



Application for Planning Approval

Land Use Planning and Approvals Act 1993

APPLICATION NO.

DA2024/237

LOCATION OF AFFECTED AREA

72 ELDERSLIE ROAD, BRIGHTON

DESCRIPTION OF DEVELOPMENT PROPOSAL

MULTIPLE DWELLINGS X 13 (STAGED DEVELOPMENT)

A COPY OF THE DEVELOPMENT APPLICATION MAY BE VIEWED AT www.brighton.tas.gov.au AND AT THE COUNCIL OFFICES, 1 TIVOLI ROAD, OLD BEACH, BETWEEN 8:15 A.M. AND 4:45 P.M, MONDAY TO FRIDAY OR VIA THE QR CODE BELOW. ANY PERSON MAY MAKE WRITTEN REPRESENTATIONS IN ACCORDANCE WITH S.57(5) OF THE LAND USE PLANNING AND APPROVALS ACT 1993 CONCERNING THIS APPLICATION UNTIL 4:45 P.M. ON **06/05/2025**. ADDRESSED TO THE CHIEF EXECUTIVE OFFICER AT 1 TIVOLI ROAD, OLD BEACH, 7017 OR BY EMAIL AT development@brighton.tas.gov.au. REPRESENTATIONS SHOULD INCLUDE A DAYTIME TELEPHONE NUMBER TO ALLOW COUNCIL OFFICERS TO DISCUSS, IF NECESSARY, ANY MATTERS RAISED.

JAMES DRYBURGH
Chief Executive Officer



Brighton
going places

PROPOSED 13 UNITS DEVELOPMENT 72 ELDERSLIE ROAD, BRIGHTON, TAS

SITE INFORMATION
 TITLE REF: 130608/16
 PROPERTY ID: 5022786
 SITE AREA: 4233 sq.m
 DENSITY: 13/4233 sq.m = 325.62 sq.m

UNIT 1 - 6 (TYPE A)
 LEVEL GR: 111.78 SQ.M. (INCLUDING EXTERNAL WALL)

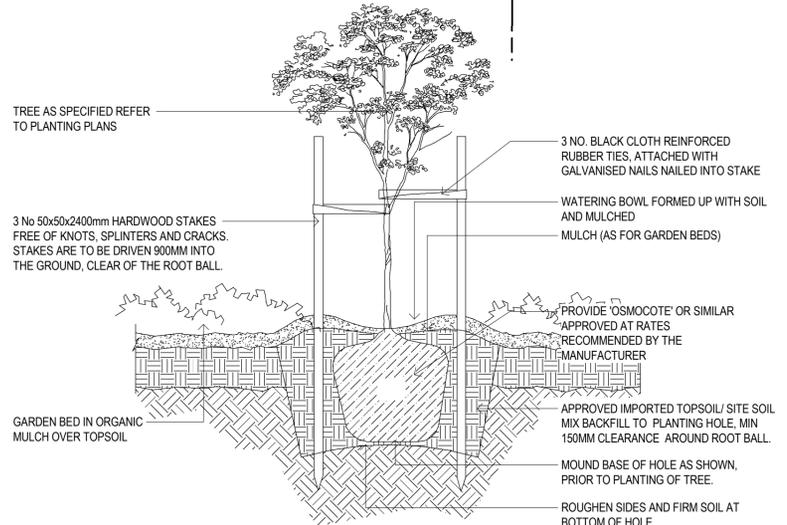
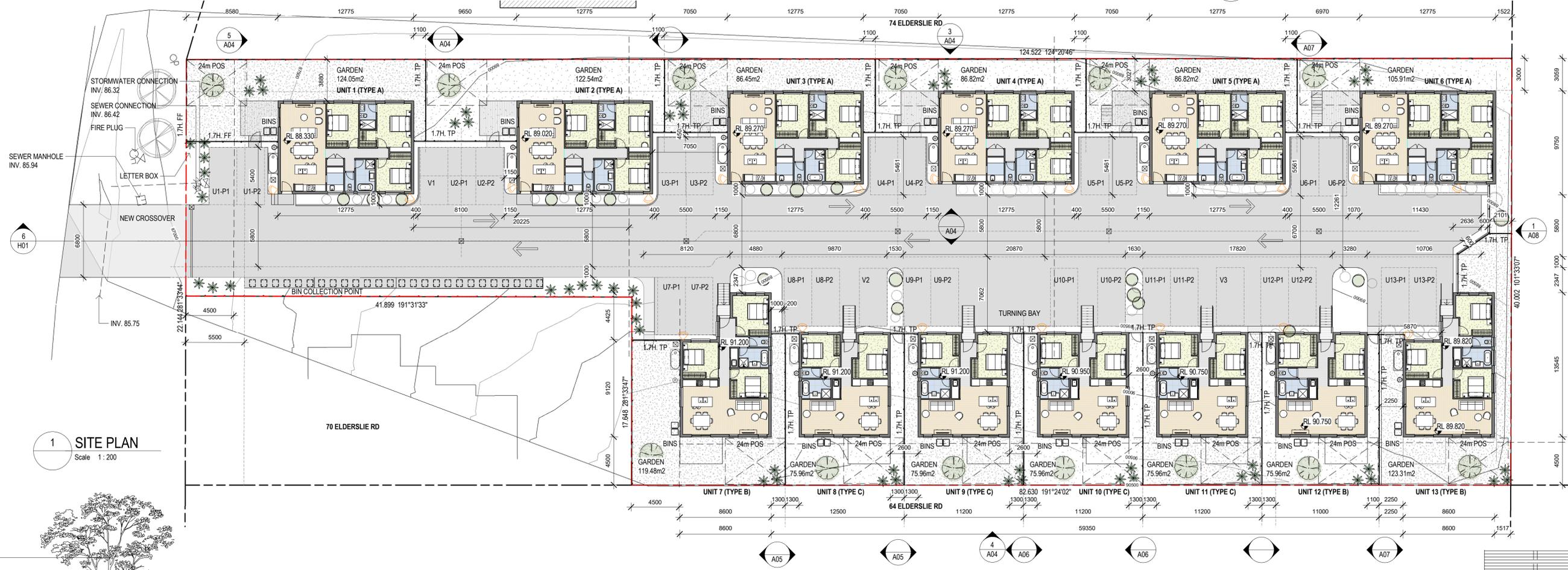
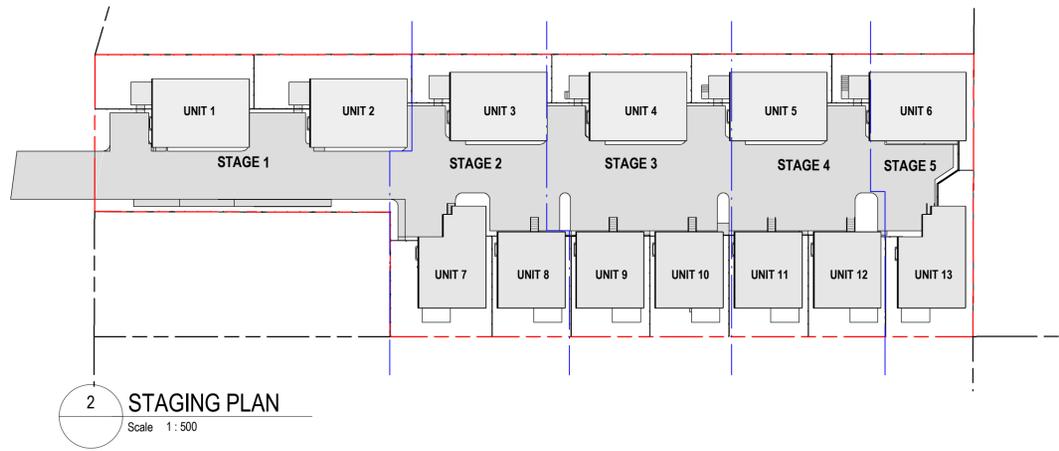
UNIT 7 & 13 (TYPE B)
 LEVEL GR: 98.45 SQ.M. (INCLUDING EXTERNAL WALL)

UNIT 8 - 12 (TYPE C)
 LEVEL GR: 83.66 SQ.M. (INCLUDING EXTERNAL WALL)

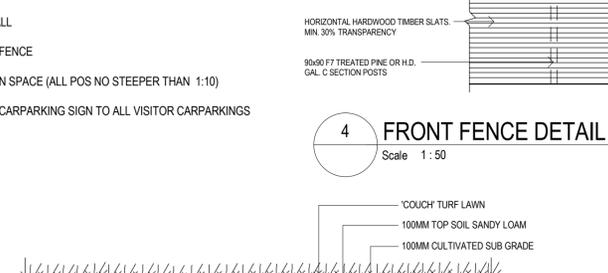
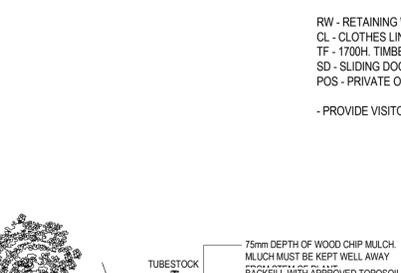
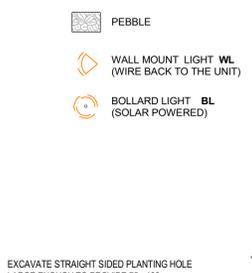
PRIVATE GARDEN SPACE
 REFER LANDSCAPE PLAN (DA03)

ARCHITECTURAL DRAWING DRAWINGS NO. DRAWING NAME

A00	COVER & SITE PLAN LEVEL GROUND
A01	EXISTING & DEMOLITION PLAN
A02	SITE PLAN LEVEL ROOF
A04	ELEVATIONS
A05	ELEVATIONS
A06	ELEVATIONS
A07	ELEVATIONS
A08	ELEVATIONS
A09	SHADOW DIAGRAMS
A10	SHADOW DIAGRAMS
A50	PLAN_UNIT 1-6_TYPE A
A100	PLAN_UNIT 7 & 13_TYPE B
A150	PLAN_UNIT 8-12_TYPE C



NAME	EXPECTED MATURE HEIGHT	PLANT SIZE
CR GENUS: DORYANTHES SPECIES: D. EXCELSA COMMON NAME: GYMEA LILY	MEDIUM SIZED SHRUB 1.5M	1.5M WIDE
AC GENUS: ACACIA SPECIES: COGNATA COMMON NAME: ACACIA COGNATA 'FETTUCINI'	SMALL SIZED SHRUB 0.75M	1.0M WIDE
TD GENUS: HEBE SPECIES: TURKISH DELIGHT COMMON NAME: TURKISH DELIGHT	SMALL SIZED SHRUB 0.80M	0.8M WIDE
OC GENUS: PYRUS SPECIES: CALLERYANA COMMON NAME: ORNAMENTAL CAPITAL PEAR	MEDIUM SIZED TREE 11M	1-3M WIDE
MA COMMON NAME: MAGNOLIA	MEDIUM SIZED TREE 4M	3M WIDE



ISSUE	REVISION	DRN	CHK / APP	DATE
1	FOR APPROVAL	DA	DA	13/12/2024
2	RESPONSE TO COUNCIL RFI	DA	DA	22/02/2025
3	RESPONSE TO COUNCIL RFI	DA	DA	10/3/2025

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 ARCHITECT: DAVID WAI HO AU
 PHONE: 0410595465
 EMAIL: DAVID@MINDARCHITECTS.COM.AU
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CONSULTANTS:

REASON FOR ISSUE
APPROVAL

PROJECT No.:
 1918

NORTH:

PROJECT:
 PROPOSED 13 UNITS DEVELOPMENT

PROJECT ADDRESS:
 72 ELDERSLIE ROAD, BRIGHTON

CLIENT:
 HOLD WEALTH PTY LTD.

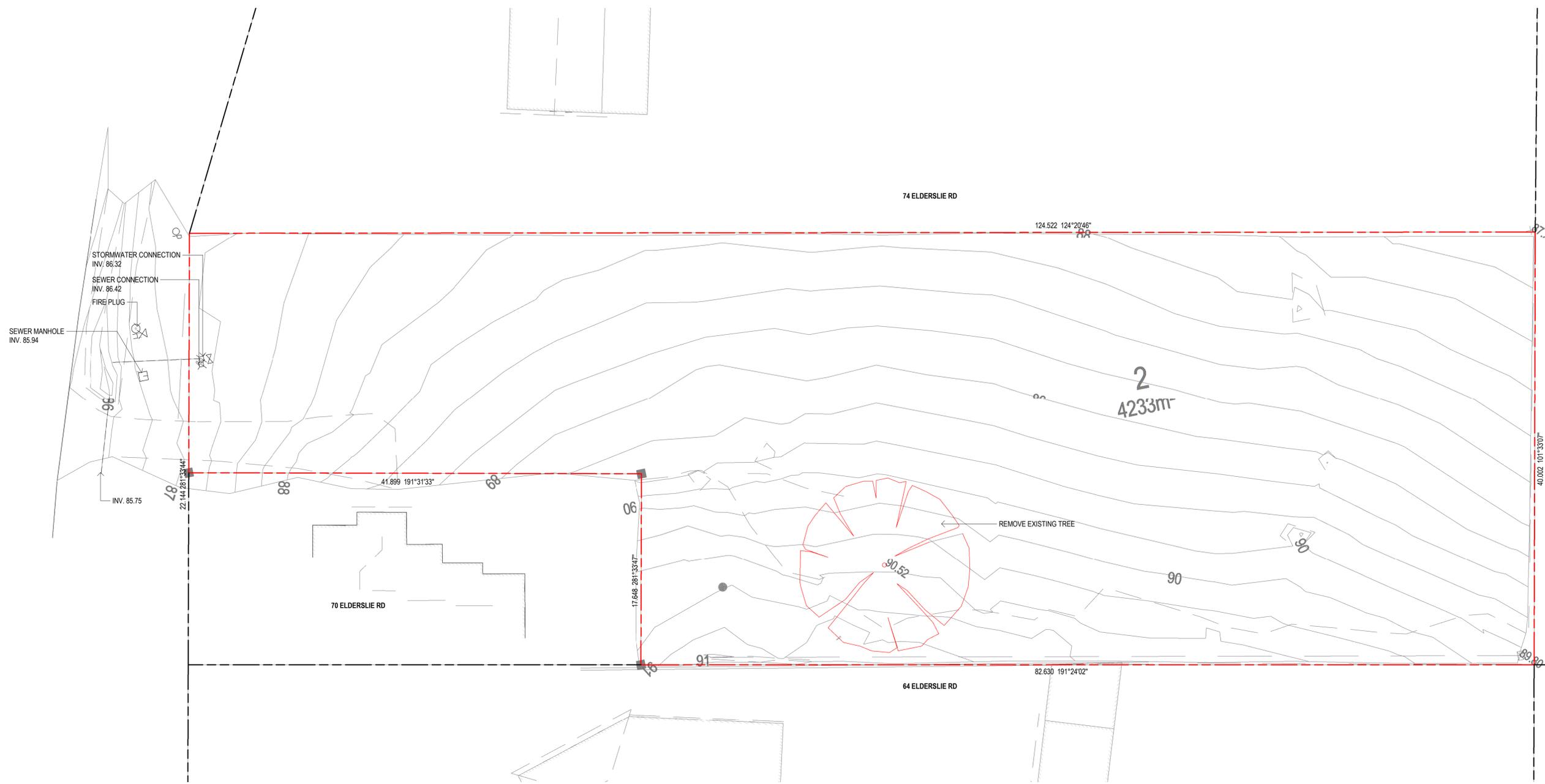
DRAWING TITLE:
 COVER & SITE PLAN LEVEL GROUND

SCALE:
 As indicated @ A1

DRAWING No.:
A00

PROJECT DATE:
 2021

REVISION:
3



1 EXISTING & DEMOLITION PLAN
Scale 1:200

ISSUE	REVISION	DRN	CHK / APP	DATE
1	FOR APPROVAL	DA	DA	13/12/2024
2	RESPONSE TO COUNCIL RFI	DA	DA	02/02/2025
3	RESPONSE TO COUNCIL RFI	DA	DA	10/03/2025

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CONSULTANTS:

REASON FOR ISSUE
CONSTRUCTION
THE CONTRACTOR MUST VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING ANY WORK OR MARKING OF ANY SHOP DRAWINGS. FIGURED DIMENSIONS MUST BE USED IN PREFERENCE TO SCALED DIMENSIONS. ALL SCALED DIMENSIONS MUST BE VERIFIED ON SITE. THIS DRAWING IS COPYRIGHT AND REMAINS THE PROPERTY OF THE ARCHITECT.

