



Application for Planning Approval

Land Use Planning and Approvals Act 1993

APPLICATION NO.

DA2025/110

LOCATION OF AFFECTED AREA

174 BRIGHTON ROAD, BRIGHTON

DESCRIPTION OF DEVELOPMENT PROPOSAL

CHANGE OF USE (VETERINARY CENTRE) AND ASSOCIATED WORKS

A COPY OF THE DEVELOPMENT APPLICATION MAY BE VIEWED AT www.brighton.tas.gov.au AND AT THE COUNCIL OFFICES, 1 TIVOLI ROAD, OLD BEACH, BETWEEN 8:15 A.M. AND 4:45 P.M, MONDAY TO FRIDAY OR VIA THE QR CODE BELOW. ANY PERSON MAY MAKE WRITTEN REPRESENTATIONS IN ACCORDANCE WITH S.57(5) OF THE LAND USE PLANNING AND APPROVALS ACT 1993 CONCERNING THIS APPLICATION UNTIL 4:45 P.M. ON **01/09/2025**. ADDRESSED TO THE CHIEF EXECUTIVE OFFICER AT 1 TIVOLI ROAD, OLD BEACH, 7017 OR BY EMAIL AT development@brighton.tas.gov.au. REPRESENTATIONS SHOULD INCLUDE A DAYTIME TELEPHONE NUMBER TO ALLOW COUNCIL OFFICERS TO DISCUSS, IF NECESSARY, ANY MATTERS RAISED.

JAMES DRYBURGH
Chief Executive Officer



Brighton
going places



ORAMATIS

BUILDING PERMIT DOCUMENTATION

174 Brighton Rd Brighton TAS 7030

174 Brighton Rd Veterinary Clinic

ID	NAME	REV
A01	COVER PAGE	
A02	NOTES & SITE LOCATION PLAN	
A03	SITE PLAN	
A04	EXISTING FLOOR PLAN	
A05	PROPOSED FLOOR PLAN	
A06	EXISTING ROOF PLAN	
A07	PROPOSED ROOF PLAN	
A08	ELEVATION	
A09	PROPOSED SIGNAGE	
A10	SECTION	
A11	SECTION	



1 LOCATION PLAN/SATELLITE IMAGERY
1:1000

GENERAL NOTES

GENERAL
© REPRODUCTION OF THIS DRAWING IS PROHIBITED WITHOUT THE CONSENT OF ORAMATIS STUDIO

DO NOT SCALE FROM THIS DRAWING

THE CONTRACTOR SHALL CONFIRM ON SITE EXISTING CONDITIONS, LEVELS AND DIMENSIONS PRIOR TO COMMENCEMENT OF WORKS

ALL DISCREPANCIES TO BE REPORTED TO THE ARCHITECT FOR INSTRUCTION

ALL LEVELS INDICATED PERTAIN TO FINISHED LEVELS AND NOT STRUCTURAL LEVELS UNLESS OTHERWISE INDICATED

MATERIALS AND WORK PRACTICES SHALL COMPLY WITH THE NATIONAL CONSTRUCTION CODE (NCC) AND OTHER RELEVANT CODES REFERRED TO IN THE NCC

THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL OTHER CONTRACT DOCUMENTS, SPECIFICATIONS AND DRAWINGS

PROPRIETARY ITEMS, SYSTEMS AND ASSEMBLIES ARE TO BE ASSEMBLED, INSTALLED OR FIXED IN CONFORMANCE WITH THE CURRENT WRITTEN RECOMMENDATIONS AND INSTRUCTIONS OF THE MANUFACTURER OR SUPPLIER

WORKPLACE HEALTH AND SAFETY
ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE PROJECT SAFE DESIGN REPORT

ALL CONTRACTORS MUST CARRY OUT WORKS IN ACCORDANCE WITH CURRENT HEALTH AND SAFETY LEGISLATION AND BEST PRACTICE INCLUDING PREPARATION OF A CONSTRUCTION SAFETY MANAGEMENT PLAN

LAND TITLE REFERENCE
VOLUME (PLAN): 139065/1

DESIGN WIND SPEED
WIND LOADING TO AS 4055: N/A

SOIL CLASSIFICATION
SOIL CLASSIFICATION TO AS 2870: N/A

CLIMATE ZONE FOR THERMAL DESIGN
CLIMATE ZONE TO BCA FIGURE 1.1.4: 7

BUSHFIRE PRONE AREA BAL RATING
BUSHFIRE ATTACK LEVEL (BAL) TO AS 3959: N/A

CORROSION ENVIRONMENT
CORROSION ENVIRONMENT TO AS/NZS 2312: N/A

KNOWN SITE HAZARDS: n/a

SCHEDULE OF AREAS
GROUND FLOOR SITE COVERAGE: 387m²
SITE AREA : 1158m²
SITE COVERAGE: %



214 Elizabeth Street, Hobart TAS 7000
p: (03) 6286 8440
e: admin@oramatis.com.au
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Building Practitioner Accreditation: CC6540

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CONTRACTORS SHALL VERIFY ALL DIMENSIONS AND LEVELS ON SITE BEFORE COMMENCEMENT OF ANY WORK. CONTRACTORS SHALL CLARIFY ANY DISCREPANCIES BEFORE COMMENCEMENT OF ANY WORK. DRAWINGS MUST NOT BE SCALED.
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REV ID DESCRIPTION DATE

