



Application for Planning Approval

Land Use Planning and Approvals Act 1993

APPLICATION NO.

DA2024/234

LOCATION OF AFFECTED AREA

7 SILVERGUM STREET, BRIGHTON

DESCRIPTION OF DEVELOPMENT PROPOSAL

MULTIPLE DWELLINGS X 7

A COPY OF THE DEVELOPMENT APPLICATION MAY BE VIEWED AT www.brighton.tas.gov.au AND AT THE COUNCIL OFFICES, 1 TIVOLI ROAD, OLD BEACH, BETWEEN 8:15 A.M. AND 4:45 P.M, MONDAY TO FRIDAY OR VIA THE QR CODE BELOW. ANY PERSON MAY MAKE WRITTEN REPRESENTATIONS IN ACCORDANCE WITH S.57(5) OF THE LAND USE PLANNING AND APPROVALS ACT 1993 CONCERNING THIS APPLICATION UNTIL 4:45 P.M. ON **14/04/2025**. ADDRESSED TO THE CHIEF EXECUTIVE OFFICER AT 1 TIVOLI ROAD, OLD BEACH, 7017 OR BY EMAIL AT development@brighton.tas.gov.au. REPRESENTATIONS SHOULD INCLUDE A DAYTIME TELEPHONE NUMBER TO ALLOW COUNCIL OFFICERS TO DISCUSS, IF NECESSARY, ANY MATTERS RAISED.

JAMES DRYBURGH
Chief Executive Officer



Brighton
going places

P I N N Δ C L E

PINNACLE



7 Silvergum Street, Brighton 7030

Owner(s) or Clients	Huntingfield Developments	Title Reference	186843/18
Building Classification	8 x 1a Dwellings	Zoning	General Residential
Designer	Jason Nickerson CC6073Y	Land Size	2,734m ²
Total Floor Area (Combined)	1020.36m ²	Design Wind Speed	TBA
Alpine Area	N/A	Soil Classification	TBA
Other Hazards <small>(e.g. High wind, earthquake, flooding, landslip, dispersive soils, sand dunes, mine subsidence, landfill, snow & ice, or other relevant factors)</small>	Burrows Avenue SAP BRI-S12	Climate Zone	7
		Corrosion Environment	Low
		Bushfire Attack Level (BAL)	Low

ID	Sheet Name	Issue
A0.01	Location Plan	DA - 03
A0.02	Site Plan	DA - 03
A2.01	U1 - Floor Plan	DA - 03
A2.02	U1 - Elevations	DA - 03
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A3.02	U2 - Elevations	DA - 03
A4.01	U3 - Floor Plan	DA - 03
A4.02	U3 - Elevations	DA - 03
A5.01	U4 - Floor Plan	DA - 03
A5.02	U4 - Elevations	DA - 03
A6.01	U5 - Floor Plan	DA - 03
A6.02	U5 - Elevations	DA - 03
A7.01	U6 - Floor Plan	DA - 03
A7.02	U6 - Elevations	DA - 03
A8.01	U7 - Floor Plan	DA - 03
A8.02	U7 - Elevations	DA - 03
C.01	Parking & Driveway Plan	DA - 03
L.01	Landscaping Plan	DA - 03
L.02	Planting Schedule & Details	DA - 03



- Legend**
- - Electrical Connection
 - - Electrical Turret
 - - Sewer Connection
 - - Stormwater Connection
 - - Telstra Connection
 - - Telstra Pit
 - - Water Meter
 - ▲ - Water Stop Valve

Site Areas

Site Area	2,734 m ²
Building Footprint	906.03 m ²
Total Site Coverage	33.13%

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 03 6248 4218
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 www.pinnacle drafting.com.au
 Licence: CC6073Y

Location Plan

Revision: DA - 02
 Approved by: JN

Scale: 1:250 @ A2
 Pg. No: A0.01

Proposal: Multiple Dwellings
 Client: Huntingfield Developments
 Address: 7 Silvergum Street, Brighton 7030

Date: 26/11/24
 Drawn by: JSM/RZ/SH
 Job No: 092-2021
 Engineer: Peter Henry
 Building Surveyor: LTBS

Issue Date	Description
DA-01 03/02/25	RFI Amendments
DA-02 12/02/25	RFI Amendments
DA-03 20/03/25	RFI Amendments



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Legend

- Electrical Connection
- Electrical Turret
- Sewer Connection
- Stormwater Connection
- Telstra Connection
- Telstra Pit
- Water Meter
- Water Stop Valve
- Solar Bollard Light
- Spotlight with sensor

Surface Water Drainage

Ground to fall away from building in all directions in compliance with AS2870 & N.C.C 2022 3.3.3.

Surface water must be diverted away from a Class 1 building as follows:

- (a) Slab-on-ground - finished ground level adjacent to a building: the external finished surface surrounding the slab must be drained to move surface water away from the building and graded to give a slope of not less than (i) 25mm over the first 1m from the building (A) in low rainfall intensity areas for surfaces that are reasonably impermeable (such as concrete or claypaving); or (B) for any reasonably impermeable surface that forms part of an access path or ramp provided for the purposes of Clauses 1.1 (2) or (4) (c) of the ABCB Standard for Livable Housing Design; or (ii) 50 mm over the first 1 m from the building in any other case;
- (b) Slab-on-ground - finished slab heights: the height of the slab-on-ground above external finished surfaces must be not less than (i) 100 mm above the finished ground level in low rainfall intensity areas or sandy, well-drained areas; or (ii) 50 mm above impermeable (paved or concrete) areas that slope away from the building in accordance with (a); or (iii) 150 mm in any other case;
- (c) The ground beneath suspended floors must be graded so that the area beneath the building is above the adjacent external finished ground level and surface water is prevented from ponding under the building.

Subsoil Drainage

is to comply with AS2870, AS3500 & N.C.C 2022 3.3.4.

Where a subsoil drainage system is installed to divert subsurface water away from the area beneath a building, the subsoil drain must-

- (a) be graded with a uniform fall of not less than 1:300; and
- (b) discharge into an external silt pit or sump with- (i) the level of discharge from the silt pit or sump into an impervious drainage line not less than 50 mm below the invert level of the inlet; and provision for cleaning and maintenance.

Note

All driveway pits and grate drains to be **Class B**.

Stormwater pits are indicative. Location may vary depending on site conditions.

Site Areas

Site Area	2,734 m ²
Building Footprint	906.03 m ²
Total Site Coverage	33.13%

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Site Plan

Revision: DA -02
Approved by: JN

Scale: 1:200 @ A2
Pg. No: A0.02

Proposal: Multiple Dwellings
Client: Huntingfield Developments
Address: 7 Silvergum Street, Brighton 7030

Date: 26/11/24
Drawn by: JSM/RZ/SH
Job No: 092-2021
Engineer: Peter Henry
Building Surveyor: LTBS

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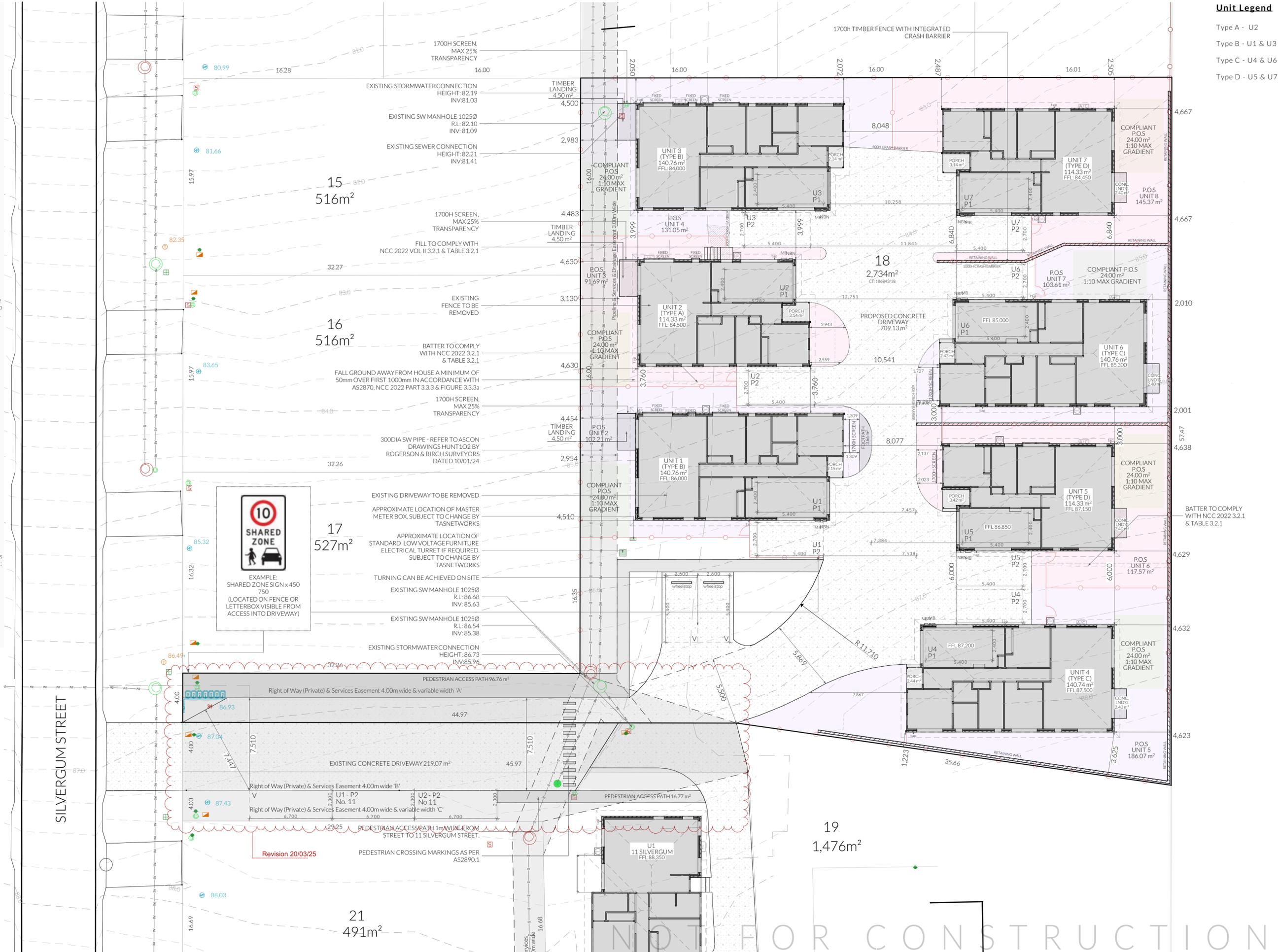


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Unit Legend

- Type A - U2
- Type B - U1 & U3
- Type C - U4 & U6
- Type D - U5 & U7



21
491m²

19
1,476m²

17
527m²

16
516m²

15
516m²

18
2,734m²

Unit Legend

Type A - U2

Type B - U1 & U3

Type C - U4 & U6

Type D - U5 & U7

Access Panel

Articulation Joint

Smoke Alarm

Construction of sanitary compartments 10.4.2 of NCC 2022

The door to a fully enclosed sanitary compartment must -

- open outwards; or
- slide; or
- be readily removable from the outside of the compartment.

unless there is a clear space of at least 1.2 m, measured in accordance with Figure 10.4.2 of NCC 2022 Vol II, between the closet pan within the sanitary compartment and the doorway.

Note: Safe Movement & Egress

Openable windows greater than 4m above the surface below are to be fitted with a device to limit opening or a suitable screen so a 125mm sphere cannot pass through. Except for Bedrooms, where the requirement is for heights above 2m. Refer to clauses 11.3.7 and 11.3.8 of NCC 2022 for further information on suitable protective devices.

Note: Paved Areas

All paths and patios to fall away from dwelling.

Note: Stair Construction

All stairs to be constructed in accordance with NCC Vol II 2022 Part 11.2.2:
 Riser: Min 115mm - Max 190mm
 Going: Min 240mm - Max 355mm
 Slope (2R+G): Max 550 - Min 700
 For stairways serving non-habitable room used infrequently, refer to table 11.2.2(b).

