



Application for Planning Approval

Land Use Planning and Approvals Act 1993

APPLICATION NO.

DA2025/123

LOCATION OF AFFECTED AREA

19 CREED COURT, BRIGHTON

DESCRIPTION OF DEVELOPMENT PROPOSAL

OUTBUILDING

A COPY OF THE DEVELOPMENT APPLICATION MAY BE VIEWED AT www.brighton.tas.gov.au AND AT THE COUNCIL OFFICES, 1 TIVOLI ROAD, OLD BEACH, BETWEEN 8:15 A.M. AND 4:45 P.M, MONDAY TO FRIDAY OR VIA THE QR CODE BELOW. ANY PERSON MAY MAKE WRITTEN REPRESENTATIONS IN ACCORDANCE WITH S.57(5) OF THE LAND USE PLANNING AND APPROVALS ACT 1993 CONCERNING THIS APPLICATION UNTIL 4:45 P.M. ON **01/09/2025**. ADDRESSED TO THE CHIEF EXECUTIVE OFFICER AT 1 TIVOLI ROAD, OLD BEACH, 7017 OR BY EMAIL AT development@brighton.tas.gov.au. REPRESENTATIONS SHOULD INCLUDE A DAYTIME TELEPHONE NUMBER TO ALLOW COUNCIL OFFICERS TO DISCUSS, IF NECESSARY, ANY MATTERS RAISED.

JAMES DRYBURGH
Chief Executive Officer



Brighton
going places

CONSTRUCTION

NEW SHED

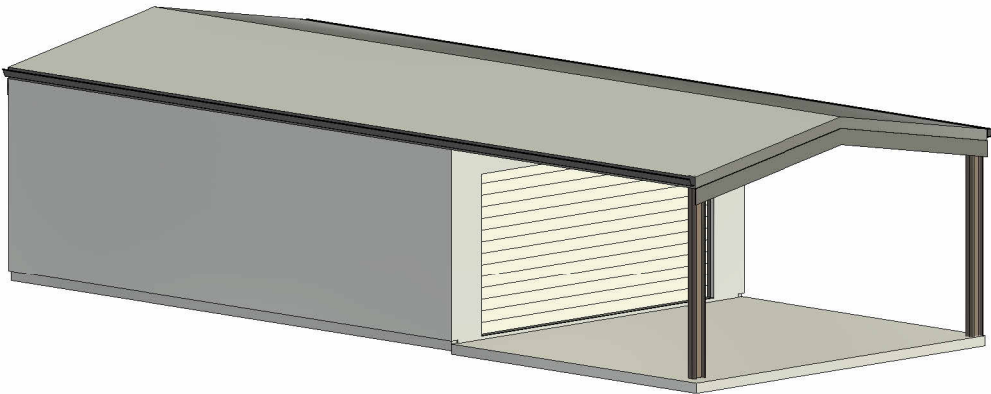
CLASS 10A

SNH25-028

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A2.0	SITEPLAN
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A3.1	WINDOW/ DOOR SCHEDULES
A4.0	ELEVATIONS
A4.1	ELEVATIONS

CLIENT	Meg Peta Walker and Jack Roger Pyke
PROPERTY ADDRESS	19 Creed Court, Brighton
PROPERTY TITLE REFERENCE	128599/25
PROPERTY IDENTIFICATION NUMBER	1816706
LOCAL AUTHORITY	Brighton
PLANNING ZONE	Tasmanian Planning Scheme
OVERLAYS	Low Landslip Hazard Band, Bushfire Prone
BUSHFIRE ATTACK LEVEL	BAL 29
CORROSION ENVIRONMENT	TBC
SOIL CLASSIFICATION	TBC
WIND CLASSIFICATION	N3
PROPERTY LOT SIZE	867m2
PROPOSED FOOTPRINT	84m2



BUILDER TO NOTE

- Builder and subcontractors to verify all dimensions and levels prior to the commencement of any work.
- Give 24 hours minimum notice where amendments are required to design of working drawings.
- These drawings are to be read in conjunction with engineers and surveyors drawings and notes.
- Do not scale drawings. Dimensions are to take preference over scale.
- Building specification and Engineers drawings shall override architectural drawings.

All construction work shall be carried out in accordance with:

Tasmanian Building Regulations,

Council by-laws,

Australian Building Codes Board (ABCB) National Construction Code (NCC) Vol. 2 2022 and Housing Provisions (HP),

Australian Standards,

Other supporting documentation as referenced

CERTIFICATES & ASSESSMENT REPORTS BY OTHERS

BUSHFIRE ATTACK LEVEL ASSESSMENT (BAL)

JAKE BELL (BFP-154)

PROPERTY OWNER TO NOTE

- The Property Owners attention is drawn to the fact that foundations and associated drainage in all sites requires continuing maintenance to assist footing performance.
- Advice for foundation maintenance is contained in theCSIRO Building Technology File 18,and it is the owners responsibility to maintain the site in accordance with this document.

DIMENSION NOTE:

Use written diemtnions only. Do no scale from drawings. All figured dimensions are to be used as a guide only. It is imperative that all dimensions, setouts and levels be confirmed onsite by the builder, Surveyor or Sub Contractor prior to the commencement of work, manufacture or installaion; and the Builder, Sub Contractor and/or manufacturer ensures a full set of plans are on hand and reference has been made to the general notes

DRAWING NOTE:

This drawing & design shown is the property of BLST Pty Ltd and shall not be copied nor reproduced in part or in whole in any form without the written permission of BLST Pty Ltd and shall be used only by the client of BLST Pty Ltd for the project for which it was provided.



