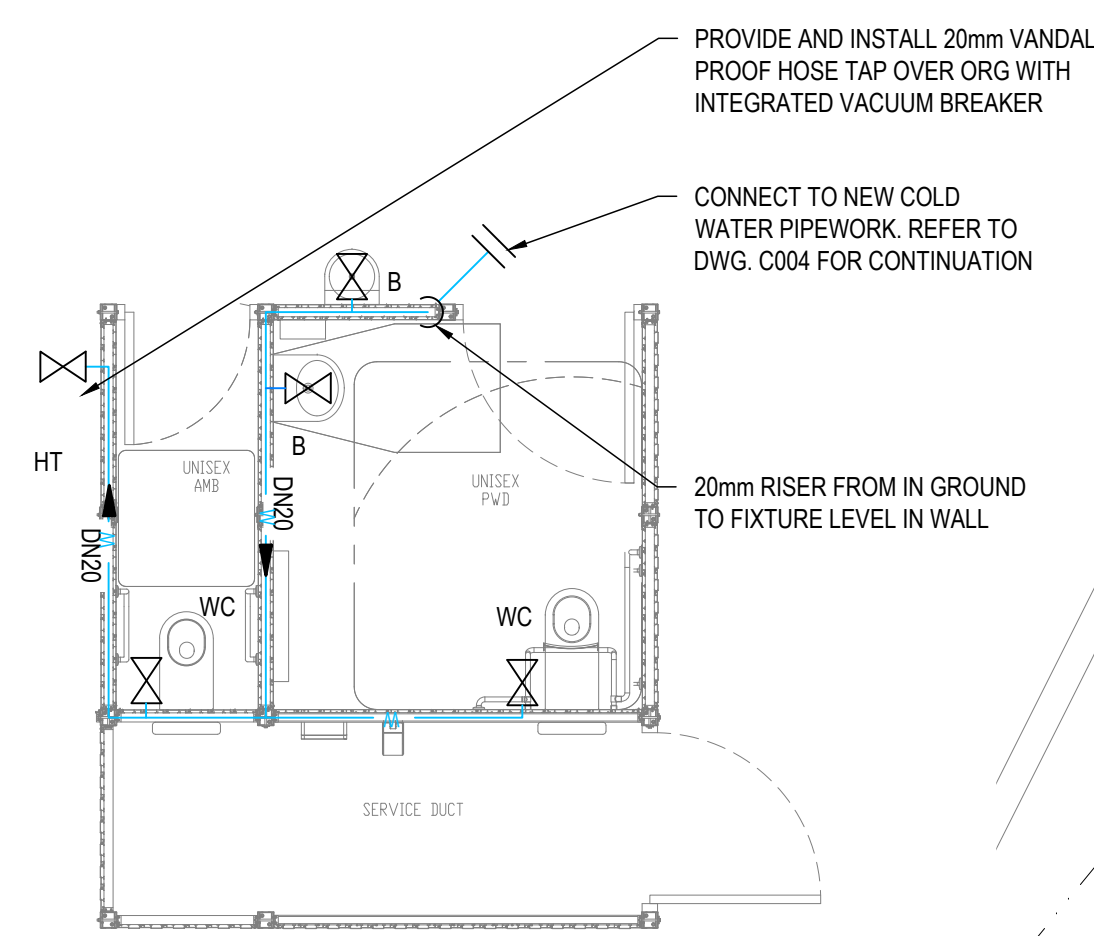
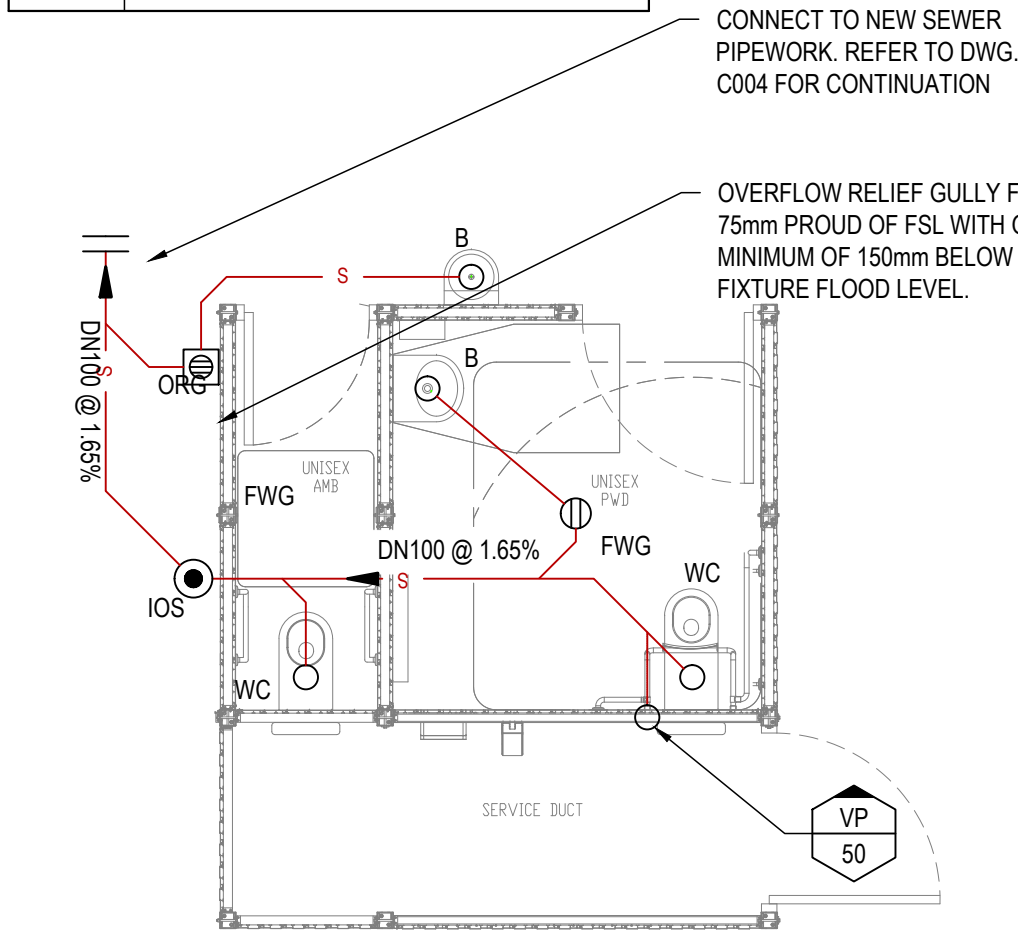
PROJECT NO. 240626CS
DWG NO. E011
PLOT DETAILS 240626CS - PLANS (C) TP 1.DWG

REVISION
P3

SANITARY FIXTURE NOTES	
LABEL	DESCRIPTION
WC	Ø100x90° BEND TO SEWER
B	Ø40 TRAPPED WASTE TO FLOOR WASTE GULLY
FWG	Ø100 GULLY WITH GRATE TO ARCHITECT'S SPECIFICATION
IOS	Ø100 RISER WITH TRAP SCREW TO SUIT SURFACE TYPE

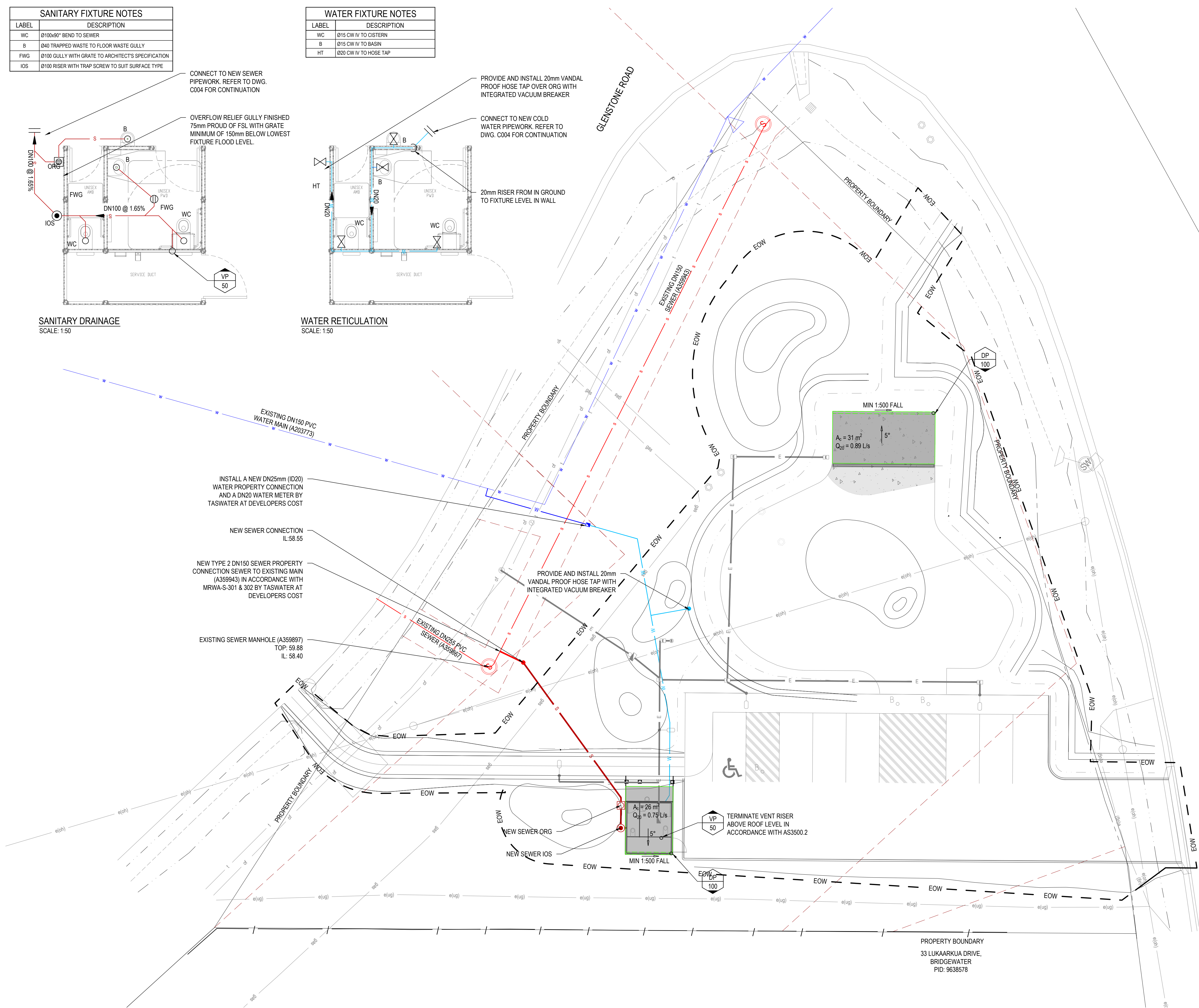
WATER FIXTURE NOTES	
LABEL	DESCRIPTION
WC	Ø15 CW IV TO CISTERN
B	Ø15 CW IV TO BASIN
HT	Ø20 CW IV TO HOSE TAP

NOTE:
ALL NEW SERVICES INSTALLED UNDER HARDSTAND
AND ROAD PAVEMENTS TO BE BACKFILLED FULL
DEPTH WITH COMPACTED BASE A.



SANITARY DRAINAGE
SCALE: 1:50

WATER RETICULATION
SCALE: 1:50



121 GLENSTONE ROAD,
BRIDGEWATER
PID: 2283964

1 STRONG STREET,
BRIDGEWATER
PID: 2546146

13 CROOKED BILLET
DRIVE, BRIDGEWATER
PID: 3017801

5 STRONG STREET,
BRIDGEWATER
PID: 9446478

WORK IN PROGRESS
NOT FOR CONSTRUCTION

P3 15.01.2025 REVISED PRELIMINARY ISSUE
P2 17.12.2024 REVISED PRELIMINARY ISSUE
P1 13.12.2024 PRELIMINARY ISSUE
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Accepted (Discipline Head) CJM Date
Accepted (Team Leader) MJR Date
Approved (Principal) CJM Date
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SCALES @ A1 DESIGNED BY DRAWN BY
NTS CEF CEF
PLOT DATE 15/01/2025
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PROJECT
LOT 1 STRONG STREET, BRIDGEWATER
TRUCK STOP UPGRADES
CONTRACT 1 PACKAGE

TITLE
HYDRAULIC SERVICES

PROJECT NO. 240626CS
DWG NO. H011
PLOT DETAILS 240626CS - PLANS (C) TP 1 DWG

REVISION
P3

GENERAL

WORK HEALTH & SAFETY NOTICE:
JMG HAVE CONSIDERED THE HAZARDS AND RISKS ASSOCIATED WITH THE CONSTRUCTION, OPERATION, MAINTENANCE AND EVENTUAL DEMOLITION OF THIS PROJECT. THERE ARE A NUMBER OF HAZARDS AND HENCE RISKS WHICH ARE NOT UNIQUE TO THIS PROJECT WHICH NEED TO BE MANAGED DURING THESE PHASES. JMG REMIND CONSTRUCTORS, OPERATORS, MAINTAINERS AND DEMOLISHERS OF THEIR RESPONSIBILITIES UNDER WORK HEALTH & SAFETY ACTS AND REGULATIONS. THE FOLLOWING RISKS HAVE BEEN IDENTIFIED WHICH ARE UNUSUAL TO THIS PROJECT: EXISTING UNDERGROUND GAS MAIN, EXISTING OVERHEAD POWER

UNLESS SPECIFIED OTHERWISE BY DOCUMENTATION SPECIFIC TO THIS PROJECT ALL DIMENSIONS, MATERIALS, WORKMANSHIP ETC SHALL COMPLY WITH DSG STANDARD CONTRACT DOCUMENTS AND SPECIFICATIONS (R SERIES) AND IPWEA TASMANIAN DIVISION STANDARD DRAWINGS (INCLUDING THE AUTHORITIES LISTED DEPARTURES FROM THE IPWEA STANDARD DRAWINGS) VERSION 3 ISSUED DECEMBER 2020.

ONLY THOSE SERVICES CONSPICUOUS DURING FIELD SURVEYS HAVE BEEN PLOTTED. THE LOCATION OF THESE SERVICES IS APPROXIMATE ONLY AND NO GUARANTEE IS GIVEN THAT ALL SERVICES ARE SHOWN. THE CONTRACTOR SHALL CONFIRM ON SITE PRIOR TO THE START OF WORKS THE LOCATION OF ALL SERVICES WITH THE RELEVANT AUTHORITY.

THE CONTRACTOR MUST POTHOLE ALL EXISTING SERVICES AT PROPOSED CROSSING POINTS WITH NEW SERVICES, STRUCTURES AND WHERE UNDER REDUCED FINISHED SURFACE LEVELS PRIOR TO THE COMMENCEMENT OF WORKS TO DETERMINE IF THE EXISTING OR PROPOSED SERVICE WILL BE ADVERSELY AFFECTED BY CLASH OR REDUCED MINIMUM COVER. THE CONTRACTOR MUST POTHOLE EXISTING SERVICES AT ALL PROPOSED CONNECTION POINTS FOR NEW SERVICES TO CONFIRM THAT MINIMUM COVER AND OR GRADIENT FOR THE NEW SERVICE WILL BE ACHIEVED. WHERE A CONFLICT WITH AN EXISTING OR PROPOSED SERVICE IS IDENTIFIED THE CONTRACTOR SHALL SEEK DIRECTION FROM THE SUPERINTENDENT. NO CLAIM FOR VARIATION OR EXTENSION OF TIME WILL BE CONSIDERED AS A RESULT OF THE CONTRACTORS FAILURE TO UNDERTAKE THIS INVESTIGATION, AT A SUFFICIENT TIME PRIOR TO THE INSTALLATION WORKS, TO ALLOW ANY REDESIGN TO OCCUR.

PRIOR TO THE COMMENCEMENT OF SITE WORKS THE CONTRACTOR SHALL PREPARE, SUBMIT AND GAIN APPROVAL FROM THE RELEVANT COUNCIL FOR A SOIL AND WATER MANAGEMENT PLAN FOR THE CONSTRUCTION WORKS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF ALL REQUIRED PROTECTION MEASURES FOR THE DURATION OF THE CONTRACT AND UNTIL NEW VEGETATION IS FULLY ESTABLISHED.

PRIOR TO THE COMMENCEMENT OF ANY COUNCIL INFRASTRUCTURE WORKS, THE CONTRACTOR SHALL APPLY TO COUNCIL, AND RECEIVE A PERMIT TO CONSTRUCT PUBLIC INFRASTRUCTURE.

FOR WORKS WITHIN THE ROAD RESERVATION THE CONTRACTOR SHALL APPLY FOR AND RECEIVE A ROAD OPENING PERMIT FROM COUNCIL PRIOR TO THE COMMENCEMENT OF WORKS, THIS APPLICATION SHALL INCLUDE THE PREPARATION OF TRAFFIC AND PEDESTRIAN MANAGEMENT PLANS AS APPLICABLE.

PRIOR TO THE COMMENCEMENT OF ANY TASWATER INFRASTRUCTURE WORKS, THE CONTRACTOR SHALL APPLY TO TASWATER, AND RECEIVE A PERMIT TO CONSTRUCT TASWATER INFRASTRUCTURE.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF ALL PEDESTRIAN AND TRAFFIC MANAGEMENT DEVICES TO COMPLY WITH AS1742 FOR THE DURATION OF THE WORKS.

THE CONTRACTOR SHALL PREPARE IN ELECTRONIC (.DWG) FORMAT 'AS CONSTRUCTED' DRAWINGS TO THE SATISFACTION OF JMG, COUNCIL MUNICIPAL ENGINEER AND/OR TASWATER SHOWING THE AS INSTALLED LOCATION OF ALL ABOVE AND BELOW GROUND WORKS. CONFIRMATION OF APPROVAL, FROM THE RELEVANT AUTHORITIES, OF THE COMPLETED DRAWINGS SHALL BE SUBMITTED TO THE SUPERINTENDENT PRIOR TO THE ISSUING OF THE CERTIFICATE OF PRACTICAL COMPLETION.

PROPRIETARY PRODUCTS ARE TO BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S WRITTEN INSTRUCTIONS.

LANDSCAPING

THE DESIGN LEVELS FOR THE PROJECT ARE GENERALLY TO FOLLOW NATURAL GRADE, WITH A RIDGELINE TO SHEET STORMWATER TO PERIMETER SWALES.

THE TOPSOIL FOR CIVIL PAVEMENTS AND SWALES WILL NEED TO BE STRIPPED (TO 200MM DEPTH) AND STOCKPILED FOR RE USE INTO THE PROPOSED MOUNDS SHOWN. THESE CAN GROW AS REQUIRED TO ACCOMMODATE THE SOIL BUT ARE NOT TO EXCEED HEIGHTS SHOWN.

CIVIL PAVEMENTS WILL BE THEN BUILT UP OVER THE COMPACTED SUBGRADE FORMATION LEVEL (~300MM TOTAL PAVEMENT FOR 2 COAT SEAL AND 250MM FOR CONCRETE, SUBJECT TO CIVIL DESIGN.

IT IS INTENDED THAT NO MATERIAL IS REQUIRED TO LEAVE SITE.

EARTHWORKS

DEMOLISH AND REMOVE ALL CONCRETE SLABS, KERBS, WALLS ETC. AS NOTED AND REQUIRED FOR THE CONSTRUCTION OF THE NOMINATED WORKS.