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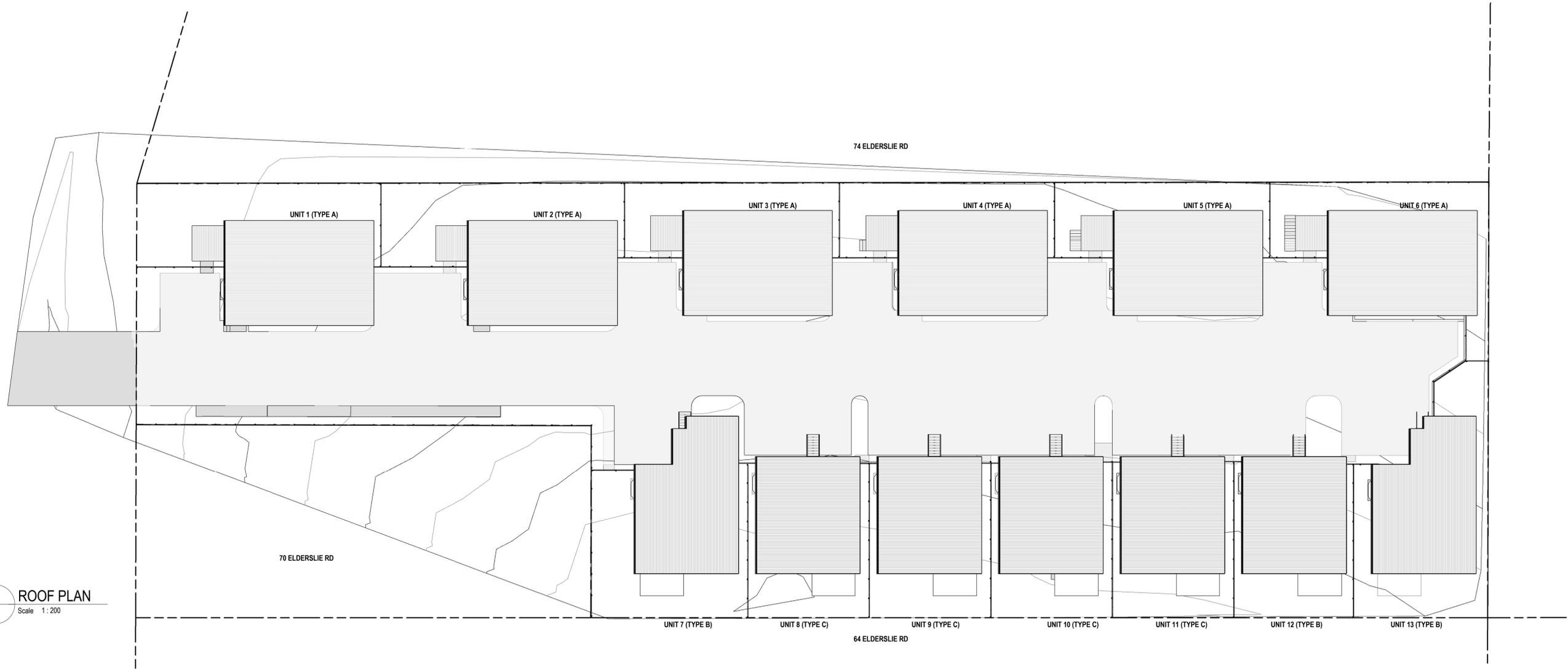
PROJECT:
PROPOSED 13 UNITS DEVELOPMENT
PROJECT ADDRESS:
72 ELDERSLIE ROAD, BRIGHTON
CLIENT:
HOLD WEALTH PTY LTD.

DRAWING TITLE:
EXISTING & DEMOLITION PLAN

SCALE:
1:200 @ A1
DRAWING No.:
A01

PROJECT DATE:
2021

REVISION:
3



1 ROOF PLAN
Scale 1:200

ISSUE	REVISION	DRN	CHK / APP	DATE
1	FOR APPROVAL	DA	DA	13/12/2024
2	RESPONSE TO COUNCIL RFI	DA	DA	22/02/2025
3	RESPONSE TO COUNCIL RFI	DA	DA	10/03/2025

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CONSULTANTS:

REASON FOR ISSUE
CONSTRUCTION
THE CONTRACTOR MUST VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING ANY WORK OR MARKING OF ANY SHOP DRAWINGS. FIGURED DIMENSIONS MUST BE USED IN PREFERENCE TO SCALED DIMENSIONS. ALL SCALED DIMENSIONS MUST BE VERIFIED ON SITE. THIS DRAWING IS COPYRIGHT AND REMAINS THE PROPERTY OF THE ARCHITECT.

PROJECT No.:
1918



NORTH:
PROJECT:
PROPOSED 13 UNITS DEVELOPMENT
PROJECT ADDRESS:
72 ELDERSLIE ROAD, BRIGHTON
CLIENT:
HOLD WEALTH PTY LTD.

DRAWING TITLE:
SITE PLAN_LEVEL ROOF

SCALE:
1:200 @ A1
DRAWING No.:
A02

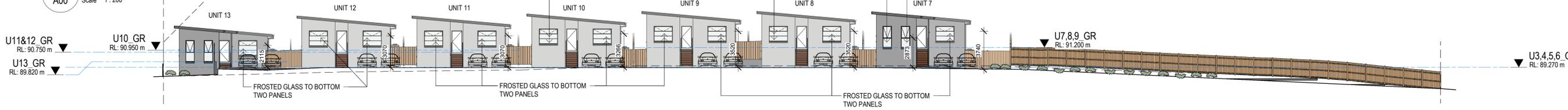
PROJECT DATE:
2021

REVISION:
3

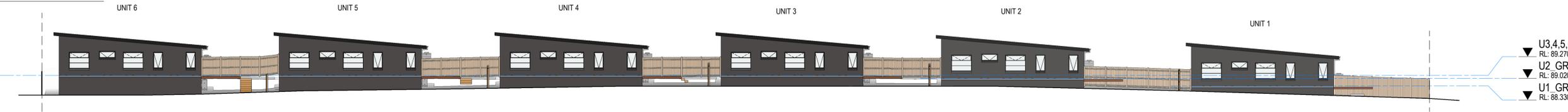
LEGEND -
BR1 - BRICK VENEER



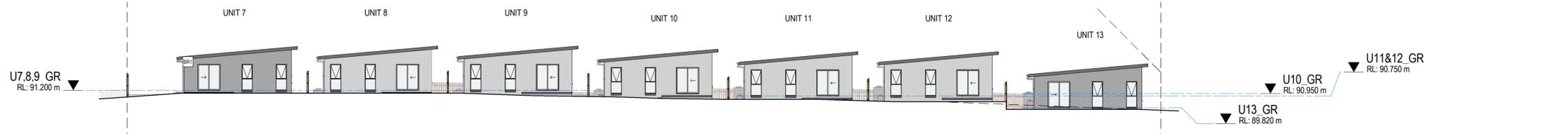
1 ELEVATION 1
A00 Scale 1:200



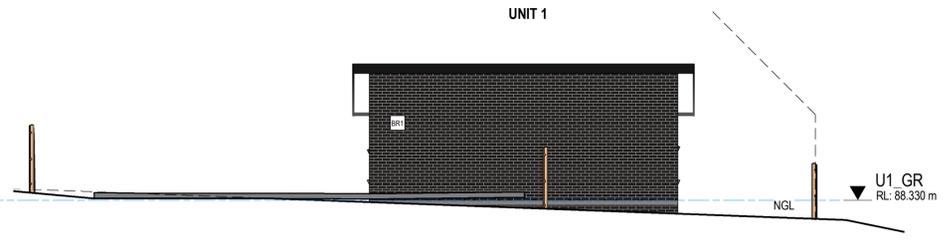
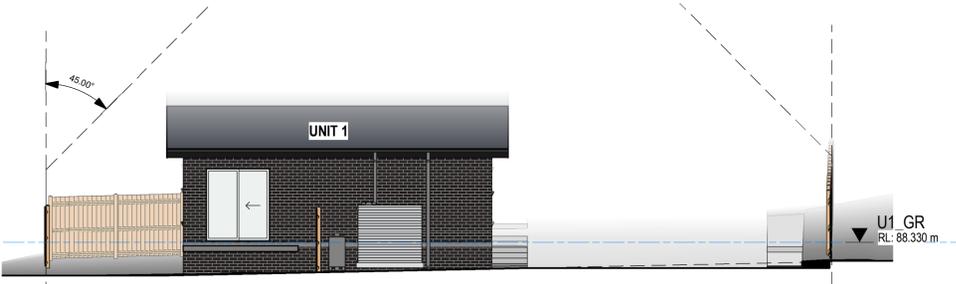
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3 ELEVATION 3
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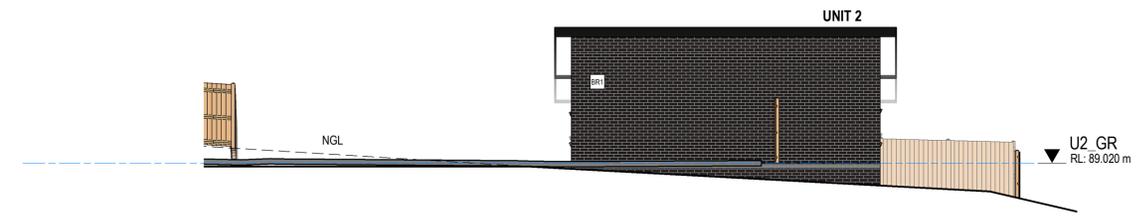
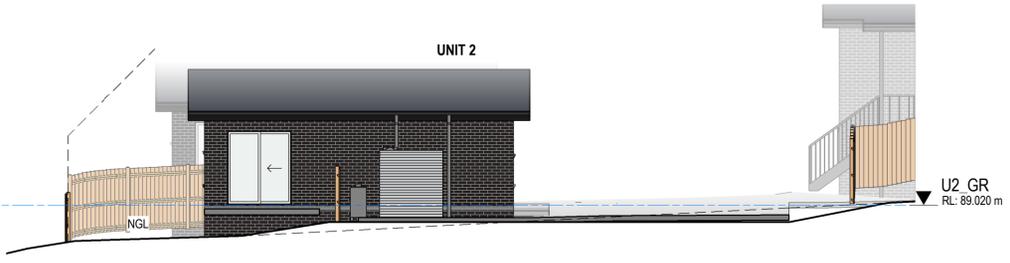


4 ELEVATION 4
A00 Scale 1:200



5 U1_SOUTH ELEVATION
A00 Scale 1:100

8 U1_NORTH ELEVATION
A00 Scale 1:100



9 U2_SOUTH ELEVATION
A00 Scale 1:100

10 U2_NORTH ELEVATION
A00 Scale 1:100

ISSUE	REVISION	DRN	CHK / APP	DATE
1	FOR APPROVAL	DA	DA	13/12/2024
2	RESPONSE TO COUNCIL RFI	DA	DA	22/02/2025
3	RESPONSE TO COUNCIL RFI	DA	DA	10/03/2025

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CONSULTANTS:

REASON FOR ISSUE
CONSTRUCTION

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1918

PROJECT:
PROPOSED 13 UNITS DEVELOPMENT

PROJECT ADDRESS:
72 ELDERSLIE ROAD, BRIGHTON

CLIENT:
HOLD WEALTH PTY LTD.

