



Application for Planning Approval

Land Use Planning and Approvals Act 1993

APPLICATION NO.

DA2024/151

LOCATION OF AFFECTED AREA

5 WOODRIEVE ROAD, BRIDGEWATER

DESCRIPTION OF DEVELOPMENT PROPOSAL

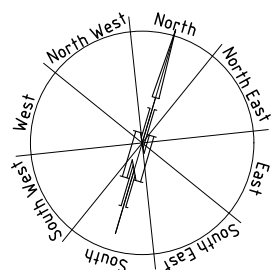
STORAGE FACILITIES (22 UNITS)

A COPY OF THE DEVELOPMENT APPLICATION MAY BE VIEWED AT www.brighton.tas.gov.au AND AT THE COUNCIL OFFICES, 1 TIVOLI ROAD, OLD BEACH, BETWEEN 8:15 A.M. AND 4:45 P.M, MONDAY TO FRIDAY OR VIA THE QR CODE BELOW. ANY PERSON MAY MAKE WRITTEN REPRESENTATIONS IN ACCORDANCE WITH S.57(5) OF THE LAND USE PLANNING AND APPROVALS ACT 1993 CONCERNING THIS APPLICATION UNTIL 4:45 P.M. ON **06/05/2025**. ADDRESSED TO THE CHIEF EXECUTIVE OFFICER AT 1 TIVOLI ROAD, OLD BEACH, 7017 OR BY EMAIL AT development@brighton.tas.gov.au. REPRESENTATIONS SHOULD INCLUDE A DAYTIME TELEPHONE NUMBER TO ALLOW COUNCIL OFFICERS TO DISCUSS, IF NECESSARY, ANY MATTERS RAISED.

JAMES DRYBURGH
Chief Executive Officer



Brighton
going places



DEVELOPMENT DRAWINGS ONLY
NOT FOR CONSTRUCTION

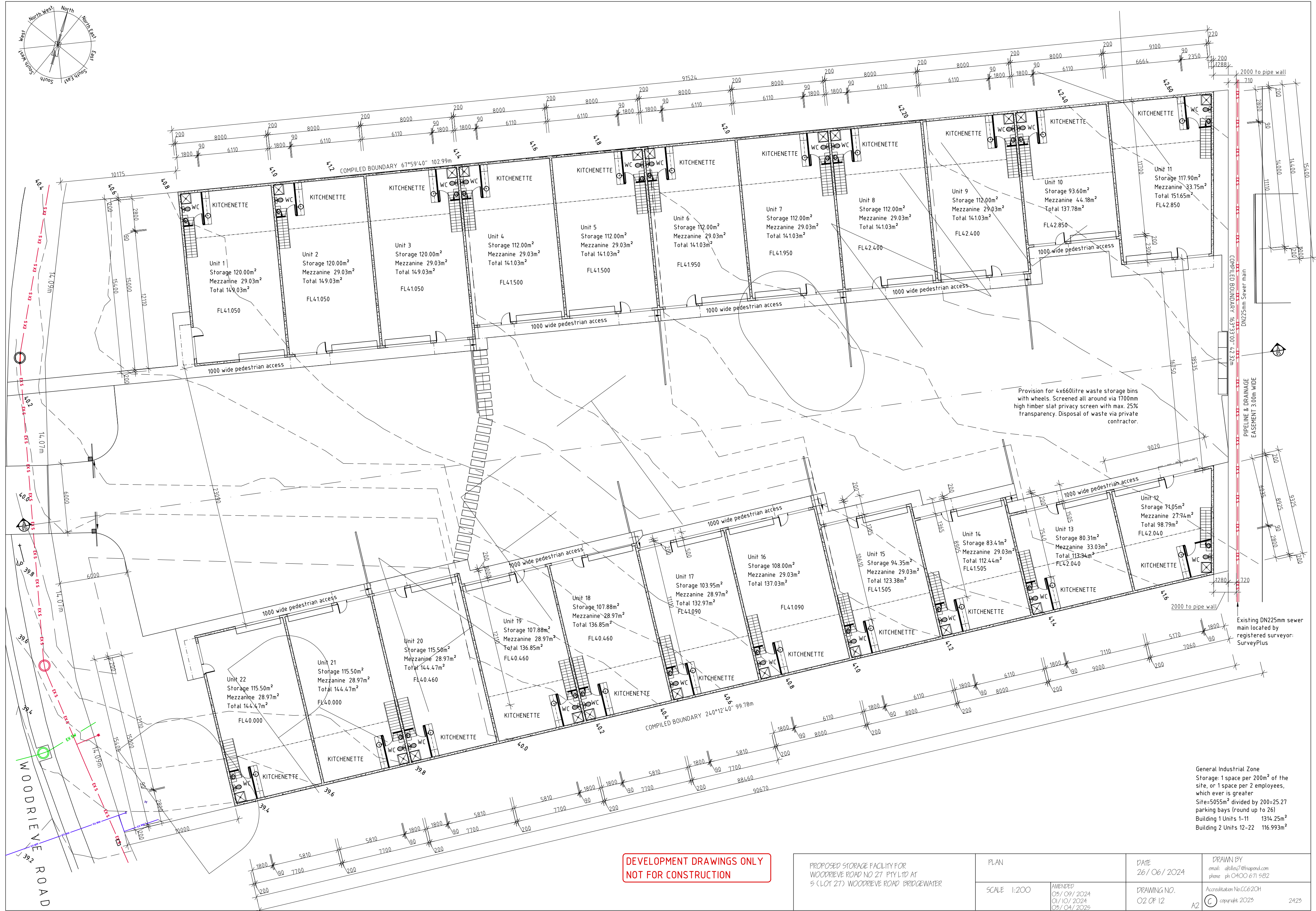
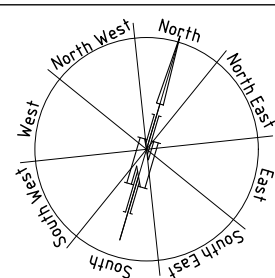
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 - 2. Plan
 - 3. Plan
 - 4. Elevations
 - 5. Elevations
 - 6. Landscape Plan
 - 7. Driveway Plan
 - 8. Vehicle Turning Plan 1
 - 9. Vehicle Turning Plan 2
 - 10. Vehicle Turning Plan 3
 - 11. Vehicle Turning Plan 4
 - 12. Stormwater Concept Plan

Address: Lot 27 Woodrrieve Road, Bridgewater (CT 180123/27)
Site Area: Approximately 5028 m2

Building type: Commercial
Services: Mains water and sewer
Planning Overlays: Bushfire Prone Areas

Slope: Approximately 3° to the SW
Site coverage 2695.60m²: 53.61%

PROPOSED STORAGE FACILITY FOR WOODRIVIE ROAD NO 27 PTY LTD AT 5 (LOT 27) WOODRIVIE ROAD BRIDGEWATER	SITE PLAN		DATE 26/06/2024	DRAWN BY email: gillan7@bigpond.com phone: ph 0400 671 582 Accreditation No. CC620H copyright 2025
	SCALE 1:200	AMENDED 01/10/2024 05/04/2025	DRAWING NO. 01 OF 12	



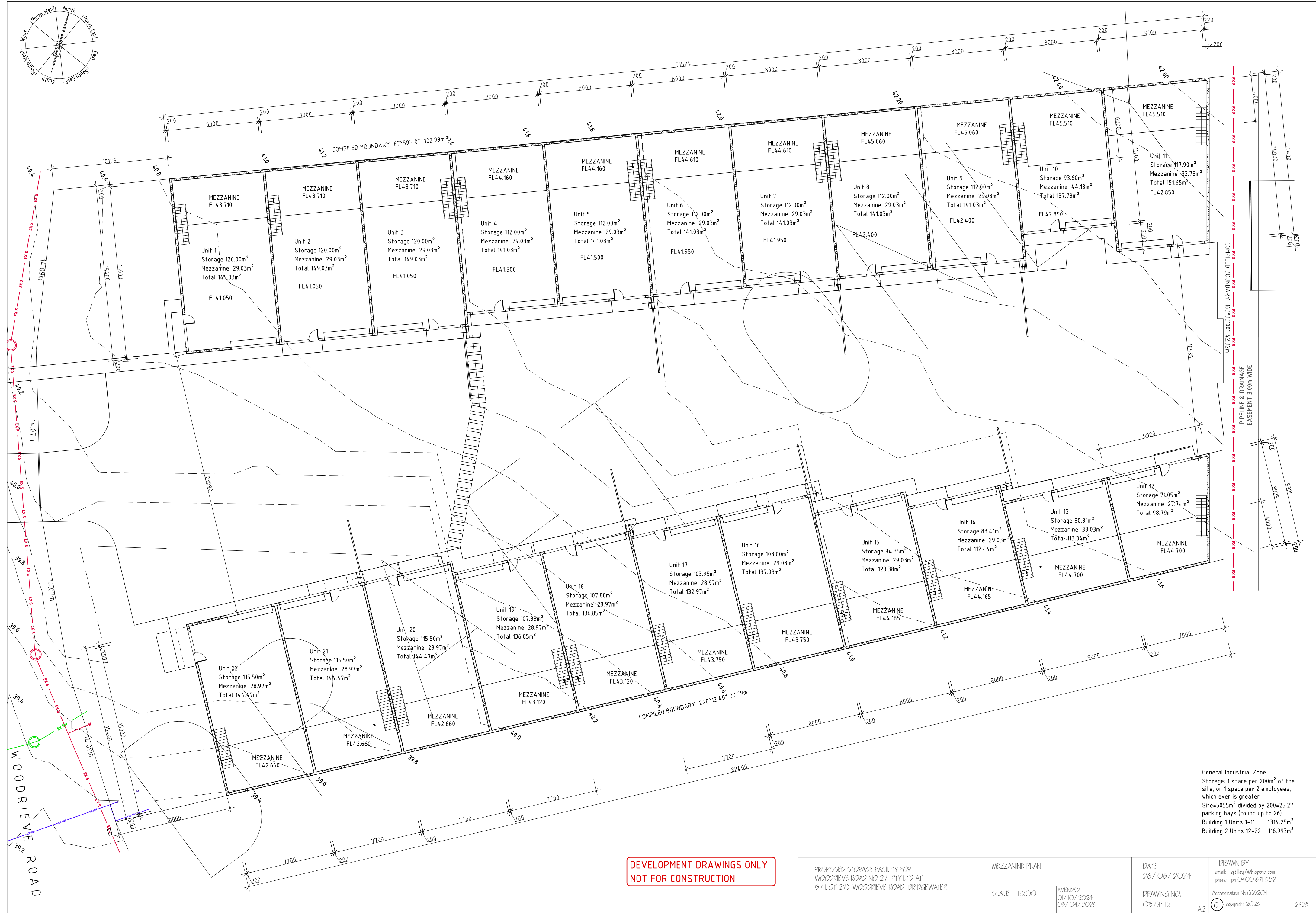
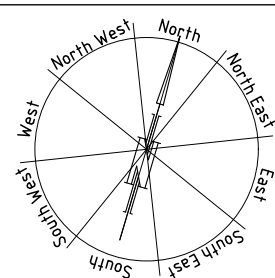
Provision for 4x60litre waste storage bins with wheels. Screened all around via 1700mm high timber slat privacy screen with max. 25% transparency. Disposal of waste via private contractor.