PROJECT

Veterinary Clinic
174 Brighton Rd Brighton TAS 7030

CLIENT
Sally Nus

REVISION

PROJECT ID
2531

DATE

28/07/2025

CHECKED BY
A.HILL

SCALE

AS SHOWN @ A3

DRAWN BY
A.PETERSON

PAGE

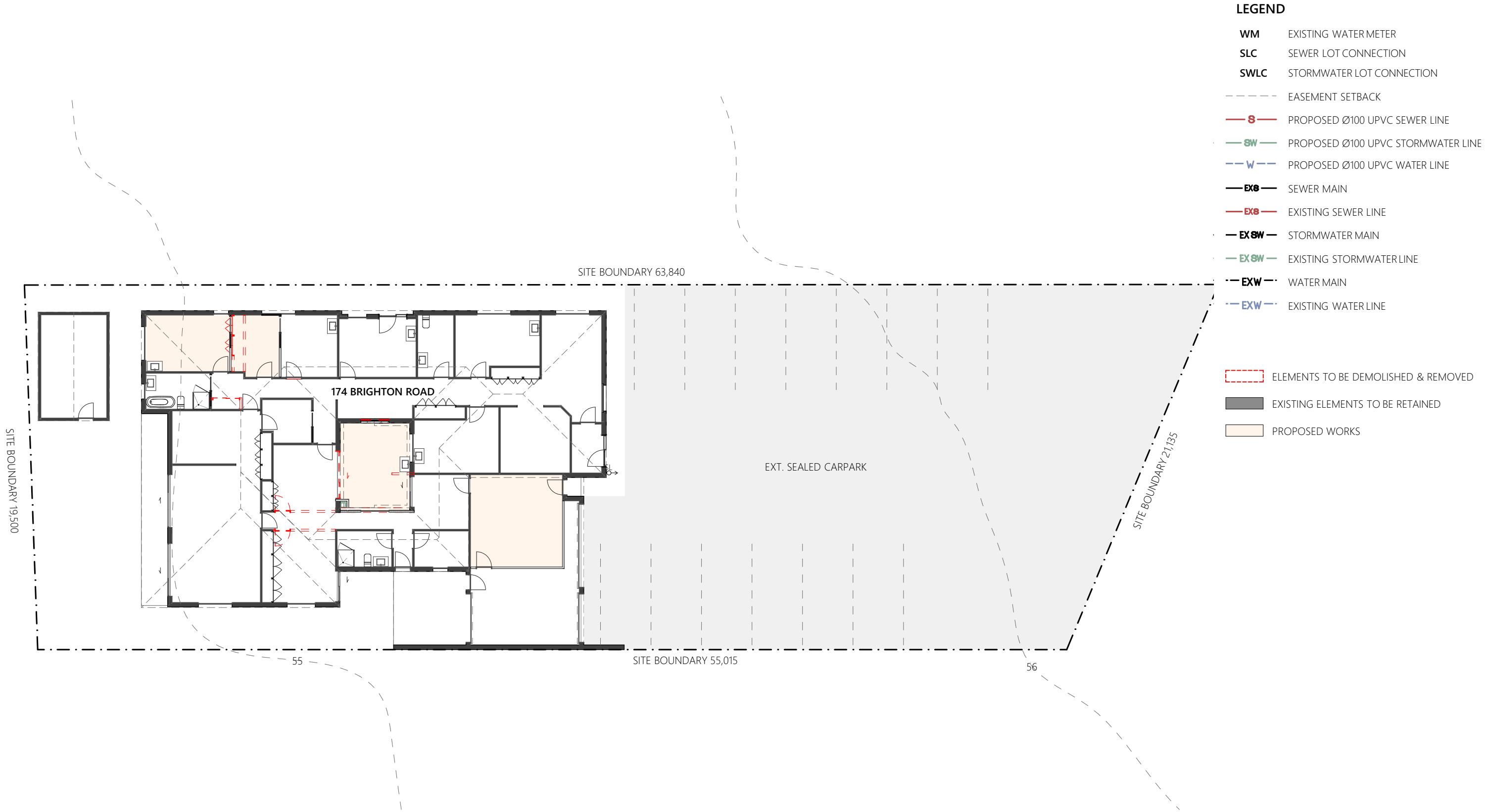
A02

DRAWING

NOTES & SITE LOCATION PLAN

NORTH





1
-

SITE PLAN
1:200

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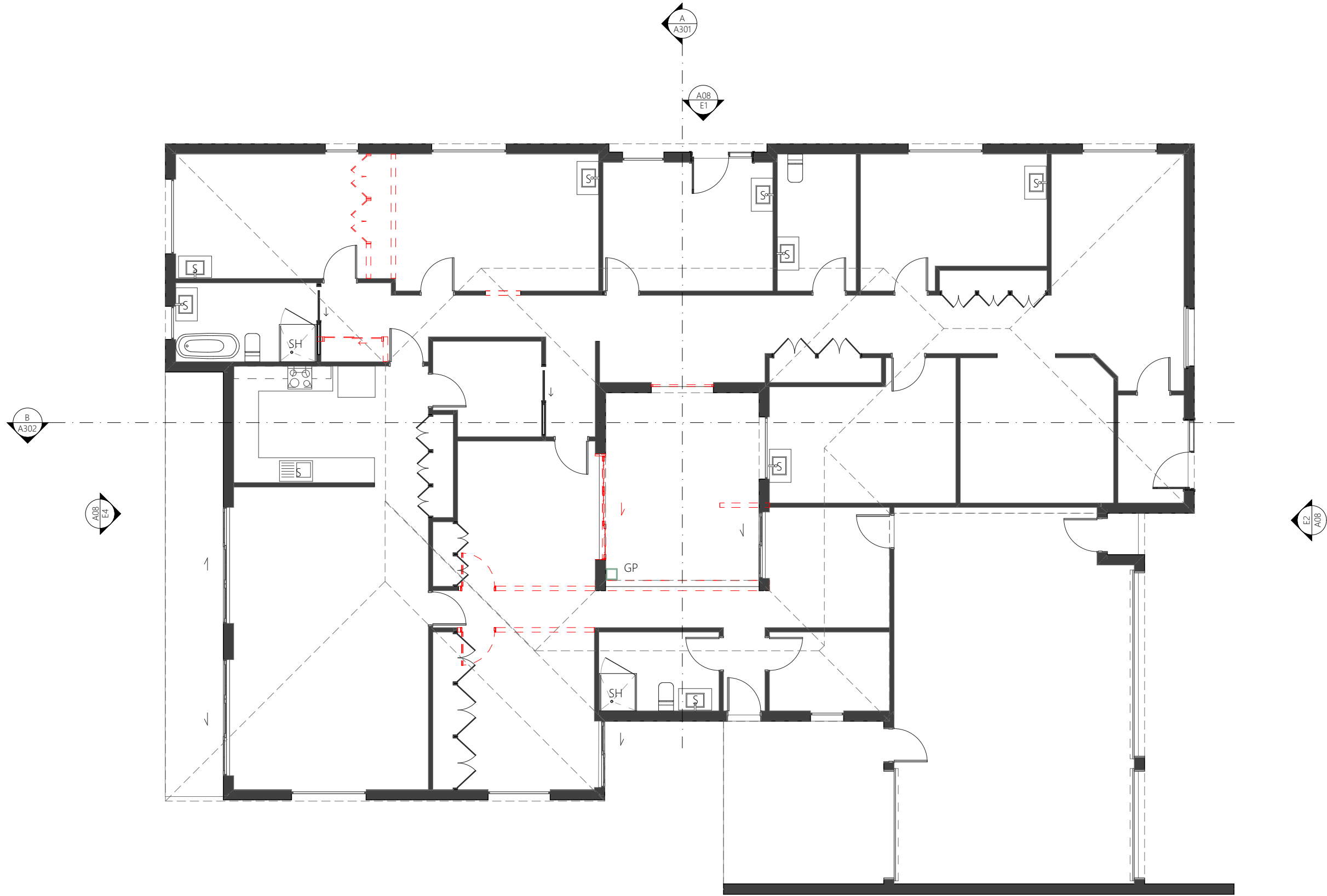
PROJECT	Veterinary Clinic 174 Brighton Rd Brighton TAS 7030
CLIENT	Sally Nus

REVISION	28/07/2025
PROJECT ID	2531
CHECKED BY	A.HILL

SCALE	AS SHOWN @ A3
DRAWN BY	A.PETERSON

PAGE	A03
DRAWING	SITE PLAN





NOTE
ALL DIMENSIONS ARE TO THE WALL FRAME
AJ MAX. SPACING @ 4000-6000mm
NOTE: SOIL CLASS N/A

FLOOR PLAN LEGEND

- B** BASIN
- BR** BROOM CLOSET
- BT** BATH TUB
- CT** COOKTOP
- DW** DISHWASHER
- DR** DRYER
- F** FRIDGE
- OC** OVERHEAD CABINETS
- P** PANTRY
- RH** RANGEHOOD
- S** SINK
- SH** SHOWER CABIN
- SL** SECURITY LIGHT
- ST** STORAGE
- TR** LAUNDRY TROUGH
- V** VANITY
- WM** WASHING MACHINE