FOLLOWING DEMOLITION AND REMOVAL OF SLABS, KERBS ETC. AND STRIPPING OF THE SITE TO THE REQUIRED FORMATION LEVELS, GRADE SUB-GRADE TO A SMOOTH PROFILE AND CONSOLIDATE TO 98% MAXIMUM DRY DENSITY (AS 1289.5) PROOF ROLL IN THE PRESENCE OF THE CONSULTING ENGINEER USING A SINGLE AXLE RIGID TRUCK WITH A FULL LEGAL LIMIT LOAD. REMOVE ANY UNSUITABLE SOFT, WET OR HEAVING MATERIAL AS DIRECTED BY THE SUPERINTENDENT AND REPLACE WITH COMPACTED SELECT FILL IN LAYERS NOT EXCEEDING 200mm LOOSE TO ACHIEVE 98% STANDARD COMPACTION (AS1289.5).

ALL STRIPPED TOPSOIL SHALL BE STOCKPILED ON-SITE FOR RESPREADING ON BATTERS AND DISTURBED AREAS, ALL EXCESS EXCAVATED MATERIAL SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE DISPOSED OF OFF SITE AT THE CONTRACTORS COST UNLESS APPROVED OTHERWISE BY THE SUPERINTENDENT.

ANY IMPORTED FILL MATERIAL FOR UNDER ROADWAYS AND CARPARKS SHALL BE WELL GRADED WITH A MAXIMUM PARTICLE SIZE OF 75mm, 80% LESS THAN 20mm, HAVE A MINIMUM CBR VALUE OF 15% AND A PLASTICITY INDEX LESS THAN 12%. COMPACT TO A MINIMUM OF 96% STANDARD COMPACTION TO DSG SPECIFICATION R22 IN LAYERS NOT EXCEEDING 200mm LOOSE THICKNESS.

ALL EARTHWORKS INCLUDING EMBANKMENTS SHALL BE PREPARED AND CONSTRUCTED TO DSG SPECIFICATION R22 & R23

WHERE EMBANKMENT FILLS EXCEED 400mm IN HEIGHT ABOVE STRIPPED SURFACE LEVEL THE CONTRACTOR SHALL PROVIDE COMPACTION TEST RESULTS FOR THE PLACED MATERIAL AT A RATE OF AT LEAST 1 PER 500M2 OR A MINIMUM OF 2 PER LAYER WHICHEVER IS THE GREATER UNLESS APPROVED OTHERWISE BY THE SUPERINTENDENT. EMBANKMENT COMPACTION SHALL BE IN ACCORDANCE WITH DSG SPECIFICATION R22 TABLE 22.3.

WHERE EMBANKMENTS ARE TO BE CONSTRUCTED ON NATURAL GROUND WITH SLOPES EXCEEDING 3 HORIZONTAL TO 1 VERTICAL (3:1) THE FOUNDATION SHALL BE CUT INTO HORIZONTAL BENCHES TO DSG SPECIFICATION R22.9.1 PRIOR TO THE COMMENCEMENT OF EMBANKMENT CONSTRUCTION.

DURING FORMATION WORKS THE CONTRACTOR SHALL ENSURE THAT ADEQUATE STEPS ARE TAKEN TO PROTECT THE SUBGRADE FROM WET WEATHER PRIOR TO THE PLACEMENT OF THE SUB-BASE. NO CLAIM WILL BE CONSIDERED AS A RESULT OF THE CONTRACTORS FAILURE TO PROTECT THE WORKS.

ROADWORKS

WHERE NEW WORKS ABUT EXISTING SAWCUT ALL INTERFACES TO NEAT STRAIGHT LINES AND RECTANGULAR SHAPES AND MAKE GOOD TO MATCH.

BACKFILL ALL TRENCHES AND EXCAVATIONS WITHIN VEHICLE PAVEMENTS FULL DEPTH WITH 20mm FINE CRUSHED ROCK CONSOLIDATED IN MAXIMUM 150mm LAYERS TO 96% MODIFIED COMPACTION.

SUBMIT TO THE CONSULTING ENGINEER PRIOR TO THEIR USE MATERIAL PROPERTIES AND SOURCE FOR ALL ROAD MAKING MATERIALS. UNLESS NOTED OTHERWISE PAVEMENT MATERIALS SHALL COMPLY WITH THE REQUIREMENTS OF DSG SPECIFICATION R40 FOR BASE CLASS A AND SUB-BASE 1 MATERIALS.

EACH COMPLETED PAVEMENT LAYER SHALL BE COMPACTED TO A MINIMUM DDR OF 96% FOR SUB-BASE AND 98% FOR BASE COURSE AND PROOF ROLLED IN THE PRESENCE OF THE SUPERINTENDENT AND COUNCIL'S WORKS INSPECTOR WHERE REQUIRED USING A SINGLE AXLE RIGID TRUCK WITH A FULL LEGAL LIMIT LOAD.

CONSTRUCT PAVEMENT BETWEEN NOMINATED LEVELS TO SMOOTH GRADES AND TRANSITION TO DRAIN TO PITS, KERB AND

GUTTER, V-DRAINS ETC.

ASPHALT AND PAVED SURFACES SHALL HAVE A BITUMEN EMULSION PRIME COAT APPLIED TO THE CLEAN SWEEPED SURFACE OF THE BASE COURSE AT THE MINIMUM RATE OF 0.15 l/m² RESIDUAL BINDER.
ROADWORKS (CONT.)

CARPARK SPACES ARE TO BE DELINEATED BY PAINTED LINES. 80mm WIDE WITH TWO COATS OF ROAD MARKING PAINT TO DSG SPECIFICATION R64. CLEARLY MARK 'DISABLED' SPACES BY PAINTED SYMBOL TO AUSTRALIAN STANDARD.

CONCRETE COMPRESSIVE STRENGTH SHALL BE :
PAVEMENTS AND GRATED TRENCH - N32
PITS, & MINOR WORKS - N25.

WORKMANSHIP, MATERIALS AND DESIGN SHALL BE IN ACCORDANCE WITH AS3600 AND THE ASSOCIATED CODES LISTED THEREIN AND THE SPECIFICATION.

GRADE AND ROLL MINIMUM 150mm TOPSOIL TO ALL GRASSED LANDSCAPED AREAS. WHERE NECESSARY TO RAISE LEVELS, PLACE AND CONSOLIDATE GENERAL FILL FROM SITE BENEATH TOPSOIL. HYDROMULCH AND SEED DISTURBED AREAS WITH TYPE A SEED MIX TO DSG SPECIFICATION R70.

PRECAST CONCRETE WHEELSTOPS TO BE HUMES OR EQUIVALENT 2000mm LONG WITH 2No. 16dia GALV. SPIKES 300mm LONG.

CONCRETE PAVEMENTS GENERAL

CONSTRUCT PAVEMENT BETWEEN NOMINATED LEVELS TO SMOOTH GRADES AND TRANSITION TO PITS, KERBS, V-DRAINS, EDGES ETC. THE MINIMUM GRADIENT OF ANY AREA ON THE PAVEMENT IS TO BE 1:100. WHERE DISCREPANCIES EXIST ON THE DRAWINGS REFER TO SUPERINTENDENT FOR DIRECTION.

THE FINISHED SURFACE LEVEL OF ANY PAVEMENT ADJACENT TO BUILDINGS SHALL BE BELOW THE WALL DAMP PROOF COURSE AND SHALL NOT OBSCURE WEEP HOLES OR DRAINAGE OPENINGS. THE PAVEMENT SHALL GRADE AWAY FROM THE BUILDING.

INSTALL 2No. N16 x 2100mm LONG TRIMMER BARS AT 45deg ACROSS ALL RE-ENTRANT CORNERS.

INSTALL CONTROL AND EXPANSION JOINTS AS SHOWN ON THE DRAWINGS.

INSTALL ISOLATION JOINTS AT ALL INTERFACES WITH EXISTING OR PROPOSED STRUCTURES.

ALL JOINT SEALANTS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S WRITTEN SPECIFICATIONS.

TOLERANCES OF FINISHED SURFACES
MAXIMUM DEVIATION UNDER A 3m STRAIGHT EDGE = +/-10mm
MAXIMUM LEVEL DIFFERENCE FROM DESIGN LEVELS = +/-20mm
CONCRETE THICKNESS AND REINFORCEMENT LOCATION TO AS3600

CURE SURFACE FOR MINIMUM 7 DAYS AFTER PLACEMENT, CONTRACTOR TO SUBMIT TO THE SUPERINTENDENT FOR APPROVAL THE PROPOSED METHOD OF CURING PRIOR TO THE COMMENCEMENT OF PAVEMENT WORKS. PROTECT SURFACE FROM VEHICULAR TRAFFIC DURING CURING PERIOD.

COLOURED & EXPOSED AGGREGATE CONCRETE PAVEMENTS

ALL NEW COLOURED AND EXPOSED AGGREGATE PAVEMENT SHALL USE AGGREGATE AS DEFINED BY THE LANDSCAPE ARCHITECT SPECIFICATION.

28 DAYS PRIOR TO COMMENCING THE PLACEMENT OF THE MAIN CONCRETE PAVEMENT SLABS THE CONTRACTOR SHALL POUR A TEST PANEL OF AT LEAST 2m² FOR ACCEPTANCE BY THE SUPERINTENDENT. ACCEPTANCE OR REJECTION WILL BE ON THE BASIS OF COMPARISON OF THE AGGREGATE TYPE, COLOURING AND SURFACE TEXTURE. IF ACCEPTED THE TEST PANEL MAY BE PERMITTED TO BE RETAINED IN THE FINISHED WORKS PROVIDED IT WAS CONSTRUCTED IN ACCORDANCE WITH THE DRAWINGS. THE ACCEPTANCE OR OTHERWISE OF ALL CONCRETE WORKS SHALL INCLUDE A VISUAL INSPECTION AND COMPARISON AGAINST THE TEST PANEL. DIRECTIONS TO REMOVE AND REPLACE DEFECTIVE WORK SHALL BE AT THE DISCRETION OF THE SUPERINTENDENT. COSTS ASSOCIATED WITH REPLACEMENT OF DEFECTIVE WORK SHALL BE BOURNE BY THE CONTRACTOR.

CONCRETE STRENGTH TO BE S32 WITH SLUMP 100mm.

PROTECT ADJACENT SURFACES FROM STAINING DURING PLACEMENT AND FINISHING OF THE SLAB. ENSURE WASH WATER DOES NOT ENTER EXISTING STORMWATER SYSTEM.

WATER RETICULATION - TASWATER

ALL WORKS ARE TO BE TO TASWATER APPROVAL IN ACCORDANCE WITH THE WATER SERVICES ASSOCIATION OF AUSTRALIA WATER SUPPLY CODE OF AUSTRALIA (MELBOURNE RETAIL WATER AGENCIES EDITION) WSA 03-2011-3.1 VERSION 2.0 INCLUDING STANDARD DRAWINGS REFERENCED THEREIN AND ALSO TO TASWATERS SUPPLEMENT TO THIS CODE AND THE STANDARD DRAWINGS REFERENCED THEREIN. THE CONTRACTOR SHALL MAKE APPLICATION TO TASWATER FOR APPROVAL TO UNDERTAKE WORKS, ARRANGE FOR INSPECTIONS, CO-ORDINATE WORKS REQUIRED TO BE UNDERTAKEN BY THE AUTHORITY AND PAY ALL COSTS.

UNLESS NOTED OTHERWISE PIPE MATERIALS SHALL BE AS FOLLOWS:
20 - 32 NB - HDPE PN16 PE100 - INSTALL IN DN100 SN4 uPVC SLEEVE UNDER ROADWAYS
50 - 80 NB - HDPE PN16 PE100 WITH COMPRESSION FITTINGS - INSTALL IN DN100 SN4 uPVC SLEEVE UNDER ROADWAYS
<100mm POLYETHYLENE (PE) PIPE WITH TRACE WIRE IS APPROVED FOR USE IN PROPERTY SERVICE CONNECTIONS AND RODS
100 -300 NB - oPVC SERIES 2 CLASS 16 RRJ

WATERMAIN ROAD CROSSING DETAILS
<100mm POLYETHYLENE (PE) PIPE WITH TRACE WIRE IS TO BE INSERTED INTO A SLEEVE PIPE OF MINIMUM CLASS SN4 DN100 FOR MAX. 630D SERVICE SLEEVED PIPES SHALL BE INSTALLED SO THAT WATER HAMMER AND PRESSURE FLUCTUATIONS DO NOT CAUSE PIPE MOVEMENT WITHIN THE CONDUIT.

WATER MAINS TO HAVE CLEARANCE TO OTHER SERVICES IN ACCORDANCE WITH TABLE 5.5 'WATER MAIN CLEARANCES' OF THE WATER SUPPLY CODE OF AUSTRALIA WSA 03-2013-3.1 MRWA EDITION VERSION 2 AND TASWATER SUPPLEMENT TO THIS CODE.

ALL VALVES, FIRE HYDRANTS AND PIPE FITTINGS SHALL BE TASWATER AND WSAA APPROVED INSTALLED IN ACCORDANCE WITH WSAA STANDARD DRAWINGS MRWA-W-300 TO 305 AND TASWATER STANDARD DRAWINGS TW-W-305, TW-W-306 AND TW-W-311 TO 313.

WHEREIN PROPOSED EMBANKMENT CONSTRUCTION, TRENCHING AND EXCAVATION FOR ALL PROPOSED TASWATER PIPEWORK INFRASTRUCTURE SHALL BE UNDERTAKEN POST EMBANKMENT CONSTRUCTION.

THRUST BLOCKS SHALL BE INSTALLED TO ALL TEES, BLANK ENDS, VALVES, FIRE HYDRANTS AND BENDS IN ACCORDANCE WITH TASWATER STANDARD DRAWING TW-W-300W. WHERE WATER MAINS ARE INSTALLED IN COMMON TRENCHES WITH OTHER SERVICES ENSURE THAT THE WATER MAIN IS ON THE OUTSIDE OF THE TRENCH AND THAT THRUST BLOCKS BEAR ON UNDISTURBED GROUND.

FOR PIPE BEDDING AND BACKFILL REFER WSA STD DRG. MRWA-W-201. PIPE EMBEDMENT TO BE 7mm CLEAN AGGREGATE (UNO). BACKFILL ALL TRENCHES WITHIN VEHICLE PAVEMENTS TO THE UNDERSIDE OF THE PAVEMENT LAYER FULL DEPTH WITH 20mm FINE CRUSHED ROCK CONSOLIDATED IN MAXIMUM 150mm LAYERS TO 96% MODIFIED COMPACTION.

COVER TO WATER MAINS SHALL BE AS PER TABLE 7.4.2.1 OF THE TASWATER SUPPLEMENT TO THE WATER SUPPLY CODE OF AUSTRALIA, WSA03-2011-3.1 MRWA EDITION V2.0.

A DETECTABLE MARKER TAPE WITH THE WORDING 'WATER MAIN' SHALL BE PLACED OVER ALL WATER MAINS, INCLUDING PROPERTY CONNECTION BRANCHES, FOR FULL LENGTH ON TOP OF THE BEDDING.

PAINT HYDRANT COVERS AND KERB TOPS AND INSTALL TWO-WAY BLUE RETRO REFLECTIVE TO TASWATER STANDARD DRAWING TW-W-311, TW-W-312 AND TW-W-313.

PAINT SURROUNDS AND INSTALL PAINTED MARKER POSTS ADJACENT TO ALL STOP VALVES TO WSA STD. DRG. MRWA-W-300.

PROPERTY CONNECTIONS TO BE TO TASWATER STANDARD DRAWING SERIES TWS-W-0002. METER AND VALVE BOX TO BE SUPPLIED BY TASWATER AT DEVELOPERS COST. VALVE BOX TO BE LOCATED 1m INSIDE PROPERTY BOUNDARY.

CLEAN, DISINFECT AND PRESSURE TEST ALL PIPEWORK IN ACCORDANCE WITH WSA STANDARD SPECIFICATION CONSTRUCTION CLAUSE 19 PRIOR TO CONNECTION TO EXISTING INFRASTRUCTURE. ALL PIPELINES MUST BE INSPECTED BY TASWATER PRIOR TO BACKFILL. FOLLOWING BACKFILL PRESSURE TEST TO 1500kpa AT THE LOW POINT OF THE SYSTEM FOR A MINIMUM 2 HOURS.

CONNECTIONS TO EXISTING TASWATER INFRASTRUCTURE TO BE PERFORMED BY AN ACCREDITED TASWATER CONTRACTOR AT CONTRACTORS COST. CONTRACTOR IS RESPONSIBLE FOR CO-ORDINATION OF CONNECTION WORKS WITH TASWATER.

THE CONTRACTOR SHALL ENSURE THAT WATER MAINS INCLUDING ALL TEES, BENDS, VALVES AND PROPERTY CONNECTION LINES ARE LEFT EXPOSED UNTIL SUCH TIME AS THEY HAVE BEEN LOCATED BY THE SURVEYOR UNDERTAKING THE AS CONSTRUCTED SURVEY. THE SURVEYOR SHALL BE PROVIDED WITH AT LEAST 48hrs ADVANCE NOTICE TO ALLOW THEM TO ATTEND THE SITE. FAILURE TO DO SO MAY RESULT IN THE CONTRACTOR HAVING TO RE-EXPOSE ALL PIPEWORK TO ALLOW ACCURATE PICK UP OF THE SERVICE.

WHERE MANAGED BY THE THE CONTRACTOR, THE CONTRACTOR SHALL ENSURE THE AS-CONSTRUCTED DRAWINGS, SURVEY & CONTROL AND DATA COLLECTION IS UNDERTAKEN AND PROVIDED TO TASWATER IN ACCORDANCE WITH TASWATERS ASSET SPATIAL DATA SPECIFICATION.

SEWER RETICULATION - TASWATER

ALL WORKS ARE TO BE TO TASWATER APPROVAL IN ACCORDANCE WITH THE WATER SERVICES ASSOCIATION OF AUSTRALIA (MELBOURNE RETAIL WATER AGENCIES EDITION) GRAVITY SEWERAGE CODE WSA 02-2014 VERSION 2.0 INCLUDING STANDARD DRAWINGS REFERENCED THEREIN AND TASWATER'S SUPPLEMENT TO THIS CODE. THE CONTRACTOR SHALL MAKE APPLICATION TO TASWATER FOR APPROVAL TO UNDERTAKE WORKS, ARRANGE FOR INSPECTIONS, CO-ORDINATE WORKS REQUIRED TO BE UNDERTAKEN BY THE AUTHORITY AND PAY ALL COSTS.

ALL SEWER PIPES TO BE:
DN100 SEWER MAINS TO BE uPVC SCJ CLASS SN10 (UNO).
DN150-225 SEWER MAINS TO BE uPVC SCJ CLASS SN8 (UNO).

FOR PIPE GRADES <1.10%, PIPE EMBEDMENT MATERIAL TO BE ITEM 'c' 7mm CLEAN AGGREGATE (UNO). FOR GRADES OF >10% TO 30% EMBEDMENT MATERIAL TO BE ITEM 't', COMPACTED 3% CEMENT STABILISED 20mm FCR (BASE A OR CLASS 3 FCR). REFER TABLE 202-B ON STD DRG MRWA-S-202.

BACKFILL ALL TRENCHES WITHIN VEHICLE PAVEMENTS TO THE UNDERSIDE OF THE PAVEMENT LAYER FULL DEPTH WITH BASE A 20mm FINE CRUSHED ROCK CONSOLIDATED IN MAXIMUM 150mm LAYERS TO 96% MODIFIED COMPACTION.