Landings to comply with Clause 11.2.5 and be a minimum of 750mm deep measured 500mm from the inside edge of the landing.

Slip resistance of treads, nosings and ramps to comply with Clause 11.2.4.

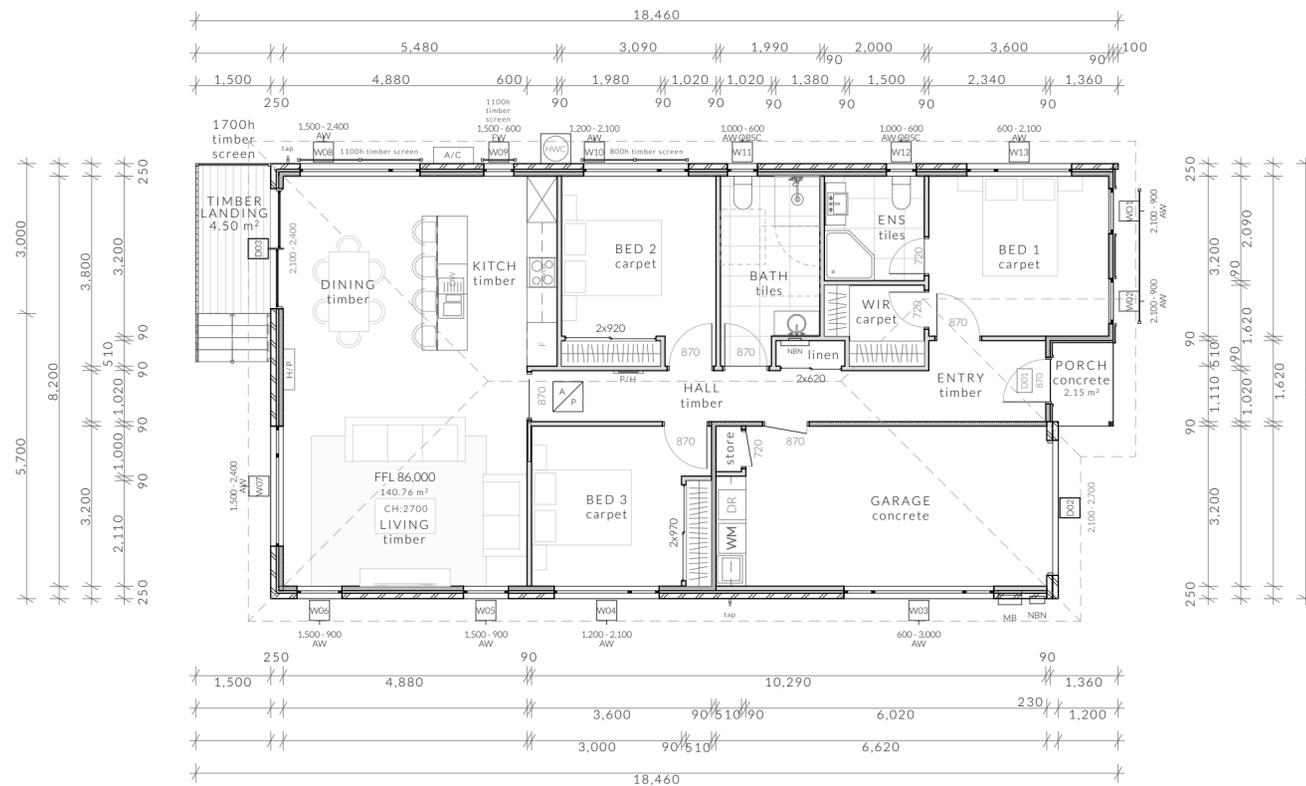
Heights of rooms & other spaces

10.3.1 of NCC 2022

Heights of rooms and other spaces must not be less than:

- (a) in a habitable room excluding a kitchen - 2.4 m; and
- (b) in a kitchen - 2.1 m; and
- (c) in a corridor, passageway or the like - 2.1 m; and
- (d) in a bathroom, shower room, laundry, sanitary compartment, airlock, pantry, storeroom, garage, car parking area or the like - 2.1 m; and
- (e) in a room or space with a sloping ceiling or projections below the ceiling line within - See NCC directly for these items
- (f) in a stairway, ramp, landing, or the like - 2.0 m measured vertically above the nosing line of stairway treads or the floor surface of a ramp, landing or the like.

If required onsite, the builder may work within the tolerances of the above as specified within the NCC 2022 Vol II. Builder to contact Pinnacle before undertaking works.



Floor Areas

Total Floor Area	140.76m ²
Timber Landing	4.50m ²
Porch	2.15m ²

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U1 - Floor Plan
 Revision: DA - 02
 Approved by: JN
 Scale: 1:100 @ A2
 Pg. No: A2.01

Proposal: Multiple Dwellings
 Client: Huntingfield Developments
 Address: 7 Silvergum Street, Brighton 7030

Date: 26/11/24
 Drawn by: JSM/RZ/SH
 Job No: 092-2021
 Engineer: Peter Henry
 Building Surveyor: LTBS

Issue Date	Description
DA-01 03/02/25	RFI Amendments
DA-02 12/03/25	RFI Amendments
DA-03 20/03/25	RFI Amendments

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U1 - East Elevation

1:100



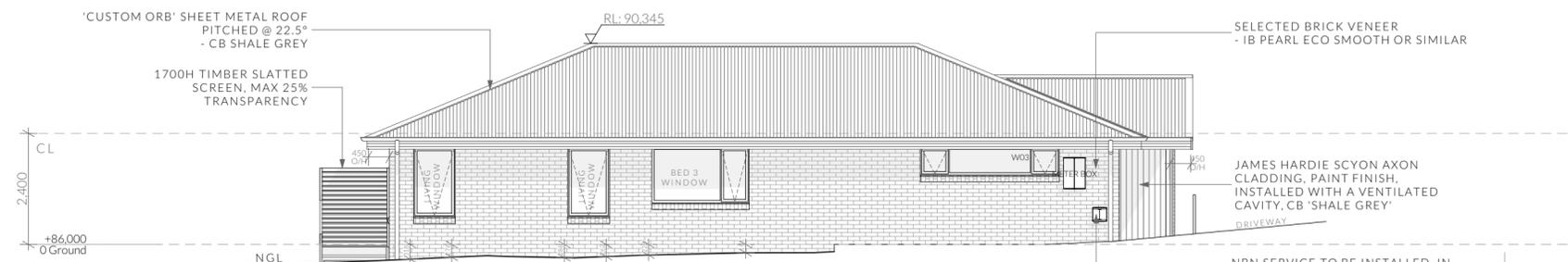
U1 - West Elevation

1:100



U1 - North Elevation

1:100



U1 - South Elevation

1:100

NOT FOR CONSTRUCTION

NOTE
Clearances between cladding and ground shall comply with Clause 7.5.7 of the NCC 2022 and shall be a minimum clearance of:
100mm in low rainfall intensity areas or sandy, well-drained areas; or 50mm above impermeable areas that slope away from the building; or 150mm in any other case.
Wall cladding must extend a minimum of 50 mm below the bearer or lowest horizontal part of the suspended floor framing.
U.N.O in builders specifications or located in saline environments or if using a glazed finish brick, brickwork is to be installed in stretcher bond pattern with raked joints.
As per NCC parts 11.3.7 and 11.3.8.
Openable windows greater than 4m above ground level are to be fitted with a device to limit the opening or a suitable screen so a 125mm sphere cannot pass through, and withstand a force of 250N. Except for bedrooms, where the requirement is for heights above 2m.
All stairs to be constructed in accordance with NCC 2022 Vol II Part 11.2.2
Riser: Min 115mm - Max 190mm
Going: Min 240mm - Max 355mm
Slope (2R+G): Max 550 - Min 700

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U1 - Elevations
Revision: DA-02
Approved by: JN
Scale: 1:100 @ A2
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Unit Legend

- Type A - U2
- Type B - U1 & U3
- Type C - U4 & U6
- Type D - U5 & U7

Access Panel

Articulation Joint

Smoke Alarm

Construction of sanitary compartments 10.4.2 of NCC 2022

The door to a fully enclosed sanitary compartment must -

- open outwards; or
- slide; or
- be readily removable from the outside of the compartment.

unless there is a clear space of at least 1.2 m, measured in accordance with Figure 10.4.2 of NCC 2022 Vol II, between the closet pan within the sanitary compartment and the doorway.

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Note: Paved Areas

All paths and patios to fall away from dwelling.

Note: Stair Construction

All stairs to be constructed in accordance with NCC Vol II 2022 Part 11.2.2:
 Riser: Min 115mm - Max 190mm
 Going: Min 240mm - Max 355mm
 Slope (2R+G): Max 550 - Min 700
 For stairways serving non-habitable room used infrequently, refer to table 11.2.2(b).

Landings to comply with Clause 11.2.5 and be a minimum of 750mm deep measured 500mm from the inside edge of the landing.

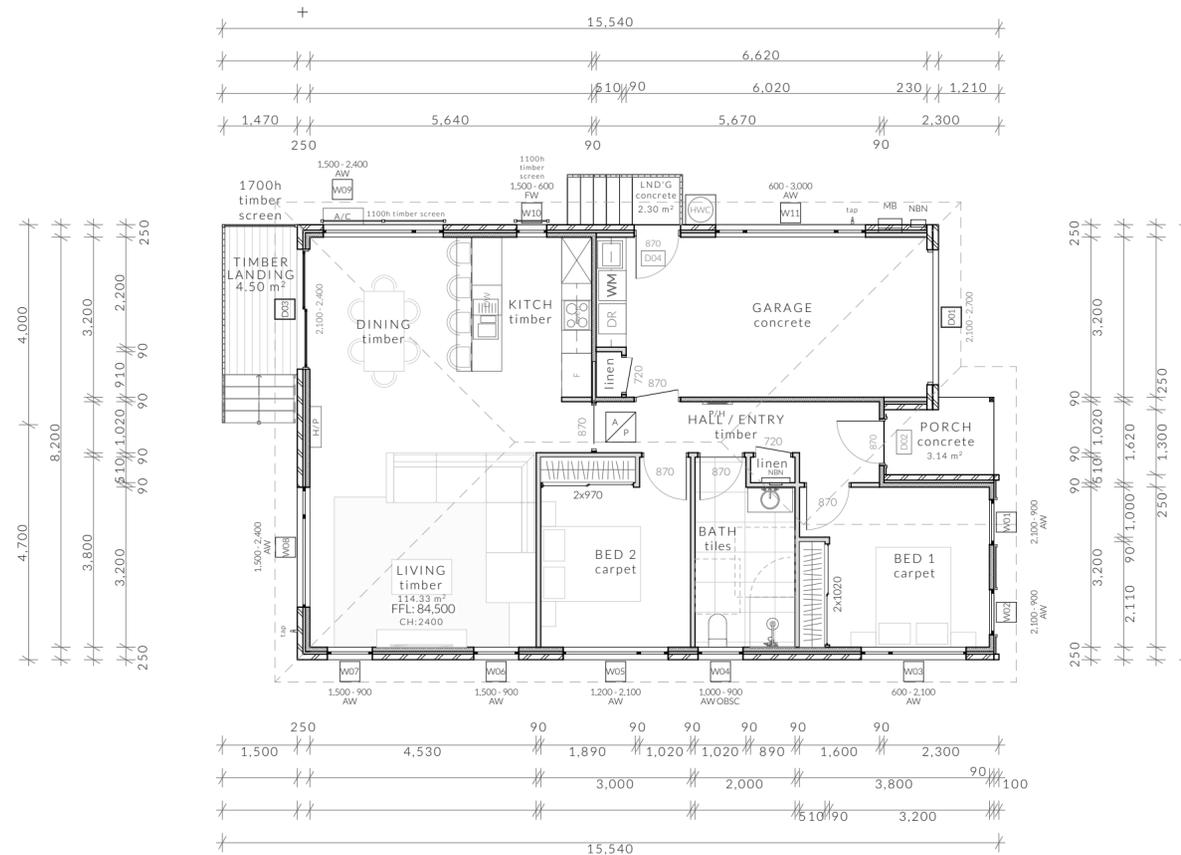
Slip resistance of treads, nosings and ramps to comply with Clause 11.2.4.