General Industrial Zone
Storage: 1 space per 200m² of the site, or 1 space per 2 employees, which ever is greater
Site=5055m² divided by 200=25.27 parking bays (round up to 26)
Building 1 Units 1-11 1314.25m²
Building 2 Units 12-22 116.993m²

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PROPOSED STORAGE FACILITY FOR
WOODRIVE ROAD NO 27 PTY LTD AT
5 (LOT 27) WOODRIVE ROAD BRIDGEWATER

PLAN	DATE 26/06/2024	DRAWN BY email: dklau7@bigpond.com phone: 0400 671 582
SCALE 1:200	AMENDED 09/09/2024 01/10/2024 05/04/2025	DRAWING NO. 02 OF 12 A2



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PROPOSED STORAGE FACILITY FOR
WOODRIVE ROAD NO 27 PTY LTD AT
5 (LOT 27) WOODRIVE ROAD BRIDGEWATER

MEZZANINE PLAN

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01/10/2024
05/04/2025

DATE
26/06/2024

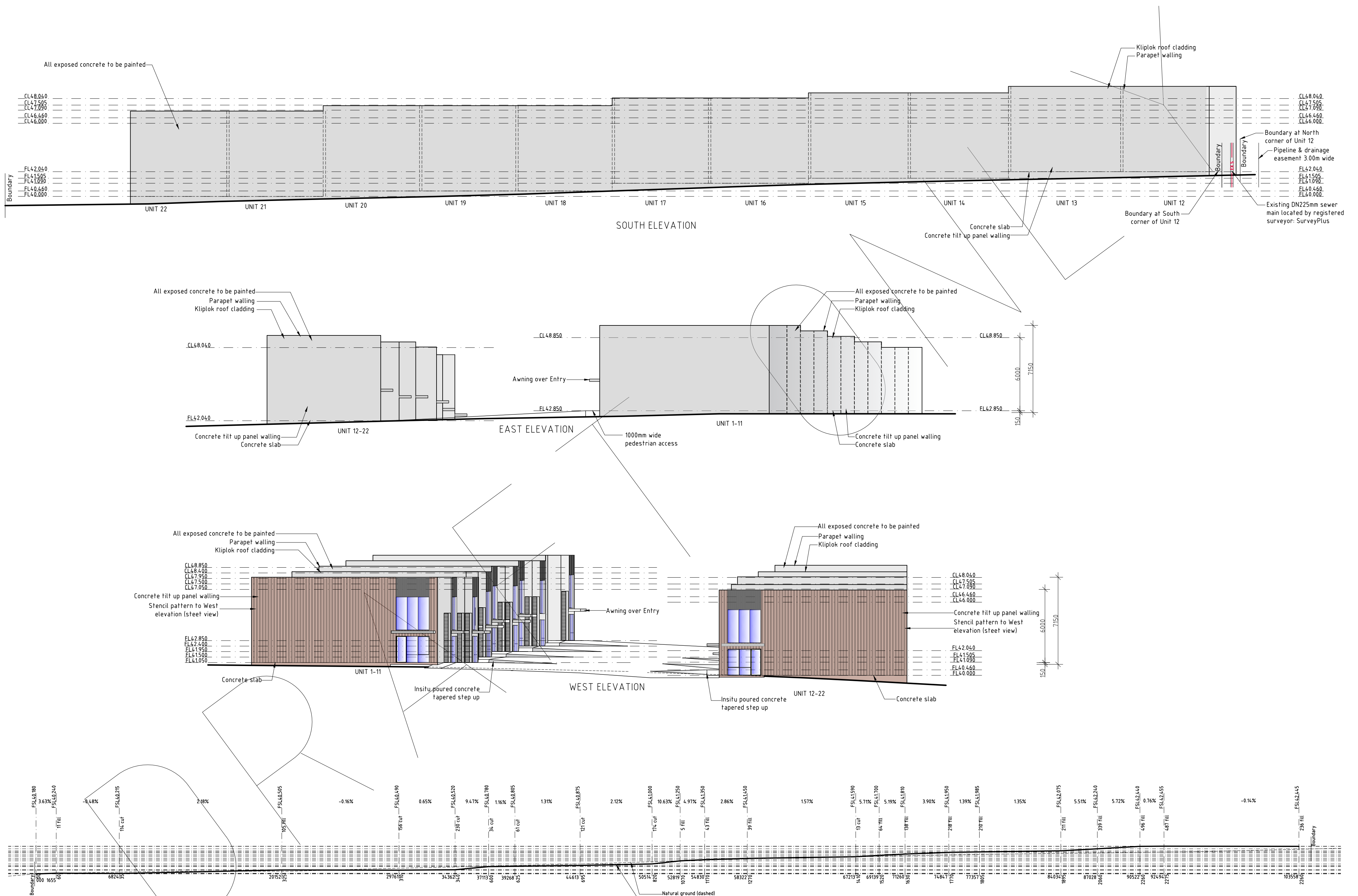
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phone: ph 0400 671 582

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2425

General Industrial Zone
Storage: 1 space per 200m² of the
site, or 1 space per 2 employees,
which ever is greater
Site=5055m² divided by 200=25.27
parking bays (round up to 26)
Building 1 Units 1-11 1314.25m²
Building 2 Units 12-22 116.993m²



DRIVEWAY LONG SECTION
SCALE 1:200

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PROPOSED STORAGE FACILITY FOR
WOODRIVE ROAD NO 27 PTY LTD AT
5 (LOT 27) WOODRIVE ROAD BRIDGEWATER

ELEVATIONS AND DRIVEWAY LONG SECTION

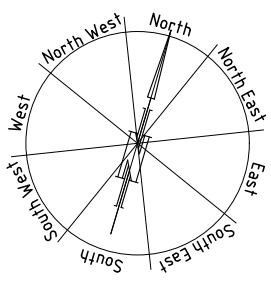
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01/10/2024
05/04/2025

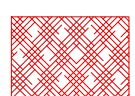
DATE
26/06/2024
DRAWING NO.
05 OF 12

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Impervious surface 4610.64m² divide
by 5028m² = 90.73%
Pervious surface 471.36m² divide
by 5082m² = 9.27%



Mulched garden

1800 high black chain wire fencing to street
boundary.
Driveway entry sliding gate with keypad entry

COMPILED BOUNDARY 67°59'40" 102.99m

Min 50% ground coverage
with assorted perennials
and shrubs

1000 wide pedestrian access

Natural coloured brushed
finish paving slab to
driveway and parking area

Pedestrian gate

Max 1.2m x 3.6m high non
illuminated signage

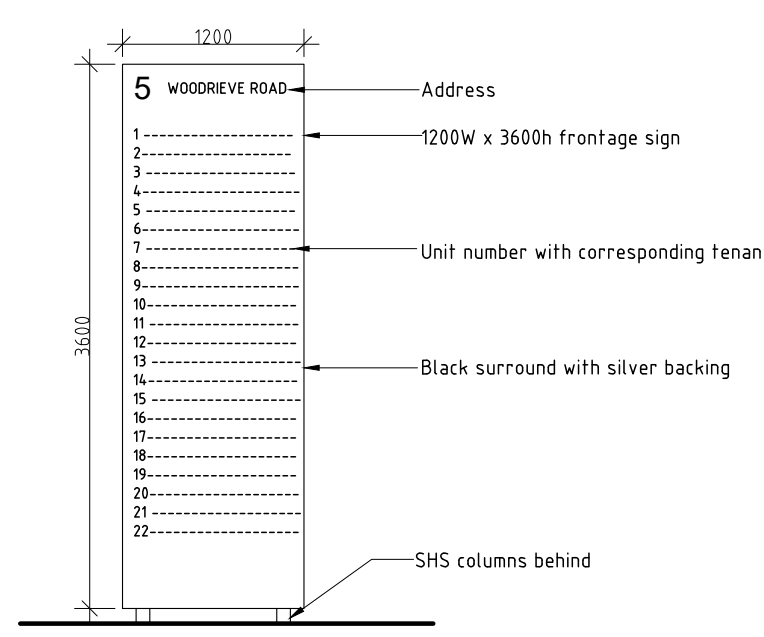
SHRUBS AND GROUNDCOVERS
Mass planting to assist in building presentation to
the streetscape and to provide visual amenity;
Refer Proposed Planting Schedule
Automatic sliding gates
Key pad on post

LARGE FEATURE SHADE TREE
Large canopied rounded tree species to provide
shade, visual amenity and landscape softening of
the proposed storage facility;
Refer Proposed Planting Schedule
Min 6m landscape buffer

Min 50% ground coverage
with assorted perennials
and shrubs

1800 high black chain wire fencing to street
boundary.
Driveway entry sliding gate with keypad entry

Provision for 4x660litre waste storage bins
with wheels. Screened all around via 1700mm
high timber slat privacy screen with max. 25%
transparency. Disposal of waste via private
contractor.



FRONTAGE SIGN
SCALE 1:50

	Species	Common name	Pot size	Spacing(m)	Height(m)	Width(m)
1.0	Ginkgo biloba Princeton Sentry	Maidenhair Tree	45L	as shown	8	3
2.0	Dianella revoluta Revelation	Dianella	200mm	0.4	0.5	0.5

Plant list as derived from the Brighton Council's Planting Guidelines

https://www.brighton.tas.gov.au/wp-content/uploads/2019/05/FINAL_Brighton-Street-Tree-Strategy.pdf

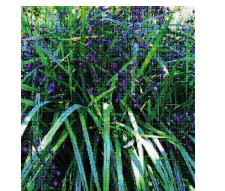
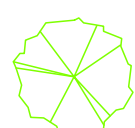
<https://www.brightonco.gov/DocumentCenter/View/376/Shrub-and-perennial--List-For-Brighton---2010?bidld=>

https://www.pofn.com.au/planf_list_Suburban.htm

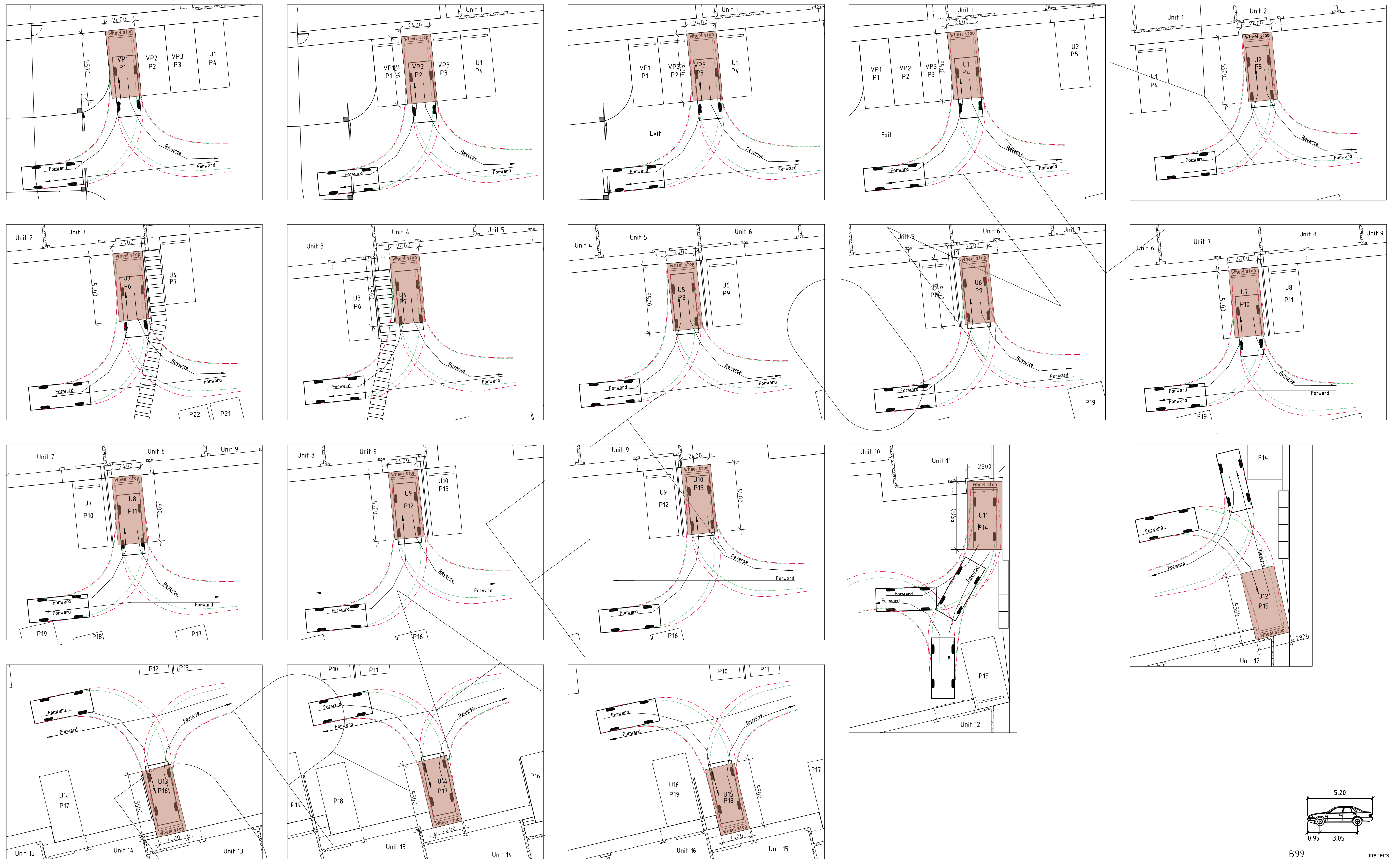
The spacing of plants shown on plan have been derived as a compromise
between growth rate, anticipated size, and the ability to provide a good
vegetative cover within a reasonable space of time.