- ELEMENTS TO BE DEMOLISHED & REMOVED
- EXISTING ELEMENTS TO BE RETAINED
- PROPOSED WORKS

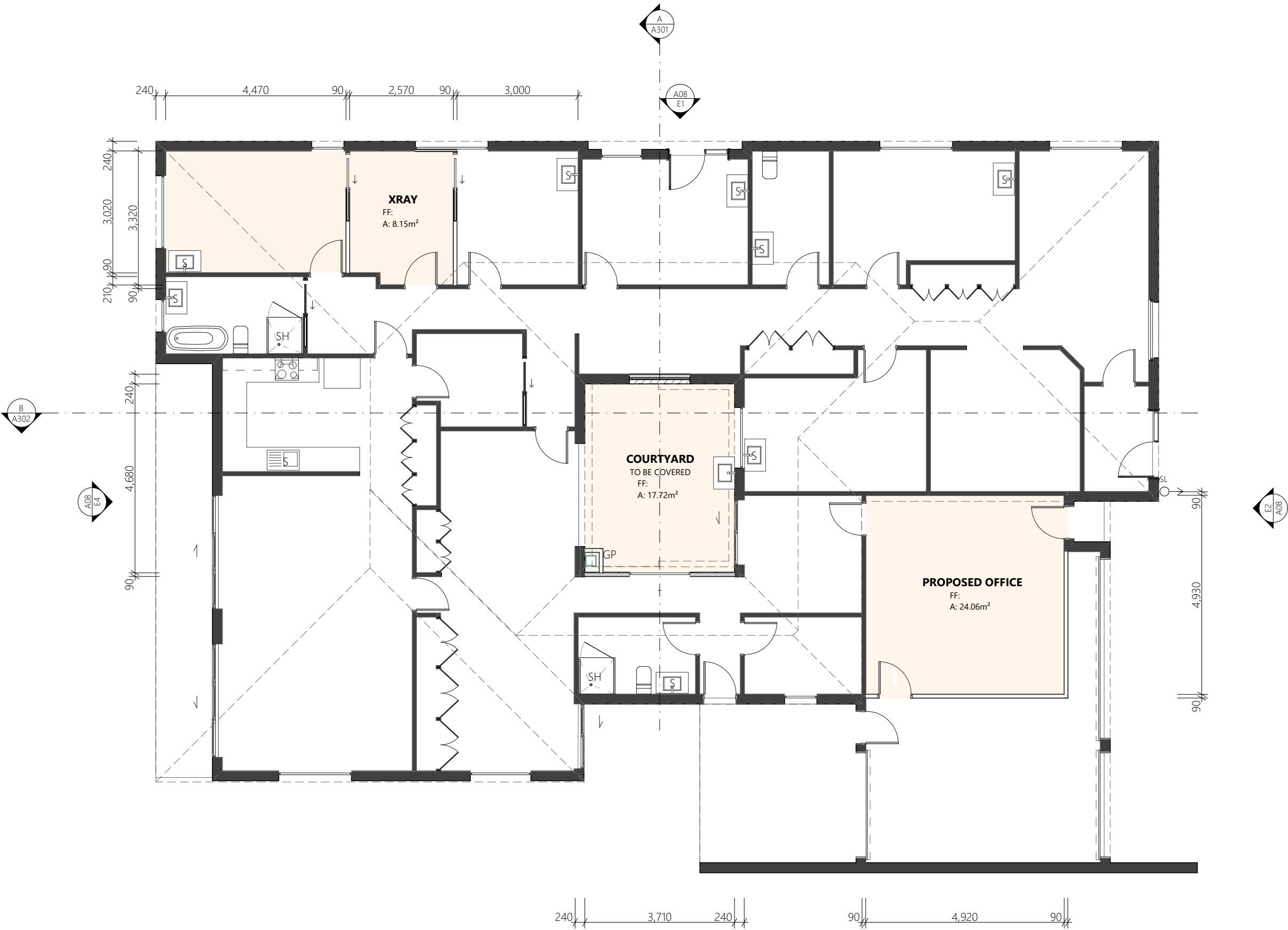
1 FLOOR PLAN
1:100

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- WM WASHING MACHINE

- ELEMENTS TO BE DEMOLISHED & REMOVED
- EXISTING ELEMENTS TO BE RETAINED
- PROPOSED WORKS

WALL BUILD UP SCHEDULE

- EXISTING WALLS RETAINED

PROPOSED WALLS

- BRICK VENEER WALL**
 - SELECTED BRICK
 - 40mm CAVITY
 - VAPOUR PERMEABLE MEMBRANE
 - 90mm STUD MPG 10 GRADE
 - BULK INSULATION
 - 10mm PLASTERBOARD *PAINT FINISH*
- LIGHTWEIGHT CLADDING WALL**
 - SELECTED CLADDING
 - 35mm FIXING BATTEN
 - VAPOUR PERMEABLE MEMBRANE
 - 90mm STUD MPG 10 GRADE
 - BULK INSULATION
 - 10mm PLASTERBOARD *PAINT FINISH*
- INTERNAL WALL**
 - 10mm PLASTERBOARD *PAINT FINISH*
 - 90mm STUD MPG 10 GRADE
 - 10mm PLASTERBOARD *PAINT FINISH*

NOTE: ANY RADIATION SHIELDING TO BE DESIGNED AND INSTALLED WITH A RADIATAIONSHIELDING REPORT PREPARED BY A LICENSED RADIATION PROTECTION EXPERT.

FLOOR PLAN
1:100

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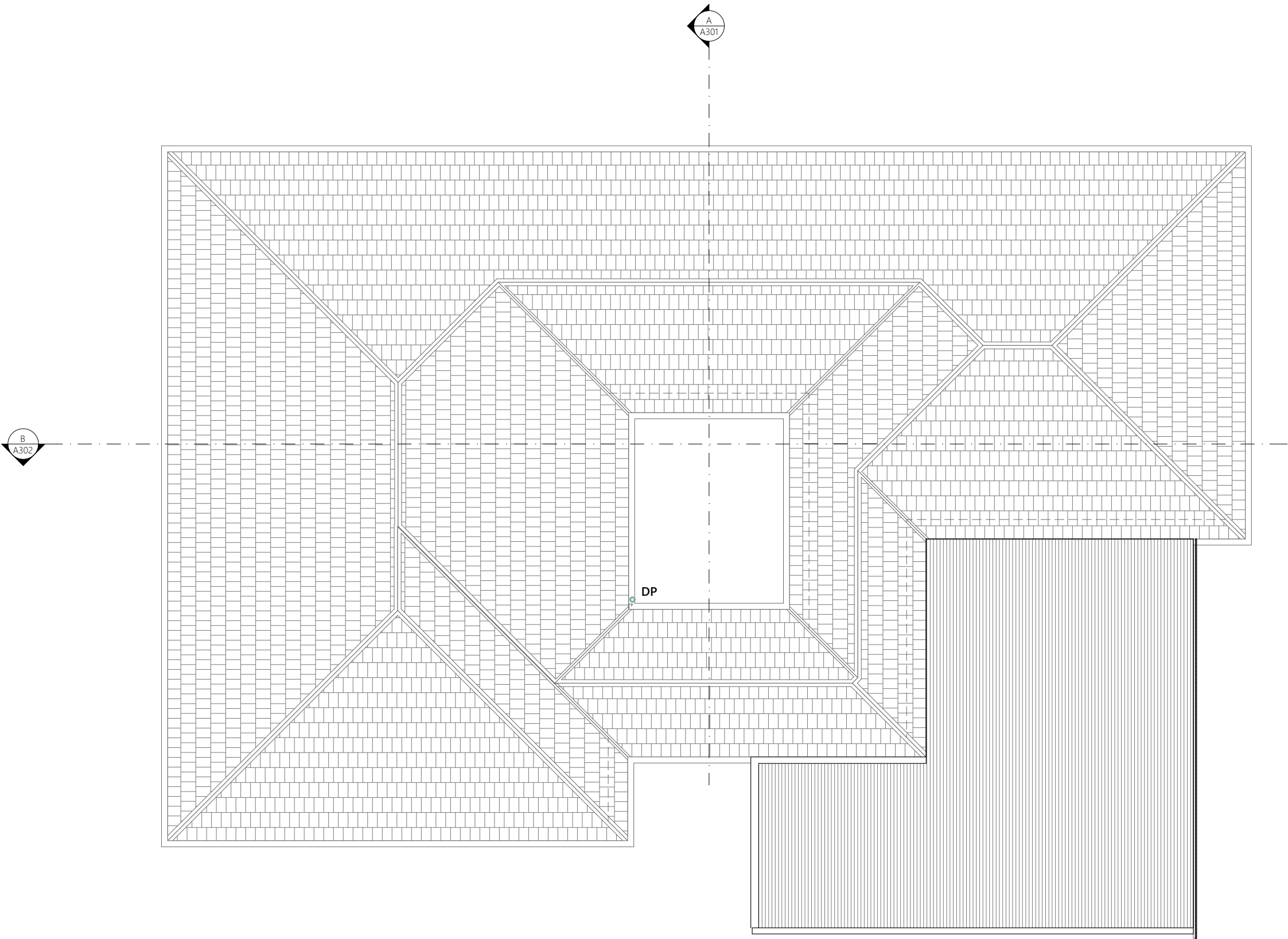
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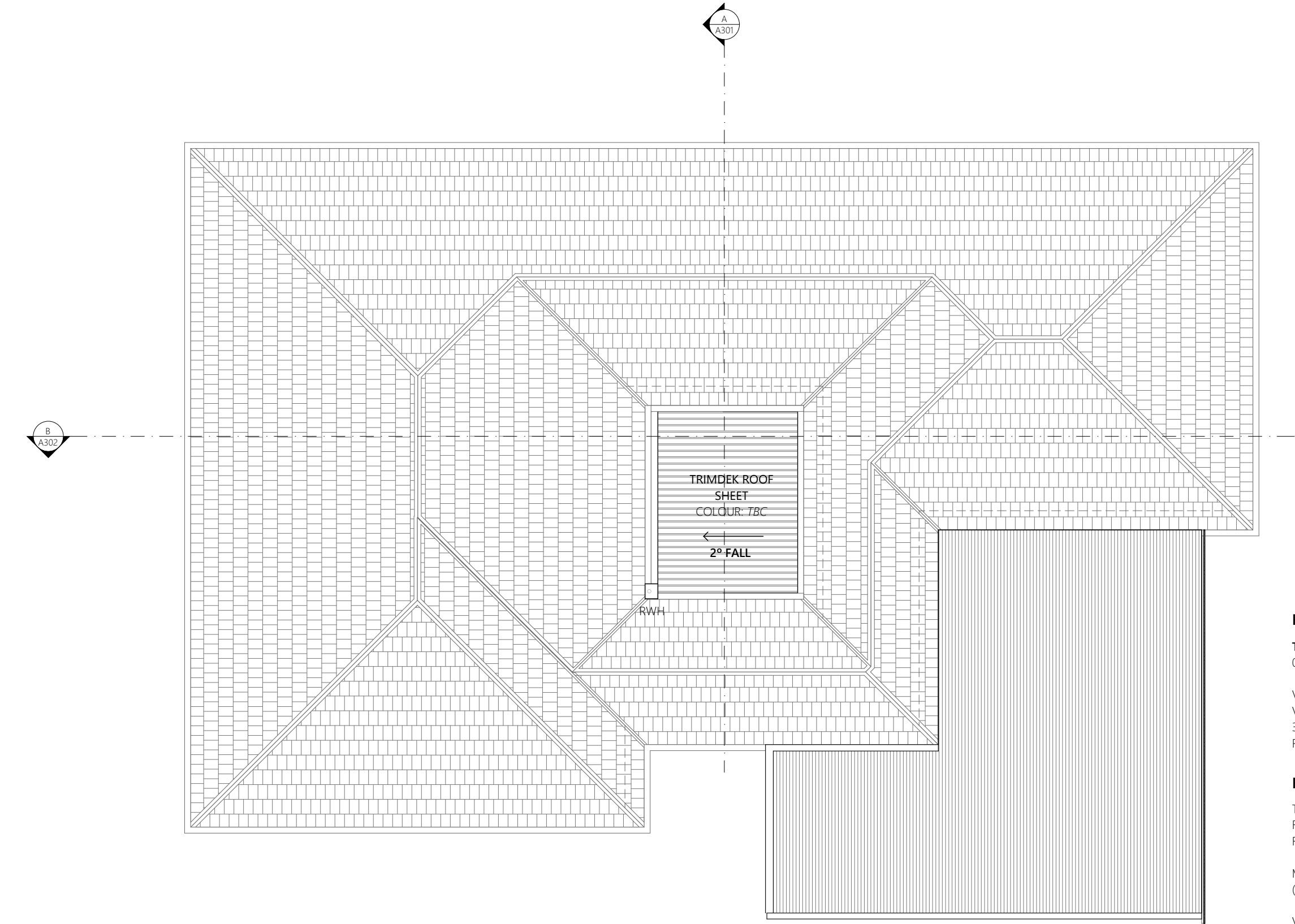
PAGE
A05
DRAWING
PROPOSED FLOOR PLAN
NORTH
N