DRAWING TITLE:
ELEVATIONS

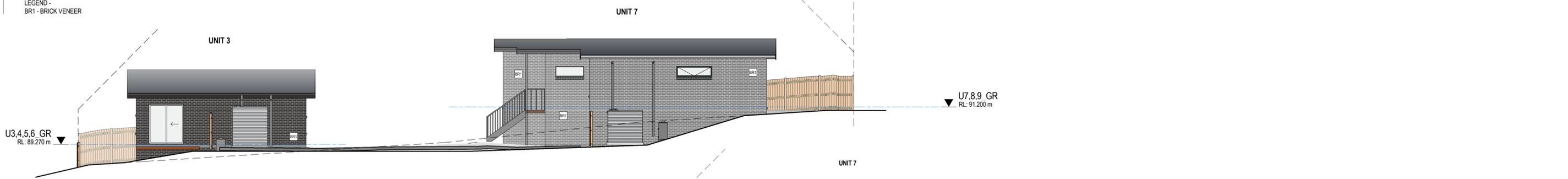
SCALE:
As indicated @ A1

DRAWING No.:
A04

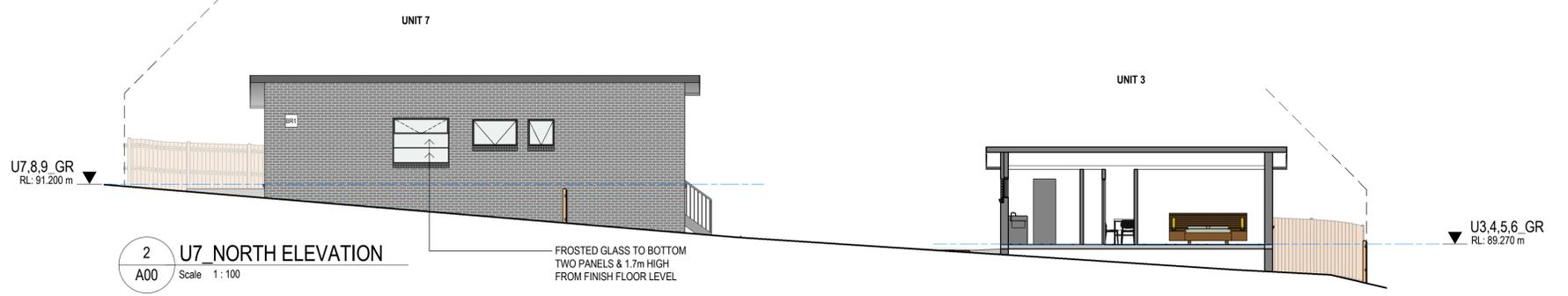
PROJECT DATE:
2021

REVISION:
3

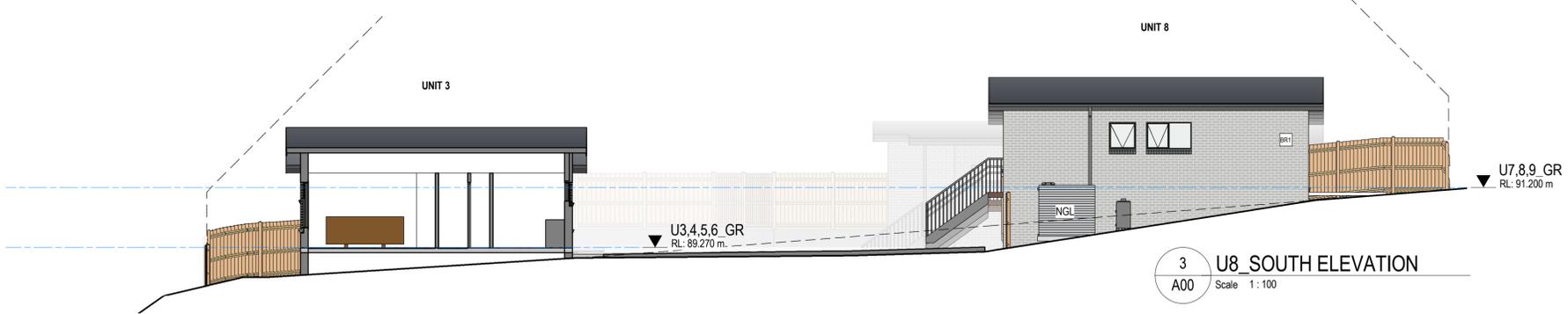
LEGEND -
BR1 - BRICK VENEER



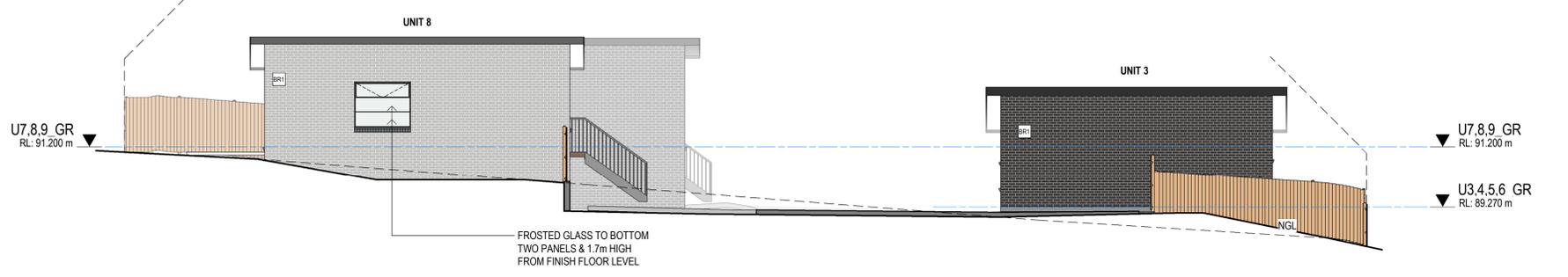
1 U3 & U7 SOUTH ELEVATION
A00 Scale 1:100



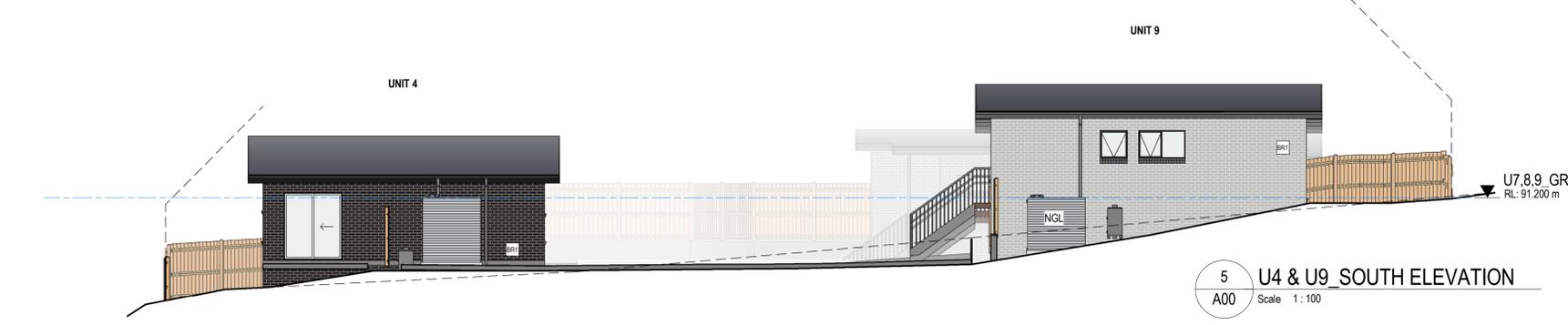
2 U7 NORTH ELEVATION
A00 Scale 1:100



3 U8 SOUTH ELEVATION
A00 Scale 1:100



4 U3 & U8 NORTH ELEVATION
A00 Scale 1:100



5 U4 & U9 SOUTH ELEVATION
A00 Scale 1:100

ISSUE	REVISION	DRN	CHK / APP	DATE
1	FOR APPROVAL	DA	DA	13/12/2024
2	RESPONSE TO COUNCIL RF1	DA	DA	02/02/2025
3	RESPONSE TO COUNCIL RF1	DA	DA	10/03/2025

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CONSULTANTS:

REASON FOR ISSUE
DEVELOPER APPROVAL CERTIFICATE
THE CONTRACTOR MUST VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING ANY WORK OR WORKING OF ANY SHOP DRAWINGS. FIGURED DIMENSIONS MUST BE USED IN PREFERENCE TO SCALED DIMENSIONS. ALL SCALED DIMENSIONS MUST BE VERIFIED ON SITE. THIS DRAWING IS COPYRIGHT AND REMAINS THE PROPERTY OF THE ARCHITECT.

PROJECT No.: 1918



NORTH:
PROJECT: PROPOSED 13 UNITS DEVELOPMENT
PROJECT ADDRESS: 72 ELDELSLIE ROAD, BRIGHTON
CLIENT: HOLD WEALTH PTY LTD.

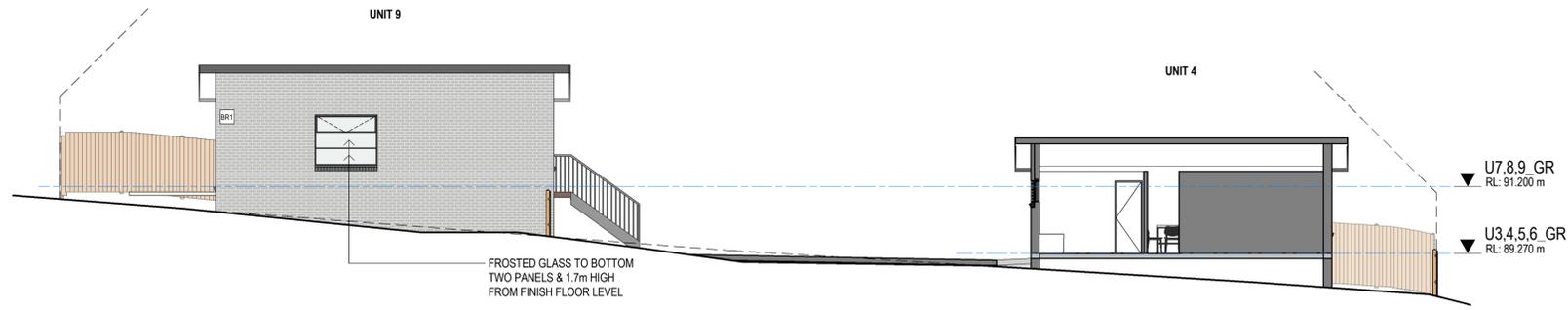
DRAWING TITLE: ELEVATIONS

SCALE: 1:100 @ A1
DRAWING No.: **A05**

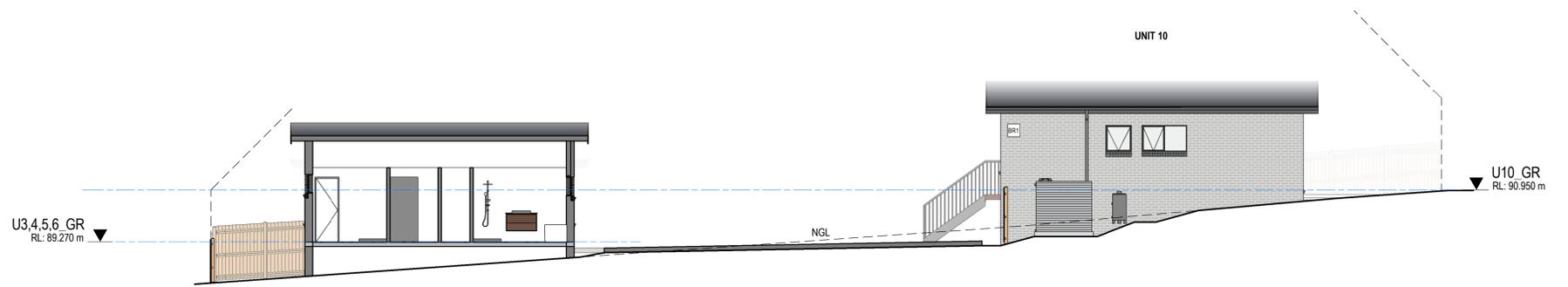
PROJECT DATE: 2021

REVISION: **3**

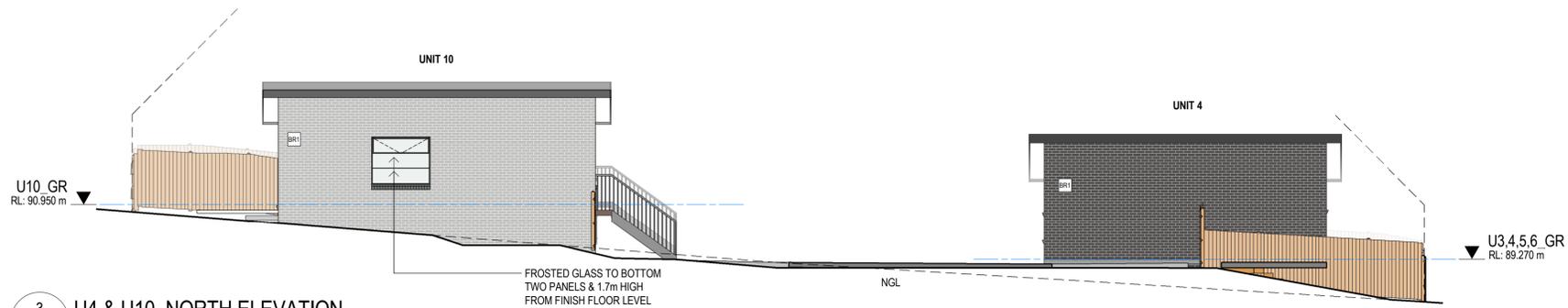
LEGEND -
BR1 - BRICK VENEER



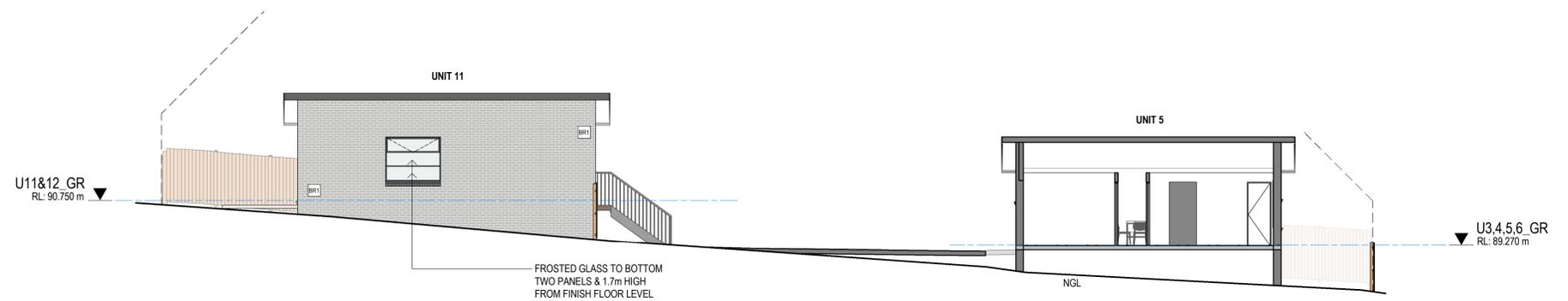
1 U9 NORTH ELEVATION
A00 Scale 1:100



2 U10 SOUTH ELEVATION
A00 Scale 1:100



3 U4 & U10 NORTH ELEVATION
A00 Scale 1:100



4 U11 NORTH ELEVATION
A00 Scale 1:100

ISSUE	REVISION	DRN	CHK / APP	DATE
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CONSULTANTS:

REASON FOR ISSUE
CONSTRUCTION

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PROJECT ADDRESS:
72 ELDERSLIE ROAD, BRIGHTON

CLIENT:
HOLD WEALTH PTY LTD.