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PROPOSED STORAGE FACILITY FOR WOODRIEVE ROAD NO 27 PTY LTD AT 5 (LOT 27) WOODRIEVE ROAD BRIDGEWATER	LANDSCAPE PLAN		DATE 26/06/2024	DRAWN BY email: gillray7@bigpond.com phone: ph 0400 671 582 Accreditation No. CC620H copyright 2025
	SCALE 1:200	AMENDED 01/10/2024 05/04/2025 14/04/2025	DRAWING NO. 06 OF 12	



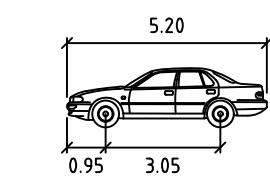
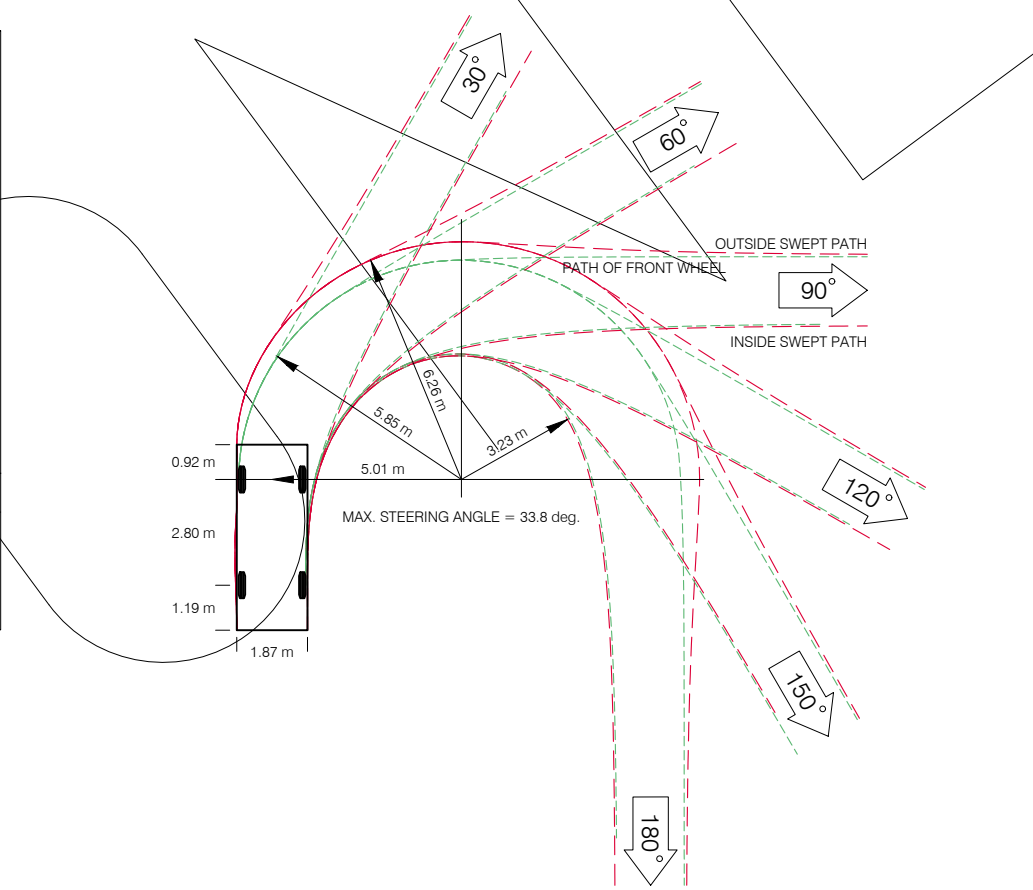
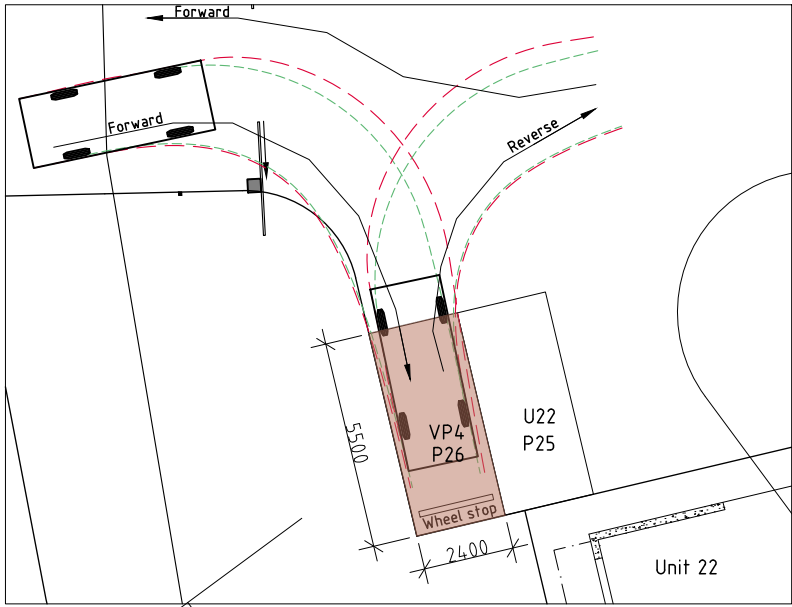
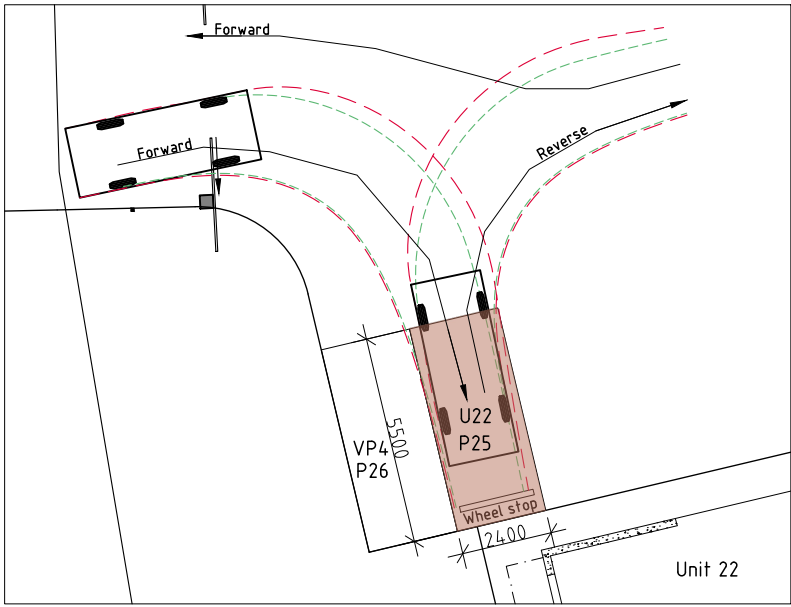
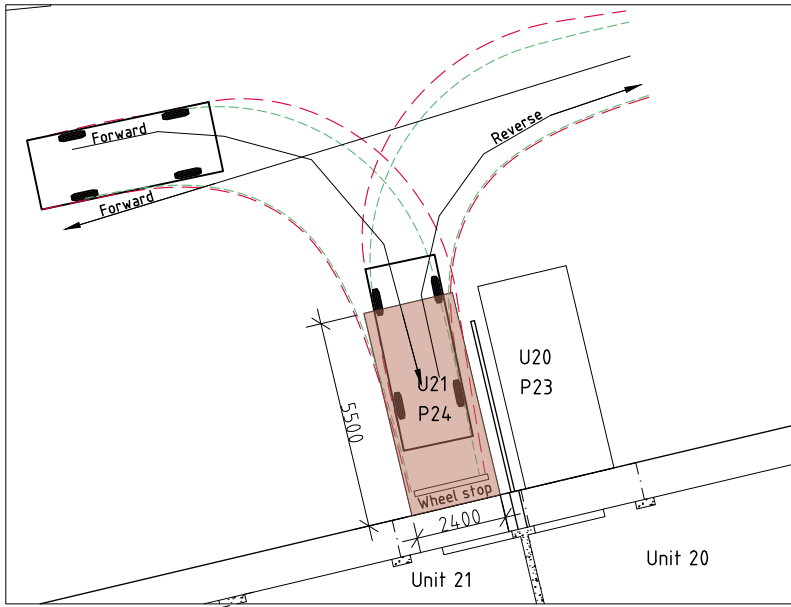
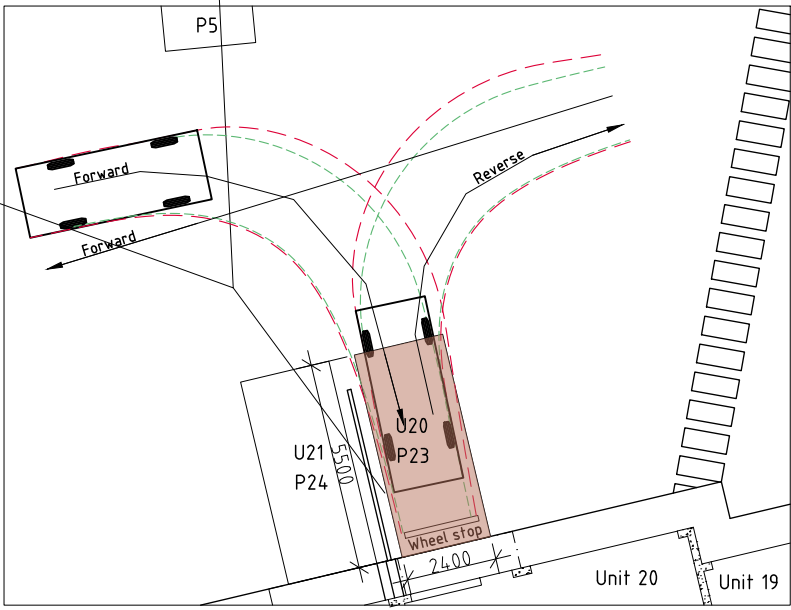
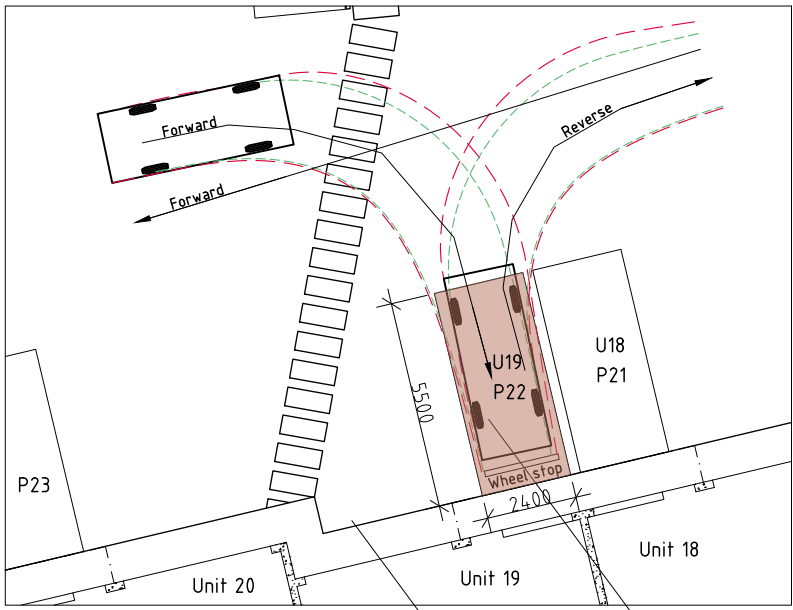
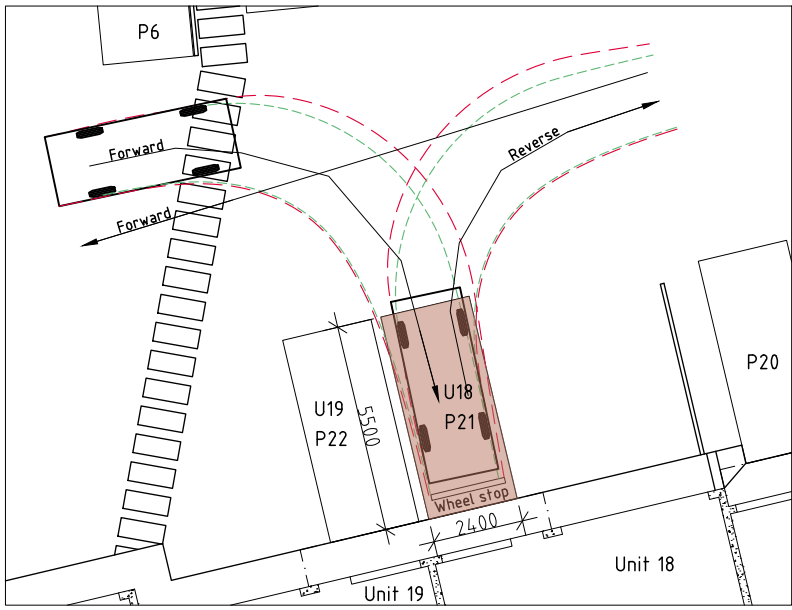
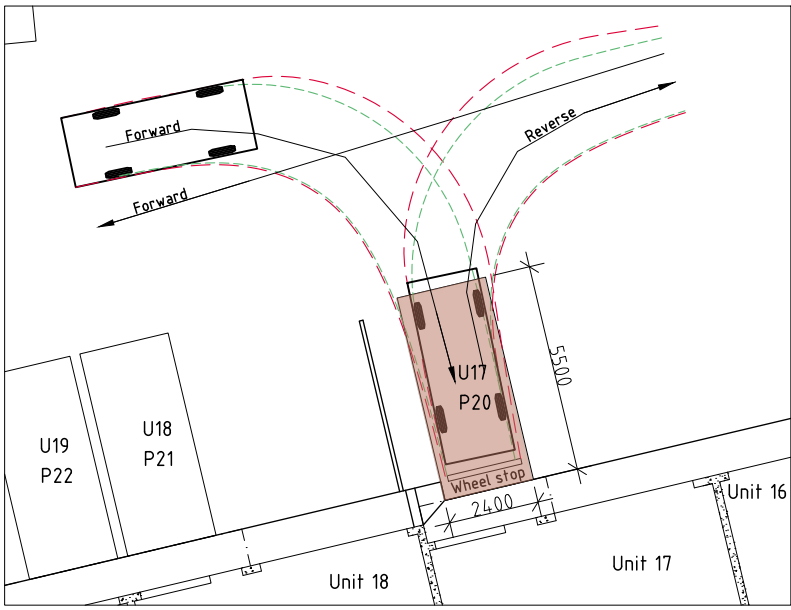
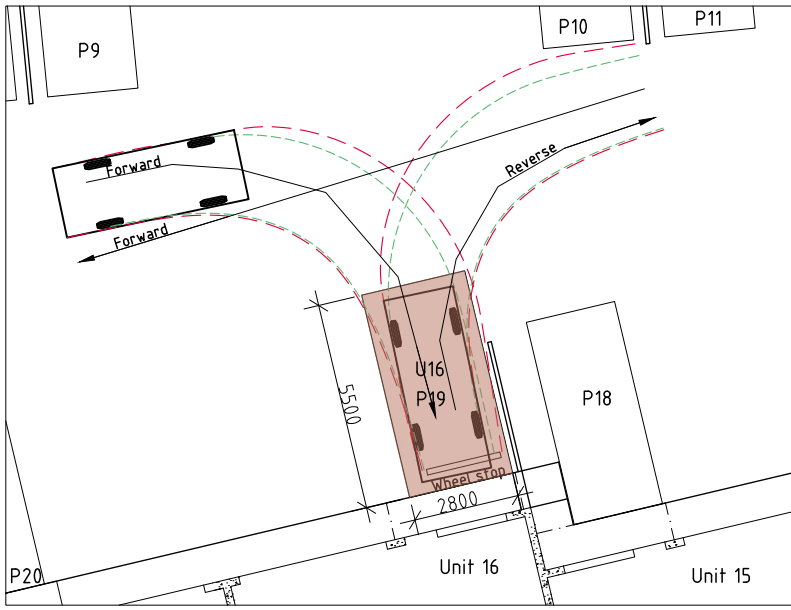