57 Cove Hill Road

Bridgewater TAS 7030

(03) 6263 6545

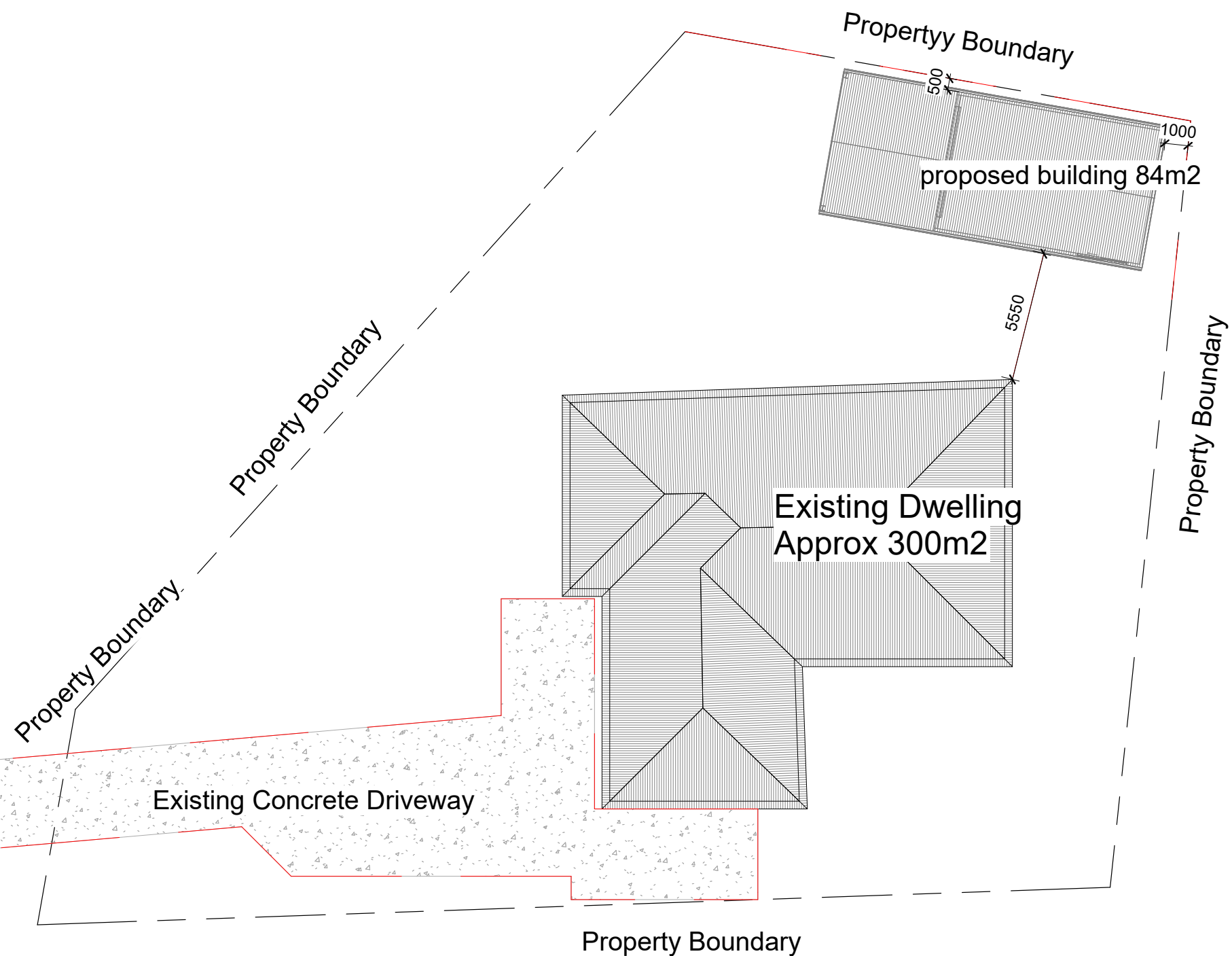
hobart@shedsnhomes.com.au

BLST Pty Ltd

ABN 52 660 422 159

CLIENT NAME	Meg Peta Walker and Jack Roger Pyke			DRAWING TITLE		
PROJECT ADDRESS			DATE		DRAWN BY	
19 Creed Court, Brighton			29/07/2025		SH	
PROJECT			REVISION No	SHEET SIZE	JOB No	SHEET No
NEW SHED				A3	SNH25-028	A1.0

Creed Court



DIMENSION NOTE:

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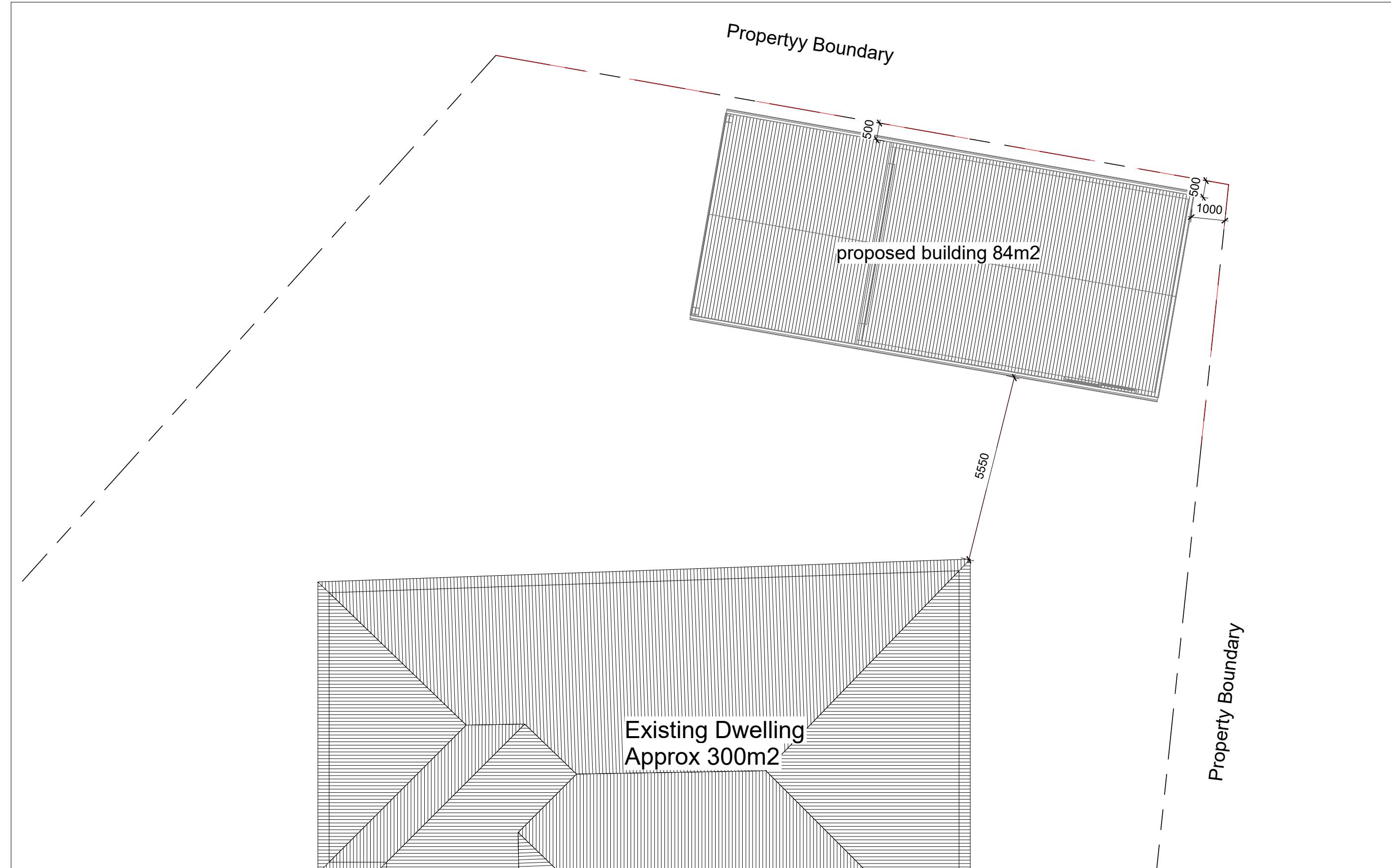
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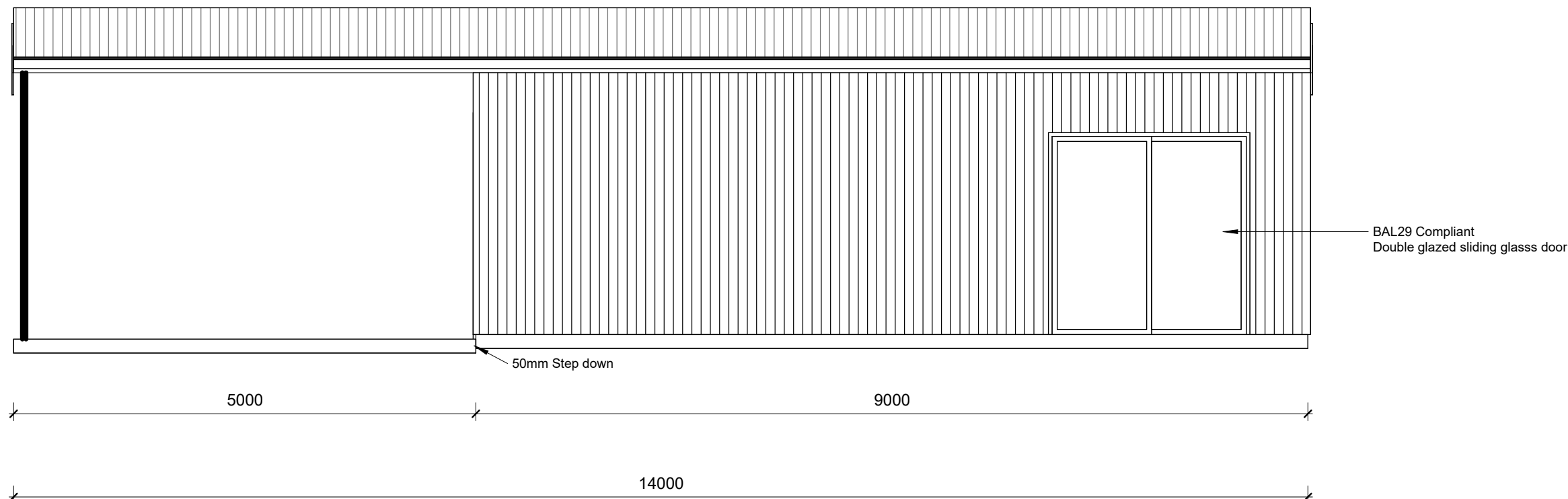
57 Cove Hill Road
Bridgewater TAS 7030
(03) 6263 6545
hobart@shedsnhomes.com.au
BLST Pty Ltd
ABN 52 660 422 159