DRAWING TITLE:
ELEVATIONS

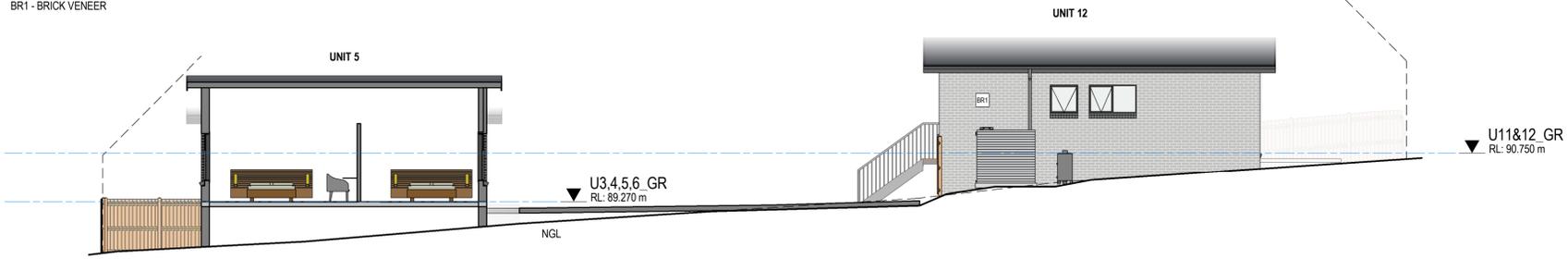
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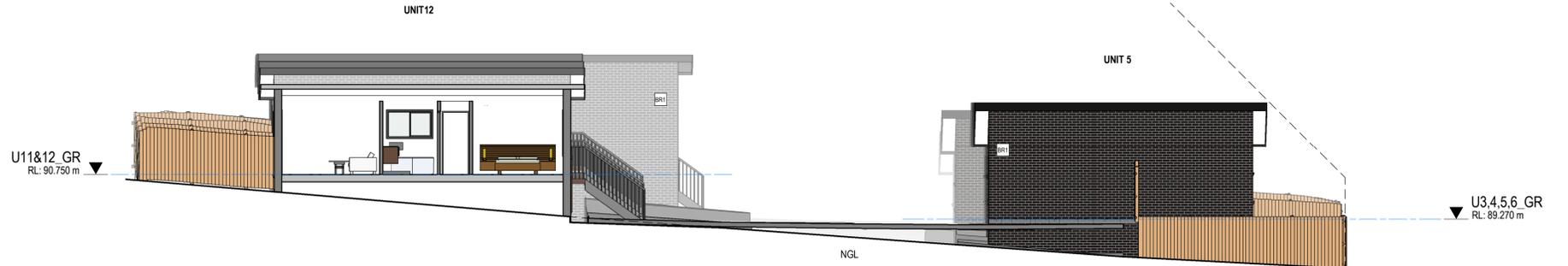
PROJECT DATE:
2021

REVISION:
3

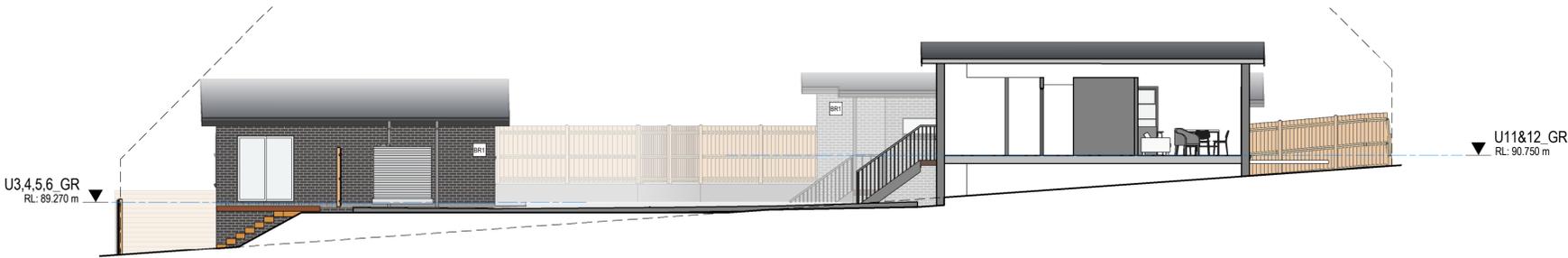
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BR1 - BRICK VENEER



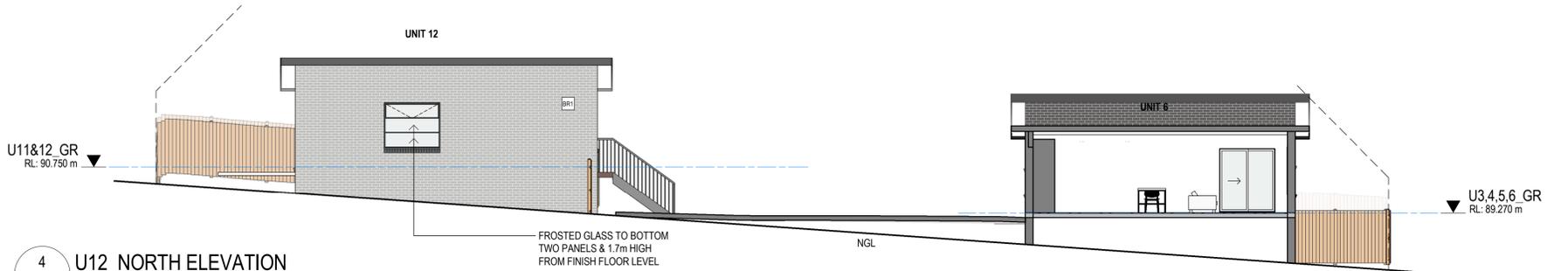
1 U12 SOUTH ELEVATION
A00 Scale 1:100



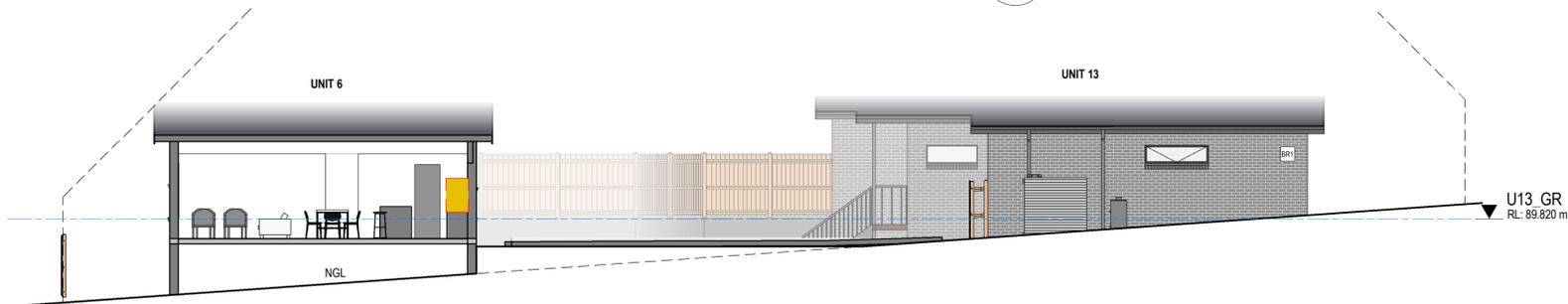
2 U5 NORTH ELEVATION
A00 Scale 1:100



3 U6 SOUTH ELEVATION
A00 Scale 1:100



4 U12 NORTH ELEVATION
A00 Scale 1:100



5 U13 SOUTH ELEVATION
A00 Scale 1:100

ISSUE	REVISION	DRN	CHK / APP	DATE
1	FOR APPROVAL	DA	DA	13/12/2024
2	RESPONSE TO COUNCIL RFI	DA	DA	22/02/2025
3	RESPONSE TO COUNCIL RFI	DA	DA	10/03/2025

MinD.
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CONSULTANTS:

REASON FOR ISSUE
CONSTRUCTION

THE CONTRACTOR MUST VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING ANY WORK OR MARKING OF ANY SHOP DRAWINGS. FIGURED DIMENSIONS MUST BE USED IN PREFERENCE TO SCALED DIMENSIONS. ALL SCALED DIMENSIONS MUST BE VERIFIED ON SITE. THIS DRAWING IS COPYRIGHT AND REMAINS THE PROPERTY OF THE ARCHITECT.

PROJECT No.:
1918

PROJECT:
PROPOSED 13 UNITS DEVELOPMENT

PROJECT ADDRESS:
72 ELDERSLIE ROAD, BRIGHTON

CLIENT:
HOLD WEALTH PTY LTD.

DRAWING TITLE:
ELEVATIONS

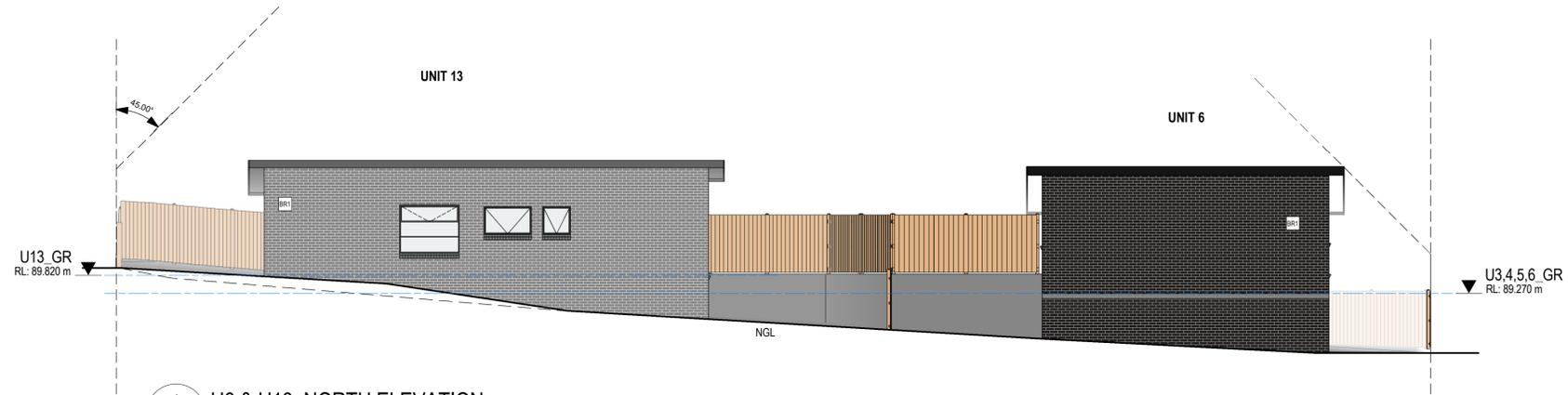
SCALE:
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DRAWING No.:
A07

PROJECT DATE:
2021

REVISION:
3

LEGEND -
BR1 - BRICK VENEER



1 U6 & U13_NORTH ELEVATION
A00 Scale 1:100

ISSUE	REVISION	DRN	CHK / APP	DATE
1	FOR APPROVAL	DA	DA	13/12/2024
2	RESPONSE TO COUNCIL RFI	DA	DA	02/02/2025
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1918

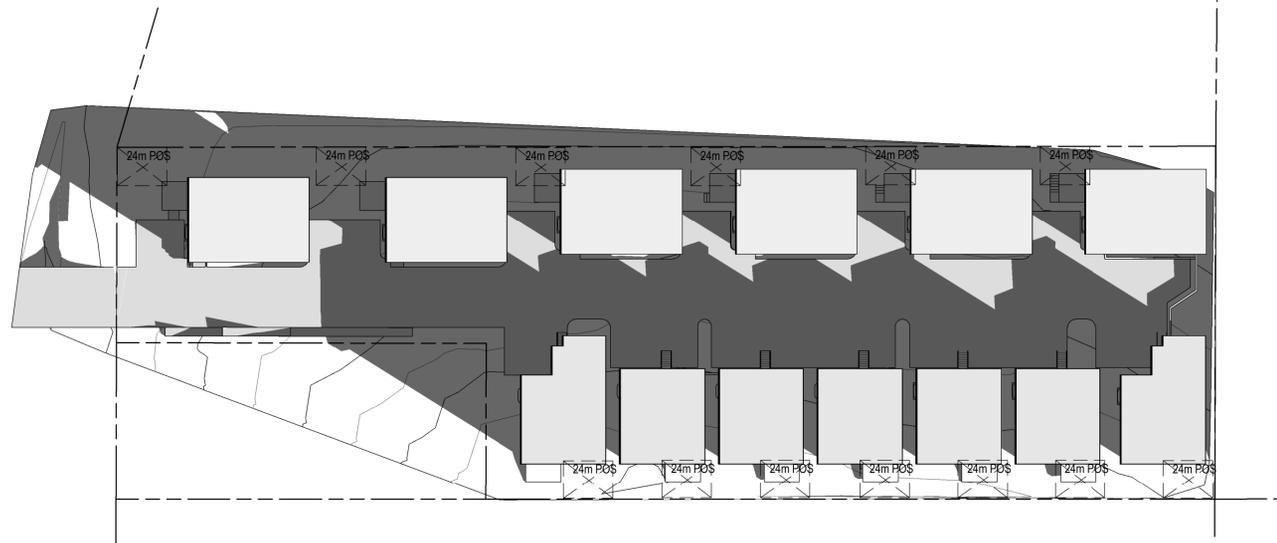
PROJECT:
PROPOSED 13 UNITS DEVELOPMENT
PROJECT ADDRESS:
72 ELDERSLIE ROAD, BRIGHTON
CLIENT:
HOLD WEALTH PTY LTD.

DRAWING TITLE:
ELEVATIONS

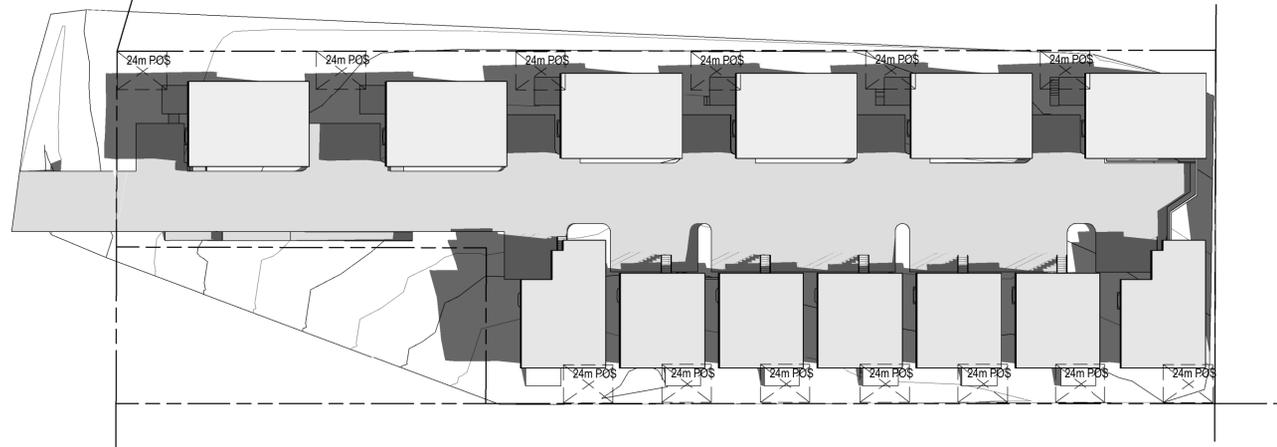
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1:100 @ A1
DRAWING No.:
A08