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PROPOSED STORAGE FACILITY FOR WOODRIVE ROAD NO 27 PTY LTD AT 5 (LOT 27) WOODRIVE ROAD BRIDGEWATER	VEHICLE TURNING PLANS		DATE 26/06/2024	DRAWN BY email: gillan7@bigpond.com phone: 0400 671 582
	SCALE 1:200	AMENDED 01/10/2024 05/04/2025	DRAWING NO. 08 OF 12	Accreditation No. CC6204 copyright 2025 2425

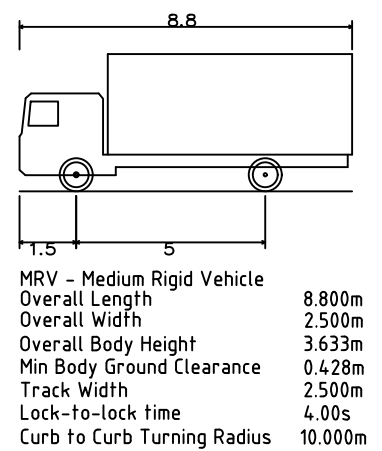
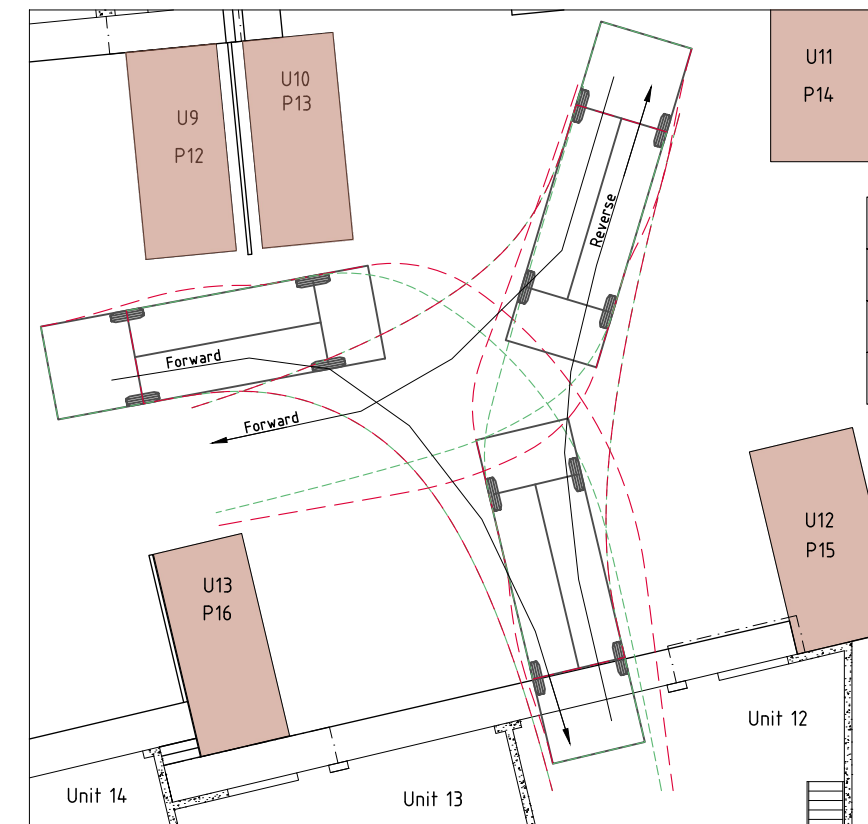
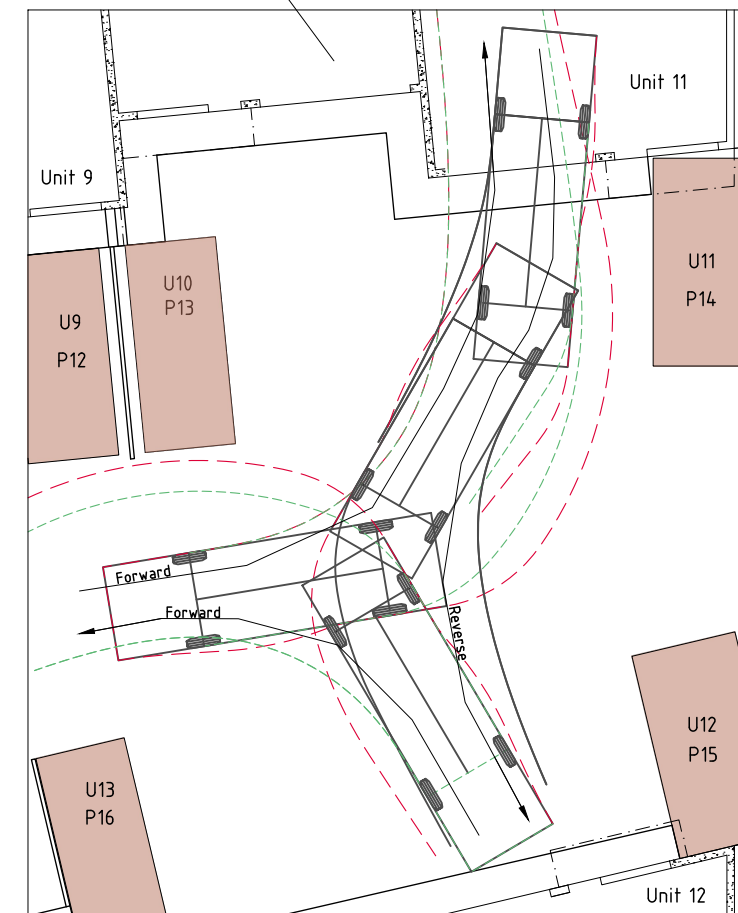