SITE DRAINAGE LEGEND

- DP Ø90 DOWNPIPE
- GD GRATED DRAIN
- GP GRATED PIT
- WM EXISTING WATER METER
- ORG OVERFLOW RELIEF GULLY WITH TAP OVER
- SLC SEWER LOT CONNECTION
- SWLC STORMWATER LOT CONNECTION
- EASEMENT SETBACK
- S** PROPOSED Ø100 UPVC SEWER LINE
- SW** PROPOSED Ø100 UPVC STORMWATER LINE
- W** PROPOSED Ø100 UPVC WATER LINE
- EX S** SEWER MAIN
- EX SW** STORMWATER MAIN
- EX W** WATER MAIN

1
-
ROOF PLAN
1:100



1
-

ROOF PLAN
1:100

ROOF BUILD UP SCHEDULE

TD
0.48 TRIMDEK ROOF SHEETING @2° PITCH
COLOUR: MONUMENT
VENTED CAVITY BATTEN
VAPOUR PERMEABLE ROOF SARKING
35X70 TIMBER BATTEN MGP12@ 900mm CTS
ROOF TRUSS BY MANUFACTURER

ROOF NOTE

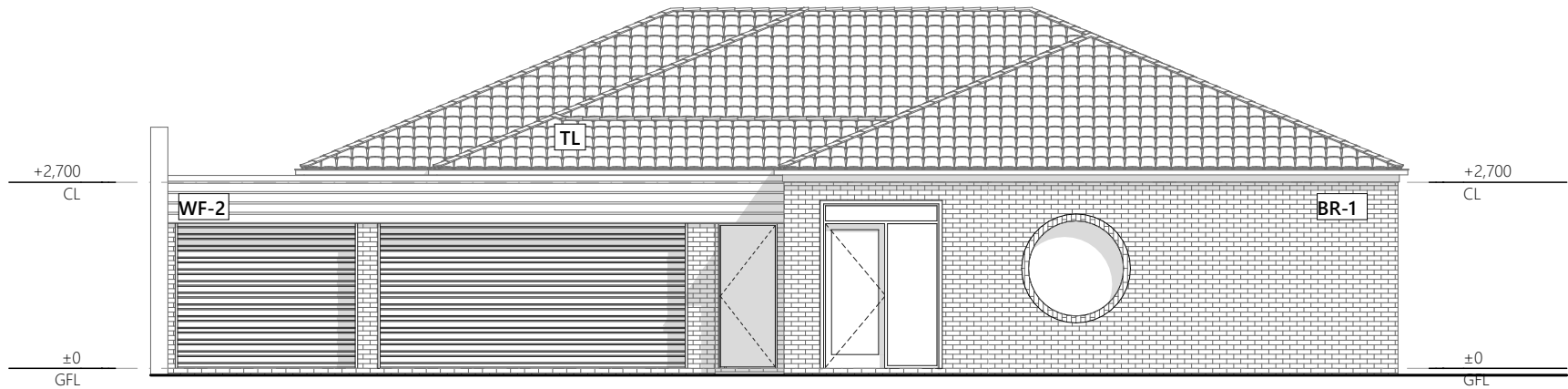
TRIMDEK 0.48 ROOF SHEETING CREST
FIXED AT SIDE LAPS WITH 3 FIXINGS FOR INTERNAL SPANS AND 5 FOR END SPANS.
FIX WITH ROOFZIPS M6 X 50MM (OR EQUAL).

MONIER NULLARBOR TERRACOTTA ROOF TILES
(REFER TO MANUFACTURER'S INSTALLATION GUIDE)

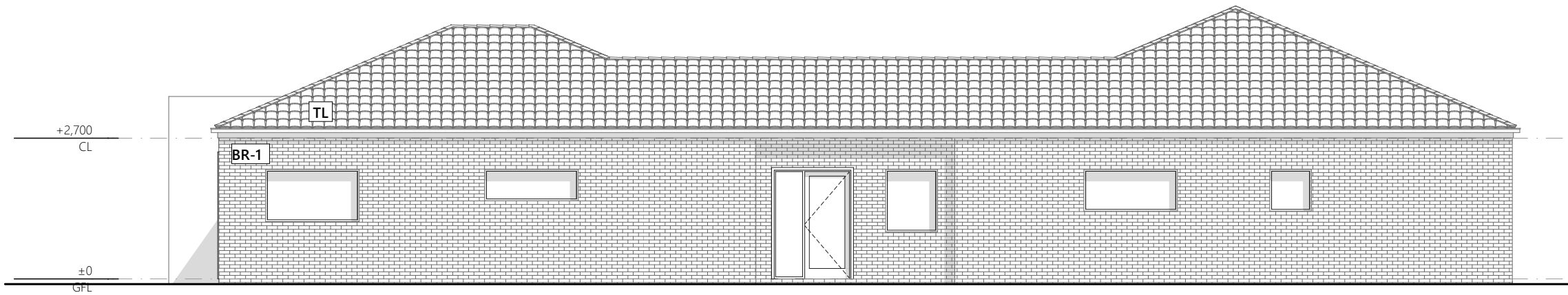
VAPOUR PERMEABLE SARKING INSTALLED AS PER MANUFACTURER'S INSTRUCTIONS.
ENSURE THERE IS A CLEAR UNIMPEDED PATH OF TRAVEL FOR WATER TO ESCAPE FROM
SARKING INTO THE EAVES GUTTER.
ADDITIONAL BATTENS OR BLOCKING PIECES MAY BE REQUIRED.