WHEREIN PROPOSED EMBANKMENT CONSTRUCTION, TRENCHING AND EXCAVATION FOR ALL PROPOSED TASWATER PIPEWORK INFRASTRUCTURE SHALL BE UNDERTAKEN POST EMBANKMENT CONSTRUCTION.

INSTALL CONCRETE BULKHEADS IN ACCORDANCE WITH STD. DRG. MRWA-S-206 TO ALL PIPEWORK WITH GRADES GREATER THAN 10% IN ACCORDANCE WITH THE SPACING REQUIREMENTS OF STD DRG MRWA-S-205.

MANHOLES TO BE DN150 PRECAST (UNO) CONSTRUCTED IN ACCORDANCE WITH STD DRG. MRWA-S-307, 308, 309, 310, 311 & 313. 1302-V AND ALL OTHER REFERENCED DRAWINGS. STEP IRONS ARE NOT TO BE INSTALLED IN MANHOLES.

ENSURE COVERS TO ALL PITS AND MANHOLES ARE INSTALLED FLUSH WITH FINISHED SURFACE LEVEL. MANHOLES OUTSIDE OF SEALED AREAS ON GRADES EXCEEDING 14% SHALL BE INSTALLED HORIZONTALLY WITH A 1m SAFE LEVEL WORKING AREA SURROUNDING. PIT COVERS SHALL BE OF A TYPE APPROVED BY COUNCIL AND EITHER CLASS D WHERE LOCATED WITHIN ROADWAY PAVEMENTS OR CLASS B IN OTHER LOCATIONS.

ALL SEWER MAINS TO BE AIR TESTED AND MIRRORED BY TASWATER PRIOR TO CONSTRUCTION OF MANHOLE BASES AND BACKFILLING. PROVIDE CCTV FOOTAGE AND INSPECTION REPORT FOR SEWERS IN ACCORDANCE WITH THE LATEST VERSION OF TASWATERS REQUIREMENTS FOR 'SEWER CCTV CONDUIT INSPECTIONS' AT PRACTICAL COMPLETION.

CONNECTIONS TO EXISTING TASWATER INFRASTRUCTURE TO BE PERFORMED BY AN ACCREDITED TASWATER CONTRACTOR AT CONTRACTORS COST. CONTRACTOR IS RESPONSIBLE FOR CO-ORDINATION OF CONNECTION WORKS WITH TASWATER.

PROPERTY CONNECTIONS TO HAVE SURFACE INSPECTION OPENING LOCATED 1.0m INSIDE PROPERTY BOUNDARY WITH SURFACE CAP TO STD-DRG MRWA-S-301 FIG 301-B. PROPERTY CONNECTION TO MAINS TO BE IN ACCORDANCE WITH STD-DRG MRWA-S-301, 302 & 303.

DEPTH OF INVERT OF PROPERTY CONNECTIONS TO BE <1.50m BELOW FINISHED SURFACE LEVEL OF LOTS.

NEW SEWER MANHOLES CONSTRUCTED WITHIN 2m OF NEW STORMWATER MANHOLES TO HAVE LID LEVEL HEIGHT DIFFERENCE OF <200mm.

THE CONTRACTOR SHALL ENSURE THAT SEWER MAINS INCLUDING ALL MANHOLES, BRANCHES AND PROPERTY CONNECTION LINES ARE LEFT EXPOSED UNTIL SUCH TIME AS THEY HAVE BEEN LOCATED BY THE SURVEYOR UNDERTAKING THE AS CONSTRUCTED SURVEY. THE SURVEYOR SHALL BE PROVIDED WITH AT LEAST 48hrs ADVANCE NOTICE TO ALLOW THEM TO ATTEND THE SITE. FAILURE TO DO SO MAY RESULT IN THE CONTRACTOR HAVING TO RE-EXPOSE ALL PIPEWORK TO ALLOW ACCURATE PICK UP OF THE SERVICE.

WHERE MANAGED BY THE THE CONTRACTOR, THE CONTRACTOR SHALL ENSURE THE AS-CONSTRUCTED DRAWINGS, SURVEY & CONTROL AND DATA COLLECTION IS UNDERTAKEN AND PROVIDED TO TASWATER IN ACCORDANCE WITH TASWATER'S ASSET SPATIAL DATA SPECIFICATION

FOLLOWING COMPLETION OF THE WORKS, FLUSH ALL PIPING SYSTEMS AND LEAVE FREE OF FOREIGN MATTER.

PRIVATE SERVICES - POWER & COMMUNICATIONS

POWER CONDUITS TO BE ORANGE HEAVY DUTY 500 WITH DRAW CABLE AND INSTALLED IN ACCORDANCE WITH AS/NZS 3000 SECTION 3.1.1

COMMUNICATIONS CONDUITS TO BE WHITE 250 WITH DRAW CABLE AND INSTALLED IN ACCORDANCE WITH NBN SPECIFICATIONS

SURVEY CONTROL

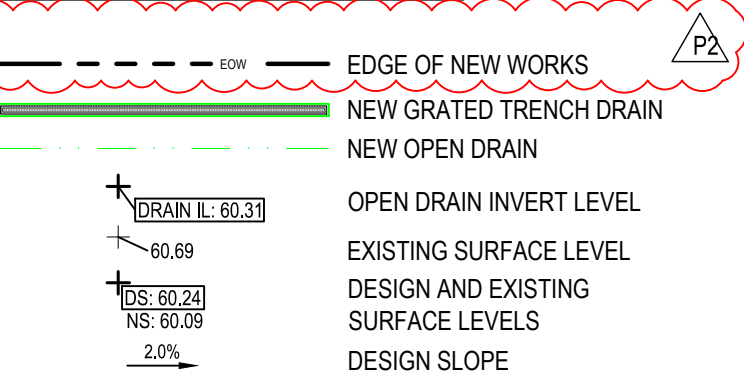
DATE OF SURVEY: 27.04.2023
AS SUPPLIED BY ROGERSON AND BIRCH SURVEYORS

HORIZONTAL DATUM IS GDA2020 PER 0.0MH LIFT LUG WITH COORDINATES OF
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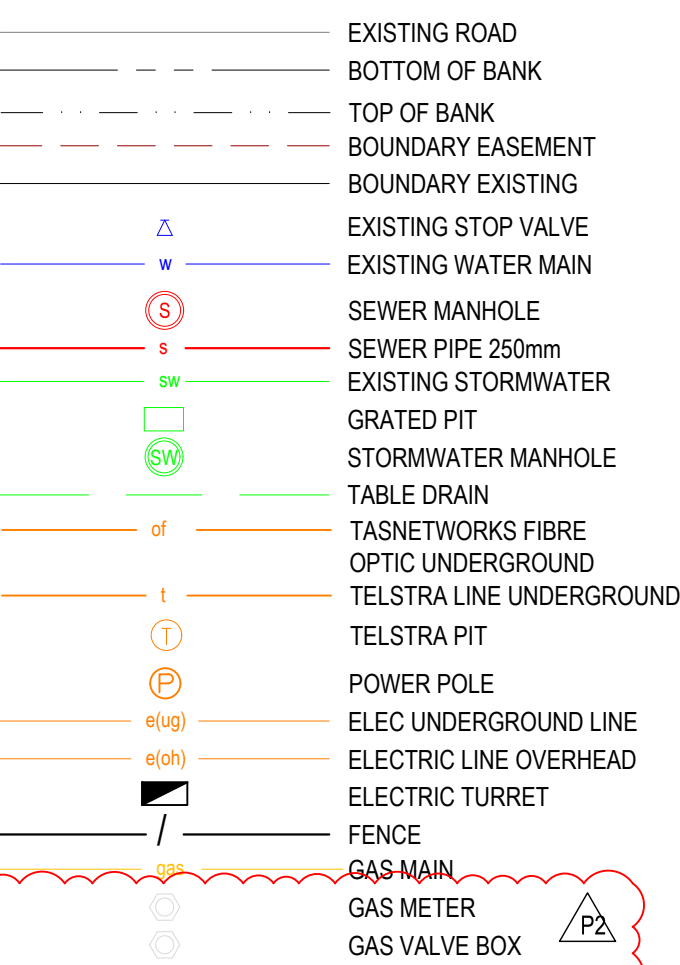
CONTOUR INTERVAL IS 0.25m.

WHILE REASONABLE EFFORT HAS BEEN MADE TO LOCATE ALL VISIBLE ABOVE GROUND SERVICES, THERE MAY BE OTHER SERVICES THAT WERE NOT LOCATED DURING THIS SURVEY.

LEGEND NEW: CIVIL SERVICES

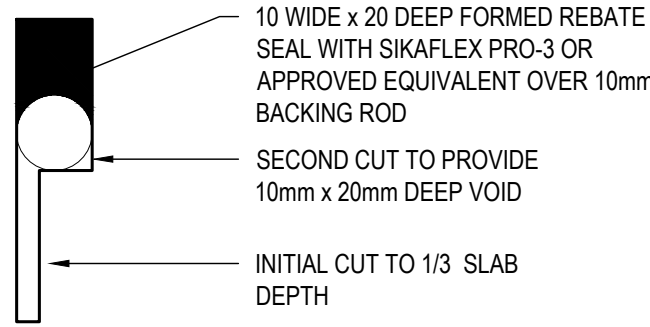


LEGEND: EXISTING SERVICES

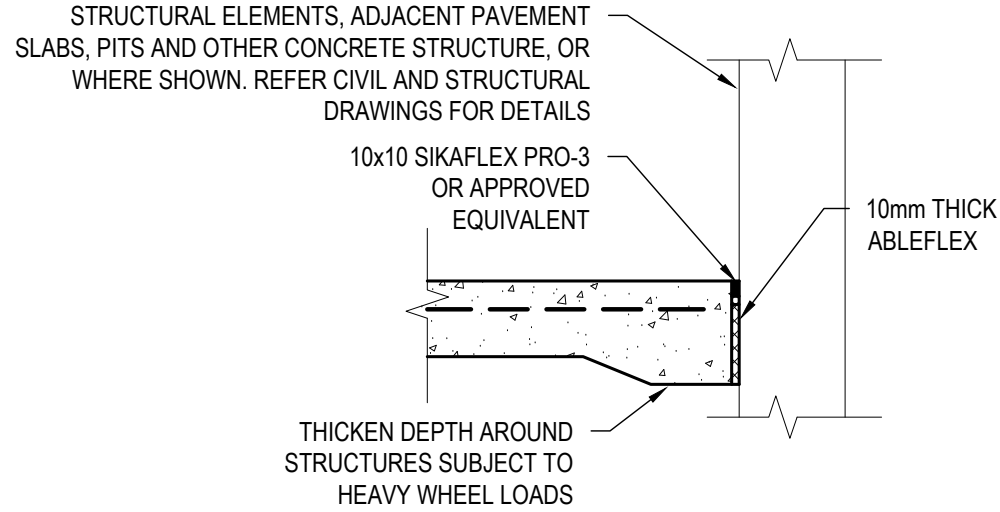


WORK IN PROGRESS
NOT FOR CONSTRUCTION

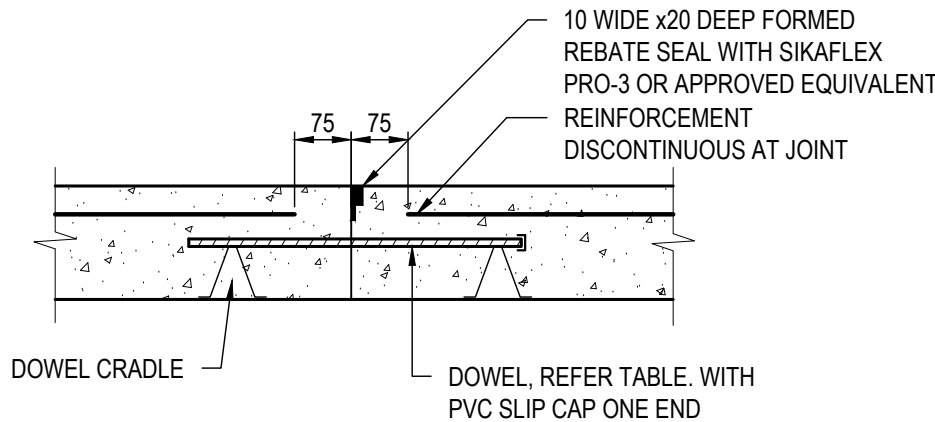




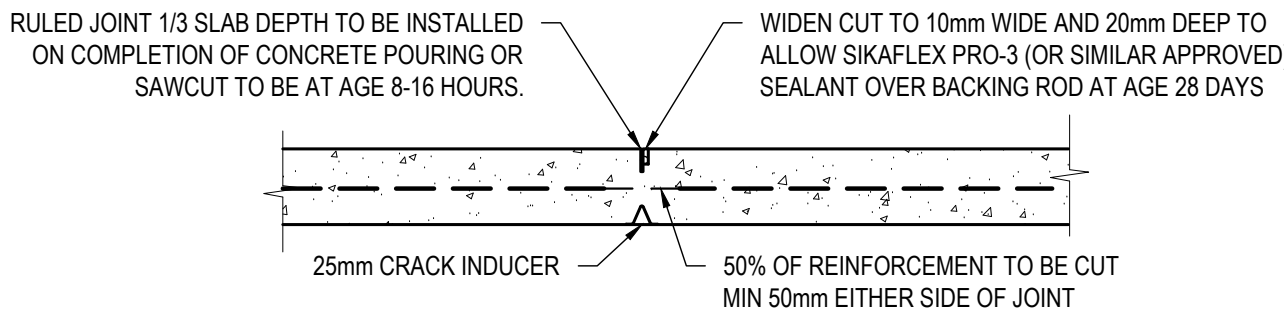
SAW CUT & SEAL DETAIL
SCALE 1:1



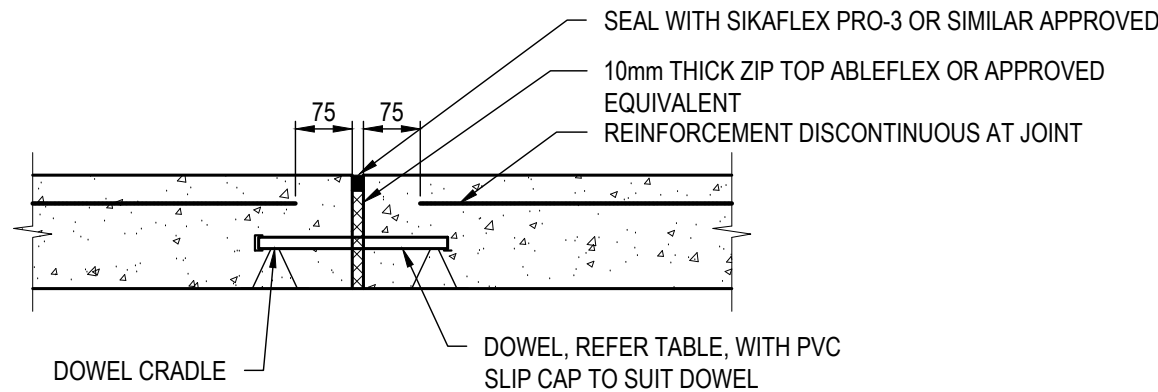
ISOLATION JOINT (IJ)
SCALE 1:10



CONTRACTION JOINT (CJ2)
ON GRADE VEHICLE PAVEMENTS @ 12m MAX. CENTRES
SCALE 1:10

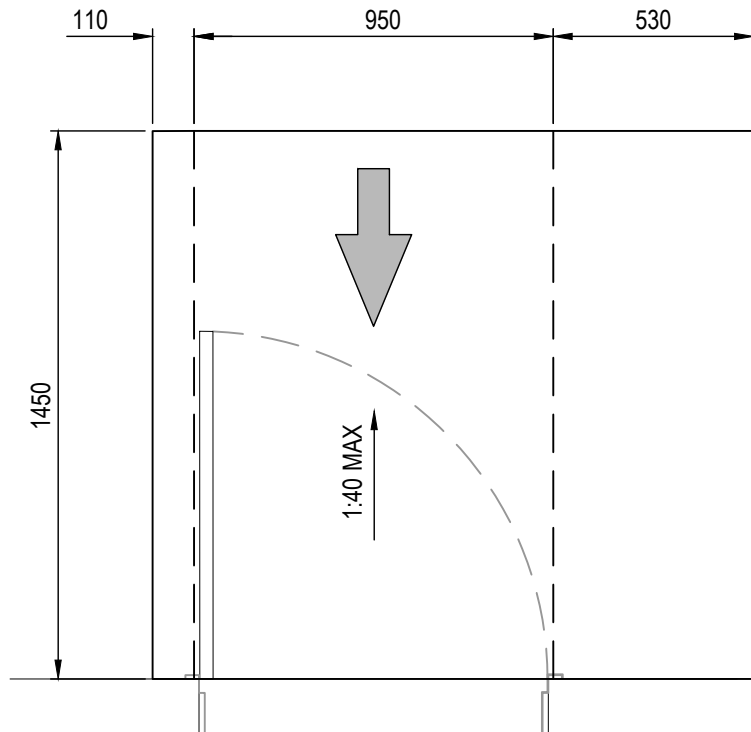


CONTROL JOINT (CJ1) - FOOTPATHS ONLY
SCALE 1:10



EXPANSION JOINT (EJ1)
SCALE 1:10

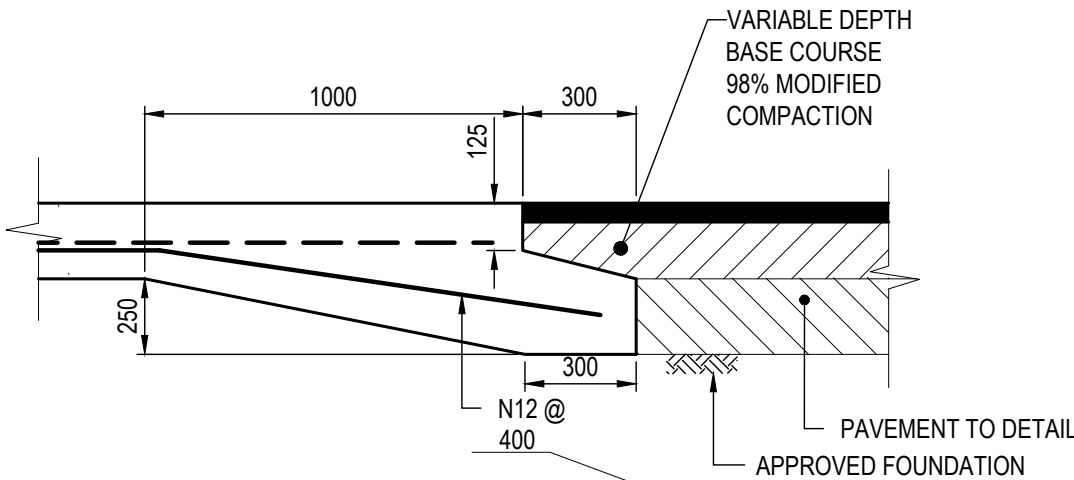
DOWEL SPECIFICATIONS			
SLAB THICKNESS (mm)	DOWEL DIAMETER (mm)	DOWEL LENGTH (mm)	DOWEL SPACING
100	12	450	300
125	16	450	300
150	20	450	300
175	20	500	300
200	24	600	300