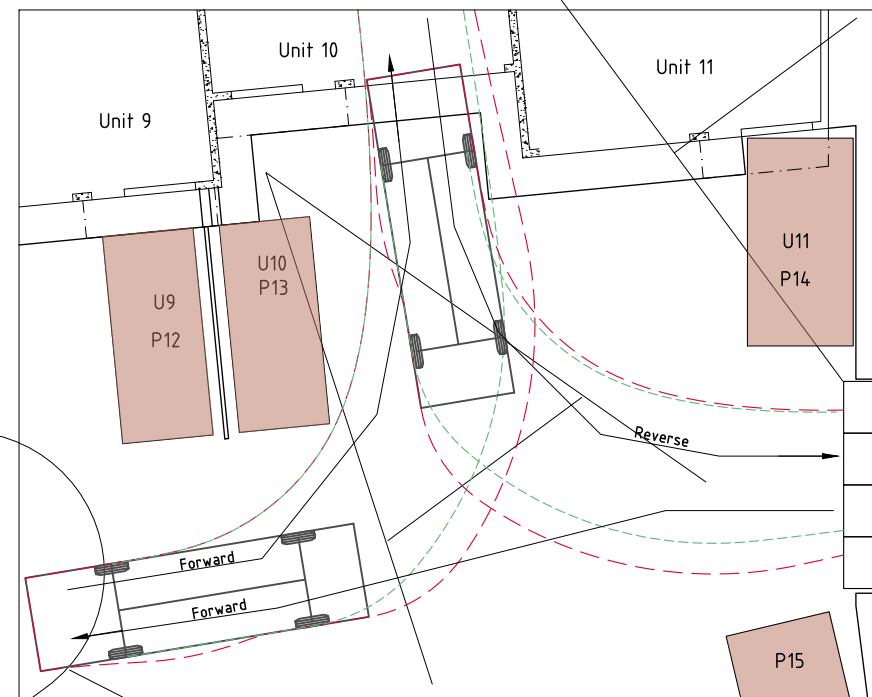
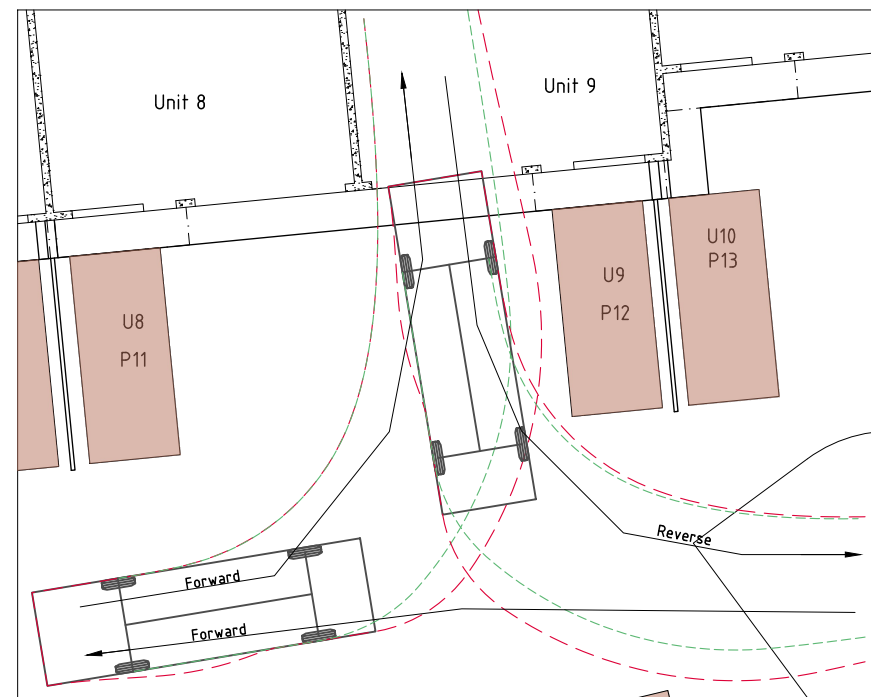
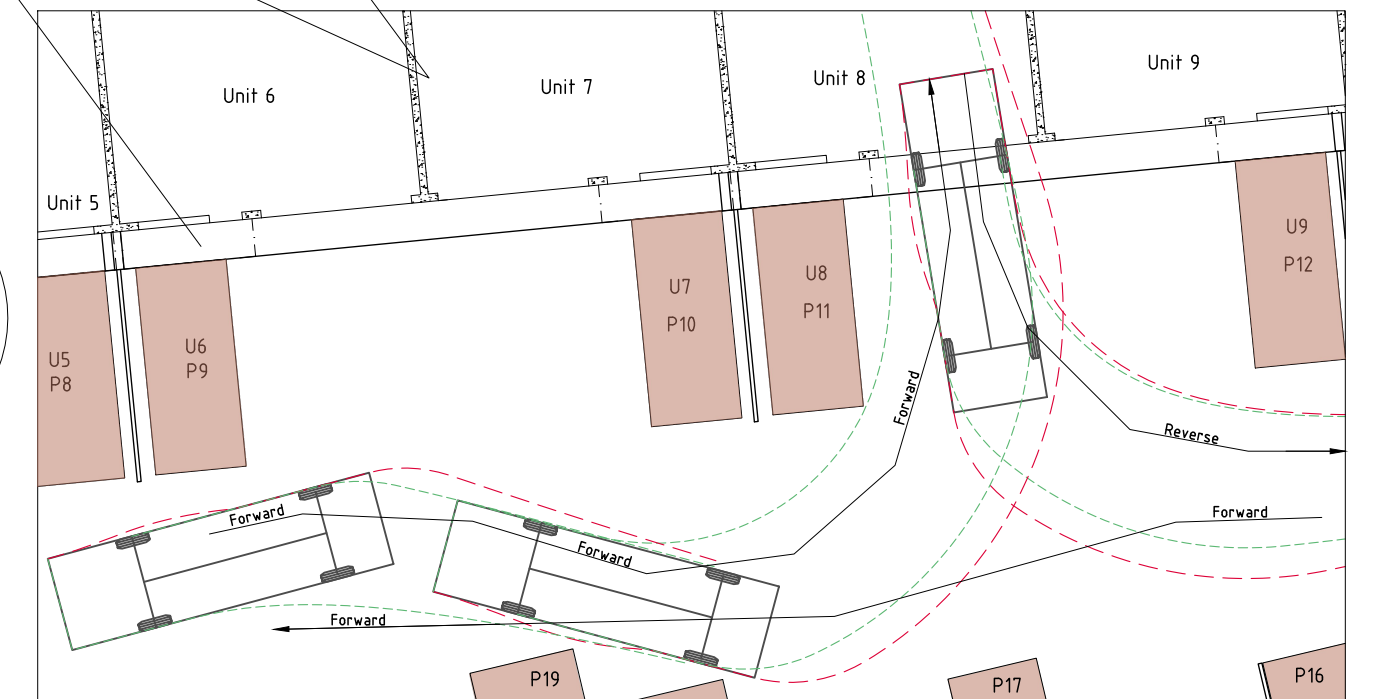
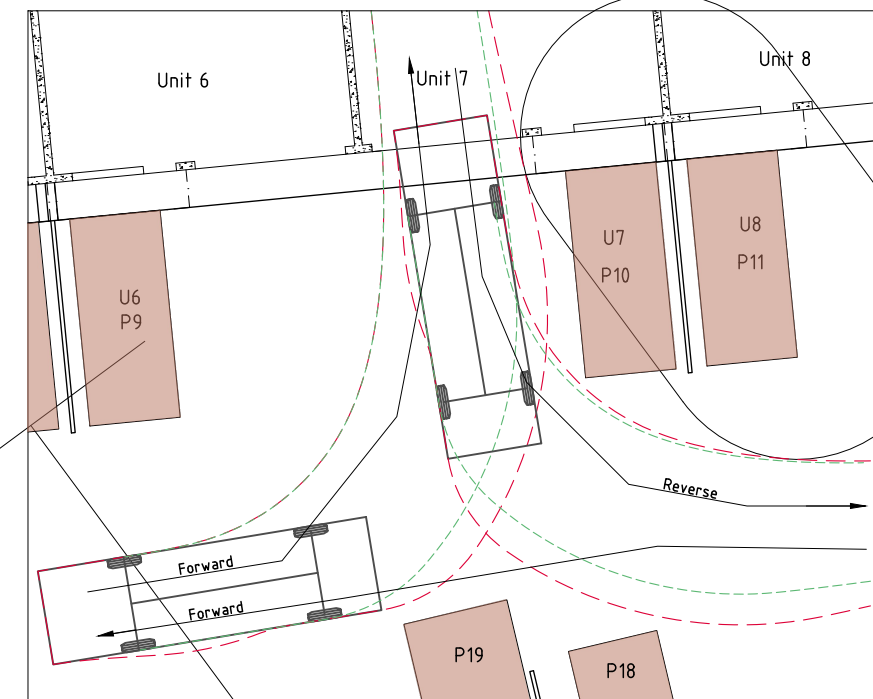
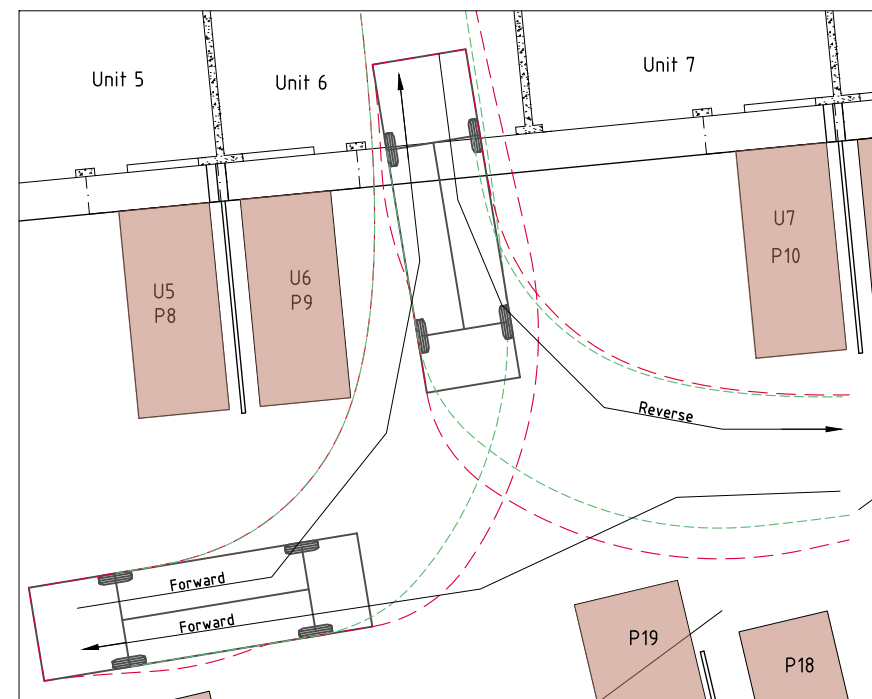
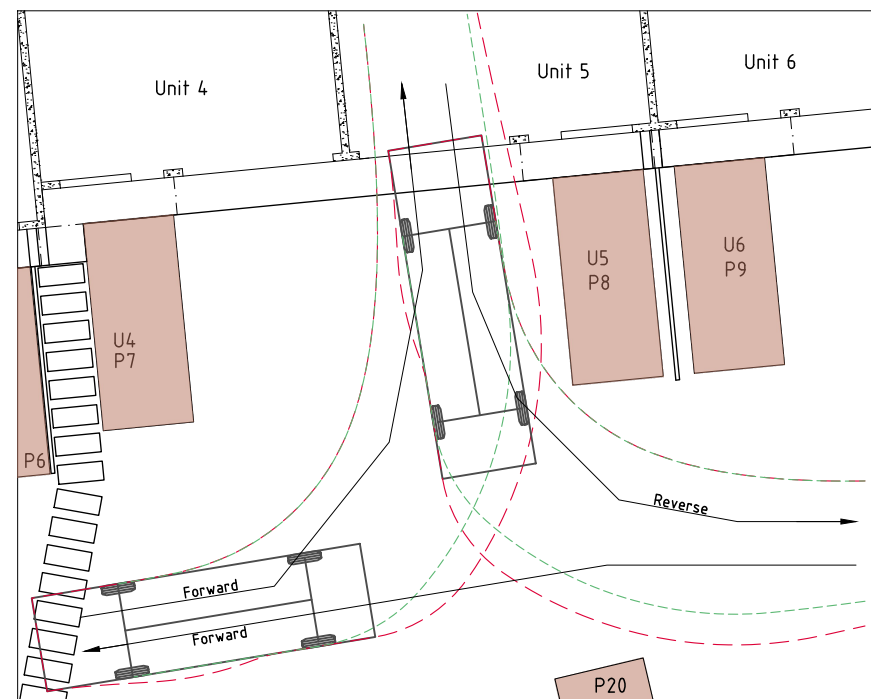
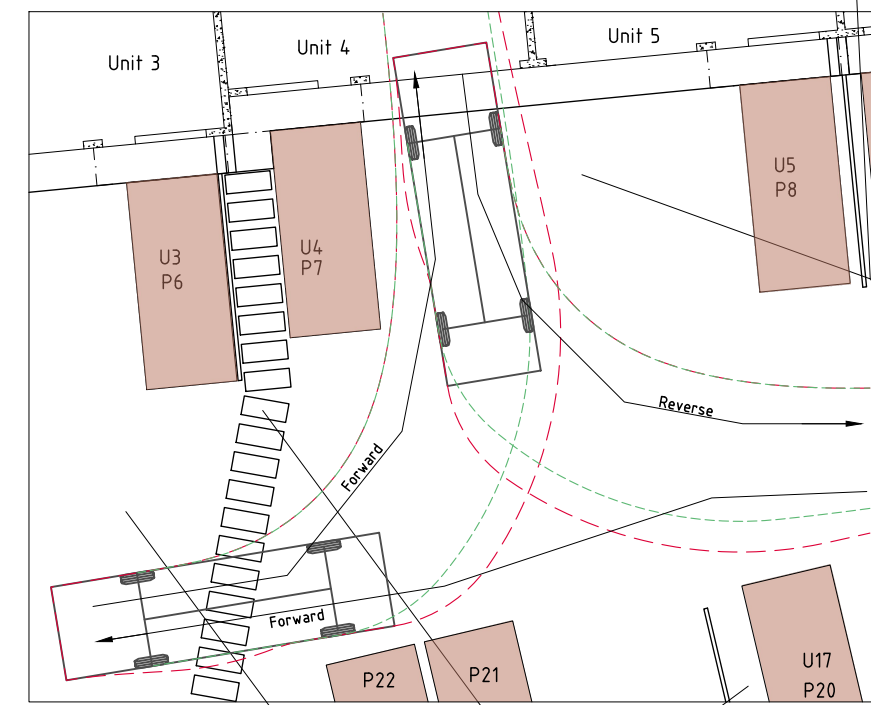
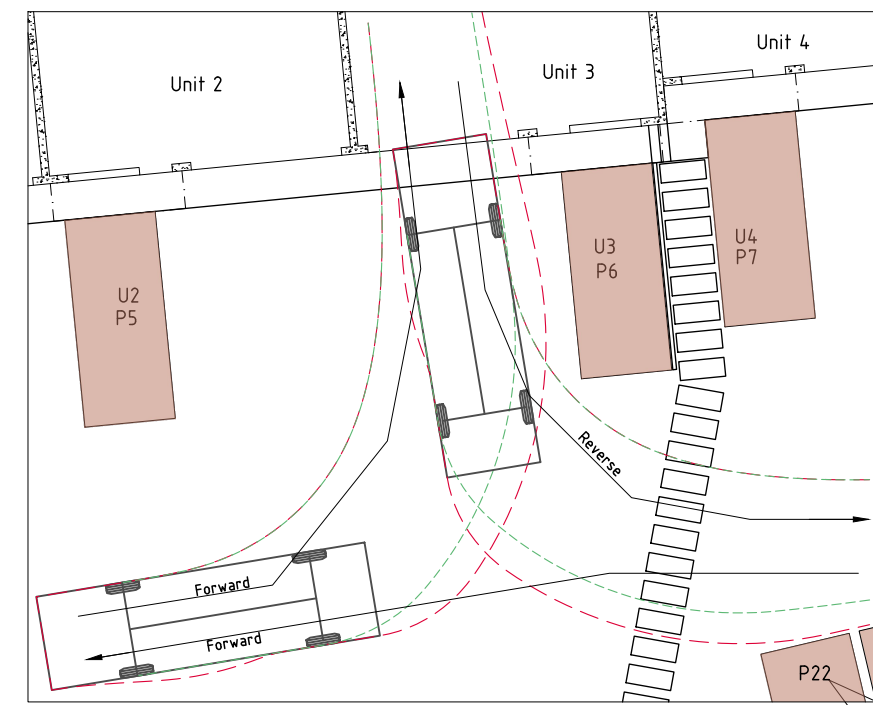
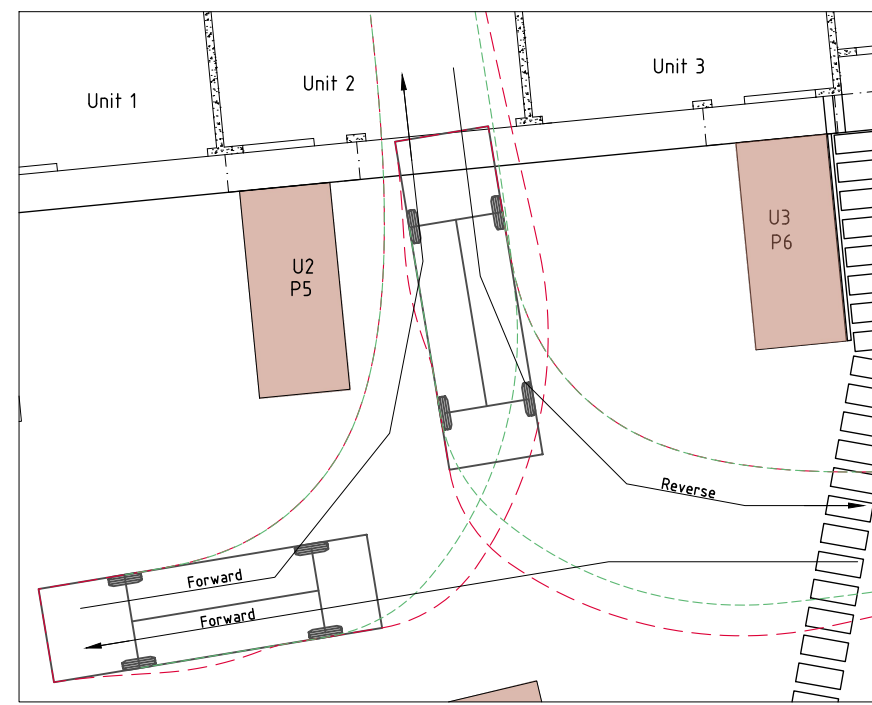
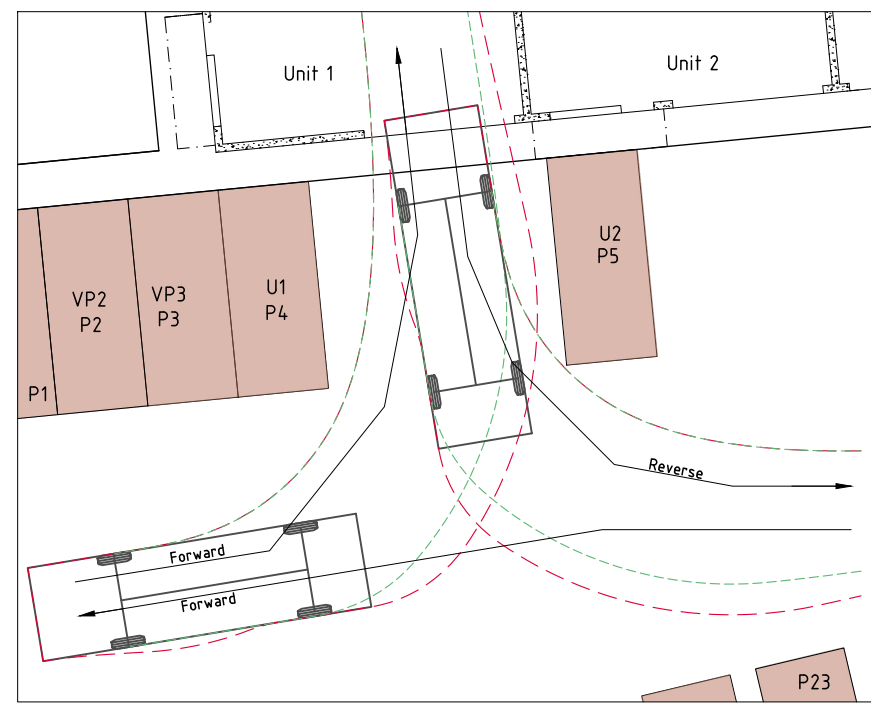
B99 meters
Width : 1.94
Track : 1.84
Lock to Lock Time : 6.0
Steering Angle : 33.9