SARKING MUST COMPLY WITH AS/NZS 4200 PARTS 1 AND 2.

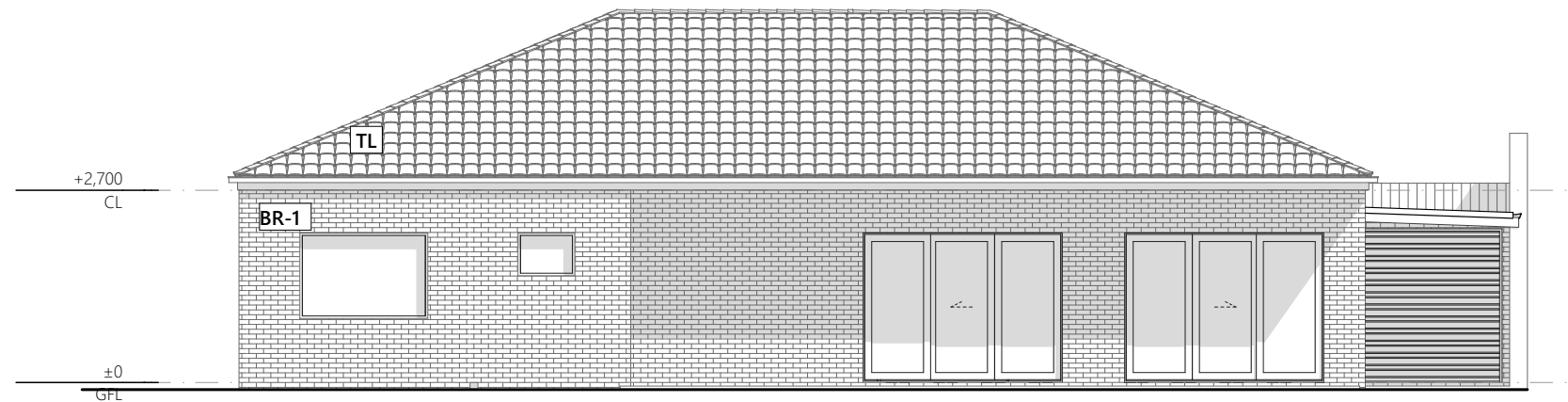
DOWNPINES MUST NOT SERVE MORE THAN 12M OF GUTTER LENGTH FOR EACH
DOWNSPIPE.



E2
-
WEST ELEVATION
1:100



E1
-
SOUTH ELEVATION
1:100



E4
-
EAST ELEVATION
1:100

MATERIAL & FINISHES

ROOF

- TL** TILE ROOF
COLOUR: *NATURAL FINISH* **TBC**
- TD** TRIMDEK ROOF SHEET
COLOUR: *MONUMENT* **TBC**
- G1** COLORBOND QUAD GUTTER TYP.
COLOUR: *MANGROVE* **TBC**
- D1** DOWNPIPES
COLOUR: *TO MATCH ROOF*

WALL

- BR-1** BRICK VENEER WALL
COLOUR: *BRICK SELECTION* **TBC**
- WF-1** EXTERNAL WALL PAINT
COLOUR: *SURFMIST* **TBC**
- WF-2** STEEL WALL CLADDING
COLOUR: *MANGROVE* **TBC**

NOTE:

ALL PROPRIETARY MATERIALS TO BE INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS

NOTE:

ALL ELEVATIONS TO REMAIN UNCHANGED AS A RESULT OF PROPOSED DEVELOPMENT

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A.HILL

SCALE

AS SHOWN @ A3

DRAWN BY

A.PETERSON

PAGE

A08

DRAWING

ELEVATION

NORTH



SIGN	SIZE (MM)	ILLUMINATED
A	2375X1360	N
B	400X110	N
C	272X300	N
D	1500X1500	N
E	1200X1200	N
F	400X160	N



ORAMATIS STUDIO

214 Elizabeth Street, Hobart TAS 7000
p: (03) 6286 8440
e: admin@oramatis.com.au
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SCALE

AS SHOWN @ A3

DRAWN BY

A.PETERSON

PAGE	NORTH
A09	
DRAWING	
PROPOSED SIGNAGE	



ROOF BUILD UP SCHEDULE

TD
0.48 TRIMDEK ROOF SHEETING @2° PITCH
COLOUR: MONUMENT
VENTED CAVITY BATTEN
VAPOUR PERMEABLE ROOF SARKING
35X70 TIMBER BATTEN MGP12@ 900mm CTS
ROOF TRUSS BY MANUFACTURER

ROOF NOTE

TRIMDEK 0.48 ROOF SHEETING CREST
FIXED AT SIDE LAPS WITH 3 FIXINGS FOR INTERNAL SPANS AND 5 FOR END SPANS.
FIX WITH ROOFZIPS M6 X 50MM (OR EQUAL).

MONIER NULLARBOR TERRACOTTA ROOF TILES
(REFER TO MANUFACTURER'S INSTALLATION GUIDE)

VAPOUR PERMEABLE SARKING INSTALLED AS PER MANUFACTURER'S INSTRUCTIONS.
ENSURE THERE IS A CLEAR UNIMPEDED PATH OF TRAVEL FOR WATER TO ESCAPE FROM
SARKING INTO THE EAVES GUTTER.
ADDITIONAL BATTENS OR BLOCKING PIECES MAY BE REQUIRED.

SARKING MUST COMPLY WITH AS/NZS 4200 PARTS 1 AND 2.

DOWNPipes MUST NOT SERVE MORE THAN 12M OF GUTTER LENGTH FOR EACH
DOWNPIPE.

FLOOR BUILD UP SCHEDULE

CONC
HONED FINISH
STRUCTURAL CONCRETE SLAB 100mm
INSULATION REFER TO INSULATION SCHEDULE
FLOOR FRAMING AND FOOTING REFER TO ENGINEERING PLANS

TIM / TIL-1
SELECTED HYBRID / TILE FINISH
19mm YELLOWTONGUE FLOORING
INSULATION REFER TO INSULATION SCHEDULE
FLOOR FRAMING AND FOOTING REFER TO ENGINEERING PLANS

VIN
SELECTED VINYL FLOORING
WATERPROOF MEMBRANE AND SEALANT
COMPACTED CEMENT SHEET
INSULATION REFER TO INSULATION SCHEDULE
FLOOR FRAMING AND FOOTING REFER TO ENGINEERING PLANS

CEILING BUILD UP SCHEDULE

INSULATION
BATTEN
REFER TO INSULATION SCHEDULE
35x70 MGP10 @ 450 cts
or FURRING CHANNEL
PLASTERBOARD/FC SHEET

INSULATION SCHEDULE

CEILING R4.1 INSULATION TO ALL CEILINGS
EXTERNAL WALLS R2.5 INSULATION TO ALL EXTERNAL WALLS

General Notes:
1. Please note R-Values noted represent added insulation and not total r-value.
2. R2.5 Insulation allowed to ceiling perimeter due to height restrictions where applicable.
3. All insulation to be installed in accordance with AS 3999.