Heights of rooms & other spaces 10.3.1 of NCC 2022

Heights of rooms and other spaces must not be less than:

- (a) in a habitable room excluding a kitchen - 2.4 m; and
- (b) in a kitchen - 2.1 m; and
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If required onsite, the builder may work within the tolerances of the above as specified within the NCC 2022 Vol II. Builder to contact Pinnacle before undertaking works.



Floor Areas

Total Floor Area	114.33m ²
Timber Landing	4.50m ²
Concrete Landing	2.30m ²
Porch	3.14m ²

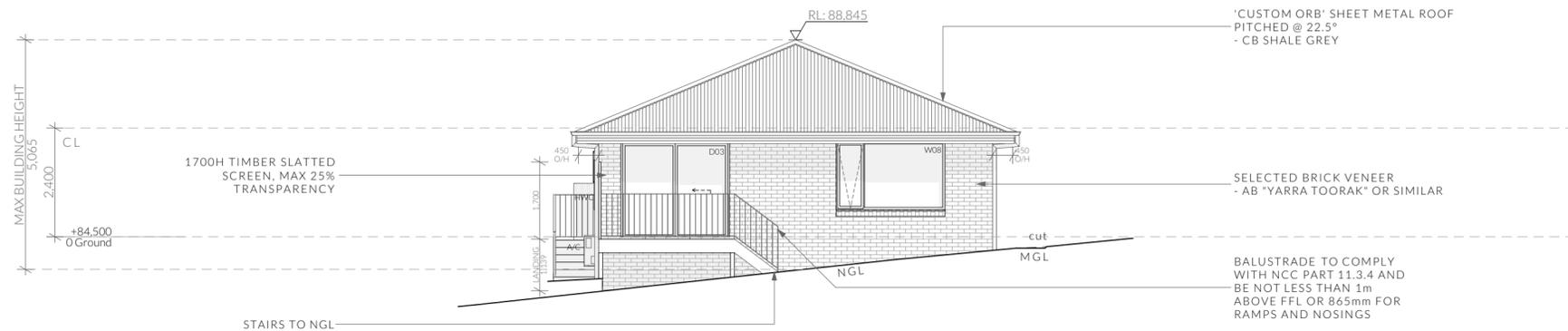
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	PINNACLE DRAFTING & DESIGN 7/3 Abernart Way, Cambridge 7170 03 6248 4218 admin@pinnacledrafting.com.au www.pinnacledrafting.com.au Licence: CC6073Y	U2 - Floor Plan Revision: DA - 02 Approved by: JN	Scale: 1:100 @ A2 Pg. No: A3.01	Proposal: Multiple Dwellings Client: Huntingfield Developments Address: 7 Silvergum Street, Brighton 7030	Date: 26/11/24 Drawn by: JSM/RZ/SH Job No: 092-2021 Engineer: Peter Henry Building Surveyor: LTBS	Issue Date DA-01 03/02/25 DA-02 12/03/25 DA-03 20/03/25	Description RFI Amendments RFI Amendments RFI Amendments		These drawings are the property of Pinnacle Drafting & Design Pty Ltd, reproduction in whole or part is strictly forbidden without written consent. © 2024. These drawings are to be read in conjunction with all drawings and documentation by Engineers, Surveyors and any other consultants referred to within this drawing set as well as any CLC and/or permit documentation. DO NOT SCALE FROM DRAWINGS; All Contractors are to verify dimensions on site before commencing any orders, works or requesting/producing shop drawings. ANY AND ALL DISCREPANCIES DISCOVERED BY OUTSIDE PARTIES ARE TO BE BROUGHT TO THE ATTENTION OF THE PINNACLE DRAFTING & DESIGN PTY LTD.	
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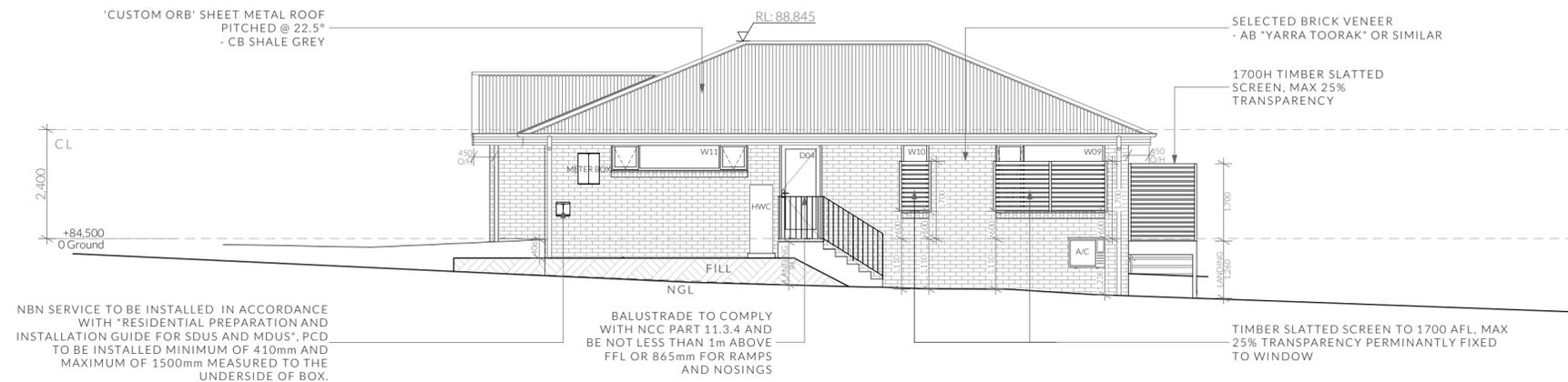
U2 - East Elevation

1:100



U2 - West Elevation

1:100



U2 - North Elevation

1:100



U2 - South Elevation

1:100

NOT FOR CONSTRUCTION

NOTE
Clearances between cladding and ground shall comply with Clause 7.5.7 of the NCC 2022 and shall be a minimum clearance of:
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Wall cladding must extend a minimum of 50 mm below the bearer or lowest horizontal part of the suspended floor framing.
U.N.O in builders specifications or located in saline environments or if using a glazed finish brick, brickwork is to be installed in stretcher bond pattern with raked joints.
As per NCC parts 11.3.7 and 11.3.8,
Openable windows greater than 4m above ground level are to be fitted with a device to limit the opening or a suitable screen so a 125mm sphere cannot pass through, and withstand a force of 250N. Except for bedrooms, where the requirement is for heights above 2m.
All stairs to be constructed in accordance with NCC 2022 Vol II Part 11.2.2
Riser: Min 115mm - Max 190mm
Going: Min 240mm - Max 355mm
Slope (2R+G): Max 550 - Min 700

Unit Legend

Type A - U2

Type B - U1 & U3

Type C - U4 & U6

Type D - U5 & U7

Access Panel

Articulation Joint

Smoke Alarm

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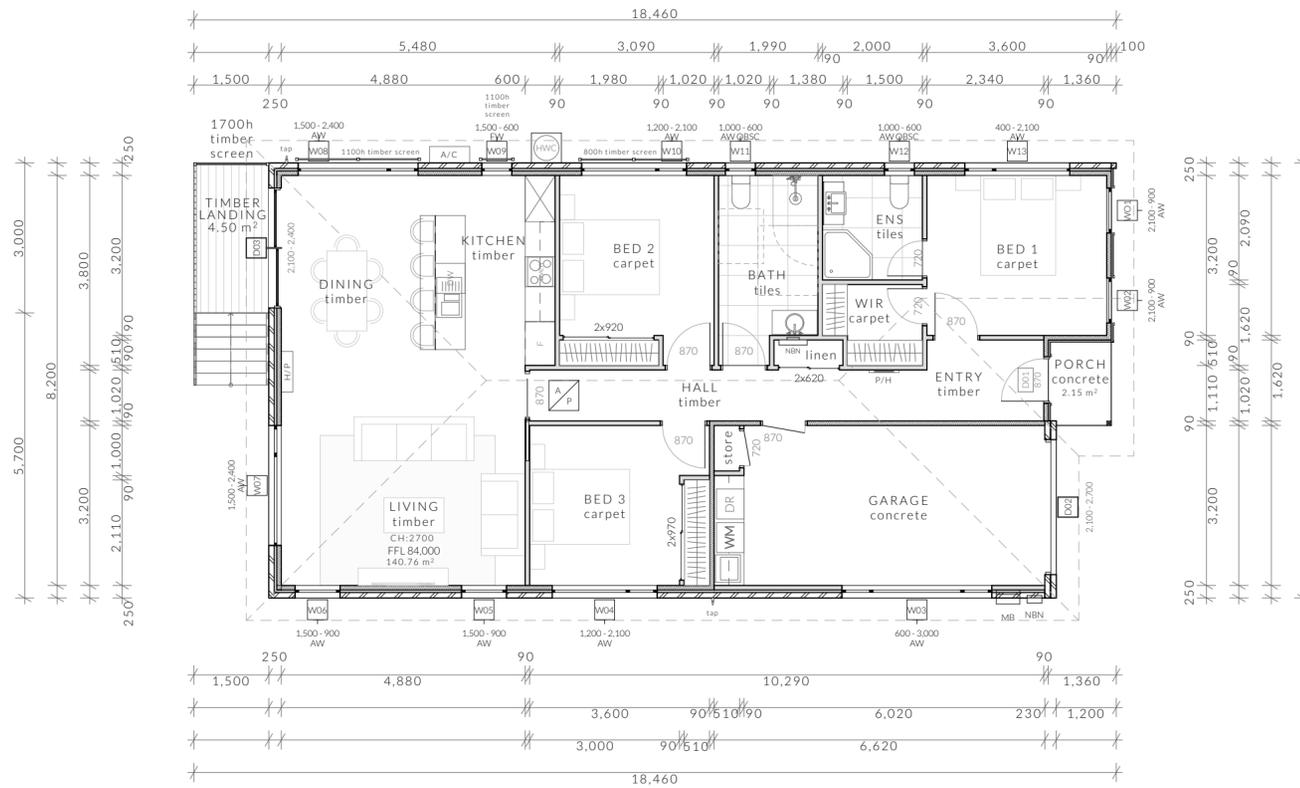
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Floor Areas

Total Floor Area	140.76m ²
Landing	4.50m ²
Porch	2.15m ²

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U3 - Floor Plan

Revision: DA - 02
 Approved by: JN

Scale: 1:100 @ A2
 Pg. No: A4.01

Proposal: Multiple Dwellings
 Client: Huntingfield Developments
 Address: 7 Silvergum Street, Brighton 7030

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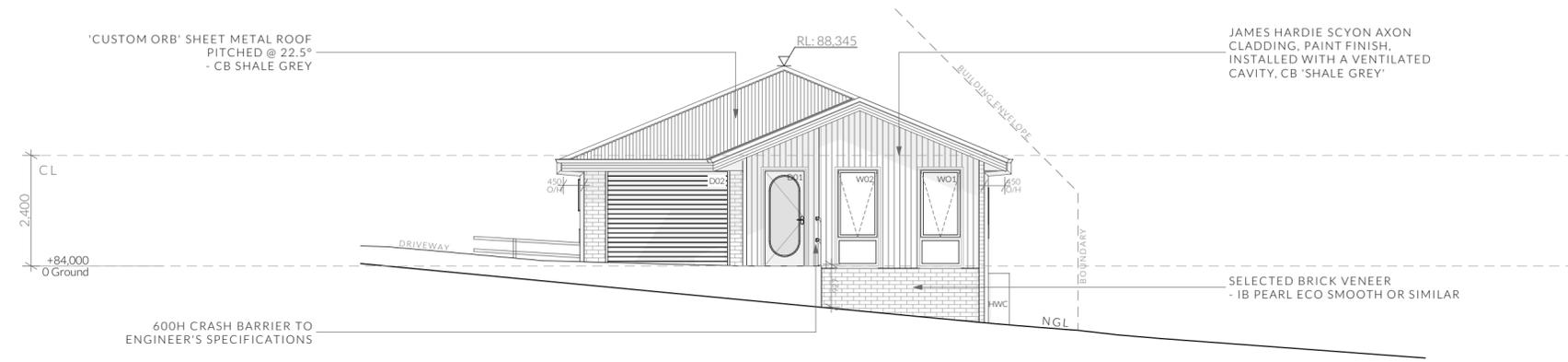
Description
 RFI Amendments
 RFI Amendments
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U3 - East Elevation