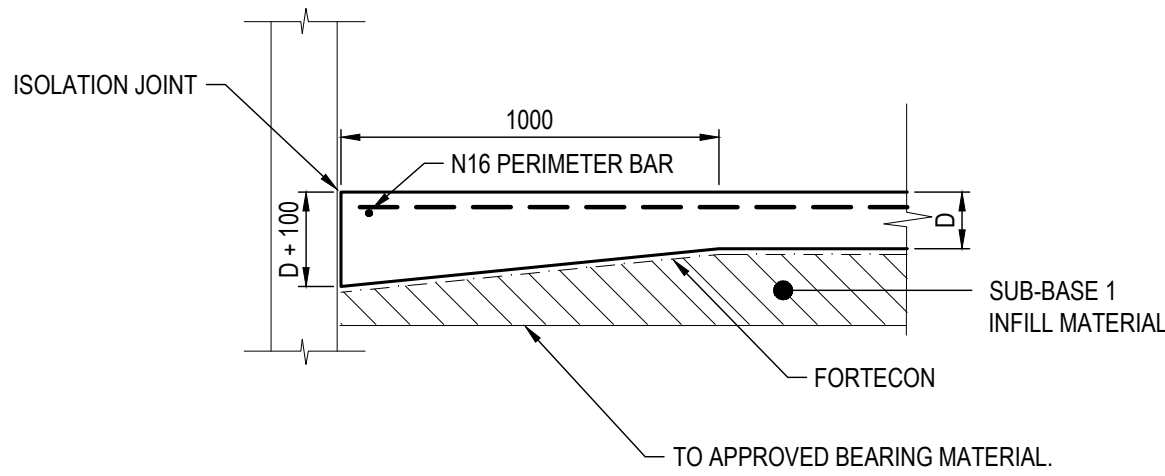
SINGLE DOOR

TYPICAL DOOR LANDING DETAILS
SCALE 1:20

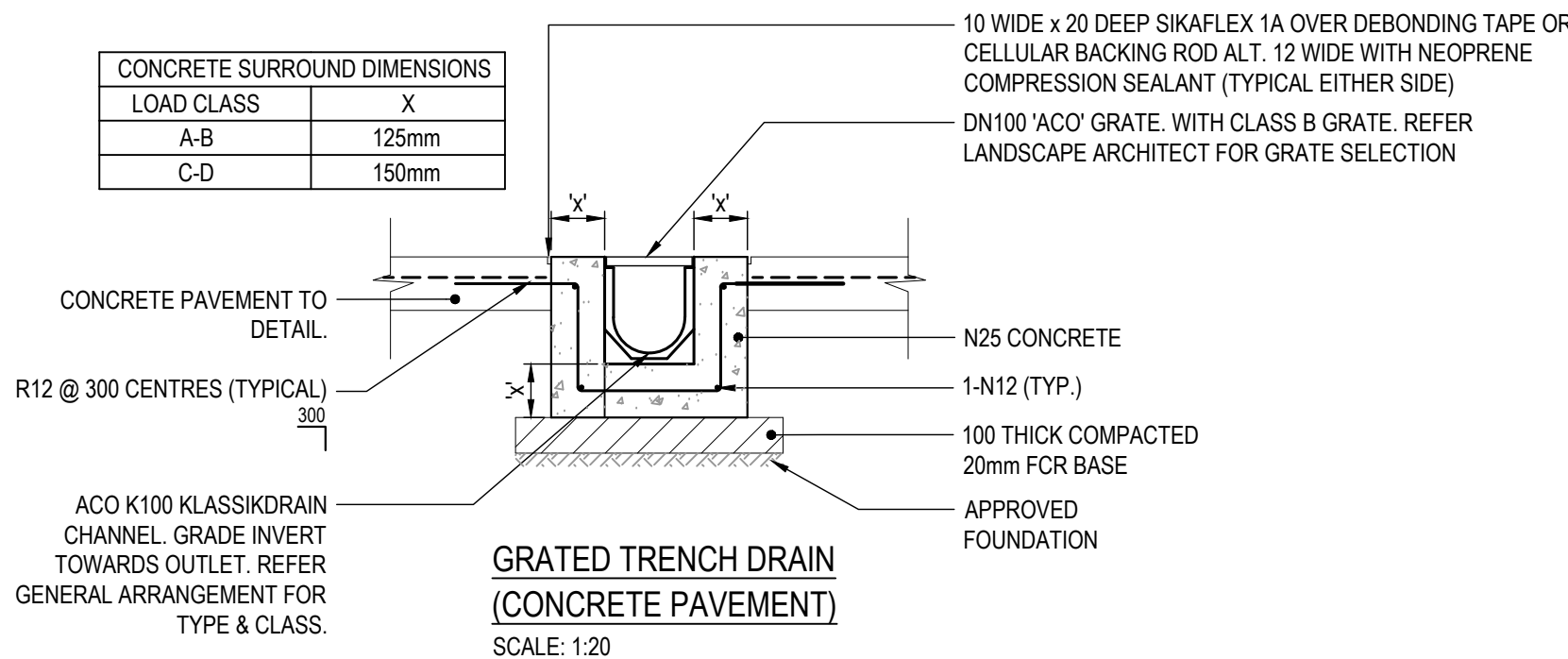
NOTE: REFER TO AS1428.1 SEC. 13.3 FOR FURTHER INFORMATION
(ALL MEASUREMENTS ARE THE MINIMUM CLEARWAY DIMENSIONS REQUIRED)



CONCRETE PAVEMENT TO ASPHALT DETAIL
SCALE 1:20



SLAB EDGE THICKENING (ET1) DETAIL
SCALE 1:20



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The following risks which are unique to this design have been identified:
This report does not release contractors from their responsibilities under the Act to identify, report, mitigate and manage all aspects of risks and safety.

Accepted (Discipline Head) CJM Date
Accepted (Team Leader) MJR Date
Approved (Principal) CJM Date
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SCALES @ A1 DESIGNED BY CEF DRAWN BY CEF
NTS CEF CEF
PLOT DATE 19/12/2024
DO NOT SCALE. Use only figure dimensions. Locations of structure, fittings, services etc in this drawing are indicative only. CONTRACTOR to check locations & alter project drawings for coordination between structure, fabric, services, fittings, services etc. CONTRACTOR to take check all dimensions and exact locations of all items. JMG accept no responsibility for dimensional deviation unless it is explicitly shown from the drawing.



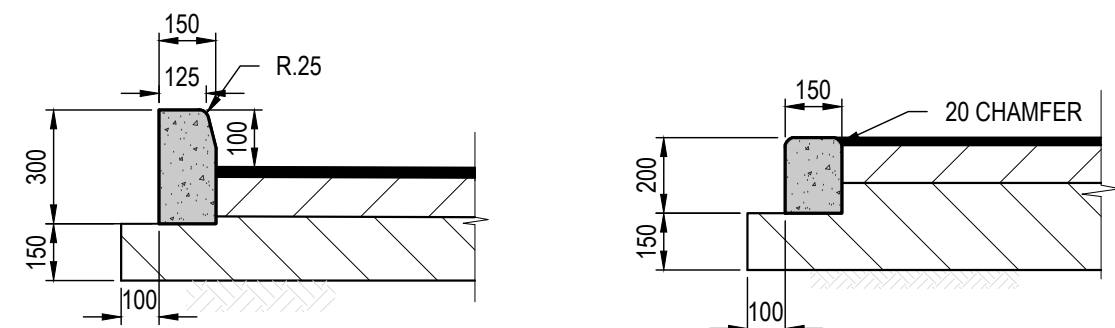
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PROJECT LOT 1 STRONG STREET, BRIDGEWATER
TRUCK STOP UPGRADES
CONTRACT 2 PACKAGE

TITLE CIVIL SERVICES
SECTIONS & DETAILS SHEET 1

0 1 2 3 4 5m
SCALE 1:100
1m
0.8m
100 200 300 400 500mm
SCALE 1:10
WORK IN PROGRESS
NOT FOR CONSTRUCTION

PROJECT NO. 240626CS
DWG NO. C022 REVISION P1
PLOT DETAILS 240626CS - PLANS (C) TP 2.DWG

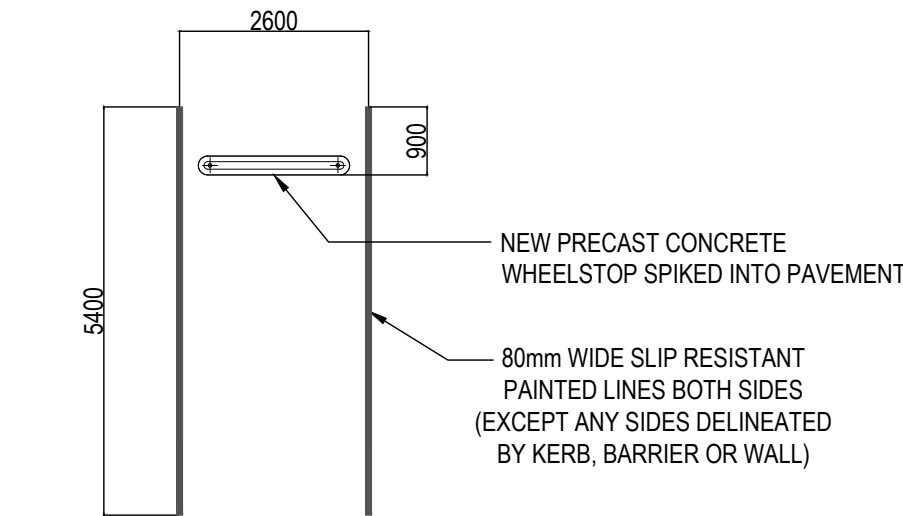


BARRIER KERB (BK)

SCALE 1:20

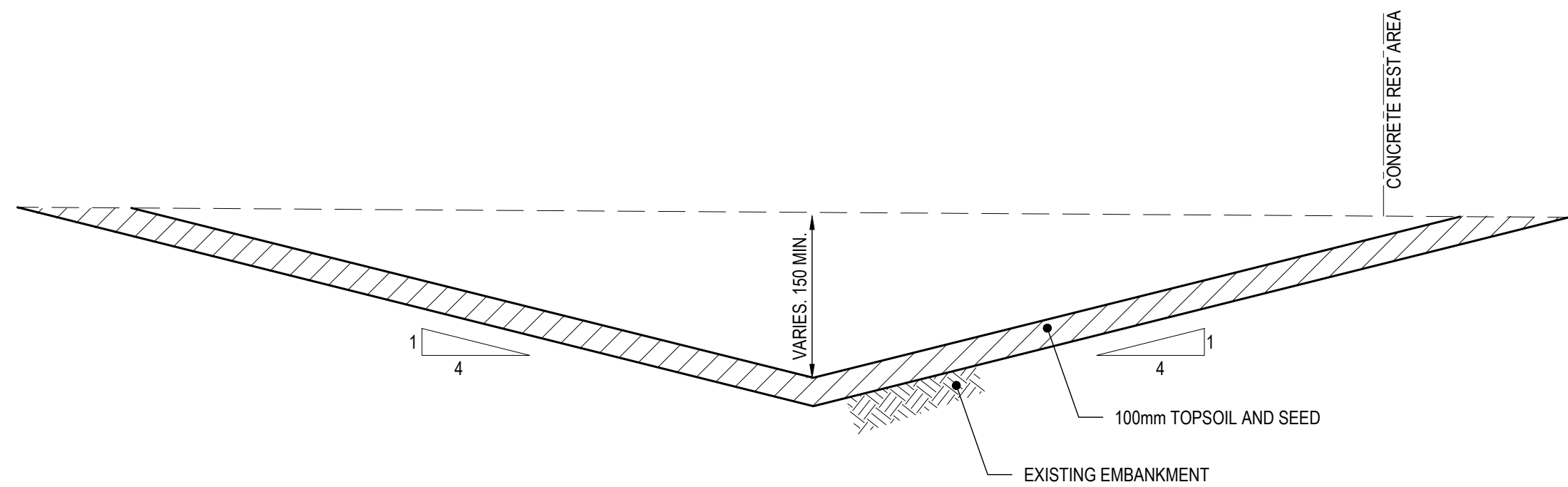
FLUSH KERB DETAIL

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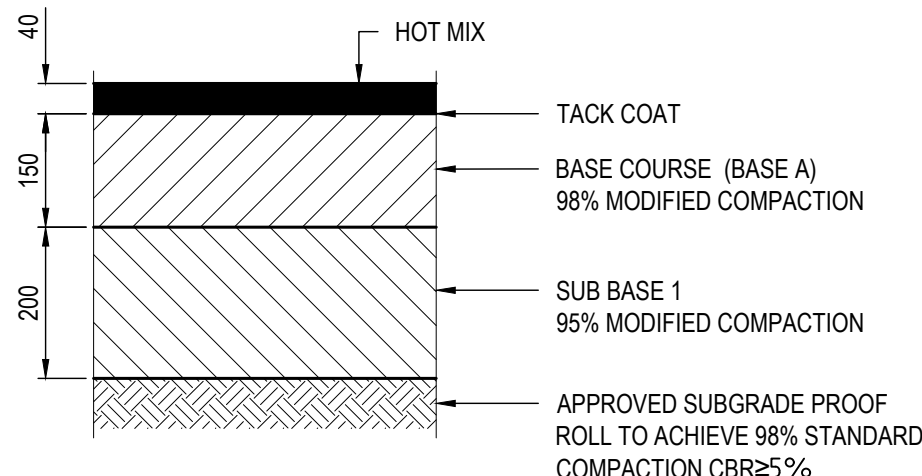
TYPICAL CAR PARK SPACE DETAIL

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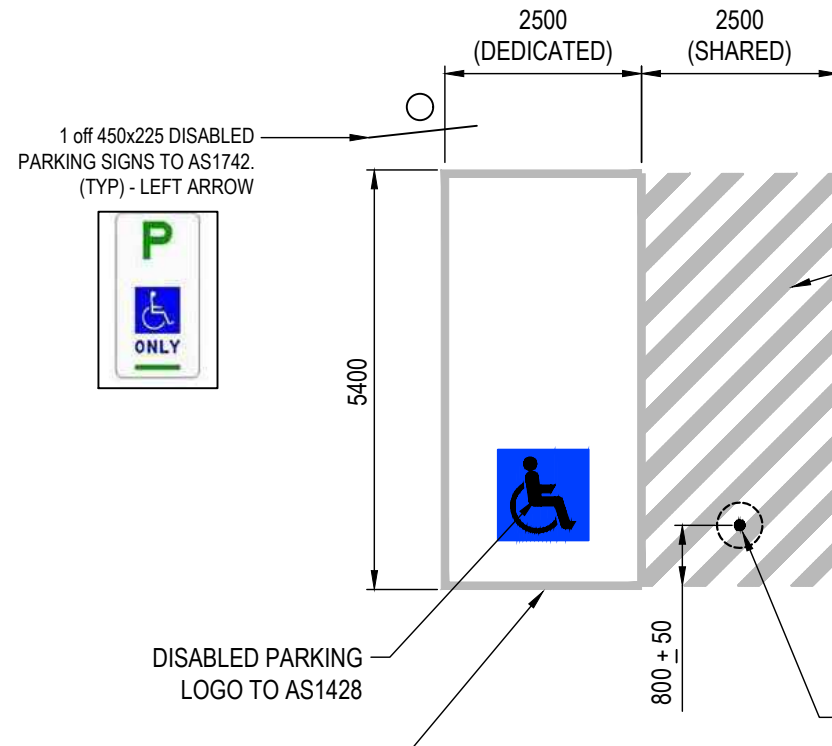
OPEN DRAIN DETAIL

SCALE 1:10



ASPHALT VEHICLE PAVEMENT DETAIL

SCALE 1:10

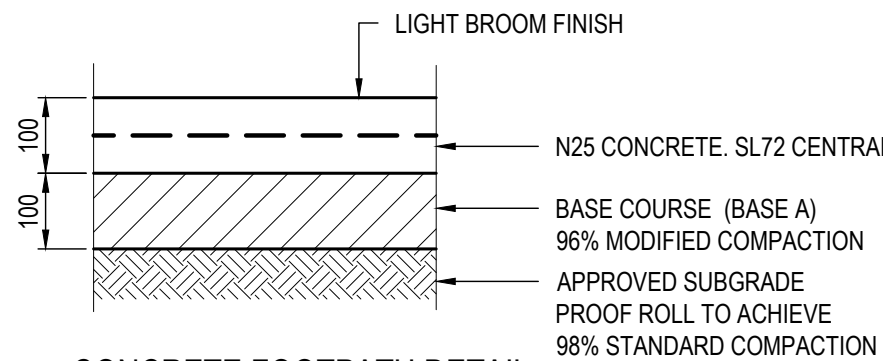


TYPICAL DDA PARKING SPACES DETAIL

SCALE 1:100

NOTE: TWO COATS OF WATERBORNE ROAD MARKING PAINT TO BE APPLIED

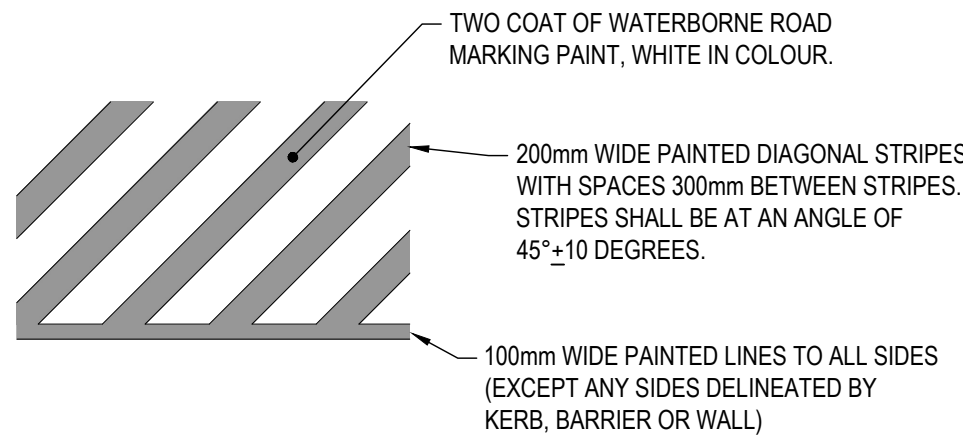
- SHARED AREA DELINEATION
- 100mm WIDE SLIP RESISTANT YELLOW PAINTED LINES ON ALL SIDES (EXCEPT ANY SIDES DELINEATED BY KERB, BARRIER OR WALL).
- 200mm WIDE SLIP RESISTANT YELLOW PAINTED DIAGONAL STRIPES WITH SPACES 300mm BETWEEN STRIPES. STRIPES SHALL BE AT AN ANGLE OF 45°±10 DEGREES TO THE SPACE.