WALL BUILD UP SCHEDULE

EXISTING WALLS RETAINED

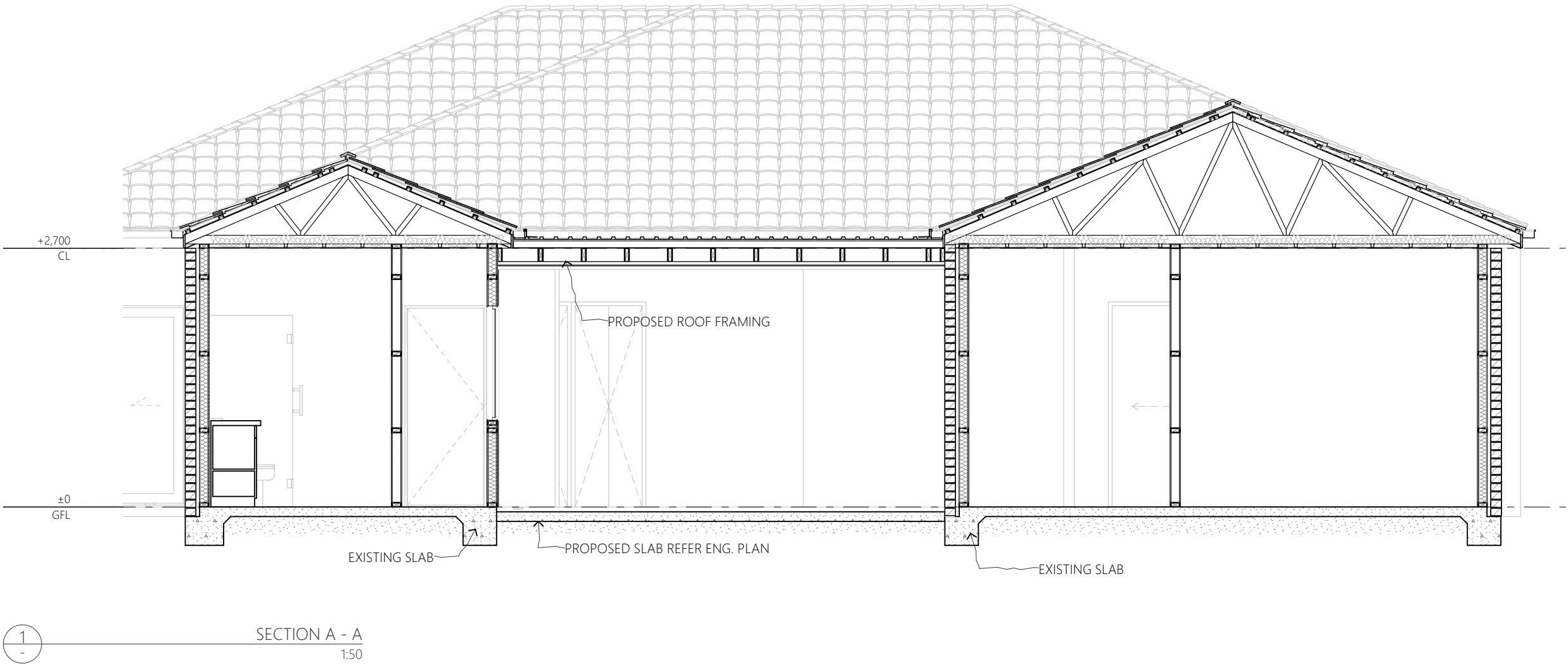
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VAPOUR PERMEABLE MEMBRANE
90mm STUD MPG 10 GRADE
BULK INSULATION
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LIGHTWEIGHT CLADDING WALL
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NOTE: ANY RADIATION SHIELDING TO BE DESIGNED AND
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ROOF BUILD UP SCHEDULE

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BATTEN
REFER TO INSULATION SCHEDULE
35x70 MGP10 @ 450 cts
or FURRING CHANNEL

LINING
PLASTERBOARD/FC SHEET

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CEILING R4.1 INSULATION TO ALL CEILINGS
EXTERNAL WALLS R2.5 INSULATION TO ALL EXTERNAL WALLS

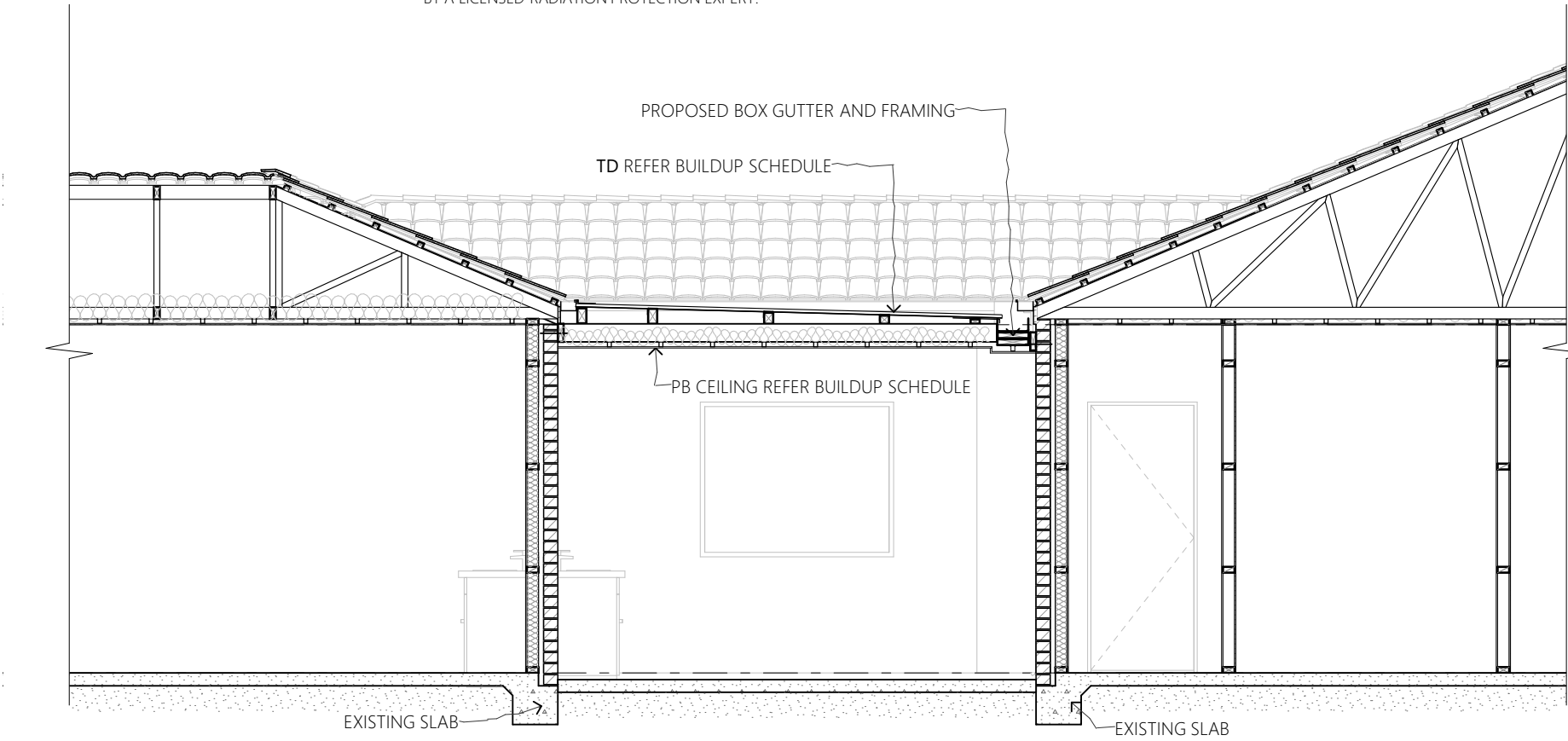
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HONED FINISH
STRUCTURAL CONCRETE SLAB 100mm
INSULATION REFER TO INSULATION SCHEDULE
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COMPACTED CEMENT SHEET
INSULATION REFER TO INSULATION SCHEDULE
FLOOR FRAMING AND FOOTING REFER TO ENGINEERING PLANS



1 SECTION B - B
1:50

CERTIFICATE OF THE RESPONSIBLE DESIGNER

Section 94
Section 106
Section 129
Section 155

To: Owner name
 Address
 Suburb/postcode

Form **35**

Designer details:

Name: Category:
 Business name: Phone No:
 Business address:
 Fax No:
 Licence No: Email address:

Details of the proposed work:

Owner/Applicant Designer's project reference No.
Address: Lot No:

Type of work: Building work ☒ Plumbing work ☒ (X all applicable)

Description of work:

Minor internal demolition, fit out and enclosure of internal courtyard

(new building / alteration / addition / repair / removal / re-erection / water / sewerage / stormwater / on-site wastewater management system / backflow prevention / other)