1:100



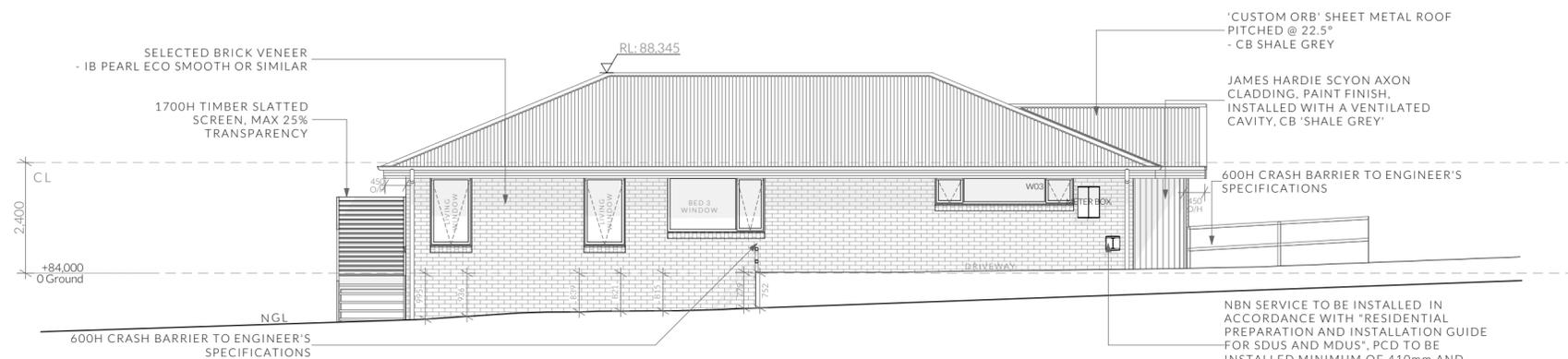
U3 - West Elevation

1:100



U3 - North Elevation

1:100



U3 - South Elevation

1:100

NOT FOR CONSTRUCTION

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U3 - Elevations
Revision: DA-02
Approved by: JN
Scale: 1:100 @ A2
Pg. No: A4.02

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Job No: 092-2021
Engineer: Peter Henry
Building Surveyor: LTBS

Issue	Date	Description
DA-01	03/02/25	RFI Amendments
DA-02	12/03/25	RFI Amendments
DA-03	20/03/25	RFI Amendments

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bdoo
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CONSTRUCTION

Unit Legend

Type A - U2

Type B - U1 & U3

Type C - U4 & U6

Type D - U5 & U7

Access Panel

Articulation Joint

Smoke Alarm

Construction of sanitary compartments 10.4.2 of NCC 2022

The door to a fully enclosed sanitary compartment must -

- open outwards; or
- slide; or
- be readily removable from the outside of the compartment.

unless there is a clear space of at least 1.2 m, measured in accordance with Figure 10.4.2 of NCC 2022 Vol II, between the closet pan within the sanitary compartment and the doorway.

Note: Safe Movement & Egress

Openable windows greater than 4m above the surface below are to be fitted with a device to limit opening or a suitable screen so a 125mm sphere cannot pass through. Except for Bedrooms, where the requirement is for heights above 2m. Refer to clauses 11.3.7 and 11.3.8 of NCC 2022 for further information on suitable protective devices.

Note: Paved Areas

All paths and patios to fall away from dwelling.

Note: Stair Construction

All stairs to be constructed in accordance with NCC Vol II 2022 Part 11.2.2:
 Riser: Min 115mm - Max 190mm
 Going: Min 240mm - Max 355mm
 Slope (2R+G): Max 550 - Min 700
 For stairways serving non-habitable room used infrequently, refer to table 11.2.2(b).

Landings to comply with Clause 11.2.5 and be a minimum of 750mm deep measured 500mm from the inside edge of the landing.

Slip resistance of treads, nosings and ramps to comply with Clause 11.2.4.

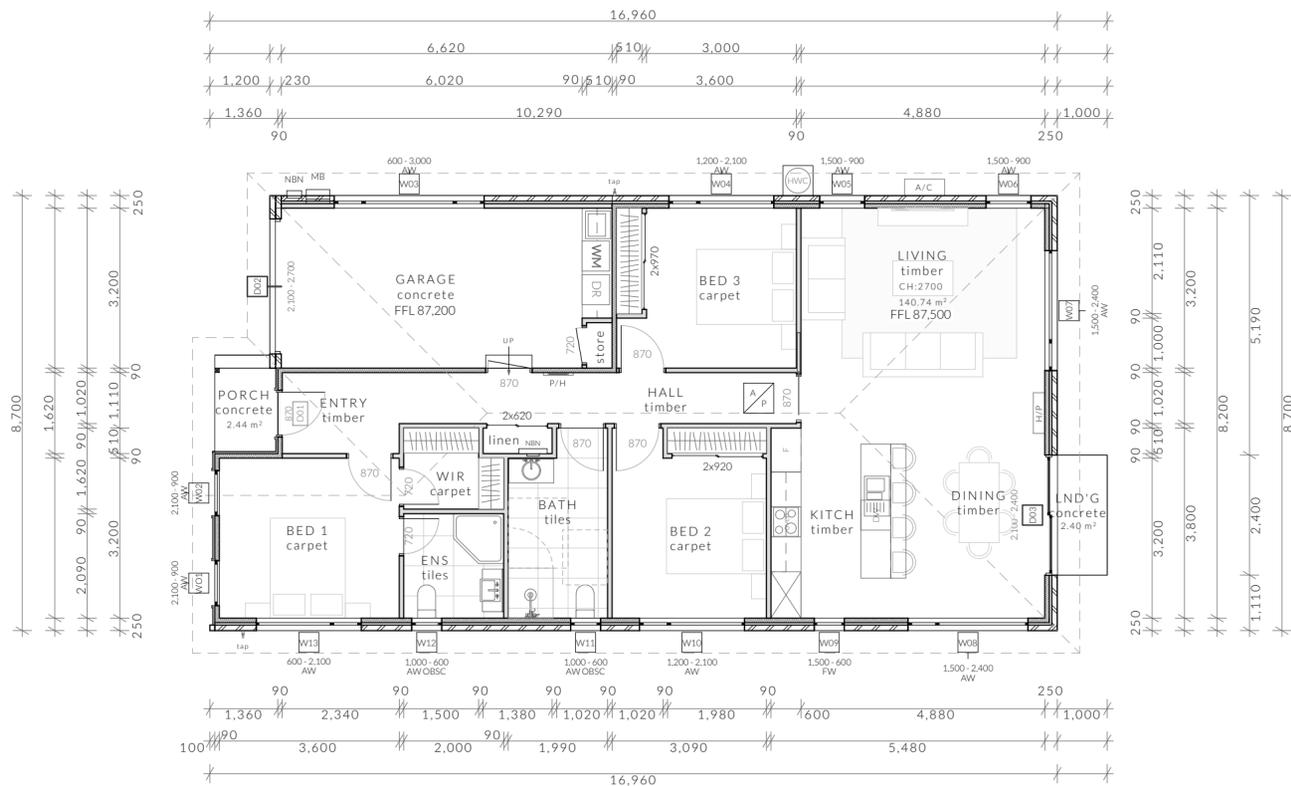
Heights of rooms & other spaces

10.3.1 of NCC 2022

Heights of rooms and other spaces must not be less than:

- (a) in a habitable room excluding a kitchen - 2.4 m; and
- (b) in a kitchen - 2.1 m; and
- (c) in a corridor, passageway or the like - 2.1 m; and
- (d) in a bathroom, shower room, laundry, sanitary compartment, airlock, pantry, storeroom, garage, car parking area or the like - 2.1 m; and
- (e) in a room or space with a sloping ceiling or projections below the ceiling line within- See NCC directly for these items
- (f) in a stairway, ramp, landing, or the like - 2.0 m measured vertically above the nosing line of stairway treads or the floor surface of a ramp, landing or the like.

If required onsite, the builder may work within the tolerances of the above as specified within the NCC 2022 Vol II. Builder to contact Pinnacle before undertaking works.



Floor Areas

Total Floor Area	140.74m ²
Porch	2.44m ²
Concrete Landing	2.40m ²

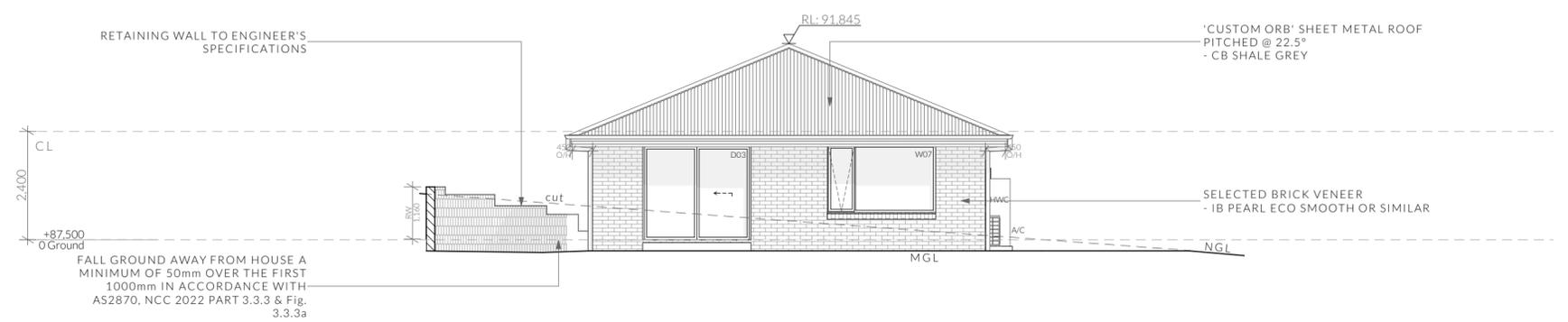
NOT FOR CONSTRUCTION

	PINNACLE DRAFTING & DESIGN 7/3 Abernant Way, Cambridge 7170 03 6248 4218 admin@pinnacledrafting.com.au www.pinnacledrafting.com.au Licence: CC6073Y	U4 - Floor Plan	Scale: 1:100 @ A2 Pg. No: A5.01	Proposal: Multiple Dwellings Client: Huntingfield Developments Address: 7 Silvergum Street, Brighton 7030	Date: 26/11/24 Drawn by: JSM/RZ/SH Job No: 092-2021 Engineer: Peter Henry Building Surveyor: LTBS	Issue Date DA-01 03/02/25 DA-02 12/03/25 DA-03 20/03/25	Description RFI Amendments RFI Amendments RFI Amendments		These drawings are the property of Pinnacle Drafting & Design Pty Ltd, reproduction in whole or part is strictly forbidden without written consent. © 2024. These drawings are to be read in conjunction with all drawings and documentation by Engineers, Surveyors and any other consultants referred to within this drawing set as well as any CLC and/or permit documentation. DO NOT SCALE FROM DRAWINGS; All Contractors are to verify dimensions on site before commencing any orders, works or requesting/producing shop drawings. ANY AND ALL DISCREPANCIES DISCOVERED BY OUTSIDE PARTIES ARE TO BE BROUGHT TO THE ATTENTION OF THE PINNACLE DRAFTING & DESIGN PTY LTD.		
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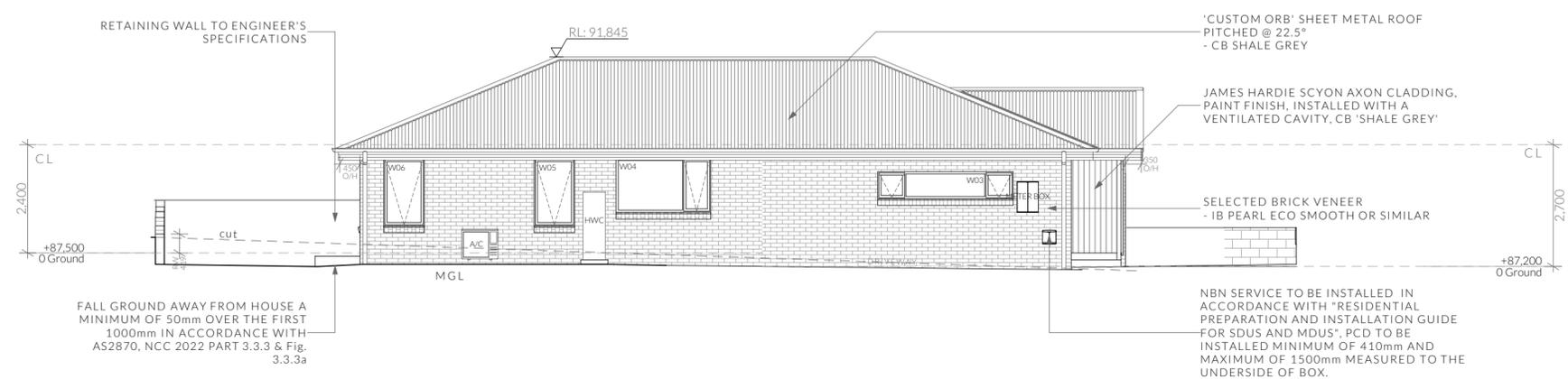
U4 - West Elevation