CONCRETE FOOTPATH DETAIL

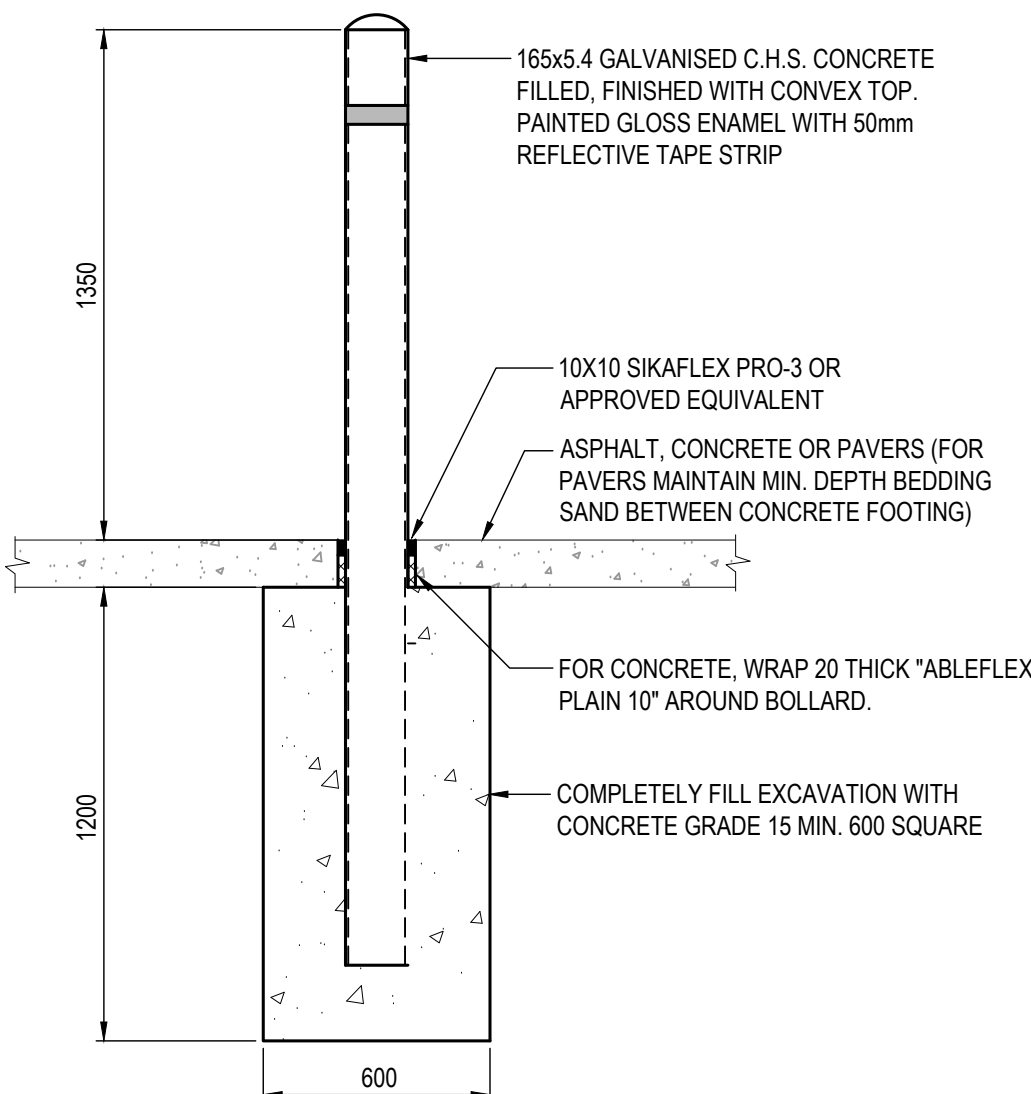
SCALE 1:10

NOTE: PROVIDE CONTROL JOINTS (C/J) AT MAX. 4m CENTRES



TYPICAL CHEVRON PAVEMENT MARKINGS DETAIL

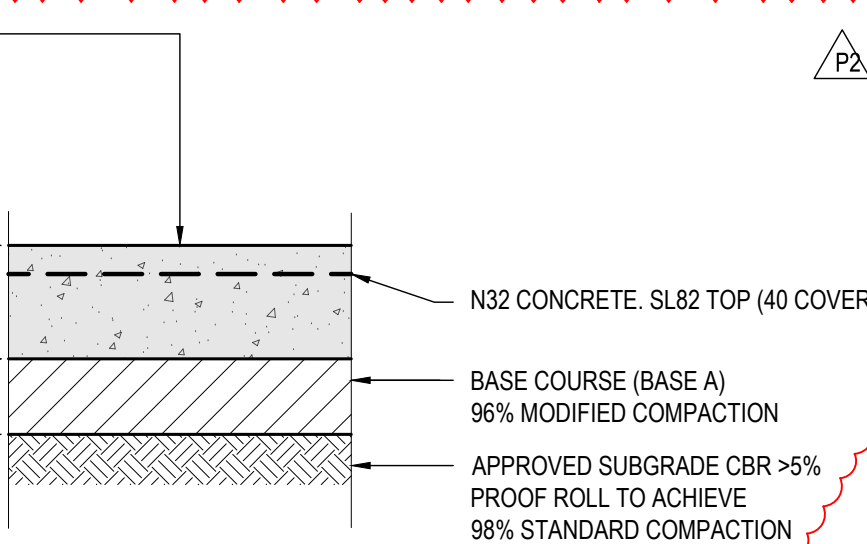
SCALE 1:50



BOLLARD DETAIL

SCALE 1:20

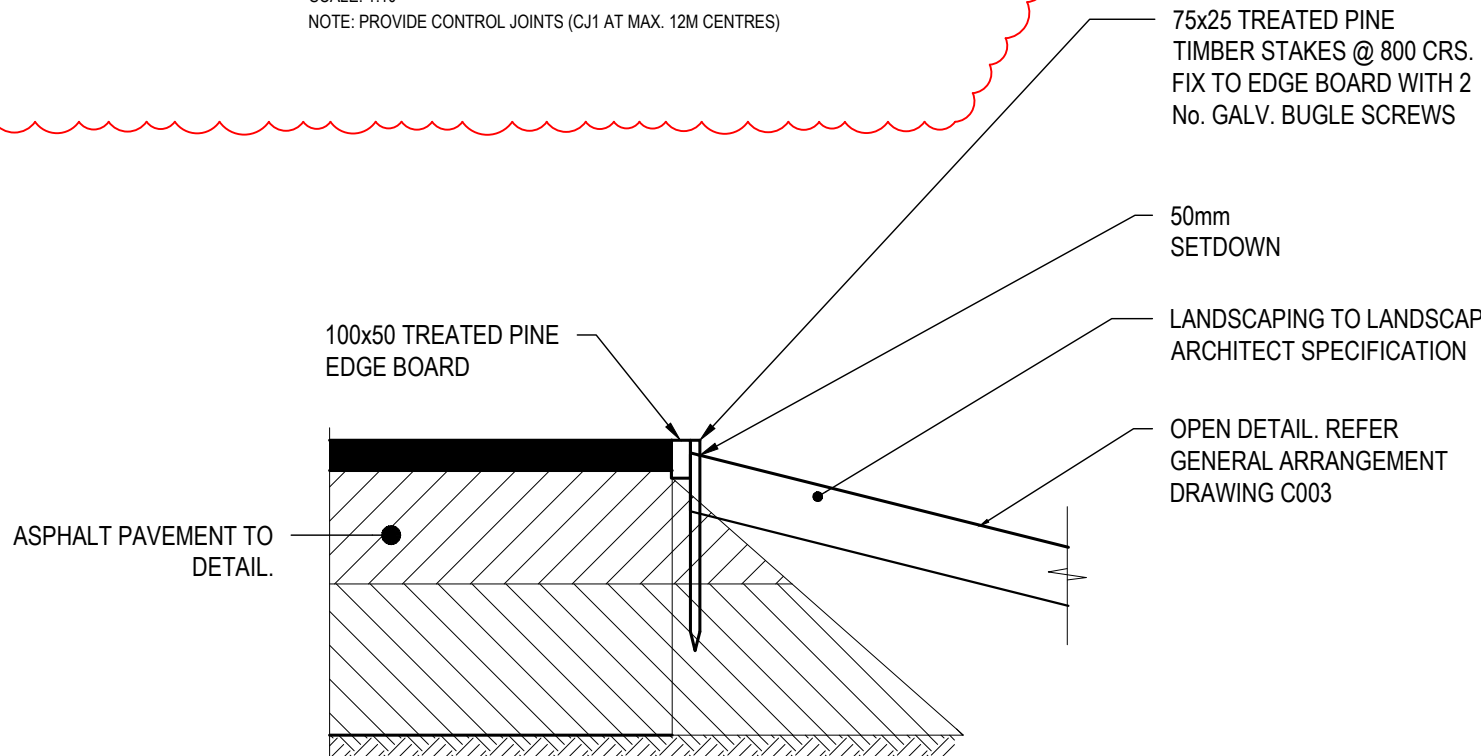
NOTE: CONFIRM LOCATION ON SITE WITH SUPERINTENDENT PRIOR TO INSTALLATION OF BOLLARDS.



EXPOSED AGGREGATE DETAIL

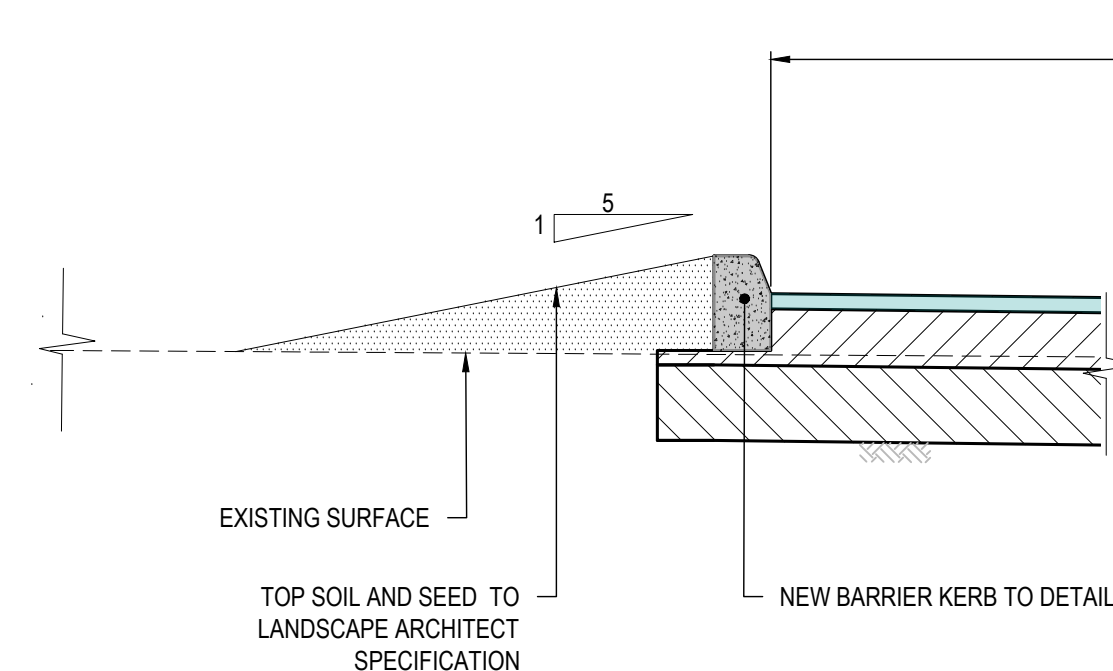
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NOTE: PROVIDE CONTROL JOINTS (C/J) AT MAX. 12m CENTRES



CONCRETE PAVEMENT TO OPEN DRAIN DETAIL

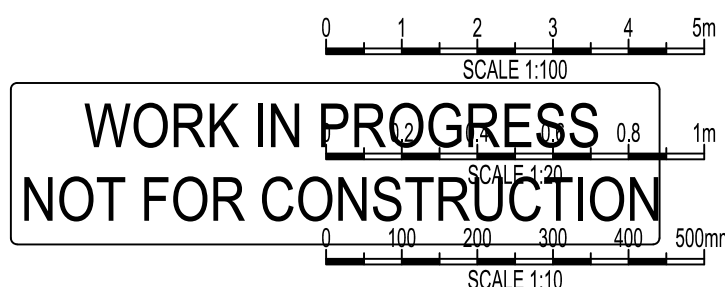
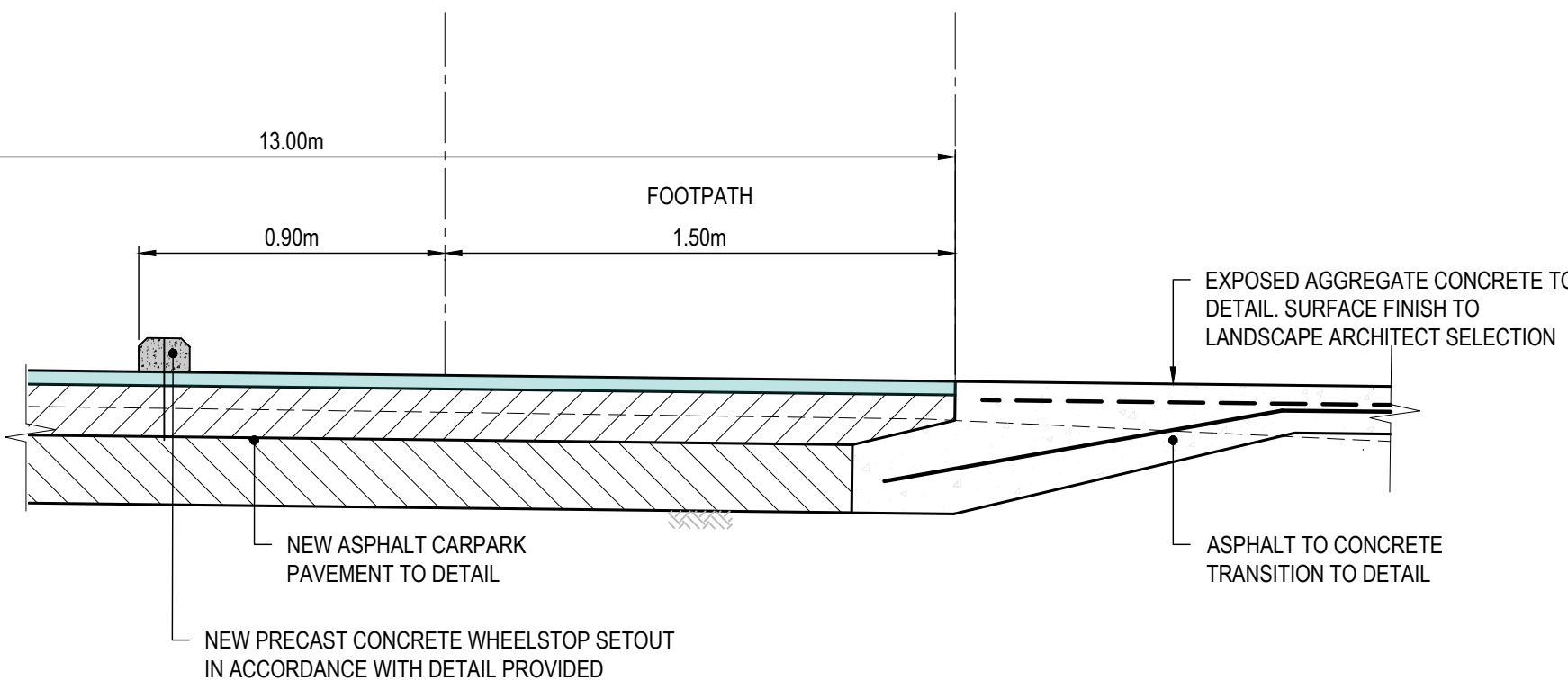
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SECTION A

SCALE 1:20

A
C003



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SAFETY IN DESIGN REPORT PER WHS REGULATIONS	
The following risks which are unique to this design have been identified:	Nil.
This report does not release contractors from their responsibilities under the Act to identify, report, mitigate and manage all aspects of risks and safety.	

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Accepted (Team Leader)	MJR	Date
Approved (Principal)	CJM	Date
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SCALES @ A1	DESIGNED BY	DRAWN BY
NTS	CEF	CEF
	PLOT DATE	19/12/2024
DO NOT SCALE. Use only figured dimensions. Locations of structure, fittings, services etc on this drawing are indicative only. CONTRACTOR to check locations & alter project drawings for confirmation between structure, fabric, services, fittings, services etc. CONTRACTOR to take check of dimensions and exact locations of all items. JMG accept no responsibility for dimensional deviation unless it is clearly shown from the drawing.		



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PROJECT
LOT 1 STRONG STREET, BRIDGEWATER
TRUCK STOP UPGRADES
CONTRACT 2 PACKAGE

TITLE
CIVIL SERVICES
SECTIONS & DETAILS SHEET 2

PROJECT NO.	240626CS
DWG NO.	C023
REVISION	P1
PLOT DETAILS	240626CS - PLANS (C) TP 2.DWG

ASPHALT TO DETAIL

CONCRETE FOOTPATH
TO DETAIL

EXPOSED AGGREGATE CONCRETE PAVEMENT. SURFACE
FINISH TO LANDSCAPE ARCHITECTS SPECIFICATION

EXPOSED AGGREGATE CONCRETE PAVEMENT. SURFACE
FINISH TO LANDSCAPE ARCHITECTS SPECIFICATION

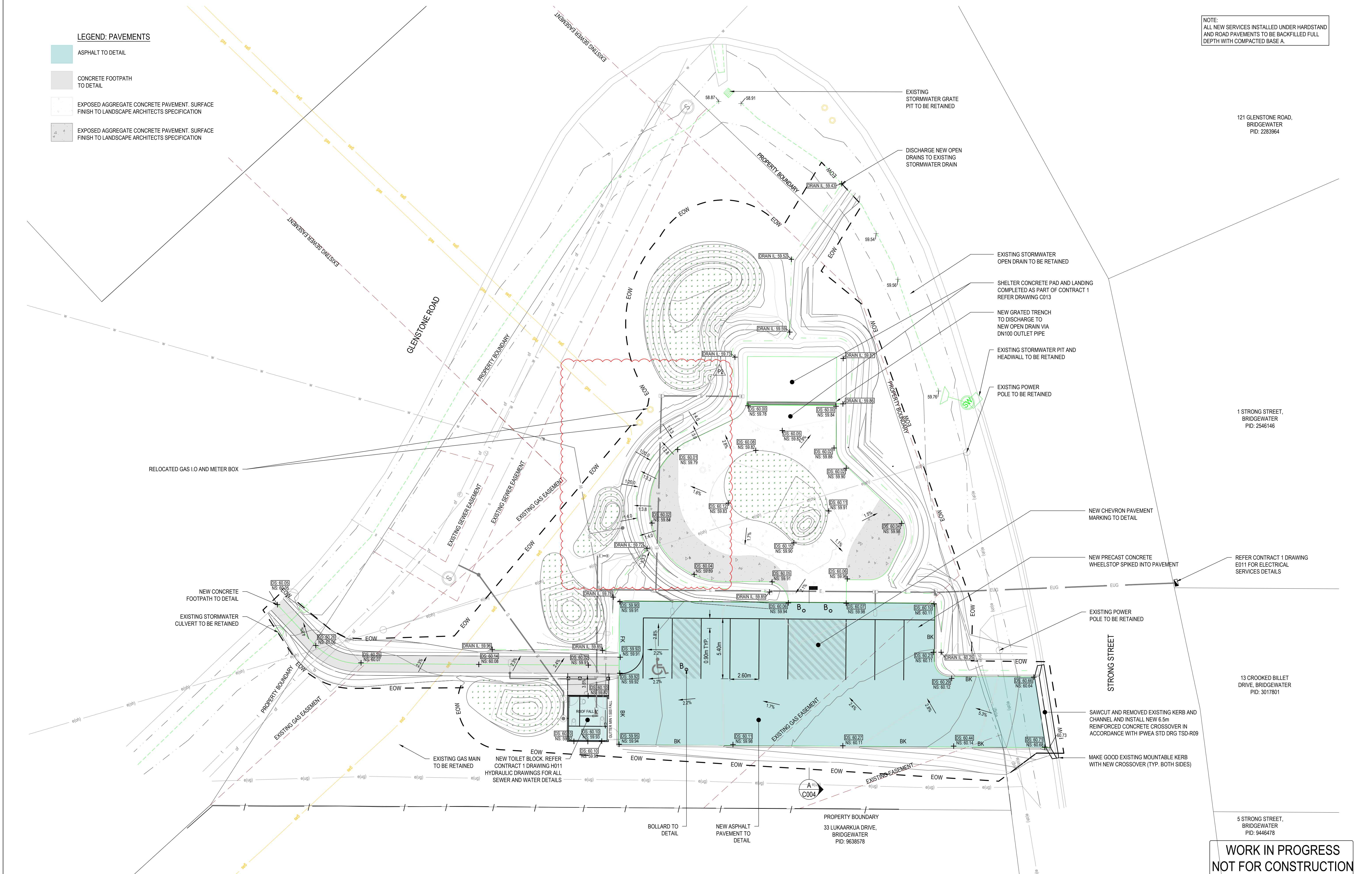
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BRIDGEWATER
PID: 2283964

1 STRONG STREET,
BRIDGEWATER
PID: 2546146

13 CROOKED BILLET
DRIVE, BRIDGEWATER
PID: 3017801

5 STRONG STREET,
BRIDGEWATER
PID: 9446478

WORK IN PROGRESS
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The following risks which are unique to this design have been identified:	NIL
This report does not relieve contractors from their responsibilities under the Act to identify, report, mitigate and manage all aspects of risk and safety.	

ed (the Head)	CJM	Date
ed (reader)	MJR	Date
ed (i)	CJM	Date

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PROJECT
LOT 1 STRONG STREET, BRIDGEWATER
TRUCK STOP UPGRADES
CONTRACT 2 PACKAGE

TITLE	CIVIL SERVICES
-------	----------------

PROJECT NO. 240626CS	
DWG NO. C024	REVISION P1
PLOT DETAILS 240626CS - PLANS (C) TP 2.DWG	

P1	13.12.2024	PRELIMINARY ISSUE
REV	DATE	REMARK

TASMANIAN PLANNING COMMISSION

DECISION

Planning scheme	Tasmanian Planning Scheme - Brighton
Amendment	RZ-2024-04 - Insert Site-Specific Qualification BRI-26.1 at 2 Strong Street, Bridgewater, folio of the register 164049/1, for an additional Permitted Use Class for Food Services with the qualification 'if for mobile food vendor'.
Planning authority	Brighton Council
Date of decision	1 April 2025

Decision

The draft amendment is modified under section 40N(1)(b) of the Land Use Planning and Approvals Act 1993 as set out in Annexure A and is approved under section 40Q.