Description of the Design Work (Scope, limitations or exclusions): (X all applicable certificates)

Certificate Type:	Certificate	Responsible Practitioner
	<input checked="" type="checkbox"/> Building design	Architect or Building Designer
	<input type="checkbox"/> Structural design	Engineer or Civil Designer
	<input type="checkbox"/> Fire Safety design	Fire Engineer
	<input type="checkbox"/> Civil design	Civil Engineer or Civil Designer
	<input type="checkbox"/> Hydraulic design	Building Services Designer
	<input type="checkbox"/> Fire service design	Building Services Designer
	<input type="checkbox"/> Electrical design	Building Services Designer
	<input type="checkbox"/> Mechanical design	Building Service Designer
	<input checked="" type="checkbox"/> Plumbing design	Plumber-Certifier; Architect, Building Designer or Engineer
	<input type="checkbox"/> Other (specify)	

Deemed-to-Satisfy: ☒ Performance Solution: ☐ (X the appropriate box)

Other details:

Design documents provided:

The following documents are provided with this Certificate –

Document description:

Drawing numbers:	Prepared by:	Date:
A01-A11	AP	23/07/2025
Schedules:	Prepared by:	Date:
Specifications:	Prepared by:	Date:
Computations:	Prepared by:	Date:
Performance solution proposals:	Prepared by:	Date:
Test reports:	Prepared by:	Date:

Standards, codes or guidelines relied on in design process:


AS1684
AS3500
AS3700

Any other relevant documentation:**Attribution as designer:**

I Alexander Hill am responsible for the design of that part of the work as described in this certificate;

The documentation relating to the design includes sufficient information for the assessment of the work in accordance with the *Building Act 2016* and sufficient detail for the builder or plumber to carry out the work in accordance with the documents and the Act;

This certificate confirms compliance and is evidence of suitability of this design with the requirements of the National Construction Code.

	<i>Name: (print)</i>	<i>Signed</i>	<i>Date</i>
Designer:	ALEXANDER HILL		23/07/2025
Licence No:	CC6540		

Assessment of Certifiable Works: (TasWater)

Note: single residential dwellings and outbuildings on a lot with an existing sewer connection are not considered to increase demand and are not certifiable.

If you cannot check ALL of these boxes, LEAVE THIS SECTION BLANK.

TasWater must then be contacted to determine if the proposed works are Certifiable Works.


I confirm that the proposed works are not Certifiable Works, in accordance with the Guidelines for TasWater CCW Assessments, by virtue that all of the following are satisfied:

- ☒ The works will not increase the demand for water supplied by TasWater
- ☒ The works will not increase or decrease the amount of sewage or toxins that is to be removed by, or discharged into, TasWater's sewerage infrastructure
- ☒ The works will not require a new connection, or a modification to an existing connection, to be made to TasWater's infrastructure
- ☒ The works will not damage or interfere with TasWater's works
- ☒ The works will not adversely affect TasWater's operations
- ☒ The work are not within 2m of TasWater's infrastructure and are outside any TasWater easement
- ☒ I have checked the LISTMap to confirm the location of TasWater infrastructure
- ☒ If the property is connected to TasWater's water system, a water meter is in place, or has been applied for to TasWater.

Certification:

I Alexander Hill being responsible for the proposed work, am satisfied that the works described above are not Certifiable Works, as defined within the *Water and Sewerage Industry Act 2008*, that I have answered the above questions with all due diligence and have read and understood the Guidelines for TasWater CCW Assessments.

Note: the Guidelines for TasWater Certification of Certifiable Works Assessments are available at: www.taswater.com.au

	<i>Name: (print)</i>	<i>Signed</i>	<i>Date</i>
Designer:	ALEXANDER HILL		23/07/2025



23 July 2025

Brighton Council
1 Tivoli Road, Old Beach, TAS 7017

To whom this may concern,

REGARDING: Proposed change of use at 174 Brighton Rd.

1. Please provide details on the hours of operation, including the timing of any commercial vehicle movements associated with the business.

Response:

Opening hours for the proposed veterinary practice will be as follows:

Mon, Wed, Thu, Fri - 8.30am to 5.00pm

Tuesdays - 8.30 am - 6.00pm

Saturdays 9am to 1pm

There will be one light vehicle (ute) visiting the site within the proposed operating hours.

2. Please advise whether there is any external lighting proposed for the use, including security lighting.

Response:

A security light will be located at the front of the building in proximity to the main door, this has been shown on the Proposed Floor Plan (A05).

3. Please specify the number of practitioners required for the business, to assist in assessing compliance with the Parking and Sustainable Transport Code.

Response:

There will be four practitioners per day required for business operations.

4. Please confirm whether any new signage is proposed to be installed for the business.

Response:

I have been advised there is proposed signage that has been submitted to council on a separate application. I have added the signage design on page A09.

Yours sincerely,

Alexander Hill

Director

Oramatis

E: alex@oramatis.com.au

M: 0428 854 787

Dang Van

From: Aidan Peterson <Aidan@oramatis.com.au>
Sent: Monday, 28 July 2025 10:57 AM
To: Dang Van
Cc: Sally Nus; Alexander Hill
Subject: Re: Request for further information - DA 2025/110 (174 Brighton Road, Brighton)
Attachments: 2531_174 Brighton Rd_DA_RFI2.pdf; RFI 2 Response.pdf

Follow Up Flag: Follow up
Flag Status: Flagged

Caution: This is an external email and may be **malicious**. Please take care when clicking links or opening attachments.

Hi Dang,

Please see attached our response to the further request for information received from Brighton Council on 24/07, addressing performance criteria in relation to parking.
We would like to include proposed signage in this application, the details of which have been provided on page A09.

Please let me know if anything further is required.

Regards,



Aidan Peterson
Graduate of Architecture at Oramatis
Mobile 0498850598
Web <https://www.oramatis.com.au/>
Email aidan@oramatis.com.au
214 Elizabeth Street, Hobart, 7000

From: Dang Van <dang.van@brighton.tas.gov.au>
Sent: Thursday, 24 July 2025 9:42 AM
To: Aidan Peterson <Aidan@oramatis.com.au>
Cc: Sally Nus <snus@brightonvetservices.com.au>
Subject: Request for further information - DA 2025/110 (174 Brighton Road, Brighton)

Good morning Aidan,

Please find attached the request for further information to process the above application.

Please provide response to development@brighton.tas.gov.au

Should you have any questions, please do not hesitate to contact me.

Kind regards,

DANG VAN (He/Him)
PLANNING OFFICER – DEVELOPMENT SERVICES



Brighton
going places



Click here to view the

2050
VISION

1 Tivoli Road, Old Beach TAS 7017

Tel: (03) 6268 7022

www.brighton.tas.gov.au

We acknowledge the traditional owners who once walked this country, the Mumirimina people, the original custodians of the skies, land and water of kutalayna (Jordan River). We forward our respect to the palawa/pakana (Tasmanian Aboriginal) community as the traditional and original owners of lutruwita (Tasmania).

CONFIDENTIALITY NOTICE AND DISCLAIMER:

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This disclaimer has been automatically added.



24 July 2025

Brighton Council
1 Tivoli Road, Old Beach, TAS 7017

To whom this may concern,

REGARDING: Proposed change of use at 174 Brighton Rd.

3. Please specify the number of practitioners required for the business, to assist in assessing compliance with the Parking and Sustainable Transport Code.

Number of Practitioners and Parking Provision

The veterinary service will operate with up to four practitioners per day, which under Table C2.1 generates a requirement for 16 car parking spaces (4 x 4 spaces per practitioner).

The current site layout provides 13 on-site car parking spaces, resulting in a shortfall of three (3) spaces. The following response addresses the shortfall against the performance criteria of Clause C2.5.1 P1.1:
The number of on-site car parking spaces must meet the reasonable needs of the use, having regard to:

(a) The availability of off-street public car parking spaces within reasonable walking distance of the site;

The site is located on Brighton's main street (Brighton Road), where multiple public on-street car parking spaces are readily available in close proximity. These parking spaces are regularly used by patrons of nearby commercial premises and provide convenient and legal overflow parking for clients of the proposed veterinary service.