1:100



U4 - East Elevation

1:100



U4 - North Elevation

1:100



U4 - South Elevation

1:100

NOT FOR CONSTRUCTION

NOTE
Clearances between cladding and ground shall comply with Clause 7.5.7 of the NCC 2022 and shall be a minimum clearance of:
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As per NCC parts 11.3.7 and 11.3.8.
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All stairs to be constructed in accordance with NCC 2022 Vol II Part 11.2.2
Riser: Min 115mm - Max 190mm
Going: Min 240mm - Max 355mm
Slope (2R+G): Max 550 - Min 700

Unit Legend

Type A - U2

Type B - U1 & U3

Type C - U4 & U6

Type D - U5 & U7

Access Panel

Articulation Joint

Smoke Alarm

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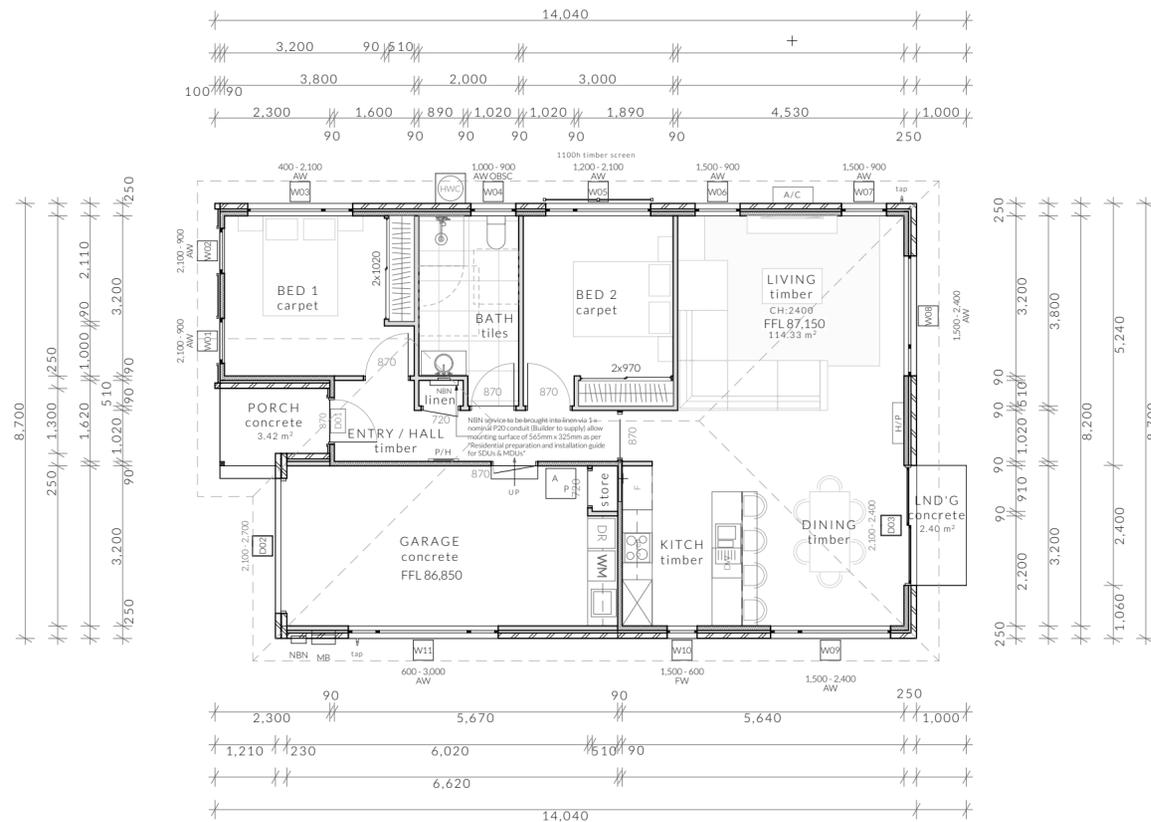
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Floor Areas

Total Floor Area	114.33m ²
Porch	3.42m ²
Concrete Landing	2.40m ²

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U5 - Floor Plan

Revision: DA - 02
 Approved by: JN

Scale: 1:100 @ A2
 Pg. No: A6.01

Proposal: Multiple Dwellings
 Client: Huntingfield Developments
 Address: 7 Silvergum Street, Brighton 7030

Date: 26/11/24
 Drawn by: JSM/RZ/SH
 Job No: 092-2021
 Engineer: Peter Henry
 Building Surveyor: LTBS

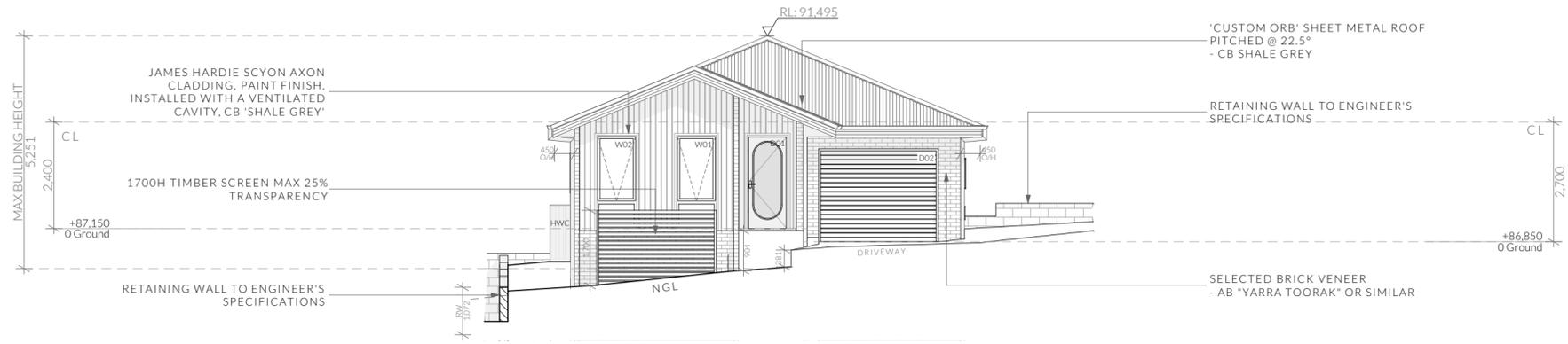
Issue	Date	Description
DA-01	03/02/25	RFI Amendments
DA-02	12/03/25	RFI Amendments
DA-03	20/03/25	RFI Amendments

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U5 - West Elevation

1:100



U5 - East Elevation

1:100



U5 - North Elevation

1:100



U5 - South Elevation

1:100

NOTE
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U5 - Elevations

Revision: DA-02
Approved by: JN

Scale: 1:100 @ A2
Pg. No: A6.02

Proposal: Multiple Dwellings
Client: Huntingfield Developments
Address: 7 Silvergum Street, Brighton 7030

Date: 26/11/24
Drawn by: JSM/RZ/SH
Job No: 092-2021
Engineer: Peter Henry
Building Surveyor: LTBS

Issue Date	Description
DA-01 03/02/25	RFI Amendments
DA-02 12/03/25	RFI Amendments
DA-03 20/03/25	RFI Amendments

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NOT FOR CONSTRUCTION

Unit Legend

Type A - U2

Type B - U1 & U3

Type C - U4 & U6

Type D - U5 & U7

Access Panel

Articulation Joint

Smoke Alarm

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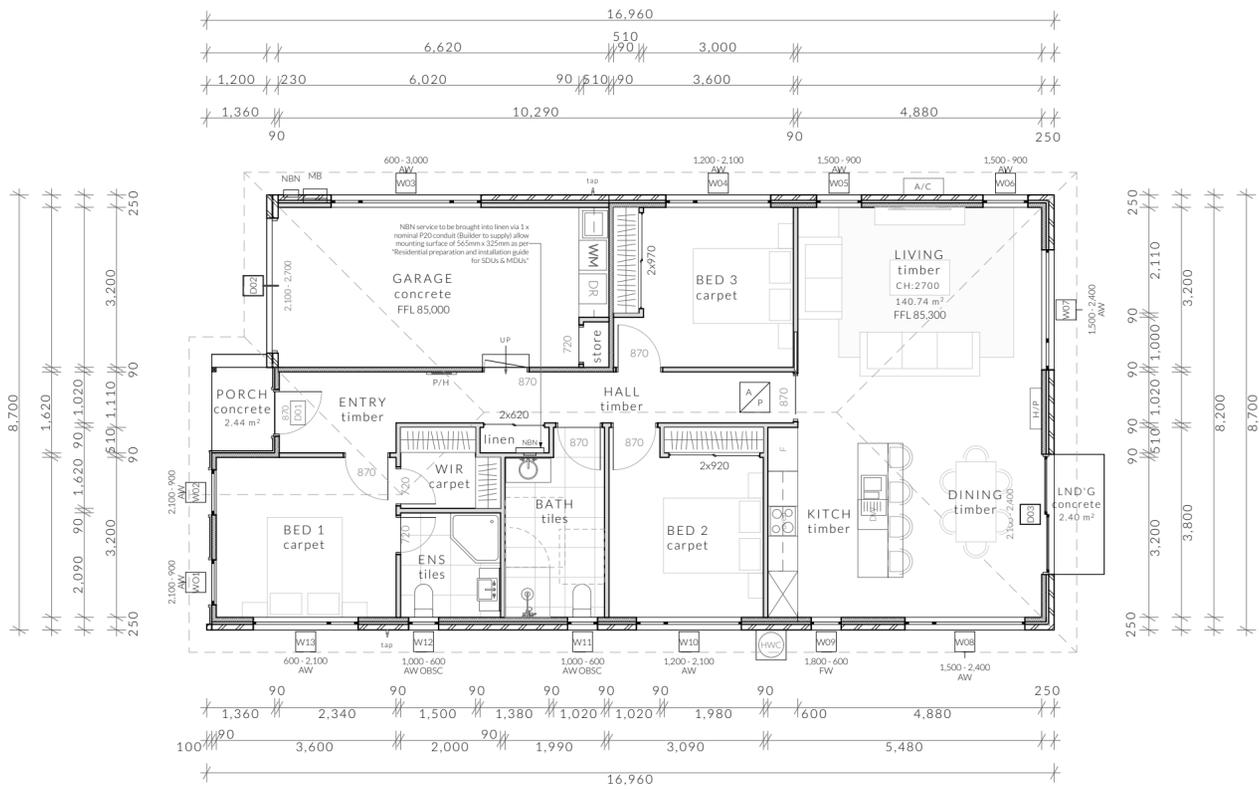
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Floor Areas