PROJECT DATE:
2021

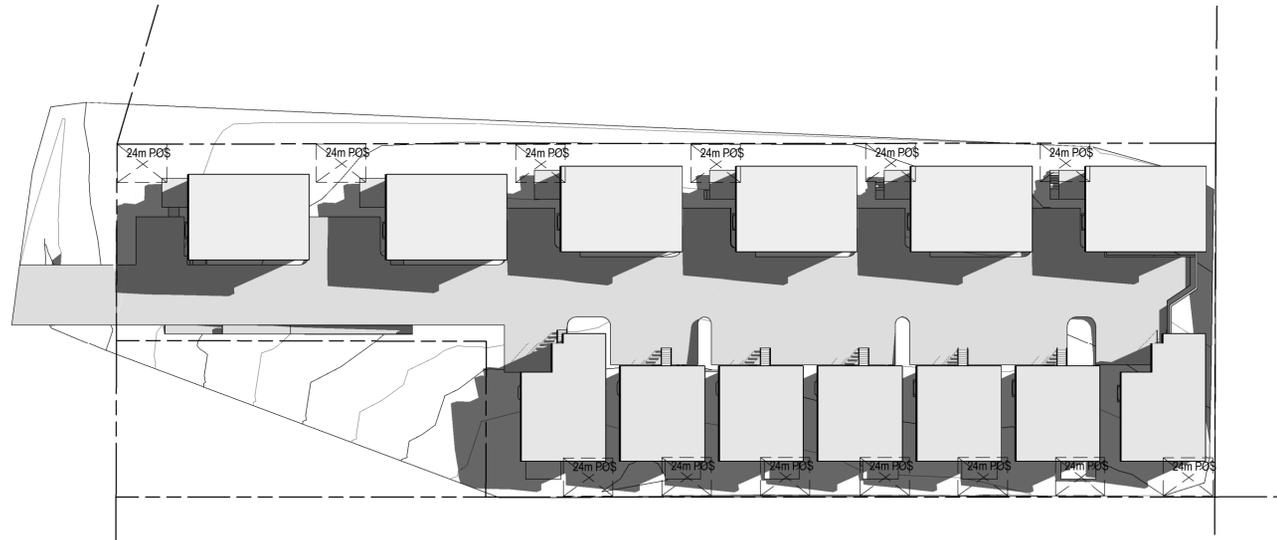
REVISION:
3



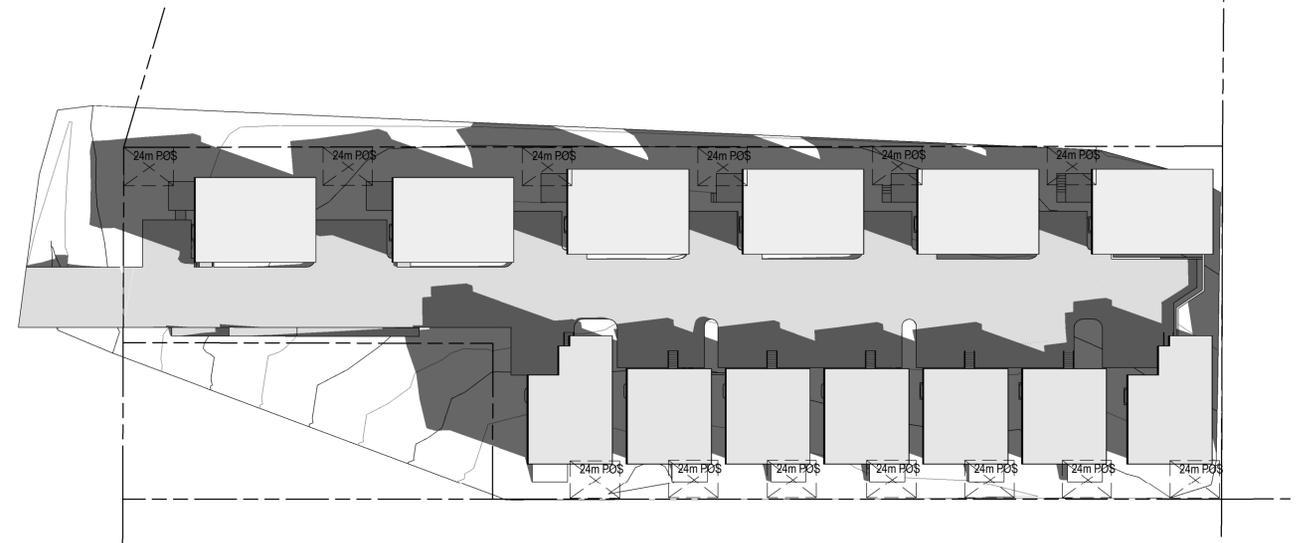
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Scale 1:400



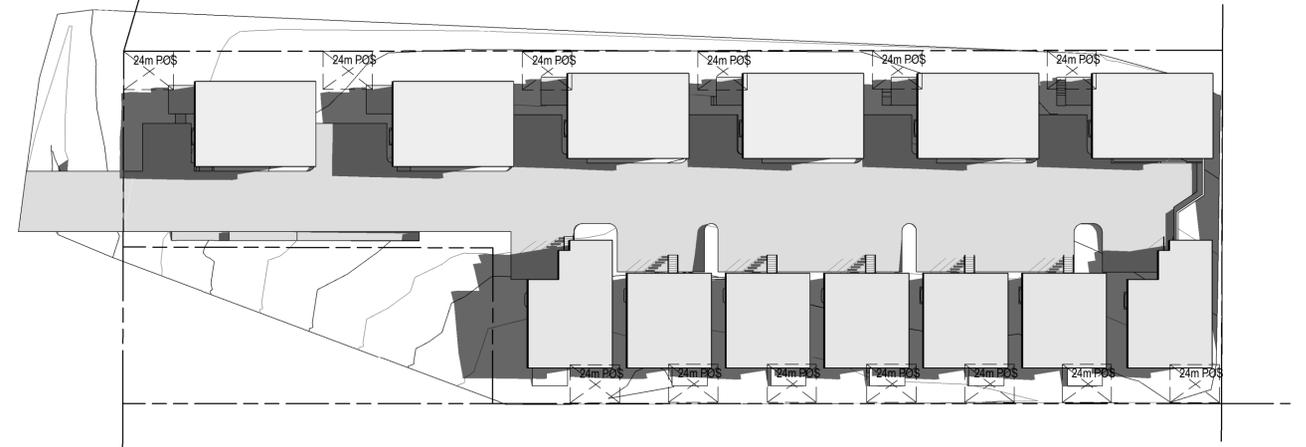
3 SHADOW DIAGRAM_1100AM
Scale 1:400



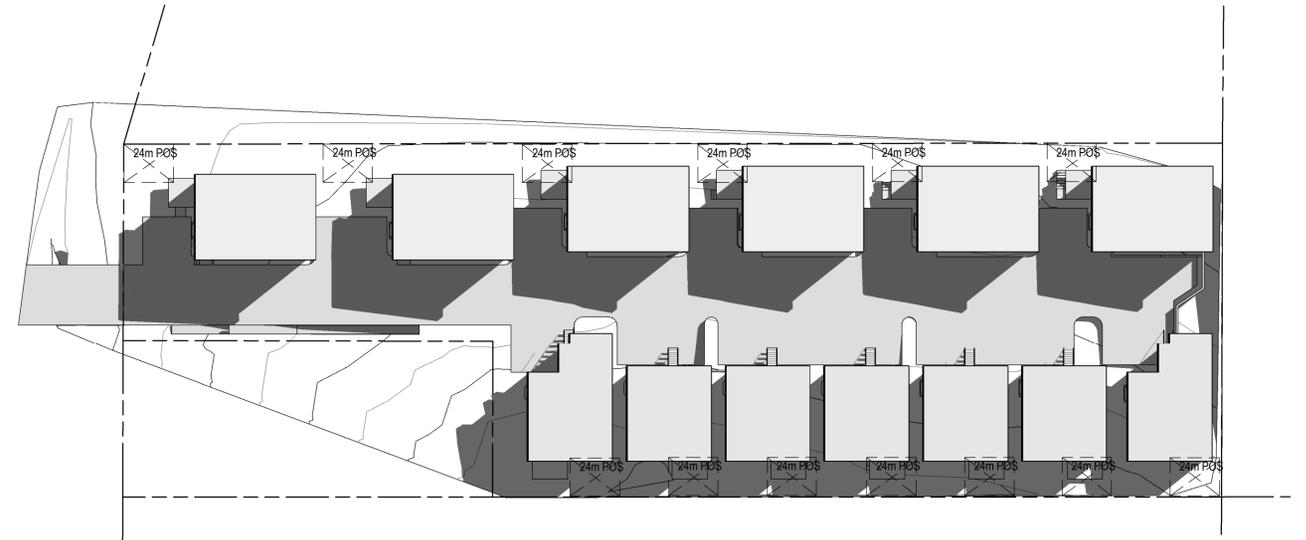
5 SHADOW DIAGRAM_1300PM
Scale 1:400



2 SHADOW DIAGRAM_1000AM
Scale 1:400



4 SHADOW DIAGRAM_1200PM
Scale 1:400



6 SHADOW DIAGRAM_1400PM
Scale 1:400

NOTE -
- 21 JUNE
- SHADOW ONLY CAST INSIDE THE PROPERTY BOUNDARY.

ISSUE	REVISION	DRN	CHK / APP	DATE
1	RESPONSE TO COUNCIL RFI	DA	DA	10/03/2025

MinD.
ARCHITECTS

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CONSULTANTS:

REASON FOR ISSUE
APPROVAL

THE CONTRACTOR MUST VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING ANY WORK OR MARKING OF ANY SHOP DRAWINGS. FIGURED DIMENSIONS MUST BE USED IN PREFERENCE TO SCALED DIMENSIONS. ALL SCALED DIMENSIONS MUST BE VERIFIED ON SITE. THIS DRAWING IS COPYRIGHT AND REMAINS THE PROPERTY OF THE ARCHITECT.

PROJECT No.:
1918

NORTH:



PROJECT:
PROPOSED 13 UNITS DEVELOPMENT

PROJECT ADDRESS:
72 ELDERSLIE ROAD, BRIGHTON

CLIENT:
HOLD WEALTH PTY LTD.

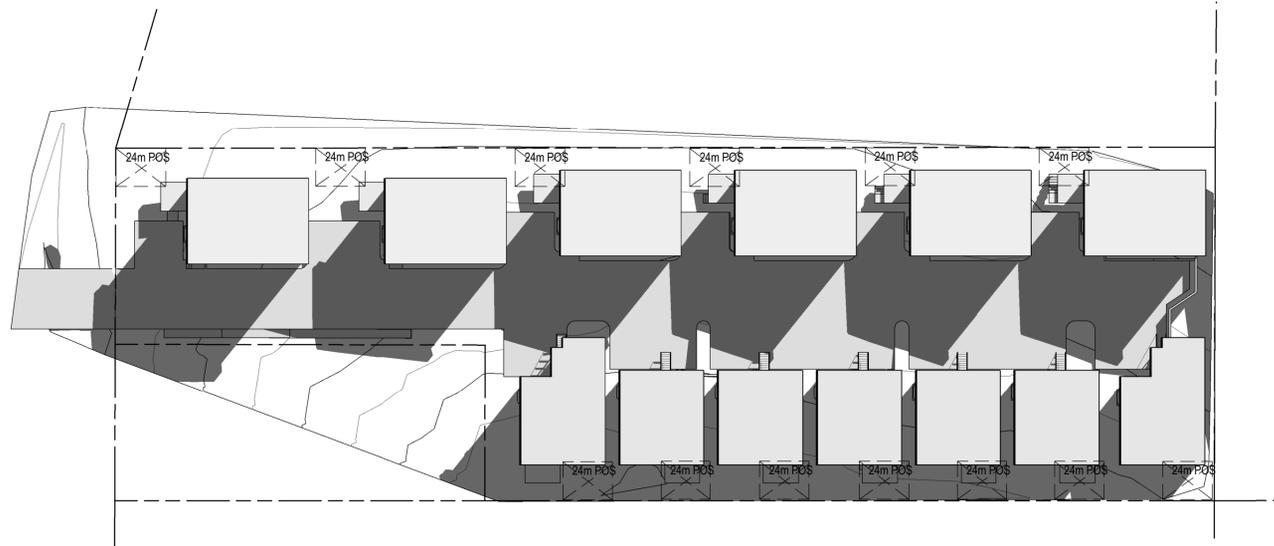
DRAWING TITLE:
SHADOW DIAGRAMS

SCALE:
1:400 @ A1

DRAWING No.:
A09

PROJECT DATE:
2021

REVISION:
1



1 SHADOW DIAGRAM_1500PM
Scale 1:400

NOTE -
- 21 JUNE
- SHADOW ONLY CAST INSIDE THE PROPERTY BOUNDARY.

ISSUE	REVISION	DRN	CHK / APP	DATE
1	RESPONSE TO COUNCIL RFI	DA	DA	10/03/2025

MinD.
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REASON FOR ISSUE
APPROVAL

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PROJECT No.:
1918



NORTH:

PROJECT:
PROPOSED 13 UNITS DEVELOPMENT

PROJECT ADDRESS:
72 ELDERSLIE ROAD, BRIGHTON

CLIENT:
HOLD WEALTH PTY LTD.

DRAWING TITLE:
SHADOW DIAGRAMS

SCALE:
1 : 400 @ A1

DRAWING No.:
A10

PROJECT DATE:
2021

REVISION:
1



1 SWEPT PATH
Scale 1:200

ISSUE	REVISION	DRN	CHK / APP	DATE
1	FOR APPROVAL	DA	DA	13/12/2024
2	RESPONSE TO COUNCIL RFI	DA	DA	22/02/2025
3	RESPONSE TO COUNCIL RFI	DA	DA	10/03/2025

MinD.
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PROJECT No.:
1918



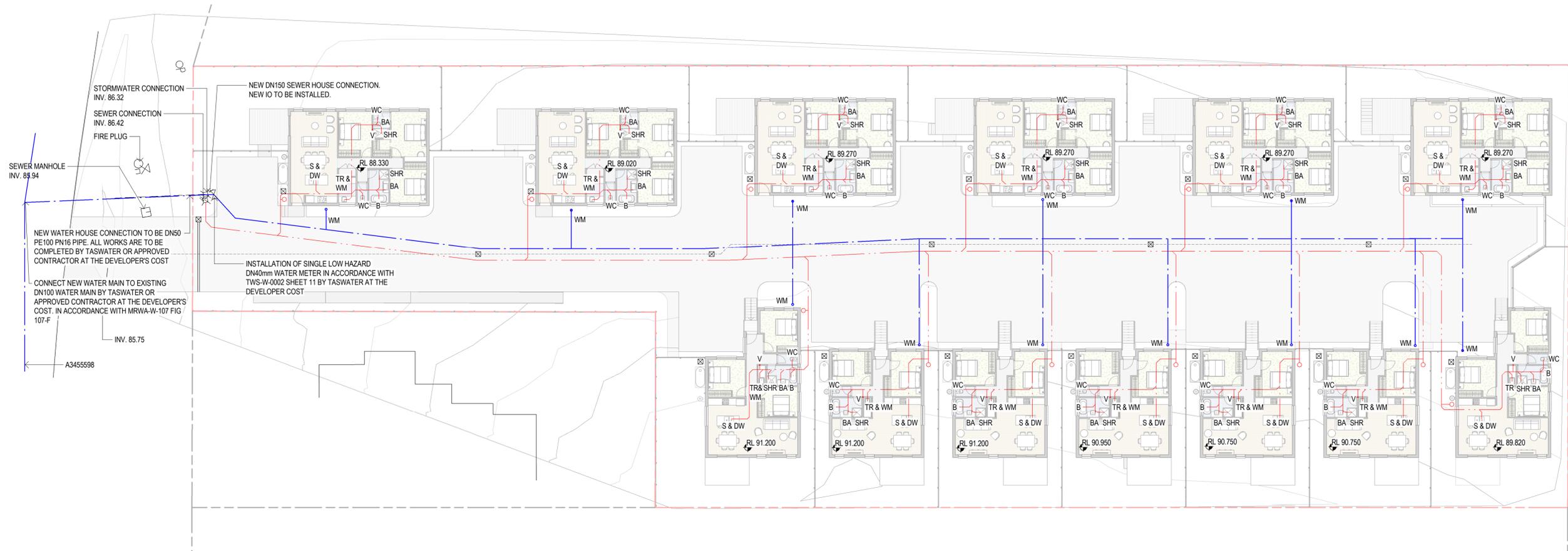
NORTH:
PROJECT:
PROPOSED 13 UNITS DEVELOPMENT
PROJECT ADDRESS:
72 ELDERSLIE ROAD, BRIGHTON
CLIENT:
HOLD WEALTH PTY LTD.