John Ramsay
Executive Commissioner

REASONS FOR DECISION

Background

Amendment

The draft amendment seeks to insert a site-specific qualification (SSQ) for an additional Permitted Use of Food Services (if for mobile food vendor) in the Utilities Zone at Strong Street, Bridgewater folio of the Register 164049/1.

Site information

The subject property is a 2,645m² corner lot with frontages to Strong Street and Glenstone Road, Bridgewater. The site is clear of vegetation and is used as a 'truck stop'. The site currently has a small concrete area with a covered table and chairs but is otherwise undeveloped.

The site is within the Brighton Transport Hub, adjoins a heavy vehicle parking area, and is surrounded by land used for transport and warehousing.

The land is zoned Utilities and is Crown-owned; managed by the Department of State Growth. The surrounding land is zoned General Industrial. The Electricity Transmission Infrastructure Protection Area, Bushfire-Prone Hazard Area, and Attenuation Area overlays apply to the land. The site is also within the Bridgewater Quarry Specific Area Plan.

Issues raised in representations

The draft amendment was referred to TasWater under section 56S of the *Water and Sewerage Industry Act 2008*. In response, TasWater made a representation that stated it had no objection to the draft amendment and did not wish to attend a public hearing if one were held.

The draft amendment also was referred to Tas Gas Networks (Tas Gas). In response, Tas Gas made a representation that stated it had no objection to the draft amendment but noted a network valve was located near the property boundary and always required unrestricted access. Tas Gas therefore requested a 5m buffer between food trucks and the valve to ensure safe and clear access.

Tas Gas advised in an email dated 31 March 2025 that it did not wish to attend a hearing.

Planning authority's response to the representations

The planning authority considered the representations and recommended there be no change to the draft amendment. In response to the issue raised by Tas Gas, the planning authority stated the future location of the food truck would be 'located well away from property boundaries' and would be 'determined through Council's food truck policy approval process'.

Commission consideration

The Commission notes no objection by either TasWater or Tas Gas to the draft amendment.

According to the LIST, the relevant gas pipeline infrastructure is located near the southeast boundary of the site. The Commission expects the likely location of a mobile food vendor to be in the area on the northwest side of the site, adjacent to the truck stop area along Glenstone Road. The Commission therefore considers no modification to the draft amendment as proposed by Tas Gas is required.

The Commission also notes a mobile food vendor would require a permit under the Council's Mobile Food Vendor Policy and that the planning authority is aware of the location of the gas pipeline infrastructure. The Commission is satisfied the draft amendment meets section 34(2)(g) of the LPS criteria (see below), which requires a draft amendment to have regard to the safety requirements set out in the standards prescribed under the *Gas Safety Act 2019*.

Consideration of the draft amendment

1. Under section 40M of the *Land Use Planning and Approvals Act 1993* (the Act), the Commission is required to consider the draft amendment to the Local Provisions Schedule (LPS) and the representations, statements and recommendations contained in the planning authority's section 40K report and any information obtained at a hearing.
2. After consultation with the representors under section 40L(2) of the Act, the Commission dispensed with holding a hearing.
3. The Commission must also consider whether the draft amendment meets the LPS criteria as set out under section 34(2) of the Act:
 - (a) contains all the provisions that the SPPs specify must be contained in an LPS; and
 - (b) is in accordance with section 32; and
 - (c) furthers the objectives set out in Schedule 1; and
 - (d) is consistent with each State policy; and
 - (da) satisfies the relevant criteria in relation to the TPPs; and
 - (e) as far as practicable, is consistent with the regional land use strategy, if any, for the regional area in which is situated the land to which the relevant planning instrument relates; and
 - (f) has regard to the strategic plan, prepared under section 66 of the *Local Government Act 1993*, that applies in relation to the land to which the relevant planning instrument relates; and
 - (g) as far as practicable, is consistent with and co-ordinated with any LPSs that apply to municipal areas that are adjacent to the municipal area to which the relevant planning instrument relates; and
 - (h) has regard to the safety requirements set out in the standards prescribed under the *Gas Safety Act 2019*.

Site-specific Qualification

4. The draft amendment seeks to insert an SSQ to provide for an additional Permitted Use of Food Services with a qualification of 'if for a mobile food vendor'. The planning authority's report dated 21 January 2025, made in support of the certified draft amendment (supporting report), submitted that the SSQ would assist to provide a rest area for users of the Brighton Transport Hub

consistent with the Tasmanian Heavy Vehicle Driver Rest Area Strategy. This Strategy recommends the site be upgraded with new public toilets.

5. Additionally, the planning authority submitted that the draft SSQ would enable development which would be consistent with the Brighton Structure Plan. Specifically, strategy 5 of the Structure Plan intends to 'improve the function and presentation of the Brighton Transport Hub and Industrial Estate.'
6. Under section 32(4) of the Act, an LPS may only include an SSQ if:
 - (a) a use or development to which the provision relates is of significant social, economic or environmental benefit to the State, a region or a municipal area; or
 - (b) the area of land has particular environmental, economic, social or spatial qualities that require provisions, that are unique to the area of land, to apply to the land in substitution for, or in addition to, or modification of, the provisions of the SPPs.
7. The supporting report submitted that the proposed amendment meets section 32(4)(a) ('a use or development to which the provision relates is of significant social, economic or environmental benefit to the State, a region or a municipal area').
8. The planning authority contended that 'the proposed development is considered to provide significant social and economic benefits to the southern region through improving the place making of a State-significant industrial estate and providing a much needed heavy vehicle rest area for truck drivers utilising the Hub'.
9. Additionally in the supporting report the planning authority submitted 'future investment in the estate will continue to provide social and economic benefits to the municipality given the high rates of the population being employed in construction, manufacturing, transport, postal services and warehousing, and the fact that existing businesses draw a significant percentage of employees from the local area'.

Commission consideration

10. The Commission accepts the Brighton Transport Hub is of strategic importance to the State freight transport network. The network is of critical importance to the State and connects intrastate, interstate and international freight routes. The SSQ would provide for additional use that would provide support to the network. The Commission therefore accepts the planning authority's view the SSQ is consistent with section 32(4)(a) of the Act.
11. The Commission also considers the SSQ meets section 32(4)(b) of the Act:

'the area of land has particular environmental, economic, social or spatial qualities that require provisions, that are unique to the area of land, to apply to the land in substitution for, or in addition to, or modification of, the provisions of the SPPs'
12. The land adjoins an existing heavy vehicle parking area within the Brighton Transport Hub and is suitable for driver rest stop facilities. The site therefore has particular economic, social and spatial qualities that require unique provisions to provide for use that complements the Hub and the transport network. The land is not of significant environmental value.

Regional land use strategy

13. The relevant regional land use strategy is the Southern Tasmania Regional Land Use Strategy 2010-2035 (regional strategy).
14. The planning authority submitted that the draft amendment was consistent with policies IA 1.1-1.6, IA 2, 2.1, 3 and 3.1.
15. The policies are described below:
 - IA 1.1-1.6 identify, protect and manage the supply of well-sited industrial land that will meet the regional need for 5, 15 and 30 years
 - IA 2 and 2.1 protect and manage existing strategically located export orientated industries; and
 - IA 3 and 3.1 ensure industrial development occurs in a manner that minimises regional environmental impacts and protects environmental values.

Commission consideration

16. The Commission accepts the evidence submitted by the planning authority.
17. The Commission finds that the draft amendment is, as far as is practicable, consistent with the regional strategy.

Council Strategies

18. The planning authority submitted in the supporting report that the draft amendment would be consistent with the Brighton Council Strategic Plan 2023-2033, in particular clauses 1.3, 1.4 and 3.3.

Commission consideration

19. The Commission accepts the evidence submitted by the planning authority and finds that the draft amendment is consistent with Council's Strategic Plan.

State Policies

State Policy on Water Quality Management 1997

20. The supporting report submitted the amendment would have no direct impact on water quality.

State Coastal Policy 1996 and State Policy on the Protection of Agricultural Land 2009

21. The planning authority submitted the *State Coastal Policy 1996*, and the *State Policy on the Protection of Agricultural Land 2009* were not relevant to the assessment of the draft amendment.

National Environmental Protection Measures (NEPMs)

22. The supporting report submitted the NEPMs were not relevant to the assessment of the draft amendment.

Commission consideration

23. The Commission notes that the *State Policy on Water Quality Management* 1997 applies to the land and that any future use and development of the site would be subject to requirements under the *Urban Drainage Act 2013*, which would protect water quality. The site is also connected to reticulated services.
24. The Commission finds that the draft amendment is consistent with requirements for the NEPMs.
25. The Commission finds that no other State policies are relevant to the draft amendment.

Schedule 1 Objectives of the Act

26. The supporting report submitted the draft amendment would further the Objectives in Part 1 (b) (c) (d) and (e) of Schedule 1 of the Act as it would:
 - ‘ensure the success’ of the Brighton Industrial Estate, which would provide for the fair, orderly and sustainable use and development
 - provide for use and development of the Hub, which was designed through stakeholder and community involvement; and
 - facilitate economic development by improving the appearance and facilities at the Hub, which would attract investment.
27. The planning authority submitted the proposal was consistent with all of Part 2 of the Objectives.

Commission consideration

28. The Commission accepts the evidence provided by the planning authority and finds the draft SSQ furthers the Objectives in Schedule 1 of the Act, particularly to provide for fair, orderly and sustainable use and development and to facilitate economic development.

Modifications required to draft amendment

29. Under section 40M of the Act the Commission must consider whether modifications to a draft amendment of an LPS ought to be made.
30. The certified draft amendment references the correct folio of the Register number but an incorrect street number, which was allocated after the draft amendment was certified. A modification to update the SSQ with the new street number (2 Strong Street) is required.
31. A further modification is required to change the wording of the SSQ for consistency with drafting conventions as follows:
 - The certified amendment currently reads:
 - An additional Permitted Use Class for this site is: Food Services (if for mobile food vendor)
 - A modification is required to change the wording to:
 - An additional Permitted Use Class for this site is: Food Services ‘if for mobile food vendor’.

Decision on draft amendment

32. Subject to the modifications described above, the Commission is satisfied that the draft amendment meets the LPS criteria and gives its approval.

Attachments

Annexure A - Modified amendment

Annexure A

Modified amendment RZ-2024-04 to the Tasmanian Planning Scheme - Brighton

1. Insert Site-Specific Qualification BRI-26.1 as follows:

Reference Number	Site reference	Folio of the Register	Description (modification, substitution or addition)	Relevant Clause in State Planning Provisions
BRI-26.1	2 Strong Street, Bridgewater	164049/1	An additional Permitted Use Class for this site is: Food Services with the qualification 'if for mobile food vendor'.	Utilities Zone - clause 26.2 Use Table



Officer: Brian White & Kien Tran
Direct ☎ (03) 62687070

Date: 09/09/2025
Our Ref.:

James Dryburgh
Chief Executive Officer
Brighton Council
1 Tivoli Road
Old Beach TAS 7017

Application For Planning Permit - 2 Strong Street, Bridgewater

1. Purpose

This covering letter and attachments detail how the proposal to establish a food services use and the construction of a car parking area at 2 Strong Street, Bridgewater, meets the relevant requirements of the Tasmanian Planning Scheme - Brighton ('the Scheme') and its Local Provision Schedule ('LPS').

It is recommended that the Council's Planning Authority issues a permit subject to conditions for the reasons outlined herein.

2. Executive Summary

Brighton Council Officers are seeking planning approval from the Brighton Council Planning Authority ('Council') for the use and development of land at 2 Strong Street, Bridgewater ('the site').

The proposal is to continue the delivery of the Brighton Hub - Truck Stop Upgrades/ Town Square Project ('the project') which commenced in 2024, after Council received funding through the Commonwealth Government's Heavy Vehicle Rest Area initiative.

Specifically, approval is sought for the following:

- a) Establishment of a Food Services Use (if for mobile food vendor)
- b) Construction of a car park to service the passive recreation use and food services use on site.

There are other use and development proposed on site as part of delivering the project not included in this permit application. This is because they either have a 'No Permit Required Status' or are 'Exempt' under the Scheme. Therefore, only those specific elements requiring a permit are included in this permit application.

The proposal must be assessed under Section 57 of the *Land Use Planning and Approvals Act 1993* ('LUPAA') as a discretion is triggered under the following standards of the Scheme:

- a) **Clause BRI-S4.7.1 (P1):** the site is within the Bridgewater Quarry Specific Area Plan ('SAP'), and 'works' are proposed. These works consist of constructing a carpark.
- b) **Clause C4.6.1 (P1):** a small portion of the site is within a 'registered electrical easement'. Works are proposed on this land.

Approval of the permit application will allow Council to host food vans once the Truck Stop/ Town Square ('the park') has completed construction.

3. Background

3.1. The Brighton Industrial Estate Brand and Place Strategy 2020

The Brighton Industrial Estate Brand & Place Strategy ('the Strategy') sets a new vision and pathway, supported by practical actions, to reposition the Brighton Industrial Estate as an attractive prospect for future investors and support growth.

The Strategy recommends that Council create a 'town centre' within the Hub which will create a space for workers and visitors to recreate and provide opportunities for food trucks and other social and community events. The town centre also would serve as an upgrade to the existing truck stop.

A key theme that arose out of the consultation phase of the Strategy was that the Hub was not inviting and lacked public spaces for workers and visitors to relax and to meet for social events.

The site was selected for the town centre by Council Officers because it includes an existing heavy vehicle rest area ('truck stop') owned by the Crown (Department of State Growth) in need of upgrading that could serve as a place for both truck drivers and other employees and visitors of the Hub.

3.2. The Brighton Hub - Truck Stop Upgrades/ Town Square Project

In June 2024, Council received funding through the Commonwealth Government's Heavy Vehicle Rest Area initiative to construct the Park in alignment with the Council-endorsed Concept Plan ("the plan"), developed by Play Street. The Council endorsed concept plan is attached as Attachment A.

The plan's design followed an extensive consultation process with nearby landowners and businesses within the Hub, as well as with relevant infrastructure providers and state agencies with interests in the site.

The plan shows a space on site for mobile food vendors as per the recommendations of the Strategy.

Overall, there was strong support from nearby businesses for the Park's design. Feedback from state agencies and infrastructure providers was addressed during the project, and no specific objections were raised regarding the inclusion of food vans at the site.

Council endorsed the plan at its meeting of the 17th October 2024.¹

Council Officers are in receipt of detailed design drawings for the Park, prepared by Play Street. These are provided as Attachment B, with construction anticipated to begin in late 2025.

3.3. Mobile Food Vendor Site Specific Qualification

The site is zoned Utilities under the Scheme. A 'Food Services' use (i.e., mobile food vendor) is a prohibited use in the zone. For mobile food vendors to locate on the site, an amendment to the Local Provisions Schedule (LPS) was required to permit this use and then allow the Council to issue licenses for food vans under its Mobile Food Vendors Policy ('Policy').

¹ Further details regarding this part of the project can be found here:
<https://www.brighton.tas.gov.au/planning/strategic-plans/>

On 1st April 2025, the Tasmanian Planning Commission approved an amendment to the Brighton LPS to:

- Insert Site-Specific Qualification BRI26.1 at 2 Strong Street, Bridgewater, folio of the register 164049/1, for an additional Permitted Use Class for Food Services with the qualification 'if for mobile food vendor'.

A mobile food vendor is therefore now a 'permitted use' on the site and a permit is required before the land can be used for this use. The TPC decision is provided as Attachment F.

3.4. Mobile Food Vendor Policy No 4.1

Council's Mobile Food Vendor Policy No. 4.1 provides a framework under which Council issues permits for Food Trucks within a road maintained or owned by Council, or on Council land.

Council has now finalised a lease and licence with the Crown to take over the management of the site for the Park and to operate food vans. Therefore, the Policy will apply to the site as the Council will maintain the land under that legal agreement.

The Policy requires that Council apply for, and hold, a permit (for Food Services) under LUPAA for an 'approved locations' to be used for Food Trucks. Once a permit is granted for an approved site, Mobile Food Vendors can then apply for a Mobile Food Vendor Permit under the Policy.

4. The Site and Surrounds

The proposal relates to crown owned land at 2 Strong Street, Bridgewater. It is more particularly described In Certificate of Title Volume 164049 Folio 1, has an area of 2645m², and is shown in Figure 1 below.



Figure 1 Subject Site

The site is located adjacent to the Transport Hub Weighbridge to the northwest. There is an informal heavy vehicle rest area on the site which is accessed via an existing pathway from a truck parking area off Glenstone Road.



Figure 2 Existing Rest Area



Figure 3 Truck parking area adjacent to weigh bridge

The Brighton Hub is located approximately 1.5km to the southwest of the Brighton Township and approximately 1km to the northwest of Bridgewater.

Prominent land uses nearby consists of warehousing and transport depots such as Toll.

5. The Site and Surrounds

Glenstone Road is a state-owned road, whilst Strong Street is owned by Council.

The site is burdened by several easements in favour of the following infrastructure providers/ agencies:

- a) Taswater
- b) Tasnetworks
- c) Tasgas
- d) Tasmanian Gas Pipeline

All these providers were consulted during the design of the concept and the approval of the permit will have no impact on their operations.

6. Planning Controls

6.1. Zoning

The subject site is zoned Utilities under the Brighton LPS. The adjoining land is zoned General Industrial. The zoning is shown in Figure 4.