Total Floor Area	140.74m ²
Porch	2.44m ²
Conc. Landing	2.40m ²

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U6 - Floor Plan

Revision: DA-02
 Approved by: JN

Scale: 1:100 @ A2
 Pg. No: A7.01

Proposal: Multiple Dwellings
 Client: Huntingfield Developments
 Address: 7 Silvergum Street, Brighton 7030

Date: 26/11/24
 Drawn by: JSM/RZ/SH
 Job No: 092-2021
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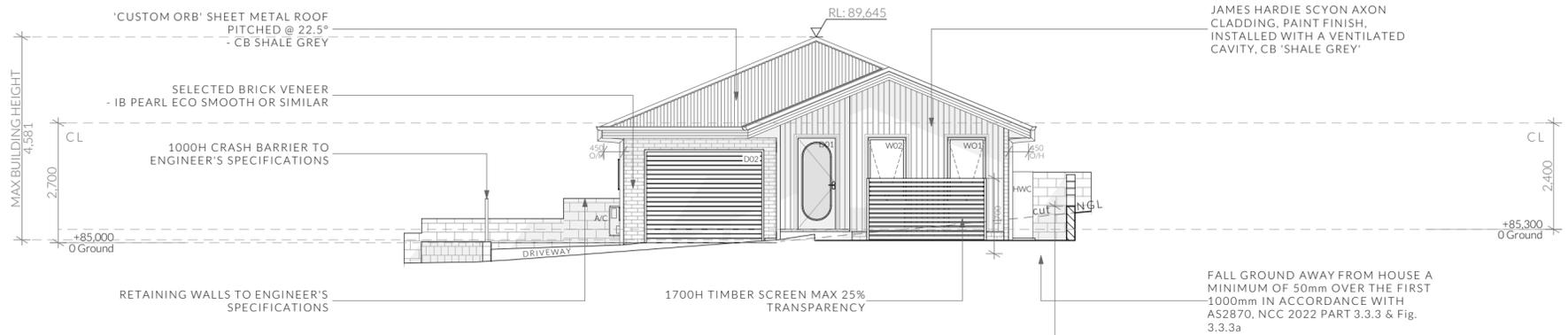
Issue	Date	Description
DA-01	03/02/25	RFI Amendments
DA-02	12/03/25	RFI Amendments
DA-03	20/03/25	RFI Amendments



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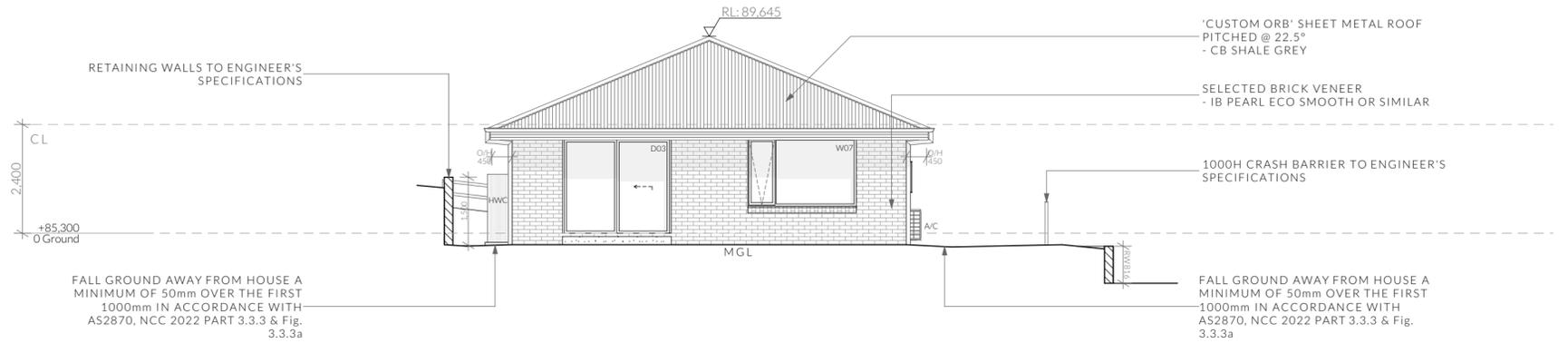


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U6 - West Elevation

1:100



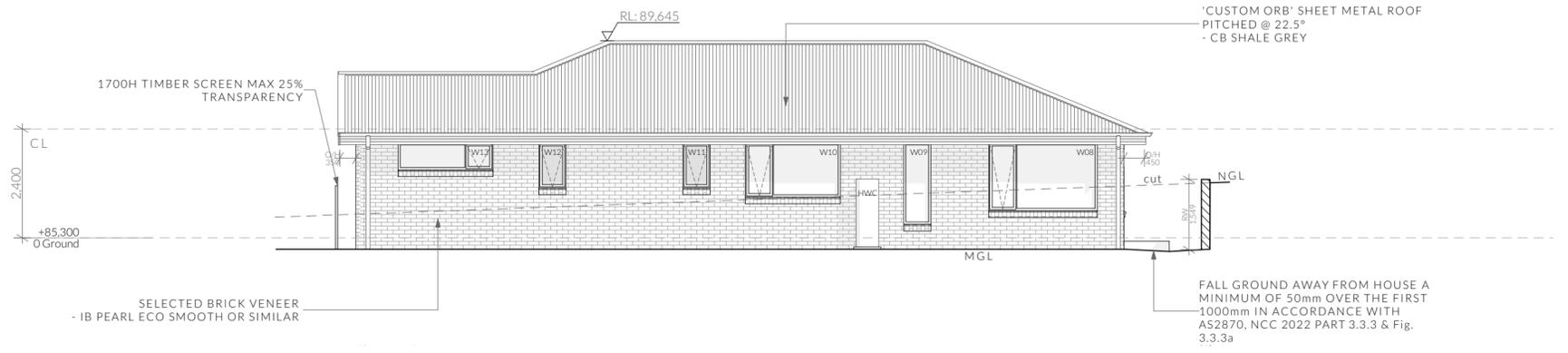
U6 - East Elevation

1:100



U6 - North Elevation

1:100



U6 - South Elevation

1:100

NOT FOR CONSTRUCTION

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Going: Min 240mm - Max 355mm
Slope (2R+G): Max 550 - Min 700

Unit Legend

Type A - U2

Type B - U1 & U3

Type C - U4 & U6

Type D - U5 & U7

Access Panel

Articulation Joint

Smoke Alarm

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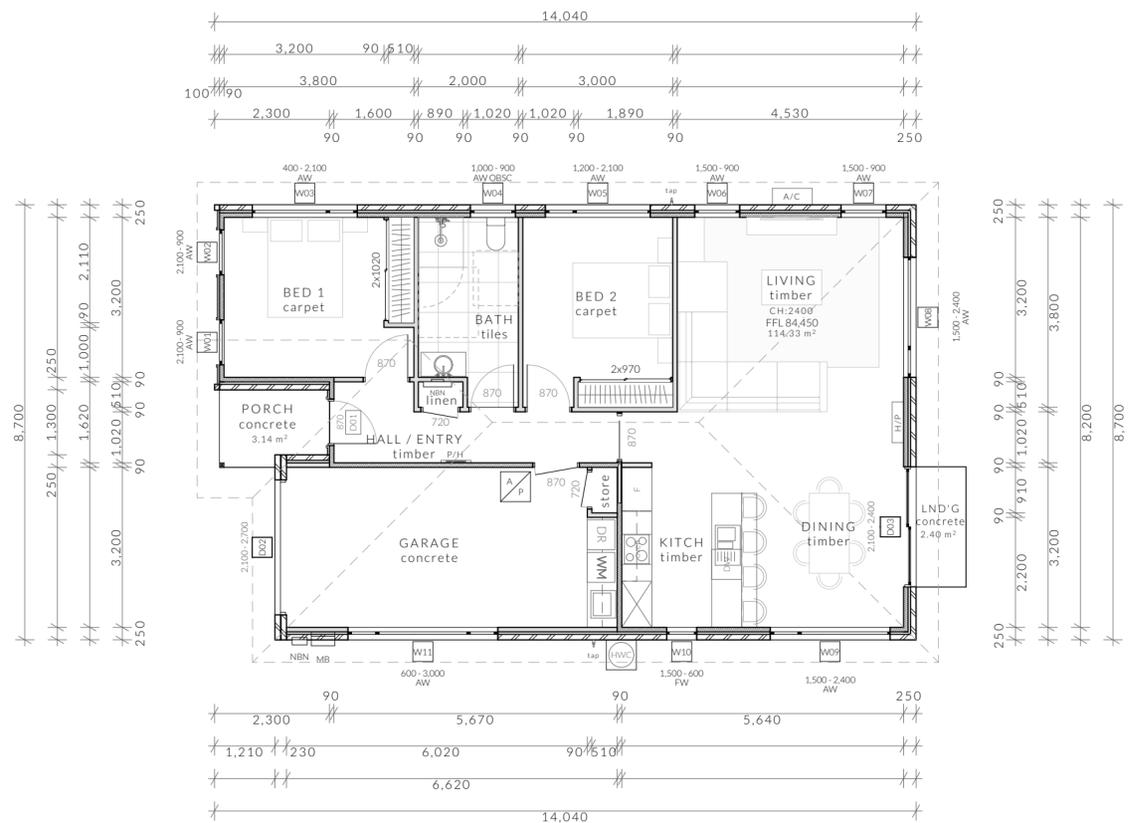
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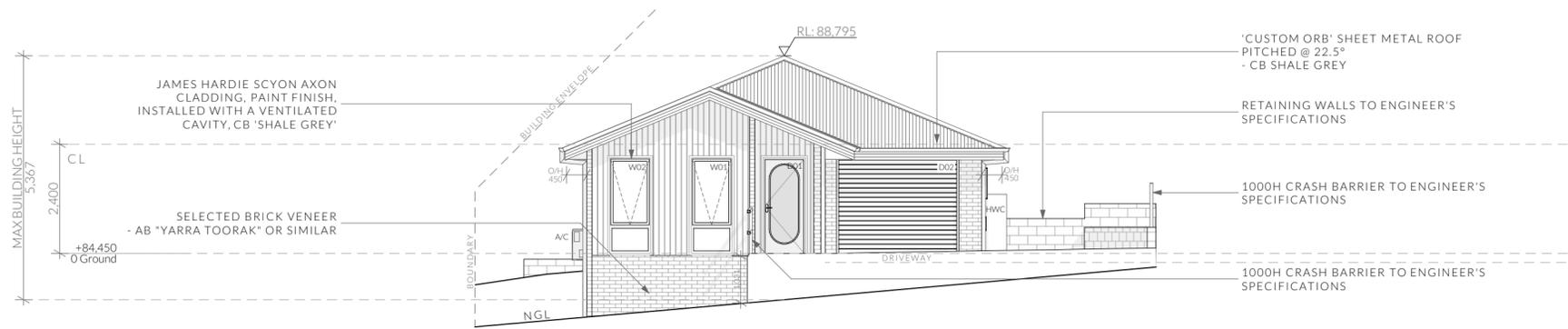


Floor Areas

Total Floor Area	114.33m ²
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Concrete Landing	2.40m ²