DRAWING TITLE:
SWEPT PATH

SCALE:
1:200 @ A1
DRAWING No.:
H02

PROJECT DATE:
2021

REVISION:
3



1 SEWER & WATER PLAN
Scale 1:200

NOTE:-
 - ALL INTERNAL SEWER TO BE MIN GRADE OF 1 IN 60 UNLESS NOTED OTHERWISE.
 - ALL SEWER AND WATER PLUMBING TO BE CONSTRUCTED IN ACCORDANCE WITH AS3500.
 - ALL WORKS ARE TO BE IN ACCORDANCE WITH THE WATER SUPPLY CODE OF AUSTRALIA WSA 03-2011-3.1 VERSION
 - MRWA EDITION V2.0 AND SEWERAGE CODE OF AUSTRALIA MELBOURNE RETAIL WATER AGENCIES CODE WSA 02 - 2014-3.1 MRWA VERSION 2 AND TASWATER'S SUPPLEMENTS TO THESE CODES.

SERVICES NOTES:

- WATER SUPPLY**
 1. ALL WATER SUPPLY WORKS IN PRIVATE AREAS TO COMPLY WITH AS3500.1 AND AS 3500.4 AND LOCAL BUILDING AND HEALTH AUTHORITY REGULATION.
 2. THE PLUMBING CONTRACTOR TO PLAN AND INSTALLED ALL INTERNAL WATER SUPPLY SERVICES AND ALL WORK TO ACCORDANCE WITH AS3500.
 3. ALL HOT WATER LINES ARE TO BE FULLY LAGGED.
 4. ALL HOT WATER SERVICES SHALL COME WITH TEMPERING DEVICES SUPPLYING WATER AT NOT MORE THAN 45 DEGREES C. TO ACCORRED TO AS 3500.4.
 5. ALL SEWER DRAINS PROVIDED IS DN100 OR WITH OTHERS UNLESS APPROVED OTHERWISE.

LEGEND

BA	BASIN	40mm
DW	DISH WASHER	50mm
TR	TROUGH	50mm
S	SINK	50mm
SHR	SHR	50mm
ORG	OVERFLOW RELIEF GULLY	150mm
V	VENT	50mm
VR	VENT RISER	100mm UNO
WC	WATER CLOSET	100mm
WM	WASHING MACHINE	50mm
TGD	TRENCH GRATE DRAIN	

ISSUE	REVISION	DRN	CHK / APP	DATE
1	FOR APPROVAL	DA	DA	13/12/2024
2	RESPONSE TO COUNCIL RFI	DA	DA	22/02/2025
3	RESPONSE TO COUNCIL RFI	DA	DA	10/03/2025

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PROJECT No.: 1918



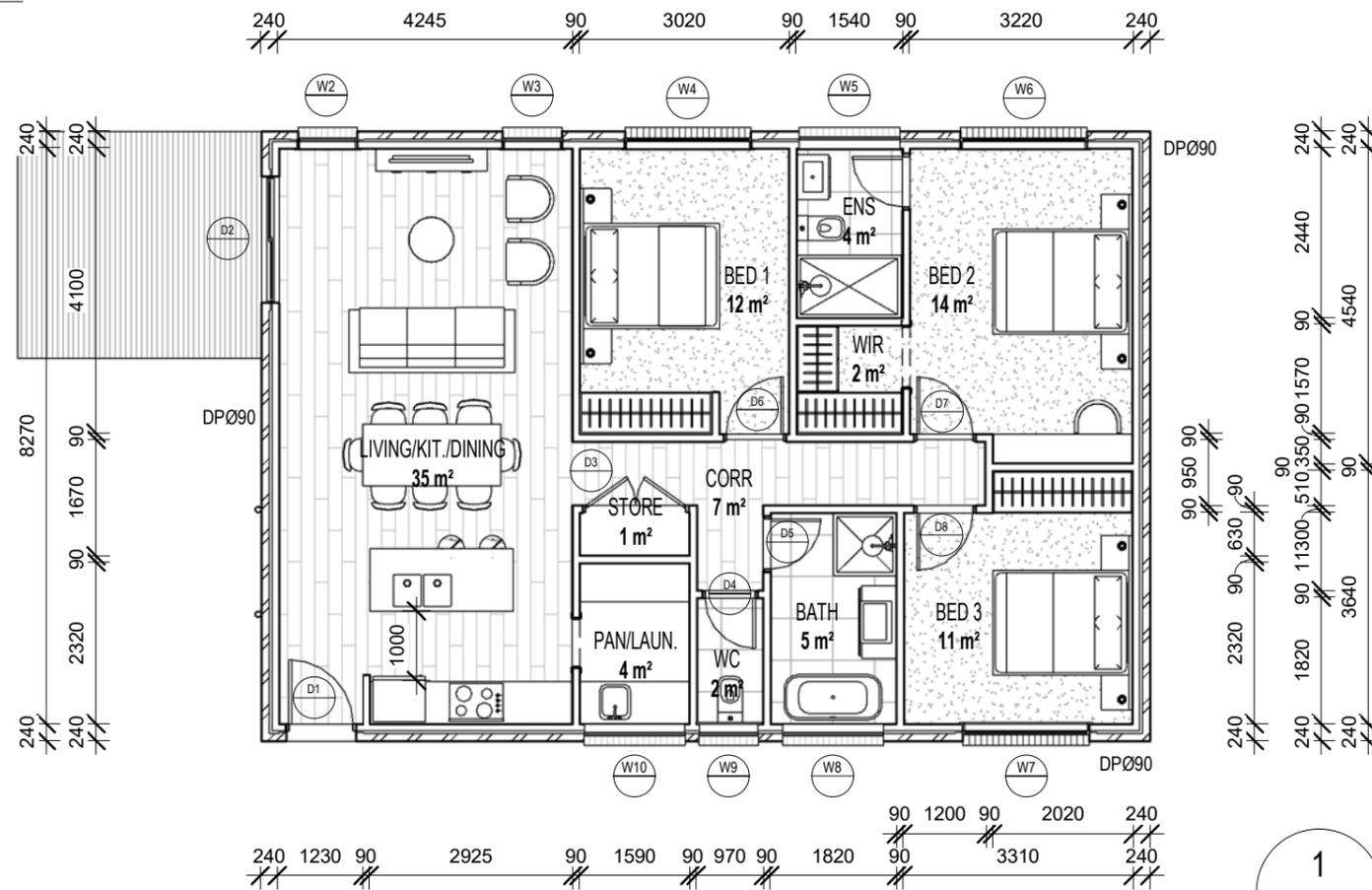
PROJECT: PROPOSED 13 UNITS DEVELOPMENT
PROJECT ADDRESS: 72 ELDERSLIE ROAD, BRIGHTON
CLIENT: HOLD WEALTH PTY LTD.

DRAWING TITLE: SEWER & WATER PLAN

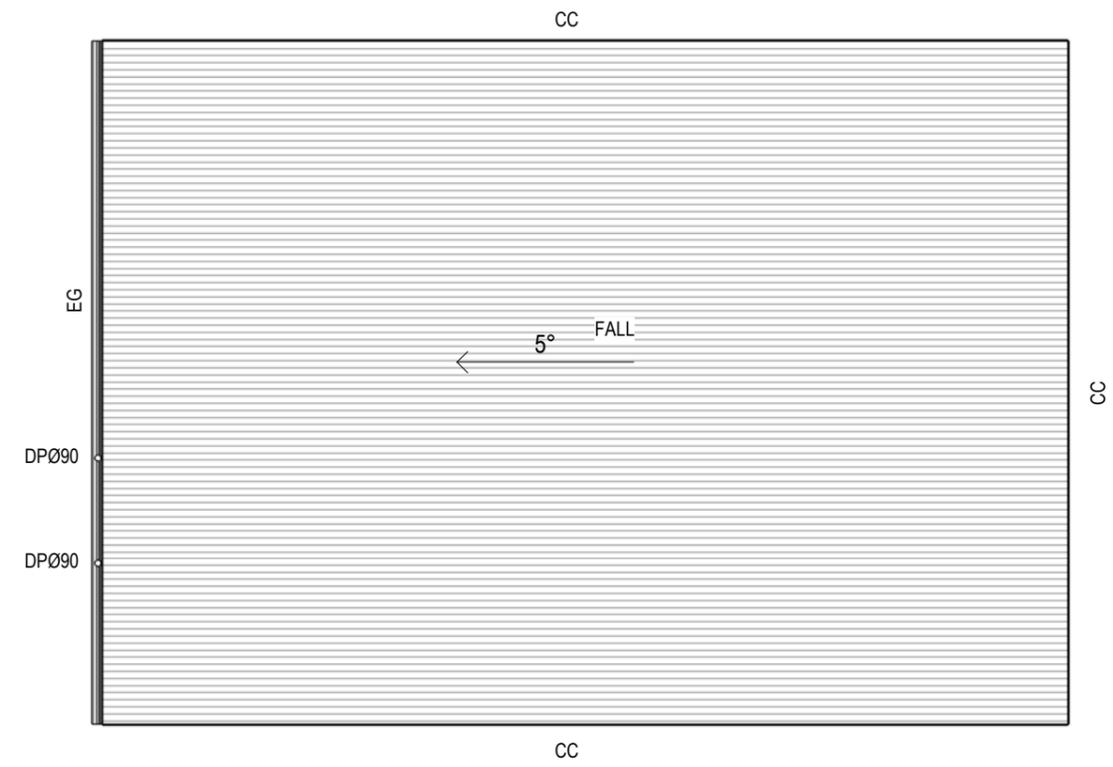
SCALE: 1:200 @ A1
DRAWING No.: H03

PROJECT DATE: 2021

REVISION: **3**



1 GROUND
DA04 Scale 1:100



2 ROOF
DA04 Scale 1:100

ROOM SCHEDULE	
NAME	AREA
BED 1	12 m ²
BED 2	14 m ²
PAN/LAUN.	4 m ²
CORR	7 m ²
BED 3	11 m ²
LIVING/KIT./DINING	35 m ²
BATH	5 m ²
WC	2 m ²
ENS	4 m ²
WIR	2 m ²
STORE	1 m ²

UNIT AREA - 111.78SQ.M. (INC. EXTERNAL WALL)

ISSUE	REVISION	DRN	CHK/APP	DATE
1	FOR APPROVAL	DA	DA	13/12/2024

MinD.
ARCHITECTS

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PROJECT:
PROPOSED 13 UNITS DEVELOPMENT

PROJECT ADDRESS:
72 ELDERSLIE ROAD, BRIGHTON

CLIENT:
HOLD WEALTH PTY LTD

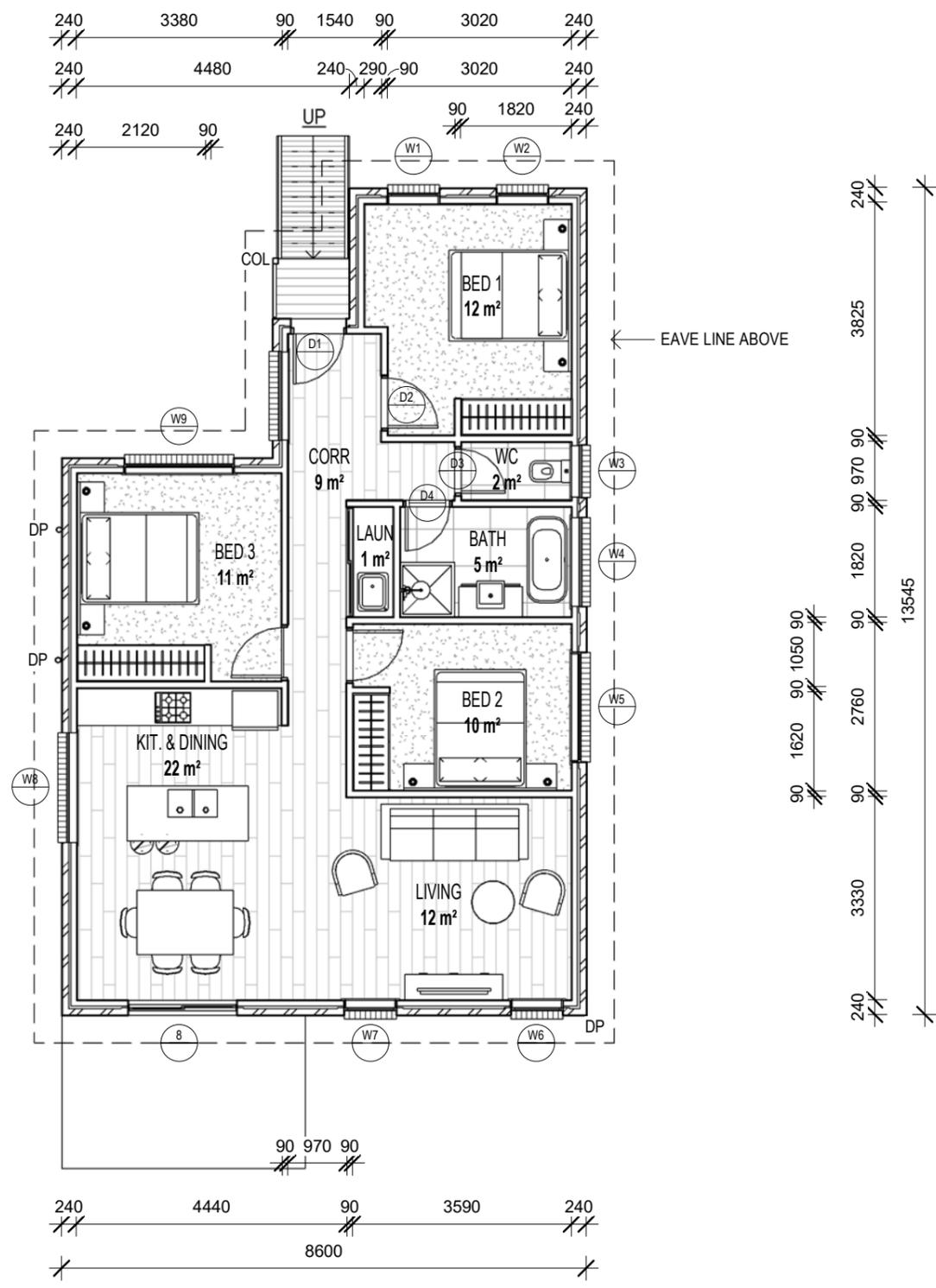
DRAWING TITLE:
PLAN_UNIT 1-6_TYPE A

PROJECT NO.:
1918

SCALE:
1:100 @ A3

DRAWING No.:
A50

REVISION:
1



ROOM SCHEDULE	
Name	Area
CORR	9 m ²
KIT. & DINING	22 m ²
LAUN	1 m ²
WC	2 m ²
BATH	5 m ²
BED 1	12 m ²
BED 2	10 m ²
BED 3	11 m ²
LIVING	12 m ²