CLIENT NAME	Meg Peta Walker and Jack Roger Pyke		DRAWING TITLE SITEPLAN		
PROJECT ADDRESS	19 Creed Court, Brighton		DATE	29/07/2025	DRAWN BY SH
PROJECT	New shed		SCALE	1 : 200	
			REVISION No	SHEET SIZE A3	JOB No C2.0



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										DATE 29/07/2025		SCALE 1 : 100		DRAWN BY SH					
										PROJECT ADDRESS 19 Creed Court, Brighton		REVISION No		SHEET SIZE A3		JOB No		SHEET No C2.1	
										PROJECT New shed									

1 SOUTH
1 : 50

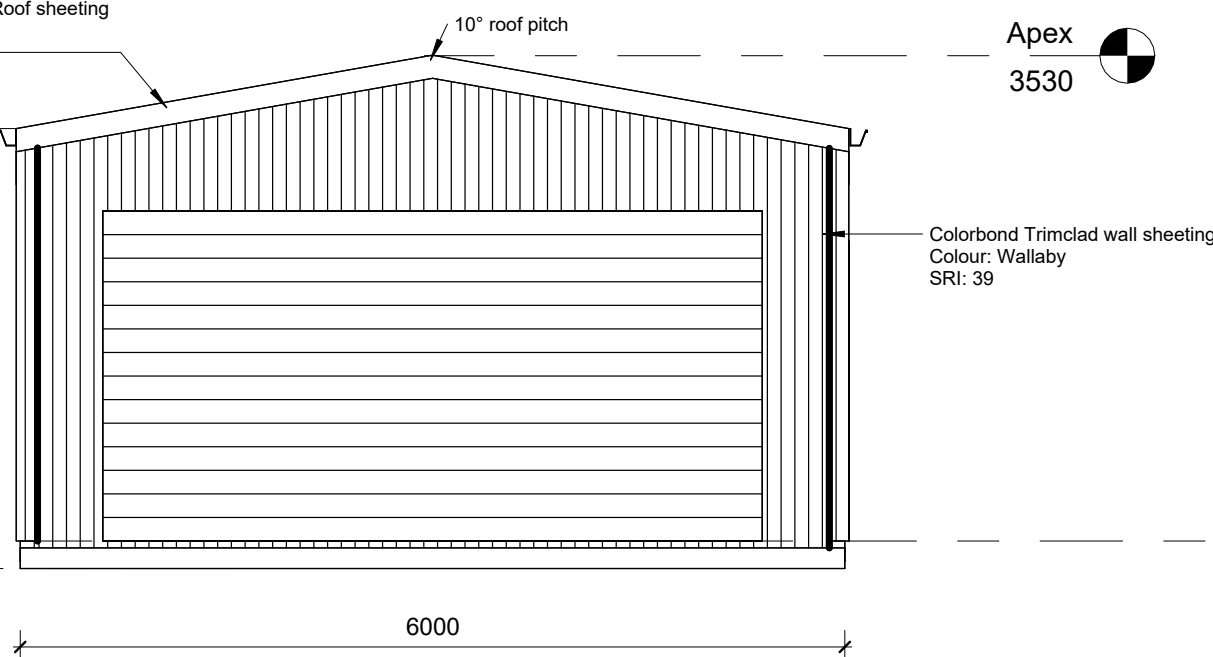


EAVE
3000

FGL
-200

FFL
0

2 WEST
1 : 50



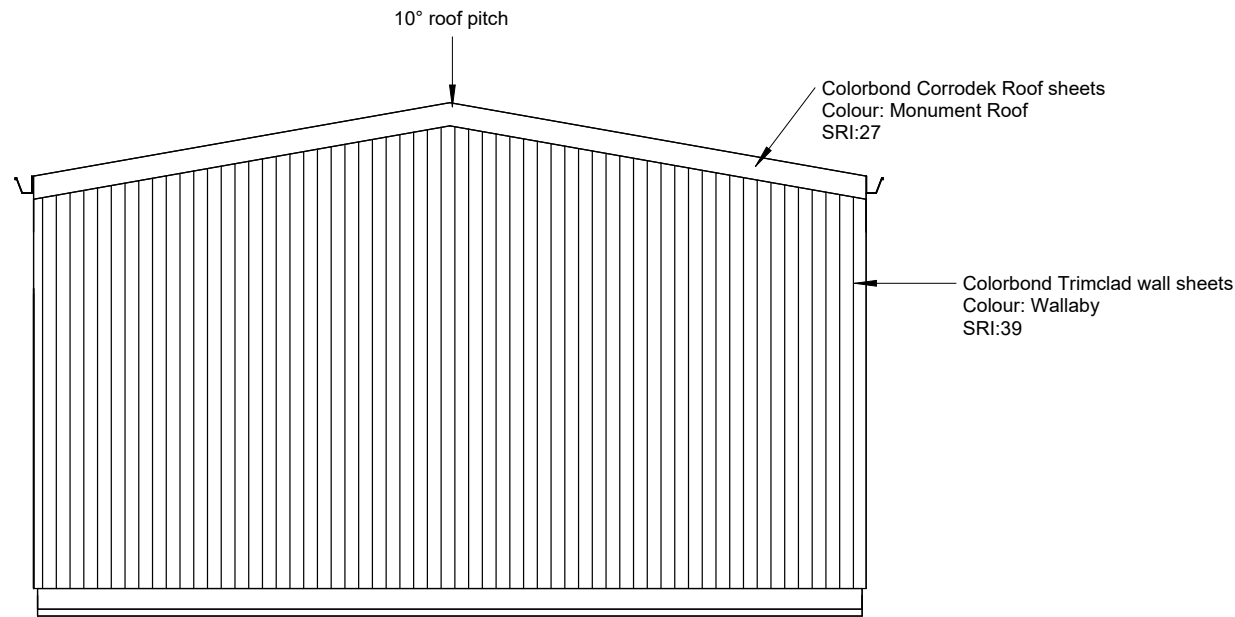
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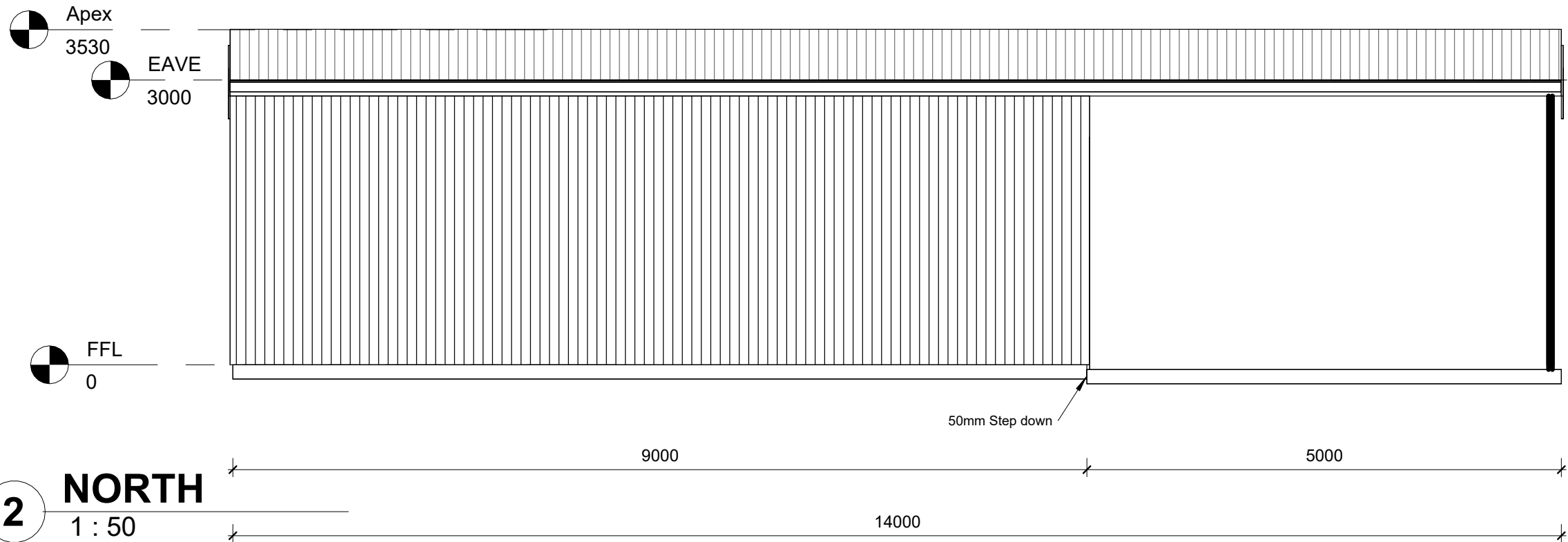


57 Cove Hill Road
Bridgewater TAS 7030
(03) 6263 6545
hobart@shedsnhomes.com.au
BLST Pty Ltd
ABN 52 660 422 159

CLIENT NAME		DRAWING TITLE		
Meg Peta Walker and Jack Roger Pyke		ELEVATIONS		
PROJECT ADDRESS		DATE	SCALE	DRAWN BY