(b) The availability and frequency of public transport within reasonable walking distance of the site;

The site benefits from nearby public transport routes, including bus services along Brighton Road, allowing for some accessibility by alternative means. However, it is anticipated that most clients and staff will use private vehicles.

(c) The availability and likely use of other modes of transport;

While the majority of visitors are expected to travel by car, the site's central location means that local residents may choose to walk or cycle. Bicycle parking can be accommodated on-site if required.

(d) The availability and suitability of alternative arrangements for car parking provision;

Given the site's location in a mixed-use area with surrounding street parking and commercial infrastructure, the 13 on-site spaces are considered sufficient to support the business. Client appointments will be scheduled to avoid congestion and ensure the parking demand is spread throughout the day.

(e) Any reduction in demand for on-site parking likely to result from the implementation of a travel plan for the site;

Due to the scale of the business and the nature of veterinary services, a formal travel plan is not proposed. However, the central location inherently reduces demand on-site by providing walkable access for some clients and staff.



(f) The suitability of the site for the use, having regard to the proposed parking provision;

The site is well-suited for the proposed veterinary use and the existing provision of 13 spaces, supported by surrounding public parking, is expected to meet operational needs. The site has appropriate access and circulation for vehicles and clients, and the shortfall is not anticipated to result in adverse impacts.

Clause C2.6.5 – Pedestrian Access Performance response:

Clause C2.6.5 requires safe and convenient pedestrian access where more than 10 spaces are provided. As the existing car park does not include a dedicated pedestrian pathway, and modification is not proposed, assessment is made against the performance criteria at C2.6.5 P1.

(a) Number of parking spaces:

The car park provides 13 spaces in a compact, open layout, servicing multiple tenancies.

(b) Frequency of pedestrian movement:

Pedestrian activity is limited and intermittent, with clients arriving for scheduled appointments throughout the day, and not in large volumes. This ensures low-intensity, manageable movement across the car park.

(c) Access point location:

The veterinary clinic entrance is located directly adjacent to the car parking area, with unobstructed line of sight from most bays, ensuring clear and direct pedestrian routes without conflict points.

(d) Nature of likely users:

Clients and staff are aware of animal handling needs and typically move cautiously through the car park. Where necessary, staff can assist clients with mobility issues or large animals from their vehicles.

The car park is flat, open, and well-connected to the building entrance, and has operated safely in this form for many years. It is considered that the existing configuration satisfies the intent of Clause C2.6.5 P1, providing practical, safe pedestrian access without requiring physical modification.

Conclusion

The 13 existing on-site car parking spaces, supplemented by abundant nearby on-street parking, meet the reasonable needs of the veterinary service per Clause C2.5.1 P1.1.

The existing pedestrian environment, while informal, is appropriate given the low intensity, appointment-based nature of the use and the layout of the site, satisfying Clause C2.6.5 P1.



4. Please confirm whether any new signage is proposed to be installed for the business.

Response:

Further information regarding proposed signage has been added to the updated signage drawings (A09) including dimensions and location. No signage is proposed to be illuminated.

We trust this response addresses Council's request. Please don't hesitate to contact us for any clarification or further detail.

Yours sincerely,

Alexander Hill
Director
Oramatis
E: alex@oramatis.com.au
M: 0428 854 787

Submission to Planning Authority Notice

Application details

Council Planning Permit No.	DA 2025/110
Council notice date	4/08/2025
TasWater Reference No.	TWDA 2025/00929-BTN
Date of response	13/08/2025
TasWater Contact	Phil Papps
Phone No.	0474 931 272
Trade Waste Contact	Simon Josey
Phone No.	0460 024 536

Response issued to

Council name	BRIGHTON COUNCIL
Contact details	development@brighton.tas.gov.au
Development details	
Address	174 BRIGHTON RD, BRIGHTON
Property ID (PID)	2200874
Description of development	Veterinary Clinic

Schedule of drawings/documents

Prepared by	Drawing/document No.	Revision No.	Issue date
Oramatis Studio	Site & Floor Plans / A03-A05	--	28/07/2025

Conditions

Pursuant to the *Water and Sewerage Industry Act 2008 (TAS)* Section 56P(1) TasWater imposes the following conditions on the permit for this application:

CONNECTIONS, METERING & BACKFLOW

1. Any removal/supply and installation of water meters and/or the removal of redundant and/or installation of new and modified property service connections must be carried out by TasWater at the developer's cost.
2. Prior to commencing use of the development, any water connection utilised for the development must have a backflow prevention device and water meter installed, to the satisfaction of TasWater.

TRADE WASTE

3. Prior to the commencement of operation the developer/property owner must obtain Consent to discharge Trade Waste from TasWater.

4. The developer must install appropriately sized and suitable pre-treatment devices prior to gaining Consent to discharge.
5. The Developer/property owner must comply with all TasWater conditions prescribed in the Trade Waste Consent

DEVELOPER CHARGES

6. Prior to TasWater issuing a Certificate(s) for Certifiable Work (Building) and/or (Plumbing), the applicant or landowner as the case may be, must pay a developer charge totalling \$91.36 to TasWater for water infrastructure for 0.052 additional Equivalent Tenements, indexed by the Consumer Price Index All groups (Hobart) from the date of this Submission to Planning Authority Notice until the date it is paid to TasWater.
7. Prior to TasWater issuing a Certificate(s) for Certifiable Work (Building) and/or (Plumbing), the applicant or landowner as the case may be, must pay a developer charge totalling \$137.05 to TasWater for sewerage infrastructure for 0.078 additional Equivalent Tenements, indexed by the Consumer Price Index All groups (Hobart) from the date of this Submission to Planning Authority Notice until the date it is paid to TasWater.

DEVELOPMENT ASSESSMENT FEES

8. The applicant or landowner as the case may be, must pay a development assessment fee of \$251.35 to TasWater, as approved by the Economic Regulator and the fee will be indexed, until the date paid to TasWater.

The payment is required within 30 days of the issue of an invoice by TasWater.

Advice

General

For information on TasWater development standards, please visit

<https://www.taswater.com.au/building-and-development/technical-standards>

For application forms please visit

<https://www.taswater.com.au/building-and-development/development-application-form>

Important Notice Regarding Plumbing Plans and Associated Costs

The SPAN includes references to documents submitted as part of the application. These plans are acceptable for planning purposes only and are subject to further detailed assessment and review during the next stage of the development proposal.

TasWater's assessment staff will ensure that the design contains sufficient detail to assess compliance with relevant codes and regulations. Additionally, the plans must be clear enough for a TasWater contractor to carry out any water or sewerage-related work.

Depending on the nature of the project, your application may require Building and/or Plumbing permits or could be exempt from these requirements. Regardless, TasWater's assessment process and associated time are recoverable through an assessment fee.

Please be aware that your consultant may need to make revisions to their documentation to ensure the details are fit for construction. Any costs associated with updating these plans should be discussed directly with your consultant.

Developer Charges

For information on Developer Charges please visit the following webpage –

<https://www.taswater.com.au/building-and-development/developer-charges>

Service Locations

Please note that the developer is responsible for arranging to locate the existing TasWater infrastructure and clearly showing it on the drawings. Existing TasWater infrastructure may be

located by a surveyor and/or a private contractor engaged at the developers cost to locate the infrastructure.

Trade Waste

Prior to any Building and/or Plumbing work being undertaken, the applicant will require a Certificate for Certifiable Work (Building and/or Plumbing). The Certificate for Certifiable Work (Building and/or Plumbing) must accompany all documentation submitted to Council.

Documentation must include a floor and site plan with:

- Location of all pre-treatment devices (i.e Grease Arrestor/Dry Basket Arrestors/Oil Water Separator)
- Schematic drawings and specification (including the size and type) of any proposed pre-treatment device and drainage design;
- Location of an accessible sampling point in accordance with the TasWater Trade Waste Sampling Specifications for sampling discharge.

At the time of submitting an application for Certificate for Certifiable Work (Building and/or Plumbing) a Trade Waste Application form is required.

If the nature of the business changes or the business is sold, TasWater is to be informed in order that pre-treatment may be reassessed. The application forms are available at www.taswater.com.au/Customers/Liquid-Trade-Waste/Commercial

Declaration

The drawings/documents and conditions stated above constitute TasWater's Submission to Planning Authority Notice.