UNIT AREA - 98.45SQ.M. (INC. EXTERNAL WALL)

1 GROUND
DA13 Scale 1:100

ISSUE	REVISION	DRN	CHK/APP	DATE
1	FOR APPROVAL	DA	DA	13/12/2024

MinD.
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PROJECT:
PROPOSED 13 UNITS DEVELOPMENT

PROJECT ADDRESS:
72 ELDERSLIE ROAD, BRIGHTON

CLIENT:
HOLD WEALTH PTY LTD

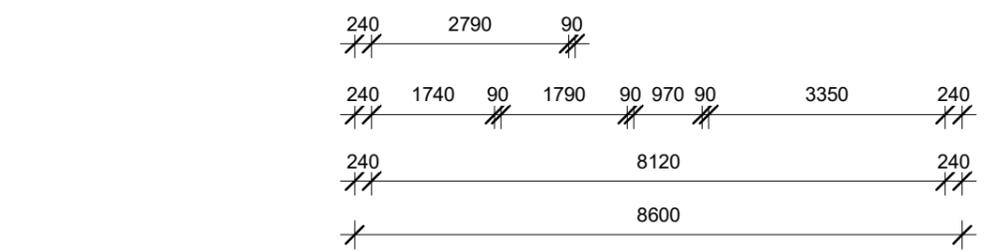
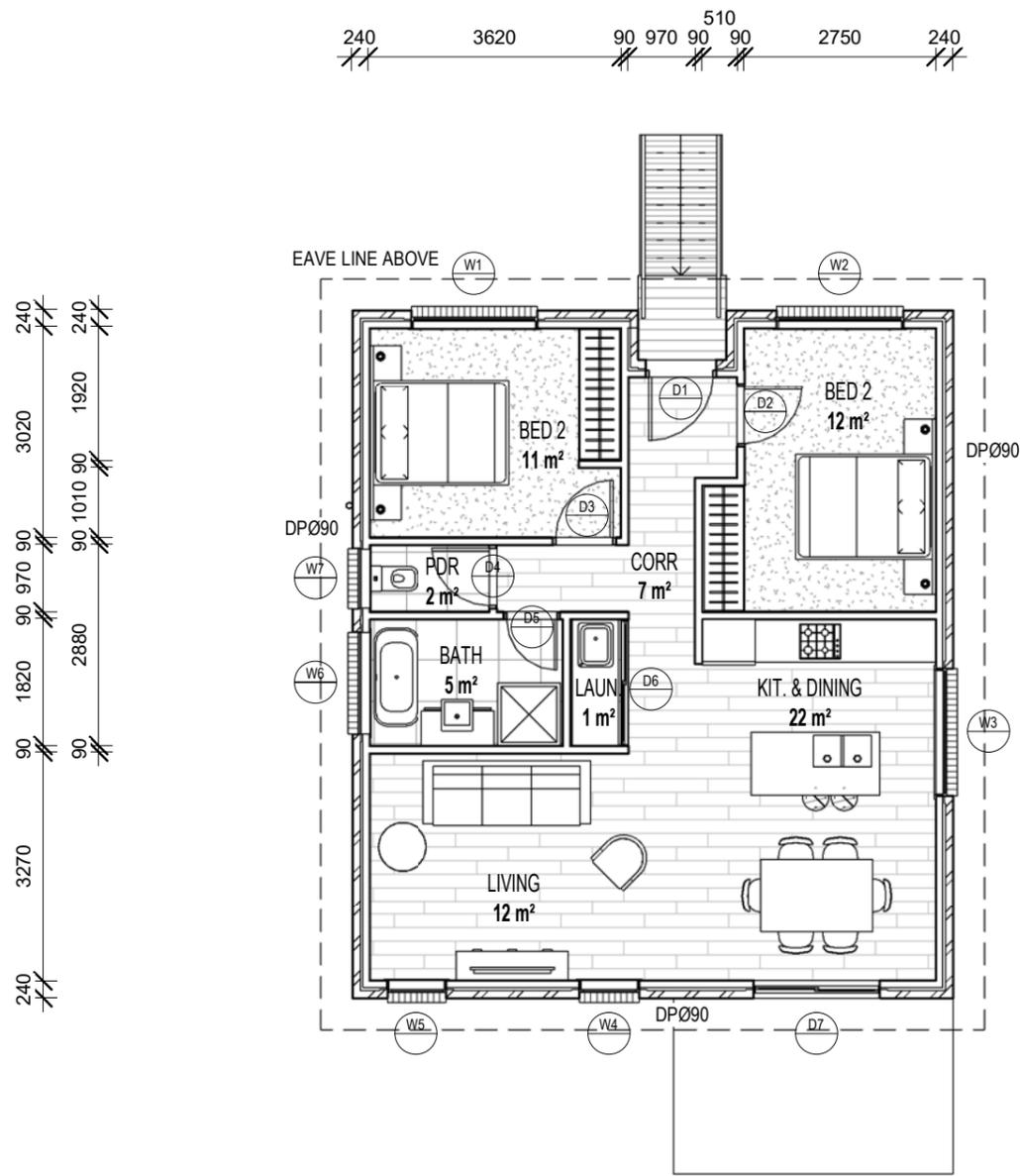
DRAWING TITLE:
PLAN_UNIT 7 & 13_TYPE B

PROJECT NO.:
1918

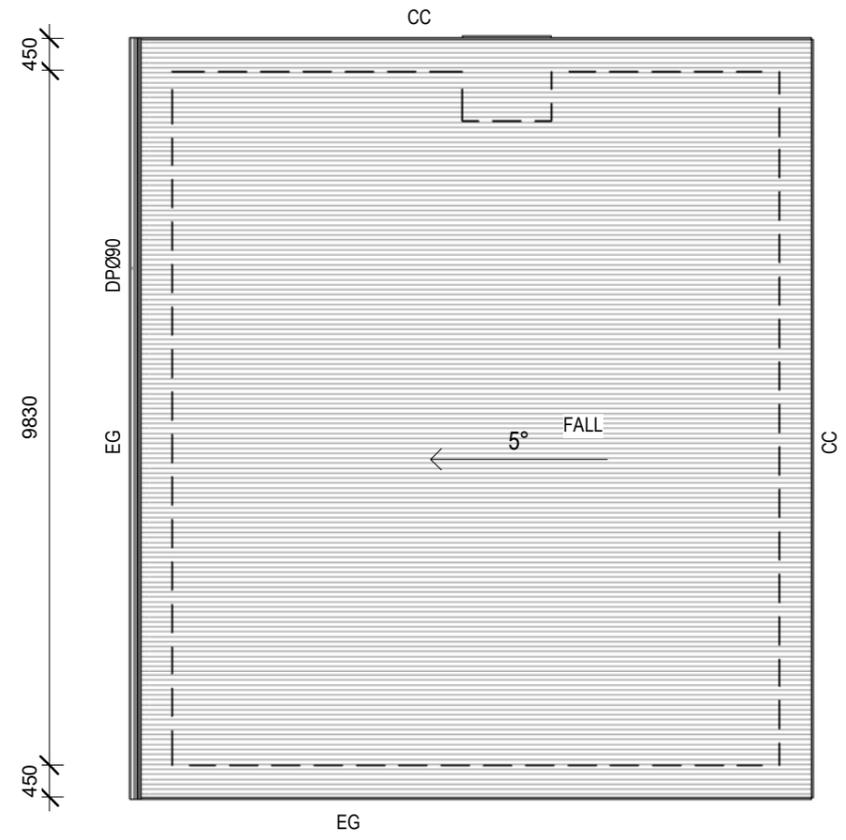
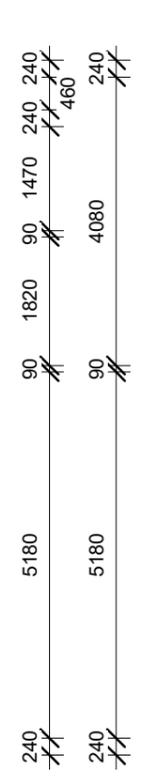
SCALE:
1:100 @ A3

DRAWING No.:
A100

REVISION:
1



1 LEVEL GROUND
 DA21 Scale 1:100



2 ROOF
 DA21 Scale 1:100

ROOM SCHEDULE	
Name	Area
CORR	7 m ²
KIT. & DINING	22 m ²
PDR	2 m ²
BED 2	12 m ²
BED 2	11 m ²
LIVING	12 m ²
LAUN.	1 m ²
BATH	5 m ²

UNIT AREA - 83.66SQ.M. (INC. EXTERNAL WALL)

ISSUE	REVISION	DRN	CHK/ APP	DATE
1	FOR APPROVAL	DA	DA	13/12/2024

MinD.
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PROJECT:
 PROPOSED 13 UNITS DEVELOPMENT
PROJECT ADDRESS:
 72 ELDERSLIE ROAD, BRIGHTON
CLIENT:
 HOLD WEALTH PTY LTD

DRAWING TITLE:
 PLAN_UNIT 8-12_TYPE C
PROJECT NO.:
 1918

SCALE:
 1:100 @ A3
DRAWING No.:
A150
REVISION:
1

Stormwater Calculations

Report for Hobart

Date report printed: 13/04/2025

Project Details

Project Name	72 Elderslie road		
InSite User Email	david@mindarchitects.com.au		
Web files link			
Site Area (m2)	4233	Project ID	4682
Planning number	Planning		
Development type	Multi dwelling (dual occupancy, townhouse, villar unit etc)		
Existing site details	Undeveloped (greenfield)		
Street address	72 Elderslie Road, Brighton TAS, Australia		

Results

 VOLUME	 FLOW	 QUALITY	 EFFICIENCY
<p>Objective: Reduce annual average runoff volume by harvesting or infiltrating stormwater</p>	<p>Objective: Control peak discharge flow (litres per second) with adequate on site detention</p>	<p>Objective: Improve stormwater runoff water quality (Equivalent to STORM score)</p>	<p>Objective: Increase drought resilience</p>
<p>Target: No increase in pre-development annual average runoff volume (Up to a 10% increase is allowed to account for uncertainties)</p>	<p>Target: less than or equal to zero. If greater than zero this is the additional Site Storage Requirement (SSR) volume required</p>	<p>Target: Achieve a score of 100 or more This corresponds to a 45% reduction in nitrogen runoff</p>	<p>Target: Achieve greater than 25% potable water use reduction</p>
<p>VOLUME RESULT</p> <p>261.4</p> <p>% change in annual average volume</p>	<p>FLOW RESULT</p> <p>0.0</p> <p>m³ of additional site storage required</p>	<p>QUALITY RESULT</p> <p>0</p> <p>Pollution reduction score (out of 100)</p>	<p>EFFICIENCY RESULT</p> <p>9.5</p> <p>% water saving</p>

VOLUME FAILS

FLOW PASSES

QUALITY FAILS

EFFICIENCY FAILS

Design Criteria

The items on this page must be reflected on other project plans, specifications and engineering drawings. The development must be designed and constructed in accordance with the following:

Rainwater Tank Specifications

Total rainwater tank volume (L)	26000	*This is the rainwater tank volume retention + detention	
Total rainwater retention* tank volume (L)	0	*This is the rainwater tank volume that is available for reuse	
Total rainwater detention* tank volume (L)	26000	*This is the rainwater tank volume that is reserved for slow release to stormwater	
Roof connected to rainwater tank (m ²)	1544.0		
Rainwater tanks connected to	Toilet , Laundry , Irrigation		
Other rainwater tank end uses (L/day)		Irrigated Garden Area (m ²)	50
% building rainwater end uses connected (to rainwater tanks)	100	First Flush Device?	0
Additional* Site Storage (L)	2520	*Site storage added adjacent to the legal point of discharge for peak flow detention or volume infiltration	
Recycled water source (Yes/No)			
Water tank reliability %	0.0		
Rainwater tank overflow %	100.0	*Note if this number is under 25%, then 30% of the tank's retention volume will be counted toward the detention volume	

Water Efficiency Specifications

Basin WELS star rating	> 4 Star WELS rating
Toilet WELS rating	> 4 Star WELS rating
Bath WELS star rating	Default or unrated
Washing Machine WELS star rating	Default or unrated
Kitchen Taps WELS rating	> 4 Star WELS rating
Urinal WELS rating	Not Applicable
Shower WELS star rating	3 Star WELS (> 7.5 but <= 9.0) (minimum requirement)
Dishwasher WELS star rating	> 3 Star WELS rating

2520 litres of additional Site Storage Requirement (SSR) (in addition to the combined rainwater / detention tanks) which is provided by 2520 litres of additional site storage adjacent to the legal point of discharge.