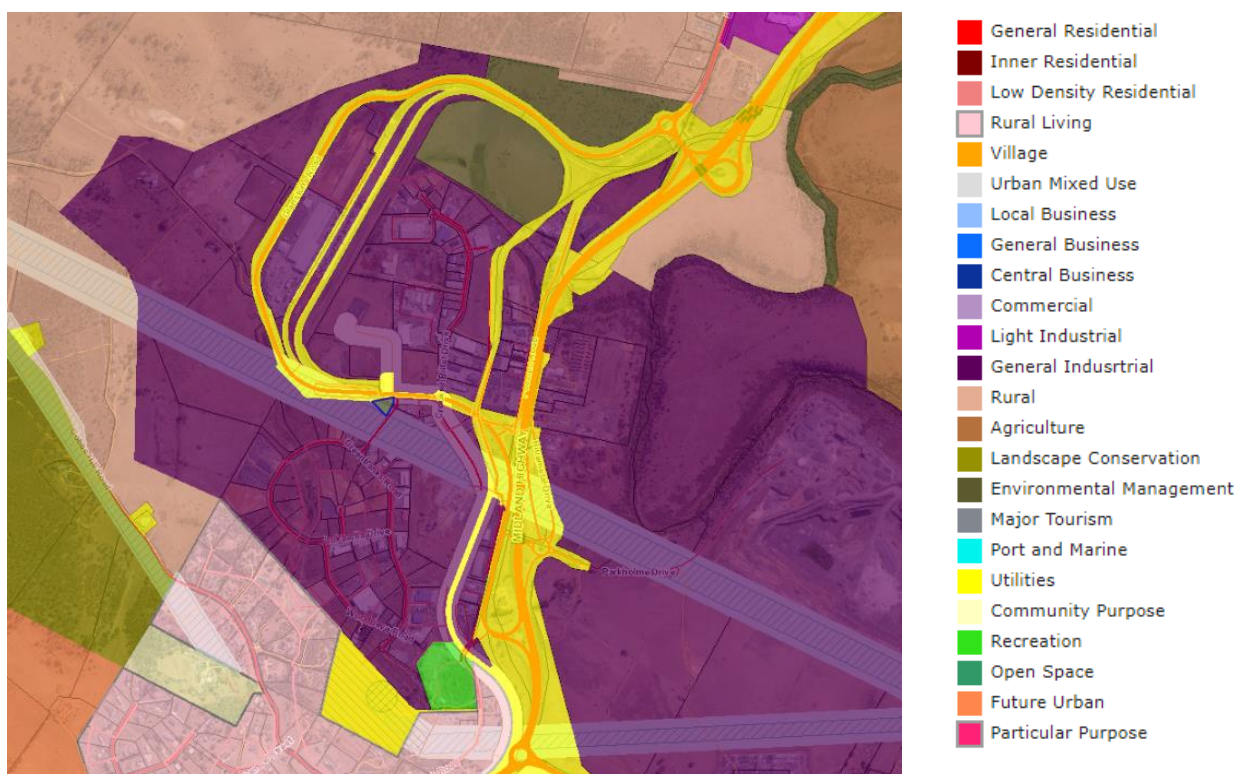


Figure 4 Zoning of the Estate and Surrounding Area

6.2. Overlays

The site is subject to the code as it is within a 'Transmission Corridor' and an 'Inner protection area'.

Figures 5 and 6 show the very small area in the south eastern corner of the site affected by a registered electricity easement included under the definition of 'electricity transmission corridor'.

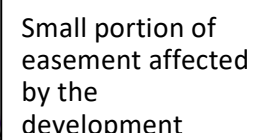


Figure 5 Easements affecting site

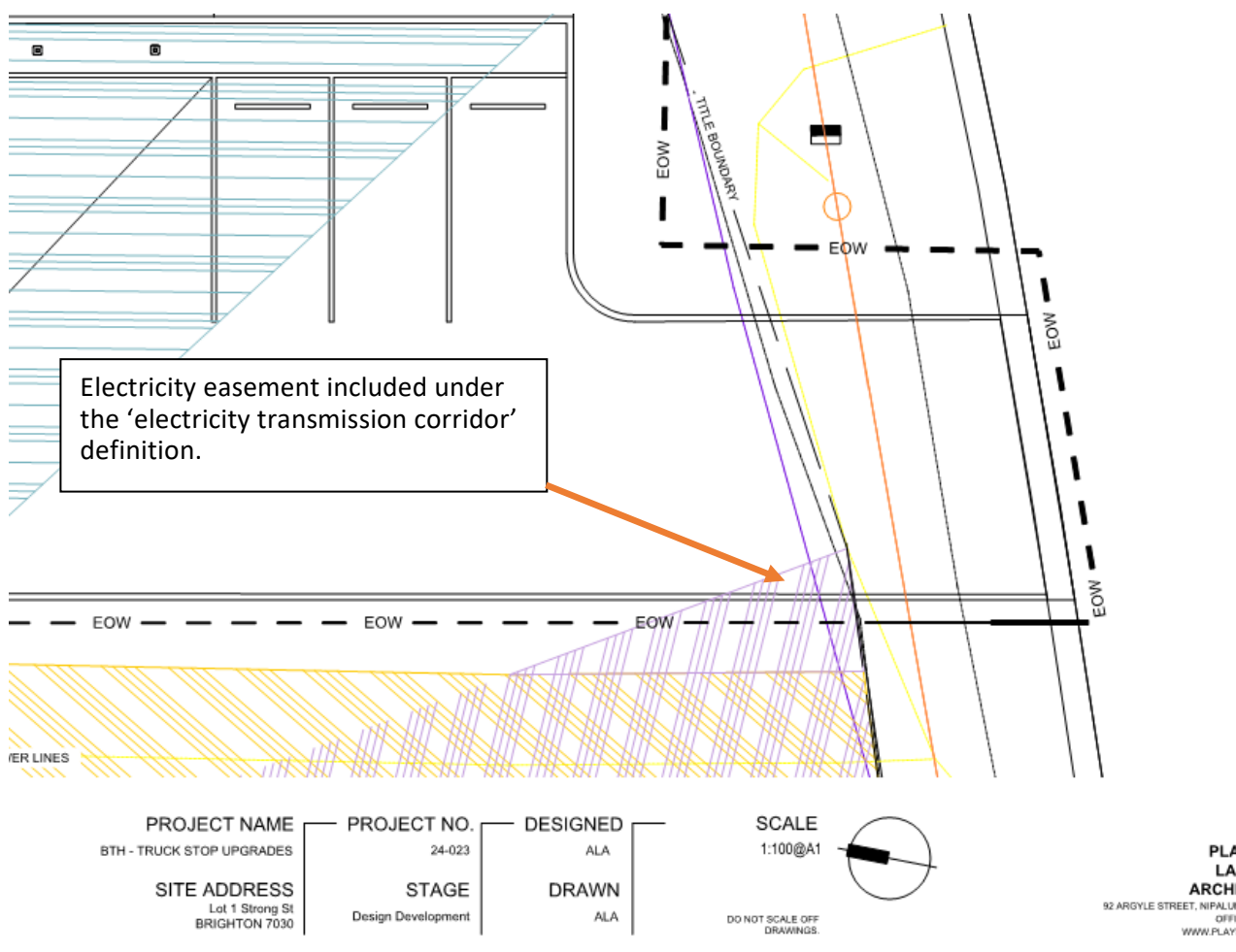


Figure 6 Electricity easement affecting the site

The small amount of works within the easement will require the application to be referred to Tasnetworks. However, given their extensive involvement through the project, it is anticipated they will raise no issues with the proposal.

6.3. Tasmanian Gas Pipeline

The Tasmanian Gas Pipeline easement covers the majority of the site. The relevant legislation governing development within the easement is *the Gas Industry Act 2019*. Under section 51 of that Act the Planning Authority must refer a discretionary development to the gas infrastructure licensee once they receive a valid application.

In this case, the only development that forms part of the application is the car parking area and the driveway apron so the gas infrastructure licensee must limit its consideration of the permit to those elements specifically requiring approval.

7. The Permit Application

The use and development forming part of this permit application are as follows:

- a) Establish a food services use (if for mobile food vendors) on the site in the location shown on the submitted plans; and
- b) Construction of car park.

It is noted that signage is included on the concept plan; however, Council Officers will pursue this at another time. The Planning Authority is encouraged to therefore condition the permit to this effect.

7.1. Food Services Use

The food services use will likely operate on the site up to 7 days a week between 7am – 7pm. However, the final hours of operation will be decided under the Council Policy. It is not considered necessary for the Planning Authority to condition the hours of operation for the use.

7.2. Car Park

The proposed car park will provide eight (8) spaces to service the park. One of which is to be for people with a disability. The detailed design drawings of the parking spaces is provided as Attachment B. These have been prepared by a suitably qualified engineer and overseen by Council's development engineering staff. Service providers have also had input into the design.

8. Infrastructure

Details of stormwater are shown on the attached plans. The information is considered sufficient for the Planning Authority to issue a permit subject to standard conditions. A sewer connection is required to service the future public toilet on site. However, as the toilet is exempt from requiring approval, there is no need for Council to refer the application to Taswater.

It is noted that the construction of stormwater is exempt from requiring approval where it is undertaken by Council. Therefore, the Council must take this into account in determining the application and in imposing conditions on any permit.

9. Works Not Forming Part of Application

A number of aspects of the construction of the park do not require planning approval, as described below.

Element of Proposal	Exempt/ No Permit Required	Clause	Comment
Construction of Access off Strong Street	Exempt	Clause 4.2.5 (a)(i)	If: (a) development of a vehicle crossing, junction or level crossing: (i) by the road or rail authority
Shelters, public toilets and landscaping	Exempt	Clause 4.2.7: Minor Infrastructure	Provision, maintenance and modification of footpaths, cycle paths, playground equipment, seating, shelters, bus stops and bus shelters, street lighting, telephone booths, public toilets,

			post boxes, cycle racks, fire hydrants, drinking fountains, waste or recycling bins, public art, and the like by, or on behalf of, the Crown, a council means as defined in the Act. or a State authority.
Stormwater Infrastructure	Exempt	Clause 4.2.2	Provision, removal, maintenance and repair of pipes, open drains and pump stations for the reticulation or removal of stormwater by, or on behalf of, the Crown, a council or a State authority unless the Landslip Hazard Code applies and requires a permit for the use or development.
Passive Recreation Use	No Permit Required	Clause 26.2 (Use Table) & Clause 6.6.1 (No Permit Required Use or Development)	The Passive Recreation Use has a no permit required status in the Utilities Zone.

10. Planning Assessment

10.1 Applicable provisions under the Planning Scheme

a) Use Class

The proposed development (car park) is associated with Passive Recreation Use and Food Services uses of the site. The Passive Recreation Use is a No Permit Required Use in the Utilities Zone and the Food Services Use is Permitted due to the approval of the Site-Specific Qualification BRI26.1 (see 3.3 - Mobile Food Vendor Site Specific Qualification).

The proposal's approval is subject to compliance with the applicable standards, which are: Clause 26 - Utilities Zone, C2.0 - Parking and Sustainable Transport Code, C4.0 - Electricity Transmission Infrastructure Protection Code, BRI26.1 - Site-Specific Qualification - Mobile Food Vendor Site Specific Qualification, BRI-S4.0 - Bridgewater Quarry Specific Area Plan.

Assessment of the applicable standards for the proposed development are provided below.

b) 26.0 - Utilities Zone

26.1 - Zone Purpose

26.1.1 To provide land for major utilities installations and corridors.

Not applicable as the proposed development is not for major utilities installations and corridors.

26.1.2 To provide for other compatible uses where they do not adversely impact on the utility.

The Passive Recreation which is a No Permit Required use and is not likely to adversely affect the utility due to the scale and design of the Use. The Food Services is a Permitted use which is also unlikely to adversely affect the utility use due to the minimal scale and design of the Use.

The proposal demonstrates compliance with the Zone Purpose.

26.3 - Use Standards

26.3.1 All uses

Objective:	
That uses do not cause an unreasonable loss of residential amenity to residential zones.	
Acceptable Solution	Performance Criteria
A1 Hours of operation of a use, excluding Emergency Services, Natural and Cultural Values Management, Passive Recreation or Utilities, on a site within 50m of a General Residential Zone, Inner Residential Zone, Low Density Residential Zone or Rural Living Zone must be within the hours of: (a) 7.00am to 9.00pm Monday to Saturday; and (b) 8.00am to 9.00pm Sunday and public holidays.	P1 Hours of operation of a use, excluding Emergency Services, Natural and Cultural Values Management, Passive Recreation or Utilities, on a site within 50m of a General Residential Zone, Inner Residential Zone, Low Density Residential Zone or Rural Living Zone must not cause an unreasonable loss of amenity to the residential zones having regard to: (a) the timing, duration or extent of vehicle movements; and (b) noise, lighting or other emissions.
A2 External lighting for a use, excluding Emergency Services, Natural and Cultural Values Management, Passive Recreation or Utilities, on a site within 50m of a General Residential Zone, Inner Residential Zone, Low Density Residential Zone or Rural Living Zone, must: (a) not operate within the hours of 11.00pm and 6.00am, excluding any security lighting; and (b) if for security lighting, be baffled so that direct light does not extend into the adjoining property.	P2 External lighting for a use, excluding Emergency Services, Natural and Cultural Values Management, Passive Recreation or Utilities, on a site within 50m of a General Residential Zone, Inner Residential Zone, Low Density Residential Zone or Rural Living Zone, must not cause an unreasonable loss of amenity to the residential zones, having regard to: (a) the level of illumination and duration of lighting; and (b) the distance to habitable rooms of an adjacent dwelling.
A3	P3

<p>Commercial vehicle movements and the unloading and loading of commercial vehicles for a use, excluding Emergency Services or Utilities, on a site within 50m of a General Residential Zone, Inner Residential Zone, Low Density Residential Zone or Rural Living Zone, must be within the hours of:</p> <p>(a) 7.00am to 9.00pm Monday to Saturday; and</p> <p>(b) 8.00am to 9.00pm Sunday and public holidays.</p>	<p>Commercial vehicle movements and the unloading and loading of commercial vehicles for a use, excluding Emergency Services or Utilities, on a site within 50m of a General Residential Zone, Inner Residential Zone, Low Density Residential Zone or Rural Living Zone, must not cause an unreasonable loss of amenity to the residential zones, having regard to:</p> <p>(a) the time and duration of commercial vehicle movements;</p> <p>(b) the number and frequency of commercial vehicle movements;</p> <p>(c) the size of commercial vehicles involved;</p> <p>(d) manoeuvring required by the commercial vehicles, including the amount of reversing and associated warning noise;</p> <p>(e) any noise mitigation measures between the vehicle movement areas and sensitive use; and</p> <p>(f) potential conflicts with other traffic</p>
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Comments:

The proposal is for two new uses, one is the Passive Recreation use, which is a No Permit Required Uses and excluded from 26.3 A1 and 26.3 A2. There is no Residential zone or Rural Living Zone within 50m of the site, therefore, 26.3 A3 is not applicable.

The Food Service use (Food Trucks), is a Permitted use in accordance with Site-Specific Qualification BRI26.1. There is no Residential Zone or Rural Living Zone within 50m of the site, therefore, 26.3 A1 - A3 is not applicable to the proposed Use.

26.3.2 Discretionary uses.

Comments:

The proposed uses are not discretionary uses.

26.4 - Development Standards for Buildings and Works

26.4.1 Building height

Objective:	
To provide for a building height that: (a) is necessary for the operation of the use; and (b) minimises adverse impacts on adjoining properties and the visual character of the area.	
Acceptable Solution	Performance Criteria
A1	P1

<p>Building height must be not more than:</p> <p>(a) 10m; or</p> <p>(b) 15m if for a structure, such as a tower, pole or similar.</p>	<p>Building height must:</p> <p>(a) be necessary for the operation of the use and not cause unreasonable impact on adjoining properties, having regard to:</p> <ul style="list-style-type: none"> (i) the bulk and form of the building; (ii) separation from existing buildings on adjoining properties; and (iii) any buffers created by natural or other features; and <p>(b) not unreasonably impact on the visual character of the area, having regard to:</p> <ul style="list-style-type: none"> (i) the topography of the site; (ii) any existing vegetation; and (iii) visibility from adjoining roads and public open space.
<p>A2</p> <p>Building height, excluding a structure such as a tower, pole or similar:</p> <p>(a) within 10m of an adjoining property in a General Residential Zone, Low Density Residential Zone or Rural Living Zone, must be not more than 8.5m; or</p> <p>(b) within 10m of an adjoining property in an Inner Residential Zone, must be not more than 9.5m.</p>	<p>P2</p> <p>Building height, within 10m of an adjoining property in a General Residential Zone, Inner Residential Zone, Low Density Residential Zone or Rural Living Zone, excluding a structure such as a tower, pole or similar, must not cause an unreasonable loss of residential amenity, having regard to:</p> <ul style="list-style-type: none"> (a) compatibility with buildings on established properties in the adjoining zone; (b) overshadowing and reduction in sunlight to habitable rooms and private open space of dwellings; (c) overlooking and reduction of privacy to adjoining properties; and (d) visual impacts caused by the apparent scale, bulk or proportions of the building when viewed from the adjoining property.

Comments:

The proposed development does not include any building. The building height standards do not apply to this application.

26.4.2 Setbacks

<p>Objective:</p>
<p>That building setbacks are:</p> <ul style="list-style-type: none"> (a) compatible with the character of the surrounding area; and (b) does not cause an unreasonable loss of amenity to adjoining properties

Acceptable Solution	Performance Criteria
<p>A1</p> <p>Buildings, excluding a structure such as a tower, pole or similar, must have a setback from all boundaries of not less than:</p> <p>(a) 5m; or</p> <p>(b) an existing building on the lot.</p>	<p>P1</p> <p>Buildings, excluding a structure such as a tower, pole or similar, must be sited to not cause an unreasonable loss of amenity to adjoining properties, having regard to:</p> <p>(a) the topography of the site;</p> <p>(b) the size, shape and orientation of the site;</p> <p>(c) the setback of existing buildings on the site and on adjoining properties;</p> <p>(d) the bulk and form of proposed buildings;</p> <p>(e) overlooking and reduction of privacy of dwellings on adjoining properties;</p> <p>(f) overshadowing and reduction in sunlight to habitable rooms and private open space of dwellings on adjoining properties; and</p> <p>(g) any existing screening or the ability to implement screening.</p>
<p>A2</p> <p>Air extraction, refrigeration systems, compressors or generators must be separated a distance of not less than 10m from a General Residential Zone, Inner Residential Zone, Low Density Residential Zone and Rural Living Zone.</p>	<p>P2</p> <p>Air conditioning, air extraction, pumping, heating or refrigeration systems, compressors or generators within 10m of a General Residential Zone, Inner Residential Zone, Low Density Residential Zone or Rural Living Zone must be designed, located, baffled or insulated so as to not cause an unreasonable loss of residential amenity to the adjoining residential zones, having regard to:</p> <p>(a) the characteristics and frequency of emissions generated;</p> <p>(b) the nature of the proposed use;</p> <p>(c) the topography of the site and location of adjoining sensitive uses; and</p> <p>(d) any proposed or existing mitigation measures.</p>

Comments:

The proposed development does not include any building. The setback standards do not apply to this application.