B99	width	1.94
	track	1.84
	lock to lock time	6.0
	steering angle	33.9

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PROPOSED STORAGE FACILITY FOR WOODRIVE ROAD NO 27 PTY LTD AT 5 (LOT 27) WOODRIVE ROAD BRIDGEWATER	VEHICLE TURNING PLANS 2	DATE 26/06/2024	DRAWN BY email: gkilla7@bigpond.com phone: ph 0400 671 582
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PROPOSED STORAGE FACILITY FOR
 WOODRIVE ROAD NO 27 PTY LTD AT
 5 (LOT 27) WOODRIVE ROAD BRIDGEWATER

VEHICLE TURNING PLANS 3

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 01/10/2024
 05/04/2025

DATE
 26/06/2024

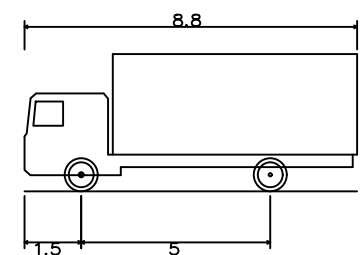
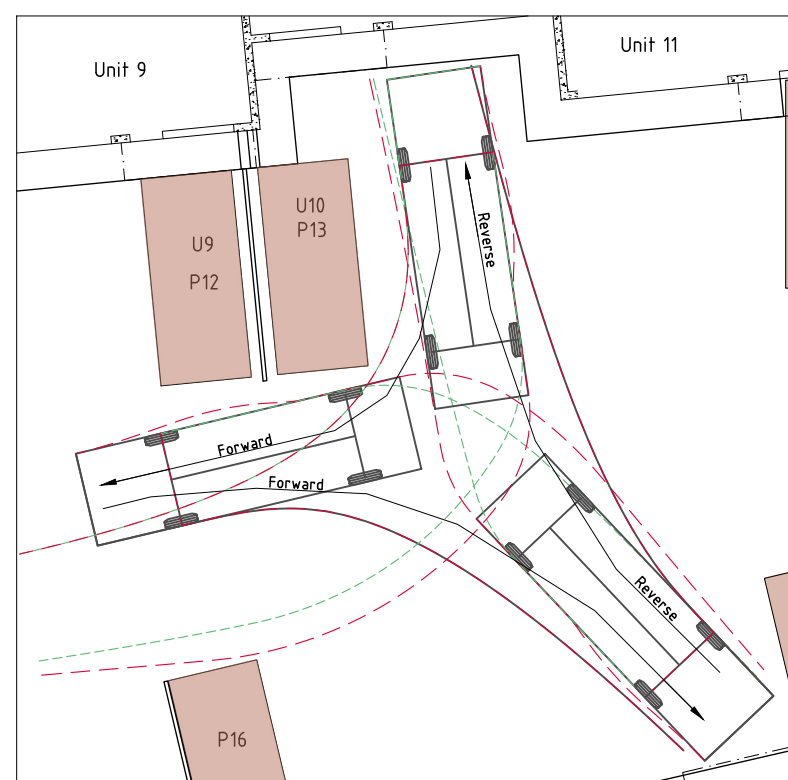
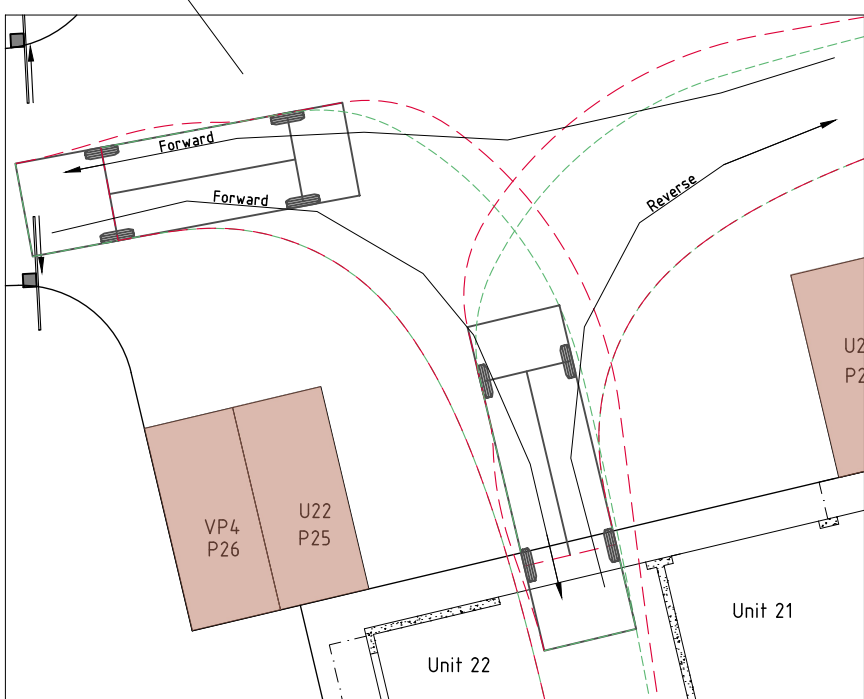
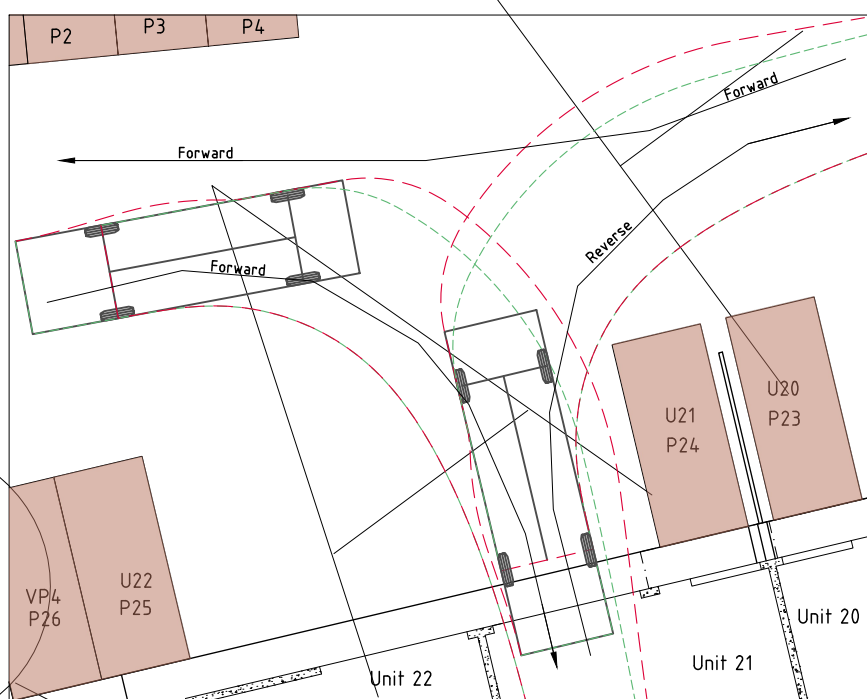
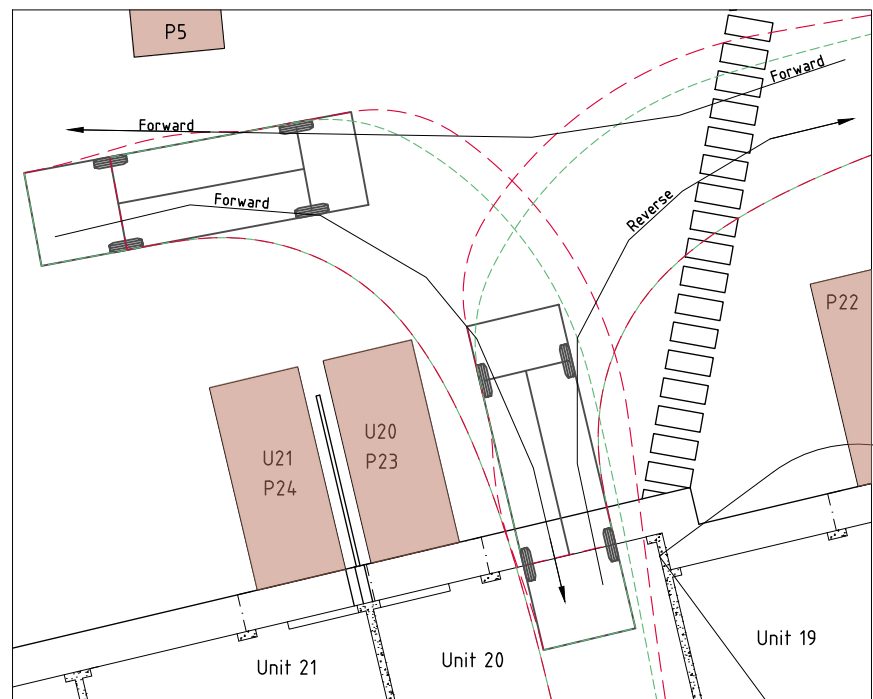
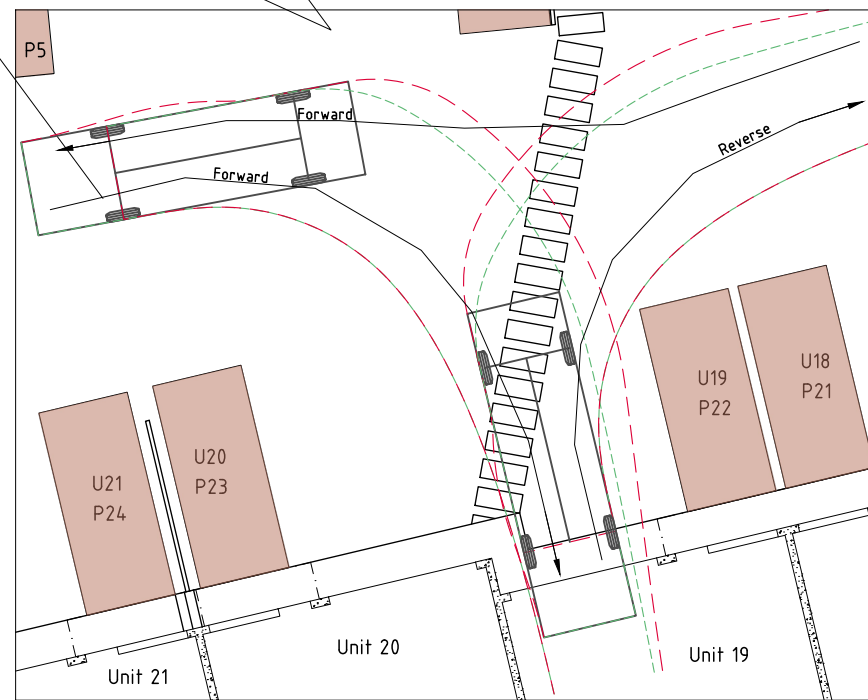
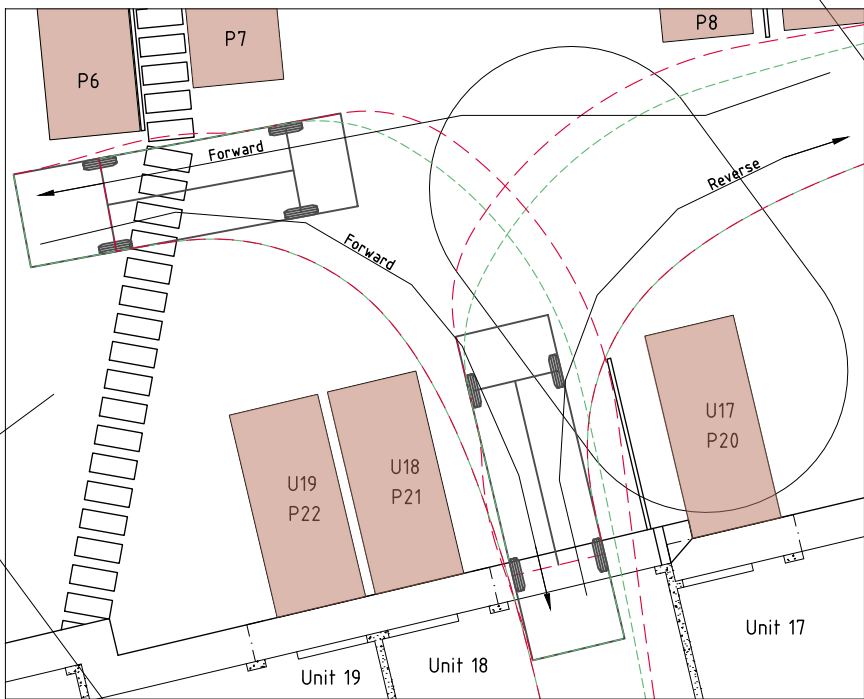
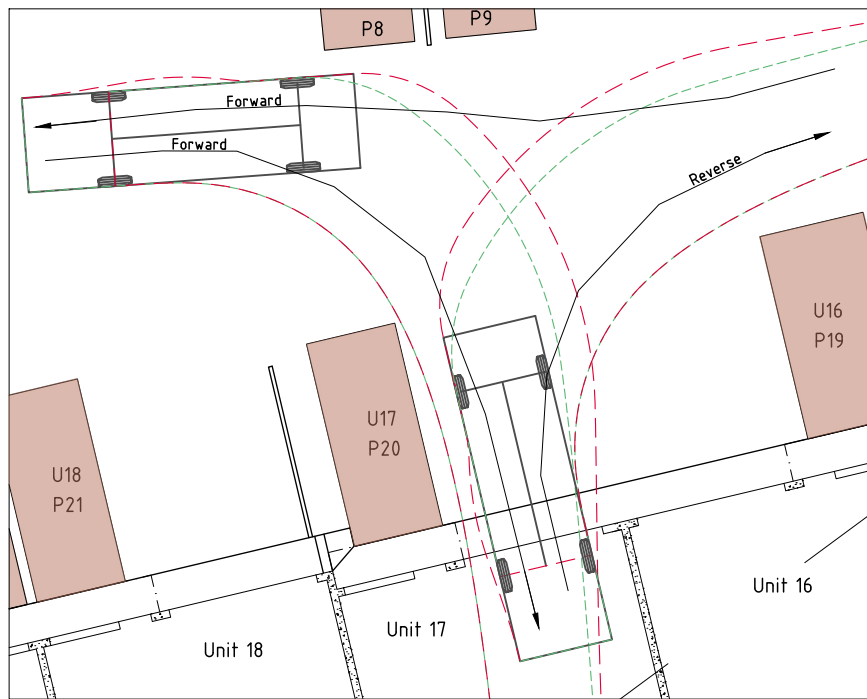
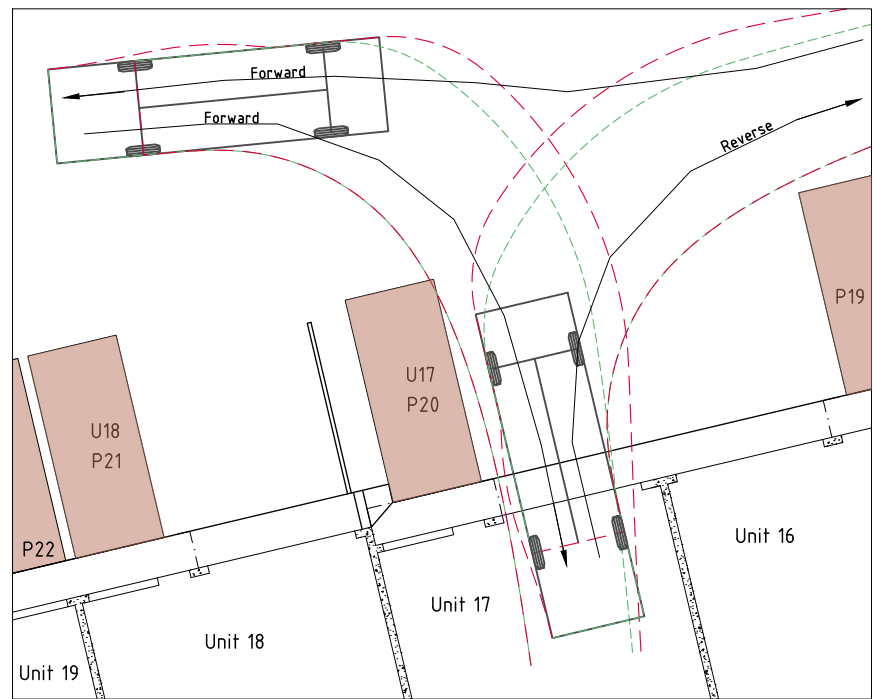
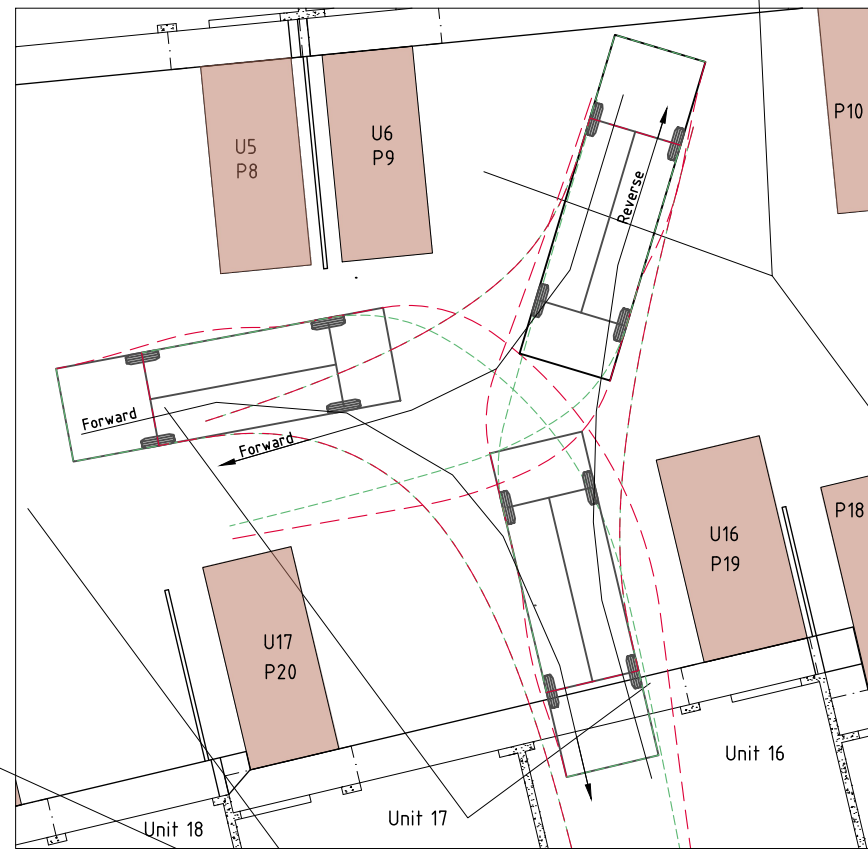
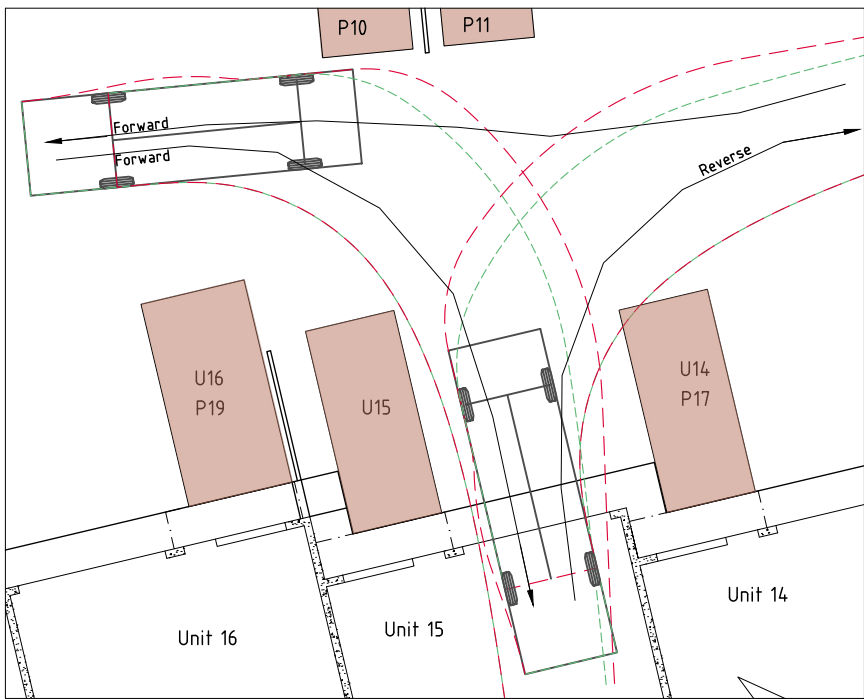
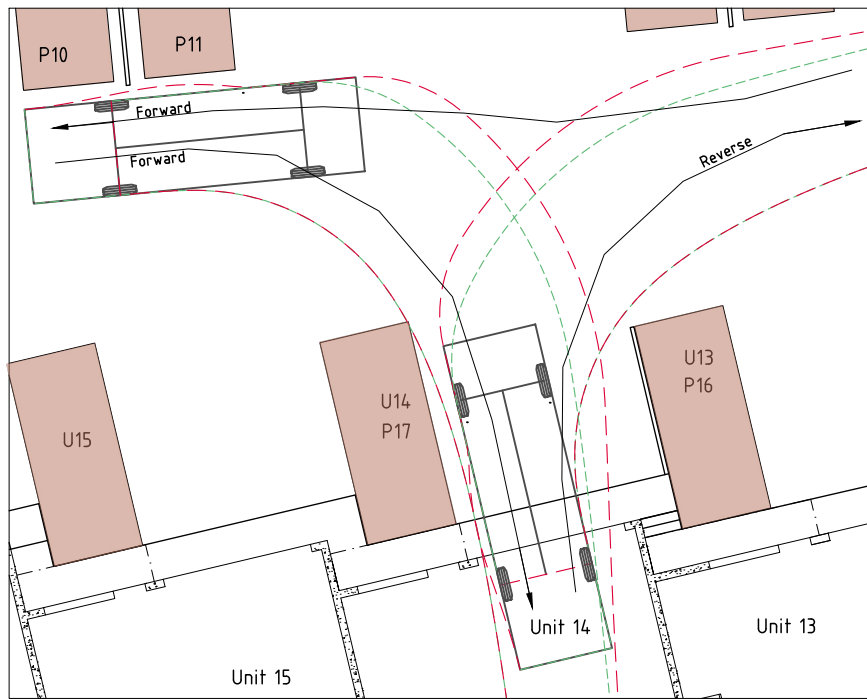
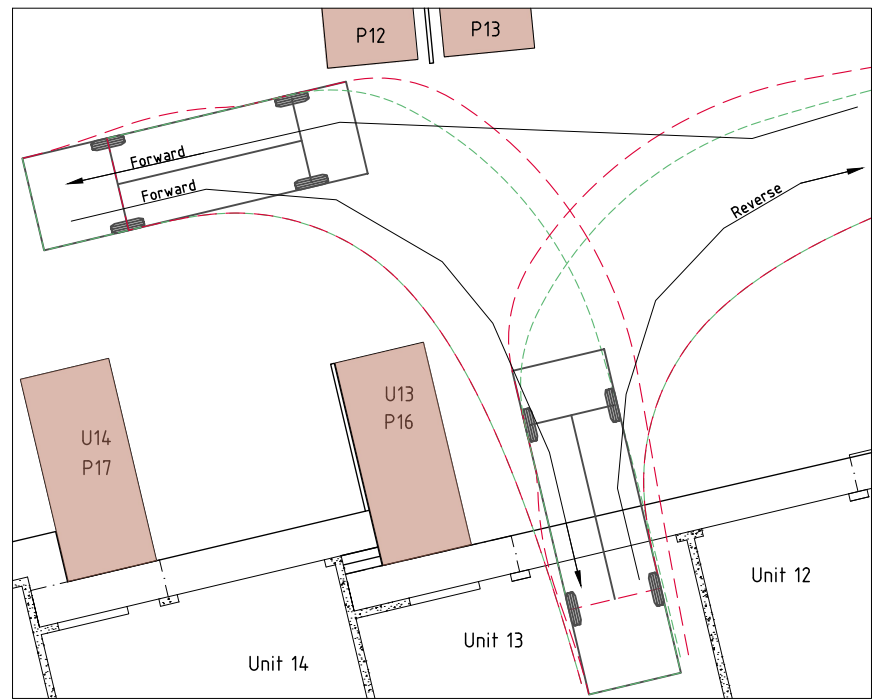
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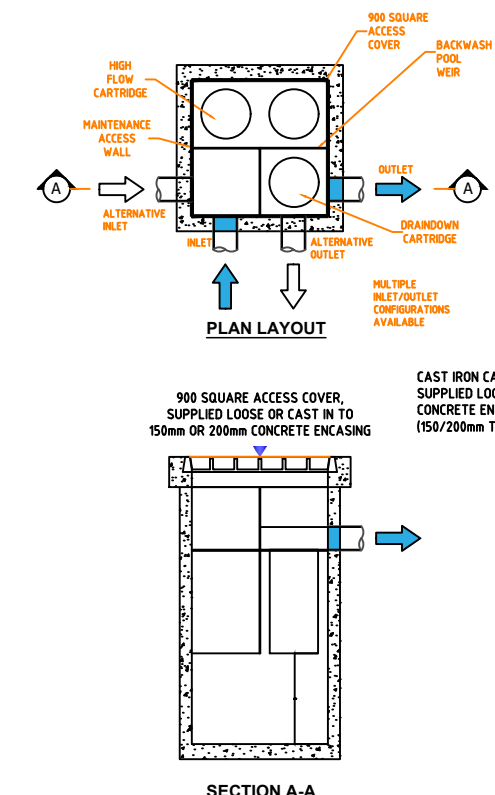
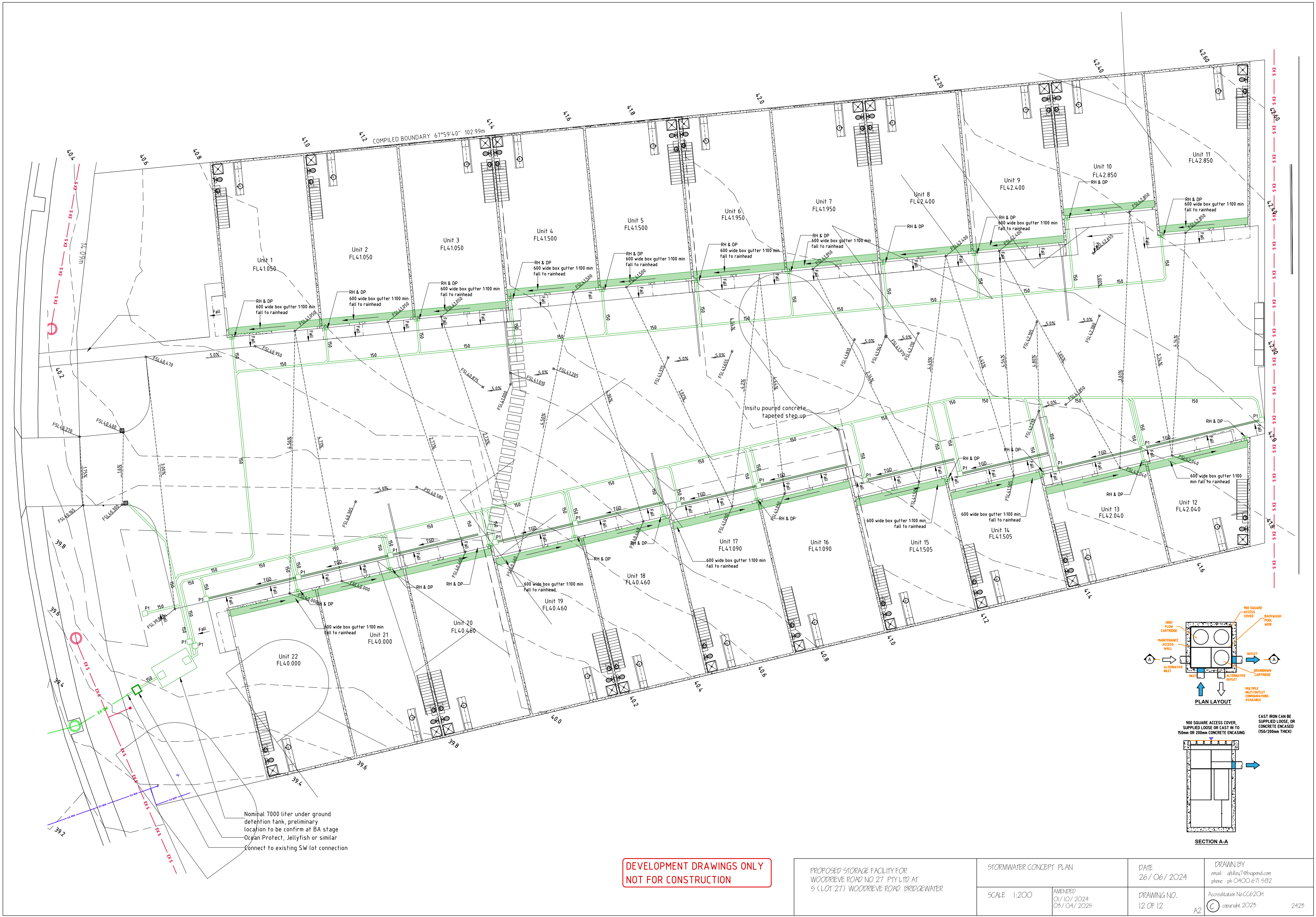
2425