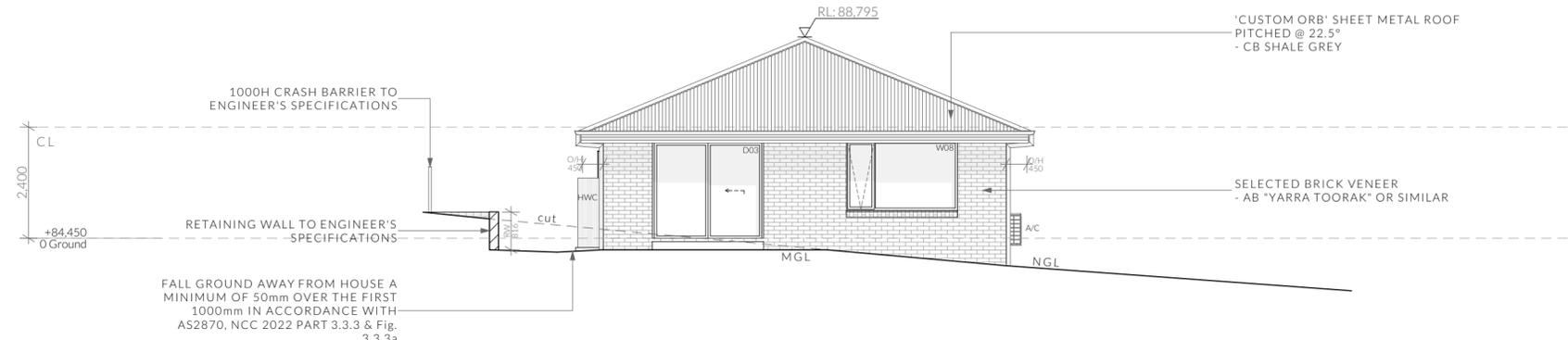
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	PINNACLE DRAFTING & DESIGN 7/3 Abernant Way, Cambridge 7170 03 6248 4218 admin@pinnacledrafting.com.au www.pinnacledrafting.com.au Licence: CC6073Y	U7 - Floor Plan Revision: DA - 02 Approved by: JN	Scale: 1:100 @ A2 Pg. No: A8.01	Proposal: Multiple Dwellings Client: Huntingfield Developments Address: 7 Silvergum Street, Brighton 7030	Date: 26/11/24 Drawn by: JSM/RZ/SH Job No: 092-2021 Engineer: Peter Henry Building Surveyor: LTBS	Issue Date DA-01 03/02/25 DA-02 12/03/25 DA-03 20/03/25	Description RFI Amendments RFI Amendments RFI Amendments		These drawings are the property of Pinnacle Drafting & Design Pty Ltd, reproduction in whole or part is strictly forbidden without written consent. © 2024. These drawings are to be read in conjunction with all drawings and documentation by Engineers, Surveyors and any other consultants referred to within this drawing set as well as any CLC and/or permit documentation. DO NOT SCALE FROM DRAWINGS; All Contractors are to verify dimensions on site before commencing any orders, works or requesting/producing shop drawings. ANY AND ALL DISCREPANCIES DISCOVERED BY OUTSIDE PARTIES ARE TO BE BROUGHT TO THE ATTENTION OF THE PINNACLE DRAFTING & DESIGN PTY LTD.	
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U7 - West Elevation

1:100



U7 - East Elevation

1:100



U7 - North Elevation

1:100



U7 - South Elevation

1:100

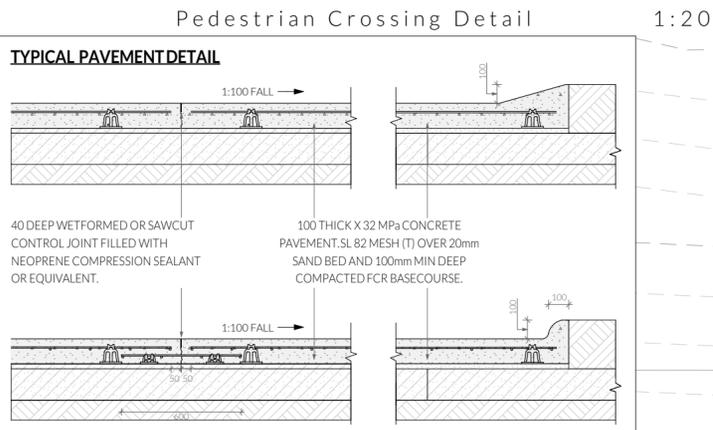
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Going: Min 240mm - Max 355mm
Slope (2R+G): Max 550 - Min 700

NOT FOR CONSTRUCTION

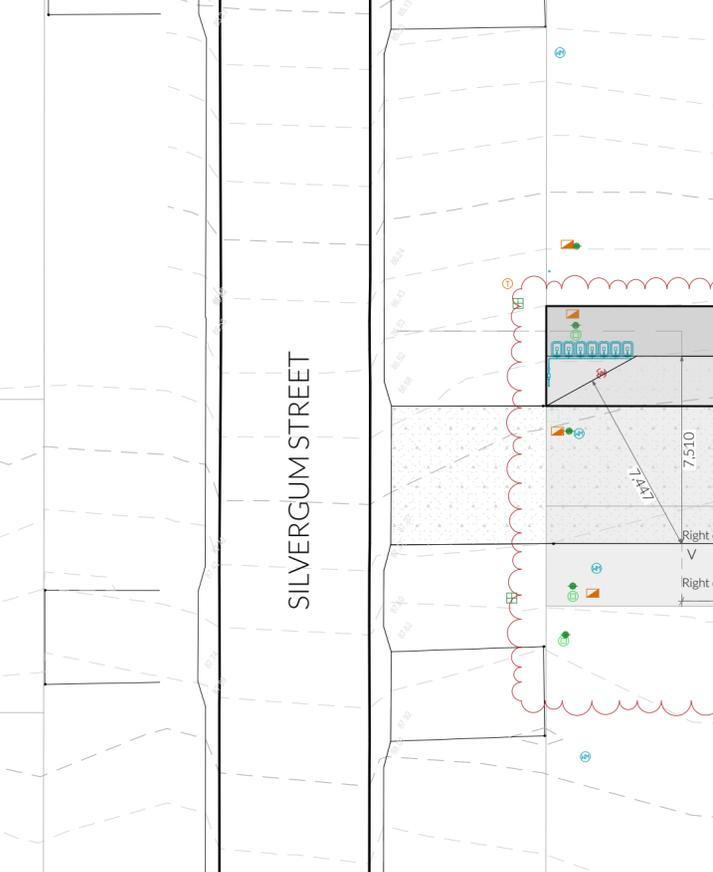


PEDESTRIAN CROSSING MARKINGS (AS 2890.1)

NOTE:
 - THE SLIP RESISTANCE OF PEDESTRIAN CROSSING LINE MARKING SHALL BE A MINIMUM OF CLASS P4 (WET PENDULUM TEST) AS SPECIFIED IN AS/NZS 4586.
 - SIGNAGE SHALL BE INSTALLED IN ACCORDANCE WITH AS 1742-10 - 2009.



Driveway Detail 1:20



Legend

- General Waste Bin
- Recycling Bin
- Green Waste Bin
- Clothesline
- Air Conditioner unit
- Meter Box
- Hot Water Cylinder
- 1.8m to 2.1m Paling Fence
- 1.7m high Timber Screen
- 1.2m Timber Fence
- Solar Bollard Lighting
- Spotlight with Sensor
- Seeded Lawn
- Mulched Garden Bed
- Gravel Area - Fine
- Decorative Pebble
- Water
- Paving

Note
Refer to Planting Schedule & Details page for plant information.

- BRI-S 12.7.2 A1**
- 1 tree in the private open space of each dwelling which can grow to a minimum height of 3m and a minimum spread of 2m at maturity.
 - Denotes potted plant within Easement

- BRI-S 12.7.2 A2**
- Landscaping of parking and circulation areas not less than 5% of the total area of the parking and circulation areas.

Areas

Landscaping in circulation areas	185.83m ²
Circulation Areas	961.19m ²
Percentage	19.33%

Impervious Areas	
2.734 sqm	Site area
906.03 sqm	Total Building Area
629.03 sqm	Driveway Area
1535.06sqm	Total Area
43.86%	Impervious Free



Planting Schedule

Symbol	Name	Qty	Pot Size	Height	Spread
	Abelia sp.	24		6,000	1,000
	Acer sp.	7	200mm	4,000	3,000
	Anigozanthos sp.	17		6,000	1,000
	Callistemon sp.	4		6,000	2,000
	Dianella tasmanica	24		6,000	1,000
	Eremophila sp.	24		6,000	1,200
	Grevillea sp.	4		6,000	2,500
	Hebe sp.	3		6,000	1,200
	Lavandula sp.	11		6,000	1,500
	Lomandra sp.	2		6,000	1,000

BRI-S 12.7.2 A1

- 1 tree in the private open space of each dwelling which can grow to a minimum height of 3m and a minimum spread of 2m at maturity.
- Denotes potted plant within Easement

Note

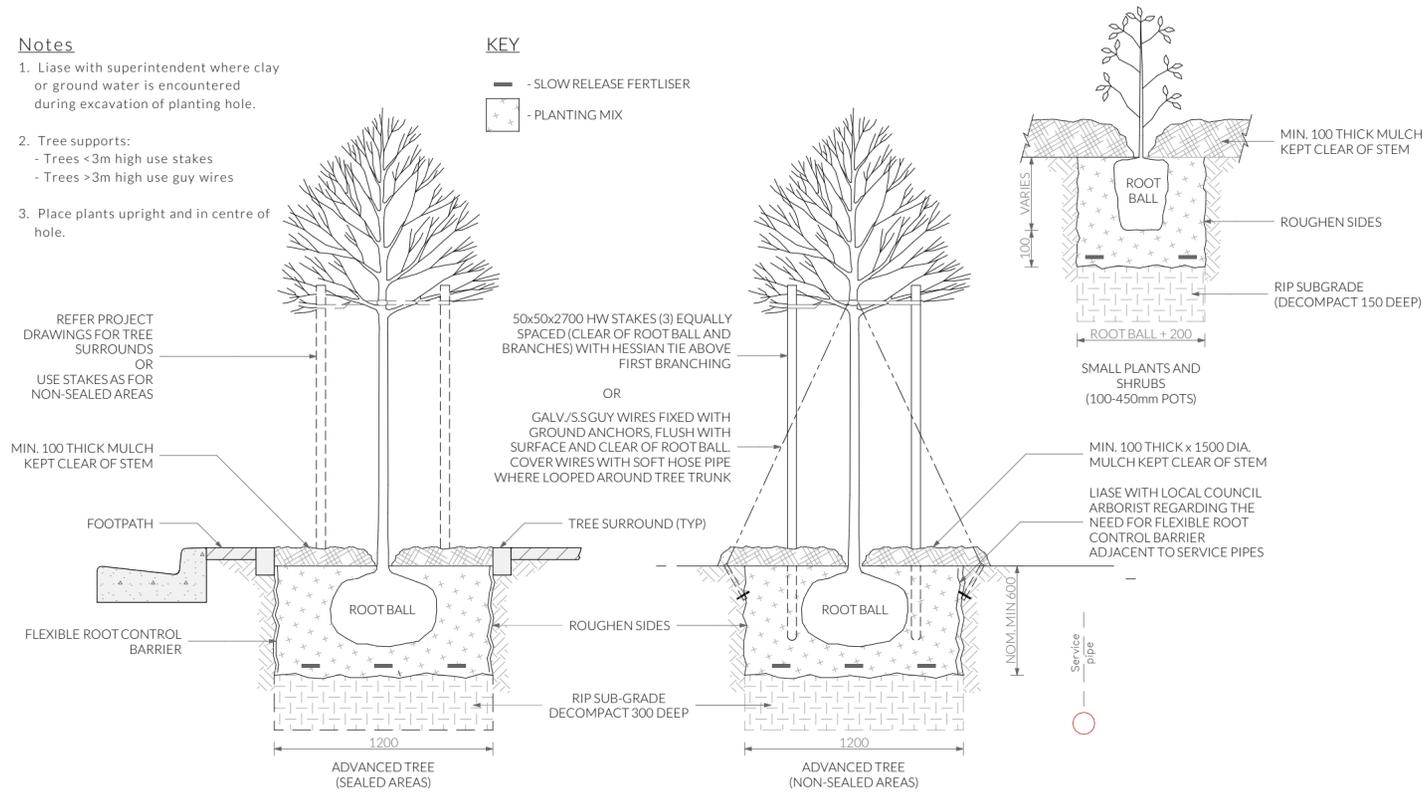
Plants have been selected to be drought tolerant and low maintenance once established, it is recommended that a dripper system or similar be put into place until established. Plant locations are indicative and may be altered where suitable growing conditions cannot be met. Garden areas to be mulched with 75mm cover of selected mulch and plants are to be fertilised 6 monthly or where required until established. Garden edges are to be timber, steel, or brick. Plantings that are unsuccessful will be replaced where required.