26.4.3 Fencing

Objective:	
That fencing: (a) does not detract from the appearance of the site or surrounding area; and (b) provides for passive surveillance	
Acceptable Solution	Performance Criteria
A1 A fence (including a free-standing wall) within 4.5m of a frontage and where adjoining a property in a General Residential Zone, Inner Residential Zone, Low Density Residential Zone or Village Zone must have a height above existing ground level of not more than: (a) 1.2m if the fence is solid; or (b) 2.1m, if any part of the fence that is within 4.5m of a frontage has openings above a height of 1.2m which provide a uniform transparency of not less than 30%.	P1 A fence (including a free-standing wall) within 4.5m of a frontage and where adjoining a property in the General Residential Zone, Inner Residential Zone, Low Density Residential Zone or Village Zone must be compatible with the streetscape, having regard to: (a) the height, design, location and extent of the fence; (b) the degree of transparency; and (c) the proposed materials and construction.
A2 Common boundary fences with a property in a General Residential Zone, Inner Residential Zone, Low Density Residential Zone or Village Zone must: (a) have a height above existing ground level of not more than 2.1m; and (b) not use barbed wire.	P2 Common boundary fences with a property in the General Residential Zone, Inner Residential Zone, Low Density Residential Zone or Village Zone must not cause an unreasonable loss of residential amenity, having regard to: (a) the height, design, location and extent of the fence; and (b) the proposed materials and construction.

Comments:

The proposed development does not include any Fencing. The fencing standards do not apply to this application.

26.4.4 Outdoor storage areas

Objective:	
That outdoor storage areas do not detract from the appearance of the site or surrounding area.	
Acceptable Solution	Performance Criteria
A1 Outdoor storage areas, excluding any goods for sale, must not be visible from any road or public open space adjoining the site.	P1 Outdoor storage areas, excluding any goods for sale, must be located, treated or

	screened to not cause an unreasonable loss of visual amenity.
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Comments:

The proposed development does not include any Outdoor storage areas. The Outdoor storage areas standards do not apply to this application.

The proposal complies with 26.0 - Utilities Zone

e) C2.0 - Parking and Sustainable Transport Code

C2.1 - Code Purpose

C2.1.1 To ensure that an appropriate level of parking facilities is provided to service use and development.

C2.1.2 To ensure that cycling, walking and public transport are encouraged as a means of transport in urban areas.

C2.1.3 To ensure that access for pedestrians, vehicles and cyclists is safe and adequate.

C2.1.4 To ensure that parking does not cause an unreasonable loss of amenity to the surrounding area.

C2.1.5 To ensure that parking spaces and accesses meet appropriate standards.

C2.1.6 To provide for parking precincts and pedestrian priority streets

C2.5 - Use Standards

C2.5.1 Car parking numbers

Objective:	
That an appropriate level of car parking spaces are provided to meet the needs of the use.	
Acceptable Solution	Performance Criteria
<p>A1</p> <p>The number of on-site car parking spaces must be no less than the number specified in Table C2.1, less the number of car parking spaces that cannot be provided due to the site including container refund scheme space, excluding if:</p> <p>(a) the site is subject to a parking plan for the area adopted by council, in which case parking provision (spaces or cash-in-lieu) must be in accordance with that plan;</p> <p>(b) the site is contained within a parking precinct plan and subject to Clause C2.7;</p> <p>(c) the site is subject to Clause C2.5.5; or</p>	<p>P1.1</p> <p>The number of on-site car parking spaces for uses, excluding dwellings, must meet the reasonable needs of the use, having regard to:</p> <p>(a) the availability of off-street public car parking spaces within reasonable walking distance of the site;</p> <p>(b) the ability of multiple users to share spaces because of:</p> <p>(i) variations in car parking demand over time; or</p> <p>(ii) efficiencies gained by consolidation of car parking spaces;</p>

<p>(d) it relates to an intensification of an existing use or development or a change of use where:</p> <p>(i) the number of on-site car parking spaces for the existing use or development specified in Table C2.1 is greater than the number of car parking spaces specified in Table C2.1 for the proposed use or development, in which case no additional on-site car parking is required; or</p> <p>(ii) the number of on-site car parking spaces for the existing use or development specified in Table C2.1 is less than the number of car parking spaces specified in Table C2.1 for the proposed use or development, in which case on-site car parking must be calculated as follows:</p> <p>$N = A + (C - B)$</p> <p>N = Number of on-site car parking spaces required</p> <p>A = Number of existing on site car parking spaces</p> <p>B = Number of on-site car parking spaces required for the existing use or development specified in Table C2.1</p> <p>C = Number of on-site car parking spaces required for the proposed use or development specified in Table C2.1.</p>	<p>(c) the availability and frequency of public transport within reasonable walking distance of the site;</p> <p>(d) the availability and frequency of other transport alternatives;</p> <p>(e) any site constraints such as existing buildings, slope, drainage, vegetation and landscaping;</p> <p>(f) the availability, accessibility and safety of onstreet parking, having regard to the nature of the roads, traffic management and other uses in the vicinity;</p> <p>(g) the effect on streetscape; and</p> <p>(h) any assessment by a suitably qualified person of the actual car parking demand determined having regard to the scale and nature of the use and development.</p> <p>P1.2</p> <p>The number of car parking spaces for dwellings must meet the reasonable needs of the use, having regard to:</p> <p>(a) the nature and intensity of the use and car parking required;</p> <p>(b) the size of the dwelling and the number of bedrooms; and</p> <p>(c) the pattern of parking in the surrounding area</p>
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Comments:

The proposal is for two new uses, one of which is the Passive Recreation use, which, in accordance with Table C2.1, does not require any parking space to be assigned with the Use.

The Food Service use (Food Trucks), in accordance with Table C2.1, is most suitably defined as '*Food Services, excluding as otherwise specified in this table*' (other than Restaurant and Take-away food premises). The required car parking number for this use is:

' 1 space per 15m² of floor area (including any outdoor dining areas) + 6 queuing spaces for drive-through (if applicable), unless subject to Clause C2.5.5'

Due to the proposal being for Food Trucks, there is no building with floor area to be developed, and therefore, the car parking space and bicycle parking space requirements do not apply to this application.

C2.6 - Development Standards for Buildings and Works

C2.6.1 Construction of parking areas

Objective:	
That parking areas are constructed to an appropriate standard.	
Acceptable Solution	Performance Criteria
A1 All parking, access ways, manoeuvring and circulation spaces must: <ul style="list-style-type: none"> (a) be constructed with a durable all weather pavement; (b) be drained to the public stormwater system, or contain stormwater on the site; and (c) excluding all uses in the Rural Zone, Agriculture Zone, Landscape Conservation Zone, Environmental Management Zone, Recreation Zone and Open Space Zone, be surfaced by a spray seal, asphalt, concrete, pavers or equivalent material to restrict abrasion from traffic and minimise entry of water to the pavement. 	P1 All parking, access ways, manoeuvring and circulation spaces must be readily identifiable and constructed so that they are useable in all weather conditions, having regard to: <ul style="list-style-type: none"> (a) the nature of the use; (b) the topography of the land; (c) the drainage system available; (d) the likelihood of transporting sediment or debris from the site onto a road or public place; (e) the likelihood of generating dust; and (f) the nature of the proposed surfacing.

Objective:	
That parking areas are designed and laid out to provide convenient, safe and efficient parking	
Acceptable Solution	Performance Criteria
A1.1 Parking, access ways, manoeuvring and circulation spaces must either: <ul style="list-style-type: none"> (a) comply with the following: <ul style="list-style-type: none"> (i) have a gradient in accordance with Australian Standard AS 2890 - Parking facilities, Parts 1-6; (ii) provide for vehicles to enter and exit the site in a forward direction where providing for more than 4 parking spaces; (iii) have an access width not less than the requirements in Table C2.2; (iv) have car parking space dimensions which satisfy the requirements in Table C2.3; (v) have a combined access and manoeuvring width adjacent to parking spaces not less than the requirements in 	P1 All parking, access ways, manoeuvring and circulation spaces must be designed and readily identifiable to provide convenient, safe and efficient parking, having regard to: <ul style="list-style-type: none"> (a) the characteristics of the site; (b) the proposed slope, dimensions and layout; (c) useability in all weather conditions; (d) vehicle and pedestrian traffic safety; (e) the nature and use of the development; (f) the expected number and type of vehicles; (g) the likely use of the parking areas by persons with a disability;

<p>Table C2.3 where there are 3 or more car parking spaces;</p> <p>(vi) have a vertical clearance of not less than 2.1m above the parking surface level; and</p> <p>(vii) excluding a single dwelling, be delineated by line marking or other clear physical means; or</p> <p>(b) comply with Australian Standard AS 2890- Parking facilities, Parts 1-6.</p> <p>A1.2</p> <p>Parking spaces provided for use by persons with a disability must satisfy the following:</p> <p>(a) be located as close as practicable to the main entry point to the building;</p> <p>(b) be incorporated into the overall car park design; and</p> <p>(c) be designed and constructed in accordance with Australian/New Zealand Standard AS/NZS 2890.6:2009 Parking facilities, Off-street parking for people with disabilities</p>	<p>(h) the nature of traffic in the surrounding area;</p> <p>(i) the proposed means of parking delineation; and</p> <p>(j) the provisions of Australian Standard AS 2890.1:2004 - Parking facilities, Part 1: Offstreet car parking and AS 2890.2 -2002 Parking facilities, Part 2: Off-street commercial vehicle facilities.</p>
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Comments:

Although parking spaces are not required for the intended uses, following the intended uses of the space and for the convenience of the users and Food Truck operators, there will be a dedicated parking space with eight (8) parking spaces, including one disabled space, to service the proposed uses. The parking space will be sealed and drained, in accordance with the Acceptable Solution standards C2.6.1 A1.

All the parking spaces will be developed in accordance with the *Australian Standard AS 2890 - Parking facilities, Parts 1- 6*; and *Australian/New Zealand Standard AS/NZS 2890.6:2009 Parking facilities, Off-street parking for people with disabilities*.

The attached detailed design drawings are sufficient for Council to determine the proposal satisfied the relevant standards of the code.

The proposal complies with C2.0 - Parking and Sustainable Transport Code.

f) C4.0 - Electricity Transmission Infrastructure Protection Code

C4.1 - Code Purpose

C4.1.1 To protect use and development against hazards associated with proximity to electricity transmission infrastructure.

C4.1.2 To ensure that use and development near existing and future electricity transmission infrastructure does not adversely affect the safe and reliable operation of that infrastructure.

C4.1.3 To maintain future opportunities for electricity transmission infrastructure.

Comments:

The proposal is subject to the code as it is within a 'transmission corridor' and an 'Inner protection area'. Therefore, the application will be assessed against the Code's standards.

C4.5 - Use Standards

C4.5.1 Sensitive use within a substation facility buffer area

Comments:

Neither of the proposed uses is for sensitive use; the standards do not apply.

C4.5.2 Dust or other airborne particulates within an electricity transmission corridor

Comments:

Neither of the proposed uses will create dust or other airborne particulates; therefore, the standards do not apply.

C4.5.3 Dust or other airborne particulates within a substation facility buffer area

Comments:

The proposed development is not within a substation facility buffer area. The standards do not apply.

C4.6 - Development Standards for Building or Works

C4.6.1 Buildings or works within an electricity transmission corridor

Objective:	
That buildings or works within an electricity transmission corridor are located at appropriate distances from transmission lines or cables to: (a) ensure operational efficiencies, access to, and security of, existing or future electricity transmission infrastructure; and (b) protect against a safety hazard associated with proximity to existing or future electricity transmission infrastructure.	
Acceptable Solution	Performance Criteria
A1 Buildings or works within an electricity transmission corridor must not be within: (a) an inner protection area; or (b) a registered electricity easement.	P1 Buildings or works within an electricity transmission corridor must not cause an unreasonable impact on the safety, security, operation of, or access to, existing or future electricity transmission infrastructure, having regard to: (a) the nature, height and materials of the buildings and works;

	<p>(b) the extent of encroachment of the buildings and works into the electricity transmission corridor;</p> <p>(c) the location of the buildings and works within the electricity transmission corridor; and</p> <p>(d) any advice from the electricity entity.</p>
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Comments:

There are a small portion of works within the registered electricity easement.

Assessment against P1 is required, as follows:

- a) The only works proposed within the easement area a very small amount of sealed carparking. No significant earthworks are proposed.
- b) The encroachment is very minor and highly unlikely to affecting TasNetworks' operations.
- c) As per (b).
- d) The applicant is seeking the support of Tasnetworks for the approval of this application given their involvement in the project from the concept design up until this point.

It is considered the minor obstruction into the registered electricity easement area can satisfy P1.

C4.6.2 Buildings or works within a substation facility buffer area

Comments:

The proposed development is not within a substation facility buffer area. The standards do not apply.

C4.6.3 Buildings or works within a communications station buffer area

Comments:

The proposed development is not within a communications station buffer area. The standards do not apply.

The proposal complies with C4.0 - Electricity Transmission Infrastructure Protection Code.

g) BRI-S4.0 - Bridgewater Quarry Specific Area Plan

BRI-S4.1 - Plan Purpose

The purpose of the Bridgewater Quarry Specific Area Plan is:

To protect the operations of the Bridgewater Quarry from incompatible or conflicting use or development.

Comments:

The proposal is to continue the delivery of the Brighton Hub - Truck Stop Upgrades/ Town Square Project ('the project') which commenced in 2024, after Council received funding through the Commonwealth Government's Heavy Vehicle Rest Area initiative. The 'works' proposed is the construction of the subservient car park for the proposed uses of the truck stop and the food

services (food truck). The proposal would not adversely affect the operations of the Bridgewater Quarry. The proposal complies with the purpose of the Bridgewater Quarry SAP.

BRI-S4.7.1 Buildings and works within Bridgewater Quarry Specific Area Plan

Objective:	
That development is compatible with the operations of the Bridgewater Quarry.	
Acceptable Solution	Performance Criteria
<p>A1</p> <p>No Acceptable Solution.</p>	<p>P1</p> <p>Buildings and works must not result in potential to interfere or conflict with quarry operations having regard to:</p> <p>(a) the nature of the quarry; including:</p> <ul style="list-style-type: none"> (i) operational characteristics; (ii) scale and intensity; (iii) degree of hazard or pollution that may be emitted from the activity; <p>(b) the degree of encroachment of development or use into the Bridgewater Quarry Attenuation Area; and</p> <p>(c) measures in the design, layout and construction of the development to eliminated, mitigate or manage effects of the quarry; and</p> <p>(d) any advice from the Bridgewater Quarry operator.</p>

Comments:

The proposed development is within the overlay of the Bridgewater Quarry Specific Area Plan and, therefore, subject to compliance with this standard.

There is no Acceptable Solution for this standard; therefore, the application must demonstrate compliance with the Performance Criteria.

No building is proposed for this development, and only the development of the subservient car park can be considered 'works'. Given the intended use, the scale and nature of the proposed car park, it is unlikely that the development would create conflict or interfere with the operation of the Bridgewater Quarry.

The Bridgewater Quarry operator (Boral) will be notified regarding the proposed development and can provide comments during the statutory advertising period of the application.

The proposal complies with BRI-S4.7.1 P1.

11. Conclusion

The proposal for the establishment of food services use, and the construction car parking on the site, satisfies all relevant standards in the Scheme, and so a permit should be granted.

Please contact me should you require any further information.

Yours faithfully,

A handwritten signature in black ink, appearing to read 'B. White', with a stylized flourish at the end.

Brian White
Strategic Planner

Attachment A: Concept Plan

Attachment B: Detailed Design Drawings

Attachment C: Application Form

Attachment D: Title Documents

Attachment E: Crown Consent

Attachment F: TPC Decision on SSQ

Amended Submission to Planning Authority Notice

Application details

Council Planning Permit No. DA 2025/135
Council notice date 11/09/2025
TasWater Reference No. TWDA 2025/01079-BTN
Date of response **25/09/2025**
16/09/2025
TasWater Contact Timothy Carr
Phone No. 0419 306 130

Response issued to

Council name BRIGHTON COUNCIL
Contact details development@brighton.tas.gov.au
Development details
Address 2 STRONG ST, BRIDGEWATER
Property ID (PID) 9205501
Description of development Food Service (Mobile Food Vendor) and Construction of Car Parking

Schedule of drawings/documents

Prepared by	Drawing/document No.	Revision No.	Issue date
JMG	Hydraulic Services – H011	P3	15/01/2025

Conditions

Pursuant to the *Water and Sewerage Industry Act 2008 (TAS)* Section 56P(1) TasWater imposes the following conditions on the permit for this application:

CONNECTIONS, METERING & BACKFLOW

1. A suitably sized water supply with a metered connection and sewerage system and connection to the development must be designed and constructed to TasWater's satisfaction and be in accordance with any other conditions in this permit.
2. Any removal/supply and installation of water meters and/or the removal of redundant and/or installation of new and modified property service connections must be carried out by TasWater at the developer's cost.
3. Prior to commencing construction of the development, any water connection utilised for construction must have a backflow prevention device and water meter installed, to the satisfaction of TasWater.

ASSET CREATION & INFRASTRUCTURE WORKS

4. Prior to applying for a Certificate for Certifiable Works, the developer must physically locate all existing infrastructure to provide sufficient information for accurate design and physical works to be undertaken.
5. Plans submitted with the application for Certificate(s) for Certifiable Work (Building and/or Plumbing) must, to the satisfaction of TasWater show, all existing, redundant and/or proposed property services and mains.
6. Prior to undertaking any works related to water and sewerage, physical markers must be in place that clearly identify where water and/or sewer connections are to be made in accordance with any approved plan to TasWater's satisfaction.

DEVELOPMENT ASSESSMENT FEES

7. The applicant or landowner as the case may be, must pay a development assessment fee of \$251.35 to TasWater, as approved by the Economic Regulator and the fee will be indexed, until the date paid to TasWater.

The payment is required within 30 days of the issue of an invoice by TasWater.

Advice

General

For information on TasWater development standards, please visit

<https://www.taswater.com.au/building-and-development/technical-standards>

For application forms please visit

<https://www.taswater.com.au/building-and-development/development-application-form>

Important Notice Regarding Plumbing Plans and Associated Costs

The SPAN includes references to documents submitted as part of the application. These plans are acceptable for planning purposes only and are subject to further detailed assessment and review during the next stage of the development proposal.

TasWater's assessment staff will ensure that the design contains sufficient detail to assess compliance with relevant codes and regulations. Additionally, the plans must be clear enough for a TasWater contractor to carry out any water or sewerage-related work.

Depending on the nature of the project, your application may require Building and/or Plumbing permits or could be exempt from these requirements. Regardless, TasWater's assessment process and associated time are recoverable through an assessment fee.

Please be aware that your consultant may need to make revisions to their documentation to ensure the details are fit for construction. Any costs associated with updating these plans should be discussed directly with your consultant.

Service Locations

Please note that the developer is responsible for arranging to locate the existing TasWater infrastructure and clearly showing it on the drawings. Existing TasWater infrastructure may be located by a surveyor and/or a private contractor engaged at the developers cost to locate the infrastructure.

- a. A permit is required to work within TasWater's easements or in the vicinity of its infrastructure. Further information can be obtained from TasWater.
- b. TasWater has listed a number of service providers who can provide asset detection and location services should you require it. Visit <https://www.taswater.com.au/building-and-development/service-locations> for a list of companies.

- c. Sewer drainage plans or Inspection Openings (IO) for residential properties are available from your local council.

NOTE: In accordance with the WATER AND SEWERAGE INDUSTRY ACT 2008 – SECT 56ZB A regulated entity may charge a person for the reasonable cost of –

- (a) a meter; and
- (b) installing a meter.

Declaration

The drawings/documents and conditions stated above constitute TasWater's Submission to Planning Authority Notice.