19 Creed Court, Brighton		29/07/2025	1 : 50	SH
PROJECT		REVISION No	SHEET SIZE	JOB No
NEW SHED			A3	SNH25-028
				SHEET No
				A4.0



1 EAST
1 : 50



2 NORTH
1 : 50

DIMENSION NOTE:

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Bridgewater TAS 7030
(03) 6263 6545
hobart@shedsnhomes.com.au
BLST Pty Ltd
ABN 52 660 422 159

CLIENT NAME	Meg Peta Walker and Jack Roger Pyke		DRAWING TITLE ELEVATIONS		
PROJECT ADDRESS	19 Creed Court, Brighton		DATE 29/07/2025	SCALE 1 : 50	DRAWN BY BH
PROJECT NEW SHED			REVISION No	SHEET SIZE A3	JOB No SNH25-028 SHEET No A4.1



BLST Pty Ltd
57 Cove Hill Road, Bridgewater 7030
EMAIL: hobart@shedsnhomes.com.au

14/08/2025

Dang Van
Brighton City Council

Response to RFI – DA2025/123 (19 Creed Court, Brighton)

Dear Dang,

Thank you for your RFI dated 14th August 2025.

Please be advised that this shed is a storage shed only. There will be no driveway extension.

Please let me know if you require any additional information.