Notes

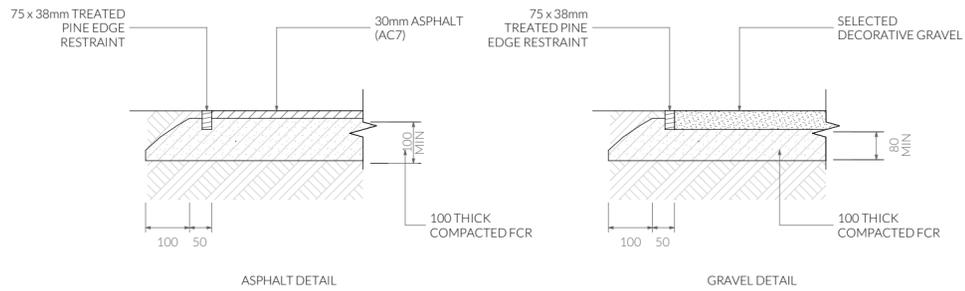
- Liase with superintendent where clay or ground water is encountered during excavation of planting hole.
- Tree supports:
 - Trees <3m high use stakes
 - Trees >3m high use guy wires
- Place plants upright and in centre of hole.

KEY

- SLOW RELEASE FERTILISER
- PLANTING MIX



Tree and Shrub Planting



Pavement Details

1:20

NOT FOR CONSTRUCTION



As constructed information shown on this plan located by field survey dated 10-01-24. Surface features & inverts located as found. Position of underground services not visible at the time of survey have been positioned based on the located surface features plus the advice from the civil contractor.
 Horizontal Datum: GRID GDA20 Z55 - Horizontal & Vertical Accuracy ± 0.03m
 Combined Scale Factor: 0.99959407 Coordinate Origin: SPM10138 per SURCOM

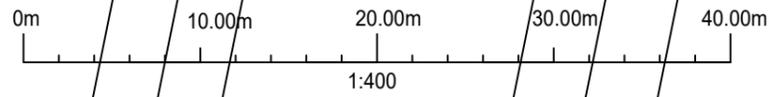


UNIT 1, 2 KENNEDY DRIVE
 CAMBRIDGE 7170
 PHONE: (03)6248 5898
 EMAIL: admin@rbsurveyors.com
 WEB: www.rbsurveyors.com

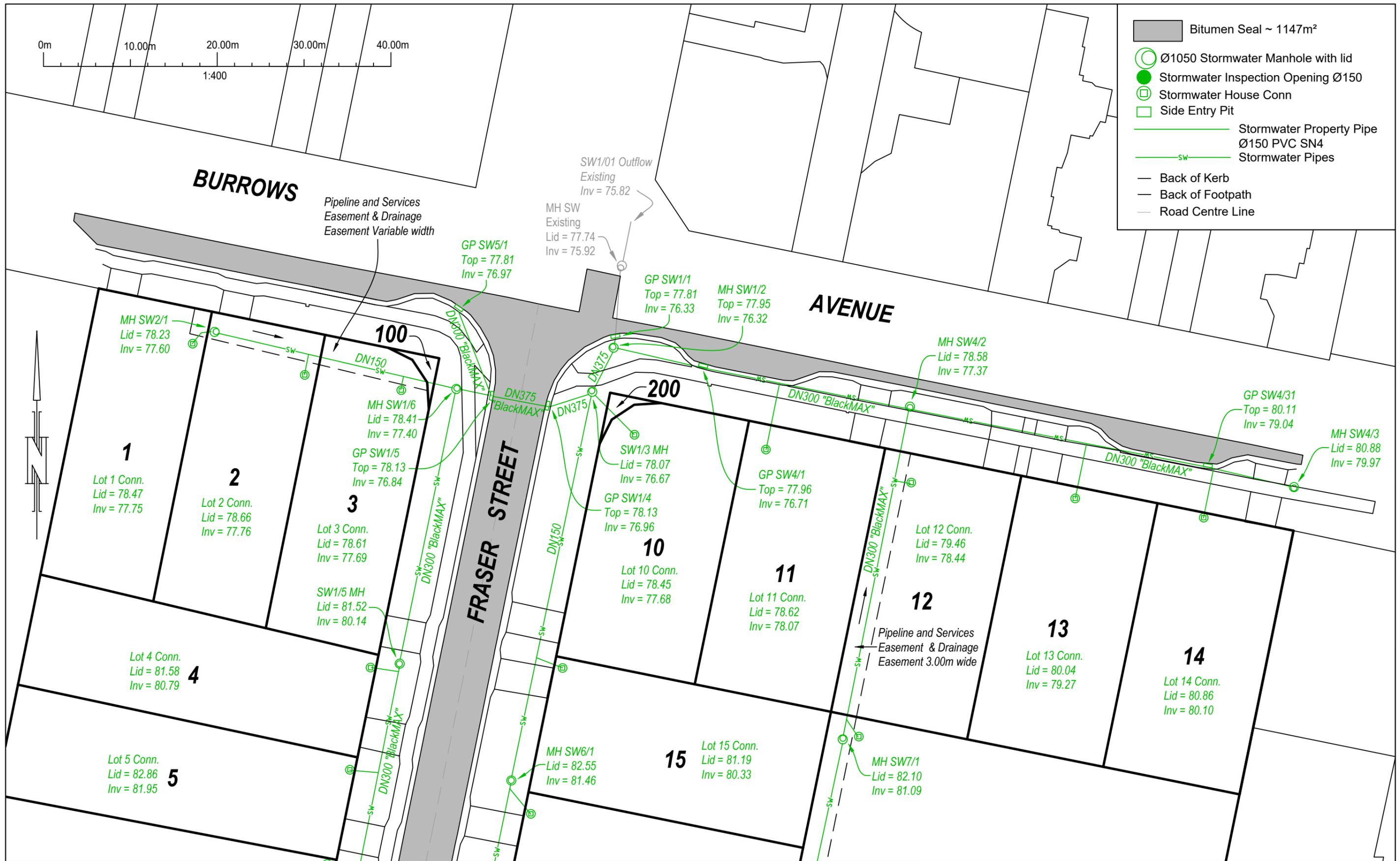
As-constructed Plan

FOR: Brighton Council
 LOCATION: 15 & 19 Burrows Avenue, Brighton

Reference:
 HUNTI02
 Date:
 10-01-24
 Scale:
 1:400 (A3)



- Bitumen Seal ~ 1147m²
- Ø1050 Stormwater Manhole with lid
- Stormwater Inspection Opening Ø150
- Stormwater House Conn
- Side Entry Pit
- Stormwater Property Pipe Ø150 PVC SN4
- Stormwater Pipes
- Back of Kerb
- Back of Footpath
- Road Centre Line



As constructed information shown on this plan located by field survey dated 10-01-24. Surface features & inverts located as found. Position of underground services not visible at the time of survey have been positioned based on the located surface features plus the advice from the civil contractor.
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 LOCATION: 15 & 19 Burrows Avenue, Brighton

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Scale: 1:400 (A3)

Amended Submission to Planning Authority Notice

Application details

Council Planning Permit No.	DA 2024/234
Council notice date	17/12/2024
TasWater Reference No.	TWDA 2024/01453-BTN
Date of response	23/12/2024
Amendment date	26/03/2025
TasWater Contact	Timothy Carr
Phone No.	0419 306 130

Response issued to

Council name	BRIGHTON COUNCIL
Contact details	development@brighton.tas.gov.au

Development details

Address	7 SILVERGUM ST, BRIGHTON
Property ID (PID)	9255376
Description of development	Multiple dwellings x 7

Schedule of drawings/documents

Prepared by	Drawing/document No.	Revision No.	Issue date
Pinnacle Drafting	Site Plan / AO.02	DA-02	20/03/2025
Pinnacle Drafting	Landscaping Plan / L.01	DA-02	20/03/2025

Conditions

Pursuant to the *Water and Sewerage Industry Act 2008* (TAS) Section 56P(1) TasWater imposes the following conditions on the permit for this application:

CONNECTIONS, METERING & BACKFLOW

1. A suitably sized water supply with metered connections and sewerage system and connections to the development must be designed and constructed to TasWater's satisfaction and be in accordance with any other conditions in this permit.

2. Any removal/supply and installation of water meters and/or the removal of redundant and/or installation of new and modified property service connections must be carried out by TasWater at the developer's cost.
3. Prior to commencing construction /use of the development, any water connection utilised for construction/the development must have a backflow prevention device and water meter installed, to the satisfaction of TasWater.

TREES NEAR TASWATER PIPES

4. Trees with a canopy diameter of 2m or greater located within 2m of existing or proposed TasWater sewerage infrastructure must have the root system contained within a tub, raised garden bed or other suitable root barrier system designed to mitigate the potential for the tree roots to infiltrate the pipe trench and/or the pipe.

DEVELOPER CHARGES

5. Prior to TasWater issuing a Certificate(s) for Certifiable Work (Building) and/or (Plumbing), the applicant or landowner as the case may be, must pay a developer charge totalling \$7,028.00 to TasWater for water infrastructure for 4.00 additional Equivalent Tenements, indexed by the Consumer Price Index All groups (Hobart) from the date of this Submission to Planning Authority Notice until the date it is paid to TasWater.
6. Prior to TasWater issuing a Certificate(s) for Certifiable Work (Building) and/or (Plumbing), the applicant or landowner as the case may be, must pay a developer charge totalling \$9,224.25 to TasWater for sewerage infrastructure for 5.25 additional Equivalent Tenements, indexed by the Consumer Price Index All groups (Hobart) from the date of this Submission to Planning Authority Notice until the date it is paid to TasWater.
7. In the event Council approves a staging plan, prior to TasWater issuing a Certificate(s) for Certifiable Work (Building) and/or (Plumbing) for each stage, the developer must pay the developer charges commensurate with the number of Equivalent Tenements in each stage, as approved by Council.

DEVELOPMENT ASSESSMENT FEES

8. The applicant or landowner as the case may be, must pay a development assessment fee of \$403.51 to TasWater, as approved by the Economic Regulator and the fees will be indexed, until the date paid to TasWater.

The payment is required within 30 days of the issue of an invoice by TasWater.

Advice

General

For information on TasWater development standards, please visit

<https://www.taswater.com.au/building-and-development/technical-standards>

For application forms please visit

<https://www.taswater.com.au/building-and-development/development-application-form>

Developer Charges

For information on Developer Charges please visit the following webpage -

<https://www.taswater.com.au/building-and-development/developer-charges>

Water Submetering

As of July 1 2022, TasWater's Sub-Metering Policy no longer permits TasWater sub-meters to be installed for new strata developments. Please ensure plans submitted with the application for Certificate(s) for Certifiable Work (Building and/or Plumbing) reflect this. For clarity, TasWater does not object to private sub-metering arrangements. Further information is available on our website (www.taswater.com.au) within our Sub-Metering Policy and Water Metering Guidelines.

Trees near TasWater Pipes

Section 56X(1) of the Water and Sewerage Industry Act 2008 (No. 13 of 2008) states that a regulated entity (TasWater) may, by notice in writing, require the owner of any land to remove any tree on that land if the regulated entity reasonably decides that the tree is obstructing or damaging the regulated entity's works or that it is likely to obstruct or damage them. The developer should carefully consider the type of trees planted within the proximity of TasWater infrastructure to avoid the possibility of removal by TasWater at the owners cost at some time in the future.

Service Locations

Please note that the developer is responsible for arranging to locate the existing TasWater infrastructure and clearly showing it on the drawings. Existing TasWater infrastructure may be located by a surveyor and/or a private contractor engaged at the developers cost to locate the infrastructure.

- (a) A permit is required to work within TasWater's easements or in the vicinity of its infrastructure. Further information can be obtained from TasWater.
- (b) TasWater has listed a number of service providers who can provide asset detection and location services should you require it. Visit <https://www.taswater.com.au/building-and-development/service-locations> for a list of companies.

Declaration

The drawings/documents and conditions stated above constitute TasWater's Submission to Planning Authority Notice.