MRV - Medium Rigid Vehicle
 Overall Length 8.800m
 Overall Width 2.500m
 Overall Body Height 3.633m
 Min Body Ground Clearance 0.428m
 Track Width 2.500m
 Lock-to-lock time 4.00s
 Curb to Curb Turning Radius 10.000m

DEVELOPMENT DRAWINGS ONLY
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PROPOSED STORAGE FACILITY FOR WOODRIVE ROAD NO 27 PTY LTD AT 5 (LOT 27) WOODRIVE ROAD BRIDGEWATER		VEHICLE TURNING PLANS 4		DATE 26/06/2024	DRAWN BY email: gillan7@bigpond.com phone: ph 0400 671 582
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PROPOSED STORAGE FACILITY FOR WOODRIVE ROAD NO 27 PTY LTD AT 5 (LOT 27) WOODRIVE ROAD BRIDGEWATER	STORMWATER CONCEPT PLAN		DATE 26/06/2024	DRAWN BY email: gillan7@bigpond.com phone: 0400 671 582 Accreditation No. CC620H copyright 2025
	SCALE 1:200	AMENDED 01/10/2024 05/04/2025	DRAWING NO. 12 OF 12	

Submission to Planning Authority Notice

Application details

Council Planning Permit No.	DA 2024/151
Council notice date	7/08/2024
TasWater Reference No.	TWDA 2024/00934-BTN
Date of response	03/10/2024
TasWater Contact	AI Cole
Phone No.	0439605108

Response issued to

Council name	BRIGHTON COUNCIL
Contact details	development@brighton.tas.gov.au

Development details

Address	5 WOODRIEVE RD, BRIDGEWATER
Property ID (PID)	9514858
Description of development	Storage Units with Mezzanine x 22

Schedule of drawings/documents

Prepared by	Drawing/document No.	Revision No.	Issue date
QLTilley	Site Plan	N/A	26/06/2024

Conditions

Pursuant to the *Water and Sewerage Industry Act 2008* (TAS) Section 56P(1) TasWater imposes the following conditions on the permit for this application:

CONNECTIONS, METERING & BACKFLOW

1. A suitably sized water supply with metered connections and sewerage system and connections to the development must be designed and constructed to TasWater's satisfaction and be in accordance with any other conditions in this permit.

Advice: TasWater will not accept direct fire boosting from the network unless it can be demonstrated that the periodic testing of the system will not have a significant negative effect on our network and the minimum service requirements of other customers serviced by the network. To this end break tanks may be required with the rate of flow into the break tank controlled so that peak flows to fill the tank do not also cause negative effect on the network.

2. Any removal/supply and installation of water meters and/or the removal of redundant and/or installation of new and modified property service connections must be carried out by TasWater at the developer's cost.
3. Prior to commencing construction/use of the development, any water connection utilised for construction/the development must have a backflow prevention device and water meter installed, to the satisfaction of TasWater.

DEVELOPER CHARGES

4. Prior to TasWater issuing a Certificate(s) for Certifiable Work (Building) and/or (Plumbing), the applicant or landowner as the case may be, must pay a developer charge totalling \$13704.60 to TasWater for water infrastructure for 7.80 additional Equivalent Tenements, indexed by the Consumer Price Index All groups (Hobart) from the date of this Submission to Planning Authority Notice until the date it is paid to TasWater.
5. Prior to TasWater issuing a Certificate(s) for Certifiable Work (Building) and/or (Plumbing), the applicant or landowner as the case may be, must pay a developer charge totalling \$21435.40 to TasWater for sewerage infrastructure for 12.2 additional Equivalent Tenements, indexed by the Consumer Price Index All groups (Hobart) from the date of this Submission to Planning Authority Notice until the date it is paid to TasWater.

DEVELOPMENT ASSESSMENT FEES

6. The applicant or landowner as the case may be, must pay a development assessment fee of \$403.51 to TasWater, as approved by the Economic Regulator and the fee will be indexed, until the date paid to TasWater.

The payment is required within 30 days of the issue of an invoice by TasWater.

Advice

General

For information on TasWater development standards, please visit

<https://www.taswater.com.au/building-and-development/technical-standards>

For application forms please visit

<https://www.taswater.com.au/building-and-development/development-application-form>

Developer Charges

For information on Developer Charges please visit the following webpage –

<https://www.taswater.com.au/building-and-development/developer-charges>

Water Submetering

As of July 1 2022, TasWater's Sub-Metering Policy no longer permits TasWater sub-meters to be installed for new developments. Please ensure plans submitted with the application for Certificate(s) for Certifiable Work (Building and/or Plumbing) reflect this. For clarity, TasWater does not object to private sub-metering arrangements. Further information is available on our website (www.taswater.com.au) within our Sub-Metering Policy and Water Metering Guidelines.

Service Locations

Please note that the developer is responsible for arranging to locate the existing TasWater infrastructure and clearly showing it on the drawings. Existing TasWater infrastructure may be located by a surveyor and/or a private contractor engaged at the developers cost to locate the infrastructure.

- (a) A permit is required to work within TasWater's easements or in the vicinity of its infrastructure. Further information can be obtained from TasWater.
- (b) TasWater has listed a number of service providers who can provide asset detection and location services should you require it. Visit <https://www.taswater.com.au/building-and-development/service-locations> for a list of companies.
- (c) Sewer drainage plans or Inspection Openings (IO) for residential properties are available from your local council.

Declaration

The drawings/documents and conditions stated above constitute TasWater's Submission to Planning Authority Notice.