Stormwater management measures selected are

This includes all impervious areas in the site connected to Council or Stormwater Authority drains. This excludes pervious areas like garden, gravel, and lawn areas)

- 1344m² of Driveway
- For the 1544m² roof area , Raintank Volume = 26000 litres connected to 1544m² of roof, additional water tank based detention volume = 26000 litres. Total tank volume (retention + detention volumes) = 26000.0 litres

Building Occupancy Calculations

Building Spaces

•1285.88m² of Individual dwellings - BCA Class 1a with an average occupancy of 25.7 people

Estimated Total Building Occupancy	25.7
------------------------------------	------

Stormwater VOLUME Calculations

Site Area (m ²)	4233
Post development total impervious area (m ²)	2888.0
Rainwater Tank Overflow (kL/annum)	869.9
Pre-development Volume (kL/annum)	429.3
Post-development Volume (kL/annum)	1551.4
Change in volume %	261.4

Stormwater QUALITY Calculations

Rainwater Tank Runoff reduction (%)	0.0
Rainwater Tank(s) Total Nitrogen (TN) reduction	0.0
Total Nitrogen (TN) % reduction	0.0
Equivalent STORM Score	0

Water EFFICIENCY Calculations

Benchmark water use (kL/year)	2241.9		
Predicted potable water use (kL/year)	2029.0		
Predicted potable water use (L/person/day)	216.3		
Water savings from tank (kL/year)	0.0		
Water saving from efficiency (kL/year)	212.90		
Total water saving % (efficiency + tank + recycled water)	9.5	Water saving (kL/year)	212.9

Stormwater FLOW Calculations - Swinburne Method

This section outlines rational method calculations for On Site Detention (OSD) and Site Storage Requirements (SSR)

Permissible Site Discharge (PSD) Calculations

Calculated PSD	15.4
PSD Override Value Used	

Site Storage Calculations

	Climate Change Uplift Factor 16.3%
Preliminary On Site Detention (OSD) tank size required estimate (m ³)	28.52 Swinburne Method Pipe formula
OSD and storages* provided (m ³)	28.5 <small>Includes storages: rainwater tank retention allowance, rainwater tank detention, and additional added storage volumes</small>
Additional detention / retention volume required (m ³)	0.0
Base case (pre-development) fraction impervious (ratio)	0.20
Base case runoff coefficient	0.21
Post development total impervious area (in hectares)	0.2888
Post development fraction impervious (ratio)	0.68
Post development runoff coefficient	0.625
Pre-development design storm	5% AEP (~1 in 20 ARI) - default industrial
Post development detention required	5% AEP (~1 in 20 ARI) - default industrial
Critical Storm Duration - the Catchment time of concentration – Tc(catchment) in minutes	10
Rainfall Depth (mm) for Critical Storm Duration - Tc(catchment)	7.25
Rainfall intensity - i at Tc(catchment) (mm/h)	43.500
Travel time from discharge point to catchment outlet (min) - Tcs	10.0
Rainfall Depth (mm) for Tcs - (IFD at Tcs)	8.98
Rainfall intensity - i at tc(site) (mm/h)	53.88

OSD tank flow restrictor orifice diameter = 86 mm

Detention Calculator - Site Storage Requirement (SSR)

Storm Duration (mins)	Rainfall Depth (mm)	Stored Volume (m ³)
5		
7.5		
10		
12.5		
15		
20		
30		
40		
60		

About In-Site Water

This report is generated by user inputs from the toolkit at InSite Water. In-Site water is an online Integrated Water Management tool designed for use on smaller sites (less than 2 hectares) in Australia that need quick and accurate stormwater engineering answers. InSite water is simple to use but provides robust stormwater design and engineering answers.

This report includes outputs from the InSite tool that has investigated:

- water tank sizing
- detention tank sizing
- water savings through efficiency
- water WSUD treatments such as raingardens

For enquiries, contact us through www.insitewater.com.au

Disclaimer

This guide is of a general nature only. Advice from a suitably qualified professional should be sought for your particular circumstances. Depending on each unique situation, there may be occasions where compliance is not achieved.

This report does not provide a detailed design and layout for the piping and general drainage system in your development, which should be prepared by a suitably qualified professional. In addition, InSite Water does not consider compliance for slope stability or foundation / slab / footing protection, which needs to come from a qualified geotechnical or structural engineer.

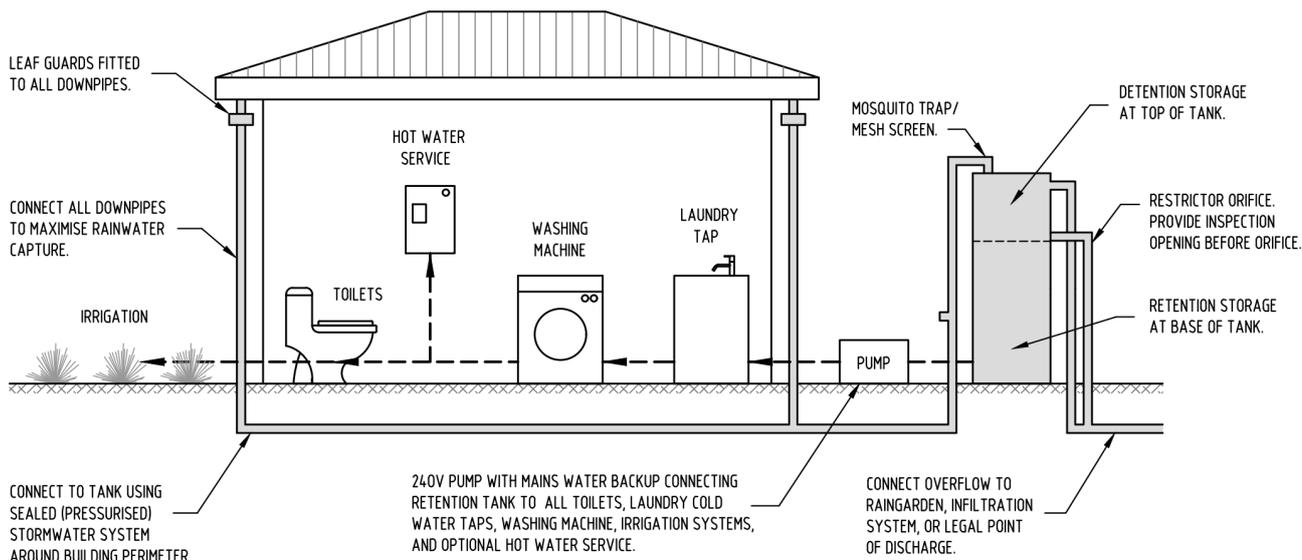
The following is outside the scope of InSite Water, however it is critical that all designers consider the following in drainage design and in using Water Sensitive Urban Design (WSUD) devices and approaches:

- *Manage expectations and risks around occasional surface water and ponding.*
- *Ensure that uncontrolled stormwater does not flow over property boundaries or otherwise cause a nuisance.*
- *Plan for major flood pathways – locate buildings away from, adapt (raise floors above predicted flood levels) and defend buildings against potential major flooding.*
- *Seek professional advice to reduce damage and safety risks.*
- *Design for local conditions such as vegetation, topography and soils (soil type, reactivity, permeability, water table level, salinity, dispersiveness, acid sulphate soils, contaminated land etc).*
- *Ensure that soil moisture and building clearance is considered in areas of reactive clays or where varying soil moisture levels could damage buildings or other infrastructure.*
- *For steeper sites, ensure the design includes geotechnical considerations such as slope stability with varying soil saturation levels.*
- *Ensure that a Stormwater Risk Assessment and Environmental Management Plan is undertaken for sites that pose a pollution risk.*
- *Ensure that a Construction Environmental Management Plan (CEMP) is implemented to control sediments and reduce stormwater pollution during construction.*
- *Compliance with ARR 2019, Australian Rainfall and Runoff: A Guide to Flood Estimation <http://arr.ga.gov.au/>*
- *Compliance with NCC plumbing and building standards.*
- *Compliance with AS/NZS 3500.*
- *Compliance with EPA and other environmental regulations.*
- *Compliance with other relevant Australian Standards, regulations and Council requirements.*

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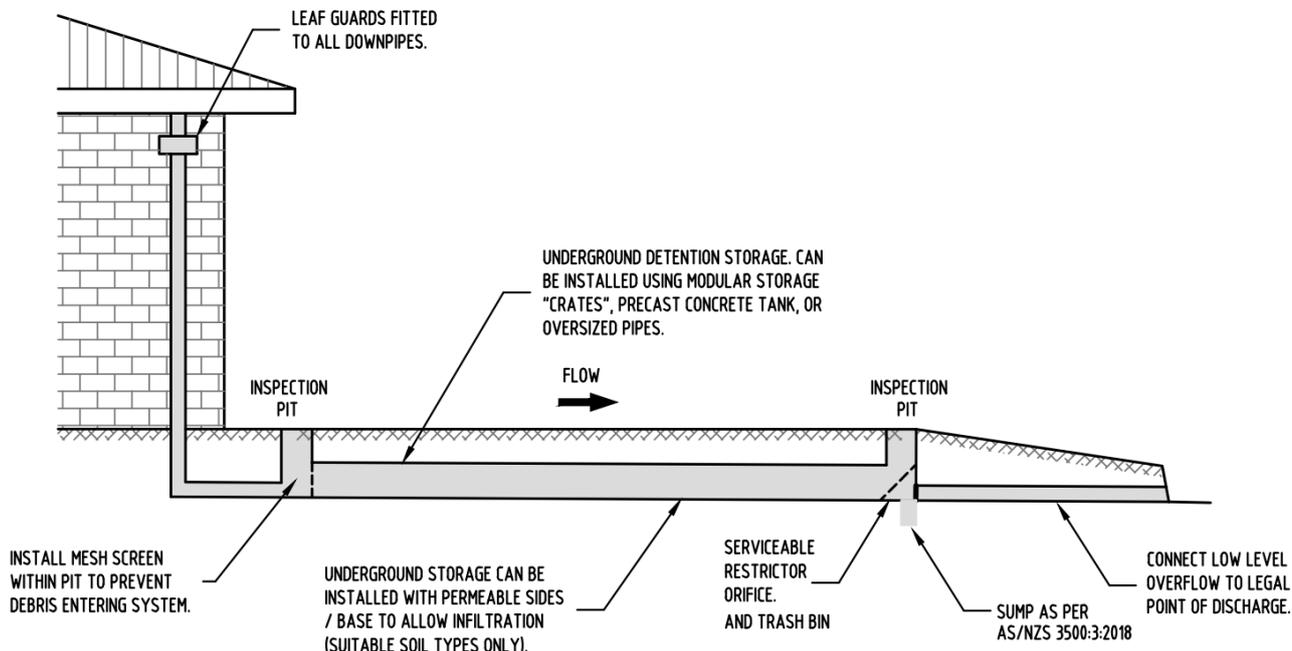
Appendix A: attach further details for this project (if applicable):



RETENTION TANK RETICULATION DETAIL

N.T.S.
 NOTE: THE DESIGN AND INSTALLATION OF ALL STORMWATER SYSTEMS SHALL COMPLY WITH AS/NZS 3500.3:2018 "STORMWATER DRAINAGE".

Above: treatment drawing (draft for planning approvals only: not for construction, not to scale)



UNDERGROUND DETENTION SYSTEM

N.T.S.
 NOTE: THE DESIGN AND INSTALLATION OF ALL STORMWATER SYSTEMS SHALL COMPLY WITH AS/NZS 3500.3:2018 "STORMWATER DRAINAGE".

Above: treatment drawing (draft for planning approvals only: not for construction, not to scale)

Amended Submission to Planning Authority Notice

Application details

Council Planning Permit No.	DA 2024/237
Council notice date	19/12/2024
TasWater Reference No.	TWDA 2024/01477-BTN
Date of response	10/01/2025
Date amended	28/02/2025
TasWater Contact	Al Cole
Phone No.	0439605108

Response issued to

Council name	BRIGHTON COUNCIL
Contact details	development@brighton.tas.gov.au

Development details

Address	72 ELDERSLIE RD, BRIGHTON
Property ID (PID)	9768097
Description of development	Multiple Dwellings x 13

Schedule of drawings/documents

Prepared by	Drawing/document No.	Revision No.	Issue date
MinD	Site Plan	2	22/02/2025

Conditions

Pursuant to the *Water and Sewerage Industry Act 2008* (TAS) Section 56P(1) TasWater imposes the following conditions on the permit for this application:

CONNECTIONS, METERING & BACKFLOW

1. A suitably sized water supply with metered connections and sewerage system and connections to the development must be designed and constructed to TasWater's satisfaction and be in accordance with any other conditions in this permit.

Advice: TasWater will not accept direct fire boosting from the network unless it can be demonstrated that the periodic testing of the system will not have a significant negative

effect on our network and the minimum service requirements of other customers serviced by the network. To this end break tanks may be required with the rate of flow into the break tank controlled so that peak flows to fill the tank do not also cause negative effect on the network.

2. Any removal/supply and installation of water meters and/or the removal of redundant and/or installation of new and modified property service connections must be carried out by TasWater at the developer's cost.

Advice: The sewer property connection will need to be upsized to minimum DN150 in accordance with MRWA-S-Table 104A

3. Prior to commencing construction/use of the development, any water connection utilised for construction/the development must have a backflow prevention device and water meter installed, to the satisfaction of TasWater.

DEVELOPER CHARGES

4. Prior to TasWater issuing a Certificate(s) for Certifiable Work (Building) and/or (Plumbing), the applicant or landowner as the case may be, must pay a developer charge totalling \$14,758.80 to TasWater for water infrastructure for 8.4 additional Equivalent Tenements, indexed by the Consumer Price Index All groups (Hobart) from the date of this Submission to Planning Authority Notice until the date it is paid to TasWater.
5. Prior to TasWater issuing Certificate(s) for Certifiable Work (Building) and/or (Plumbing), the applicant or landowner as the case may be, must pay a developer charge totalling \$18,887.75 to TasWater for sewerage treatment infrastructure for 10.75 additional Equivalent Tenements, indexed by the Consumer Price Index All groups (Hobart) from the date of this Submission to Planning Authority Notice until the date it is paid to TasWater.
6. In the event Council approves a staging plan, prior to TasWater issuing a Certificate(s) for Certifiable Work (Building) and/or (Plumbing) for each stage, the developer must pay the developer charges commensurate with the number of Equivalent Tenements in each stage, as approved by Council.

DEVELOPMENT ASSESSMENT FEES

7. The applicant or landowner as the case may be, must pay a development assessment fee of \$775.39 to TasWater, as approved by the Economic Regulator and the fee will be indexed, until the date paid to TasWater.

The payment is required within 30 days of the issue of an invoice by TasWater.

In the event Council approves a staging plan, a Consent to Register a Legal Document fee for each stage, must be paid commensurate with the number of Equivalent Tenements in each stage, as approved by Council.

Advice

General

For information on TasWater development standards, please visit

<https://www.taswater.com.au/building-and-development/technical-standards>

For application forms please visit

<https://www.taswater.com.au/building-and-development/development-application-form>

Developer Charges

For information on Developer Charges please visit the following webpage –
<https://www.taswater.com.au/building-and-development/developer-charges>

Water Submetering

As of July 1 2022, TasWater’s Sub-Metering Policy no longer permits TasWater sub-meters to be installed for new developments. Please ensure plans submitted with the application for Certificate(s) for Certifiable Work (Building and/or Plumbing) reflect this. For clarity, TasWater does not object to private sub-metering arrangements. Further information is available on our website (www.taswater.com.au) within our Sub-Metering Policy and Water Metering Guidelines.

Service Locations

Please note that the developer is responsible for arranging to locate the existing TasWater infrastructure and clearly showing it on the drawings. Existing TasWater infrastructure may be located by a surveyor and/or a private contractor engaged at the developers cost to locate the infrastructure.

- (a) A permit is required to work within TasWater’s easements or in the vicinity of its infrastructure. Further information can be obtained from TasWater.
- (b) TasWater has listed a number of service providers who can provide asset detection and location services should you require it. Visit <https://www.taswater.com.au/building-and-development/service-locations> for a list of companies.
- (c) Sewer drainage plans or Inspection Openings (IO) for residential properties are available from your local council.

Advice to Planning Authority (Council) and developer on fire coverage

TasWater cannot provide a supply of water for the purposes of firefighting to the entirety of the lot on the plan.

Declaration

The drawings/documents and conditions stated above constitute TasWater’s Submission to Planning Authority Notice.