Sarah Harriss

BLST Pty Ltd



BUSHFIRE HAZARD REPORT

The information in this report is based on the instructions of AS 3959:2018 - Construction of Buildings in Bushfire Prone Areas and the Directors Determination – Bushfire Hazard Areas.

**19
CREED COURT
BRIGHTON 7030**

Prepared by: Tas Bushfire Consulting
25/07/2025

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Objectives & Requirements	6
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Associated Documents:

- Bushfire Hazard Management Plan
- Form 55
- Site Photos

DISCLAIMER

Please remember that the measures contained in this report cannot guarantee that a building will survive in the event of a bushfire on every occasion. This is substantially due to the degree of vegetation management, the unpredictable nature and behaviour of fire and extreme weather conditions.

In preparation of this document, all reasonable steps have been taken to ensure that the information in this report is correct and accurately reflects, both the conditions of the considered allotment and its surroundings on the date of this assessment.

EXECUTIVE SUMMARY

This Bushfire Hazard Report is prepared for the proposed Outbuilding at 19 Creed Court Brighton 7030 (C.T. 128599/25). This report is prepared as part of the document for Building Approval.

The property is considered as being bushfire prone being mapped within the Bushfire-Prone Areas overlay of the Tasmanian Planning Scheme.

The report will define the bushfire attack level classification of the lot and determine its compliance with relevant bushfire building requirements, legislation and guidelines.

Using AS 3959:2018 simplified procedure, method 1, the bushfire attack level of the site and the construction requirements will be classified as BAL 29.

The site is to be maintained to the level set out in this report and the proposed Outbuilding to be constructed and maintained in accordance with the Directors Determination - Bushfire Hazard Areas (Version 1.2) as well as the construction sections 3 and 7 of AS3959:2018 Construction of Buildings in Bushfire Prone Areas for BAL 29.

DESCRIPTION OF PROPOSAL

Location	19 Creed Court Brighton 7030
Title Reference	128599/25
Property ID	1816706
Lot Size	867m ²
Zoning	General Residential
Council	Brighton Council
Development Type	Outbuilding
Environs	Located at the end of a residential cul-de-sac with developed residential to the South, West and North. Immediately to the East is a managed easement and council reserve along the Jordan River. Vegetation along the river has been assessed as shrubland.
Access	Creed Court is sealed and provides good access. No design or construction requirements apply for access. Refer BHMP.
Water Supply	Nearest compliant roadside hydrant at ±85m. Refer BHMP

Assessed by:

Jake Bell
 Tas Bushfire Consulting
 admin@tasbushfire.com.au

Accredited person under part 4a of the Fire Service Act 1979
 BFP-154



BUSHFIRE SITE ASSESSMENT

The property is considered to be within a bushfire prone area due to the proximity of vegetation greater than 1ha in area.

The proposed building is located in a residential and rural interface and the risk of bushfire attack is considered to be a realistic outcome. Using AS 3959:2018 simplified procedure (method 1) the bushfire attack level of the allotment and the associated construction requirements will be classified as BAL 29. BAL 29 is described as being exposed to increasing levels of ember attack with radiant heat less than 29kW/m². Please see table 1 below for results. These results were calculated on Tasmania's FDI of 50.

	North	East	South	West
Veg <100m	0-100m managed/low risk	0-13m low risk (managed easement), 13m+ shrubland	0-100m managed/low risk	0-100m managed/low risk
Slope (degrees over 100m)	Level/Upslope	10° - 15°	Level/Upslope	Level/Upslope
Min. separation - BAL 29	N/A	13m	N/A	N/A

The location of the river relative to the site would break up a fire approaching from the East. A fire approaching from the North or South along the river could have an uninterpreted path with a width of approx. 30m. A fire approaching from the North or South would present a higher risk than a fire coming from the East, so this is the design fire that has been assumed when making this assessment in line with AS3959 method 1 requirements.

The effective slope for a fire approaching from the North or South has been assessed at between 10-15°. The vegetation relative to the floor level of the proposed outbuilding is approx. 18m at its lowest point (edge of river). 18m over the course of 100m would be equal to 10.2° downslope. This is the degree of slope that would most influence fire behaviour.

The vegetation along the river bank has been assessed as 'shrubland'. The elevated fuel consists of patches of various weed species. The species growing in this area would indicate poor soil conditions. Due to the density of the vegetation and the typical species growing along the river, the vegetation type is most consistent with a 'shrubland' classification, as per AS3959 table 2.6.

The defensible space requirement listed in the above table is the minimum distance required for a BAL 29 rating as per AS 3959 table 2.6. To achieve a BAL 29 and ensure ongoing compliance the allotment will need to meet the required defensible space distances as outlined in the associated Bushfire Hazard Management Plan.

The hazard management area must be managed and kept at a minimum fuel condition at all times "where fine fuels are minimized to the extent that the passage of fire will be restricted, e.g. short green lawns, paths, driveways etc.". All grassed areas within this zone need to be kept to a nominal height of 100mm. The main design principles for this zone are to; create space, remove flammable objects or materials, separate fuel & influence the selection, location and maintenance of trees

OBJECTIVES & REQUIREMENTS

Directors Determination - Bushfire Hazard Areas (V1.2) - Construction Requirements

Table 1 - Construction Requirements & Construction Variations		
Element	Applicability	Requirement
A.	N/A	N/A
B.	N/A	N/A
Table 2 - Requirements for Property Access		
Element	Applicability	Requirement
A.	Yes	There are no specified design and construction requirements.
B.	N/A	N/A
C.	N/A	N/A
D.	N/A	N/A
Table 3A - Requirements for Reticulated Water Supply for Firefighting		
Element	Applicability	Requirement
A.	Yes	The following requirements apply: (a) The building area to be protected must be located within 120 metres of a fire hydrant; and (b) The distance must be measured as a hose lay, between the firefighting water point and the furthest part of the building area.
B.	Yes	The following requirements apply: (a) Fire hydrant system must be designed and constructed in accordance with TasWater Supplement to Water Supply Code of Australia WSA 03 – 2011-3.1 MRWA Edition 2.0; and (b) Fire hydrants are to be installed outside of the minimum access road width, and clear of any passing bay or parking area, to ensure access at all times to reticulated water for fire suppression.
C.	Yes	A hardstand area for fire appliances must be provided: (a) No more than three metres from the hydrant, measured as a hose lay; (b) No closer than six metres from the building area to be protected; (c) With a minimum width of three metres constructed to the same standard as the carriageway; and (d) Connected to the property access by a carriageway equivalent to the standard of the property access.
Table 3B - Requirements for Static Water Supply for Firefighting		
Element	Applicability	Requirement
A.	N/A	N/A
B.	N/A	N/A
C.	N/A	N/A
D.	N/A	N/A
E.	N/A	N/A
Table 4 - Requirements for Hazard Management Area		
Element	Applicability	Requirement
A.	N/A	N/A
B.	Yes	BAL 29 HMA identified and to be provided.
C.	N/A	N/A

D.	N/A	N/A
E.	N/A	N/A
F.	N/A	N/A
Table 5 - Requirements for Emergency Planning		
Element	Applicability	Requirement
A.	N/A	N/A

The proposed Outbuilding is to be constructed to comply with BAL 29 requirements in accordance with AS 3959 and the deemed to satisfy requirements outlined in this report and associated BHMP.

No natural or cultural values were identified on site or through desktop assessment which would prevent the clearing of vegetation communities present on site required for achieving BAL 29.

No other environmental or planning issues were identified on site or through desktop assessment, including review of the Tasmanian Planning Scheme zoning and overlay maps.

CONCLUSION

The site was assessed as having a bushfire attack level of 29. The defendable space required to meet BAL 29 is specified in the associated Bushfire Hazard Management Plan and the ongoing maintenance of this defendable space area in a low fuel state as prescribed in this plan is of utmost priority in regards to bushfire risk.

Proposed development should be constructed to comply with all construction requirements of AS 3959 and other recommendations outlined in this report. These measures will need to be undertaken to avoid increasing risk from a bushfire.

This report should be considered in conjunction with all other design documents for this proposal in case of conflict. Therefore, it is the responsibility of the client to provide this report to all relevant parties involved in the future planning and construction at the property.

For other valuable resources in regards to building for bushfires and bushfires in general see the Tasmanian fire service website: www.fire.tas.gov.au

REFERENCES

- Directors Determination – Bushfire Hazard Areas (V1.2)
- Standards Australia Limited. AS 3959 – Construction of Buildings in Bushfire Prone Areas
- Tasmanian Planning Scheme
- Australian Building Codes Board. 2022 National Construction Code – volume two
- Tasmanian government DPIPW - LISTmap & TASVEG Live map

AERIAL IMAGERY



120m radius from site of proposed outbuilding within 6m of the existing dwelling. Bushfire prone vegetation to the East assessed as shrubland and effective slope assessed as per Site Assessment section in this report. Refer BHMP for hazard management area requirements.

SITE PHOTOS

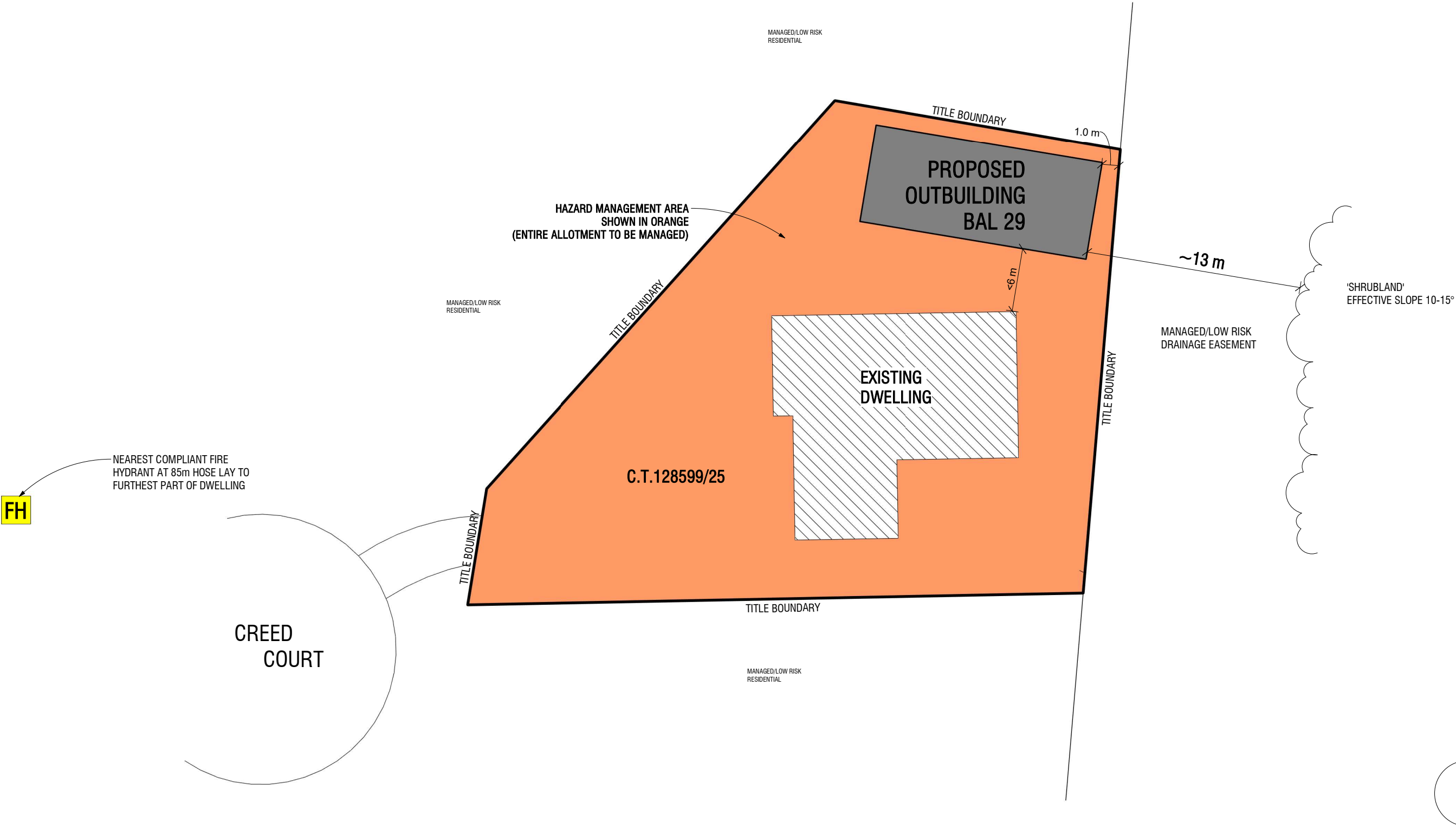
Cleared strip immediately adjacent to eastern property boundary with walking path that follows a sewer main drainage easement. Manhole access at regular intervals. This strip of land has been assessed as managed/low risk.




Photos of 'shrubland' vegetation to the East between drainage easement and the river



NOTE:
TO BE READ IN CONJUNCTION WITH THE BUSHFIRE HAZARD REPORT.
THE HAZARD MANAGEMENT AREA (SHOWN IN ORANGE) MUST BE MANAGED AND KEPT AT A MINIMUM FUEL CONDITION AT ALL TIMES WHERE FINE FUELS ARE MINIMIZED TO THE EXTENT THAT THE PASSAGE OF FIRE WILL BE RESTRICTED, E.G. SHORT GREEN LAWNS, PATHS, DRIVEWAYS ETC. ALL GRASSED AREAS WITHIN THIS ZONE NEED TO BE KEPT TO A NOMINAL HEIGHT OF 100MM.



CLIENT: SHEDS N HOMES	19 CREED COURT BRIGHTON 7030 BUSHFIRE HAZARD MANAGEMENT PLAN		 TAS BUSHFIRE CONSULTING www.tasbushfire.com.au	
	DATE: 25/07/2025	SCALE: 1 : 250		M: 0407 167 231 E: admin@tasbushfire.com.au
	DRAWN: JAKE BELL BFP 154 ACCREDITED: 1, 2, 3A			

PRINT REDUCTION BAR | A3 SHEET

10 20 30 40 50mm

CERTIFICATE OF QUALIFIED PERSON – ASSESSABLE ITEM

Section 321

Form **55**

To: Owner /Agent
 Address
 Suburb/postcode

Qualified person details:

Qualified person:
Address: Phone No:
 Fax No:
Licence No: Email address:

Qualifications and Insurance details: (description from Column 3 of the Director's Determination - Certificates by Qualified Persons for Assessable Items)

Speciality area of expertise: (description from Column 4 of the Director's Determination - Certificates by Qualified Persons for Assessable Items)

Details of work:

Address: Lot No:
 Certificate of title No:
The assessable item related to this certificate: (description of the assessable item being certified)
Assessable item includes –

- a material;
- a design
- a form of construction
- a document
- testing of a component, building system or plumbing system
- an inspection, or assessment, performed

Certificate details:

Certificate type: (description from Column 1 of Schedule 1 of the Director's Determination - Certificates by Qualified Persons for Assessable Items n)

This certificate is in relation to the above assessable item, at any stage, as part of - (tick one)

building work, plumbing work or plumbing installation or demolition work: ☒

or

a building, temporary structure or plumbing installation: ☐

In issuing this certificate the following matters are relevant –

Documents:

Bushfire Hazard Report (Dated 25/07/2025)
&
Bushfire Hazard Management Plan (Dated 25/07/2025)

Relevant
calculations:

References:

AS 3959:2018 Construction of Buildings in Bushfire-prone Areas
Directors Determination –Building Hazard Areas v1.2

Substance of Certificate: (what it is that is being certified)

The Bushfire Attack Level is assessed for the site.
The proposed outbuilding has been assessed as BAL 29.
Separation distances to meet BAL 29 requirements have been specified and shown on the BHMP.

Scope and/or Limitations

I certify the matters described in this certificate.

Qualified person:

Signed:

Jake Bell



Certificate No:

BFP-154

Date:

25/07/2025