



Application for Planning Approval

Land Use Planning and Approvals Act 1993

APPLICATION NO.

DA2025/009

LOCATION OF AFFECTED AREA

11 SUN VALLEY DRIVE, OLD BEACH

DESCRIPTION OF DEVELOPMENT PROPOSAL

DWELLING ALTERATION AND ADDITIONS

A COPY OF THE DEVELOPMENT APPLICATION MAY BE VIEWED AT www.brighton.tas.gov.au AND AT THE COUNCIL OFFICES, 1 TIVOLI ROAD, OLD BEACH, BETWEEN 8:15 A.M. AND 4:45 P.M, MONDAY TO FRIDAY OR VIA THE QR CODE BELOW. ANY PERSON MAY MAKE WRITTEN REPRESENTATIONS IN ACCORDANCE WITH S.57(5) OF THE LAND USE PLANNING AND APPROVALS ACT 1993 CONCERNING THIS APPLICATION UNTIL 4:45 P.M. ON **26/02/2025**. ADDRESSED TO THE CHIEF EXECUTIVE OFFICER AT 1 TIVOLI ROAD, OLD BEACH, 7017 OR BY EMAIL AT development@brighton.tas.gov.au. REPRESENTATIONS SHOULD INCLUDE A DAYTIME TELEPHONE NUMBER TO ALLOW COUNCIL OFFICERS TO DISCUSS, IF NECESSARY, ANY MATTERS RAISED.

JAMES DRYBURGH
Chief Executive Officer



Brighton
going places

SITE INFORMATION

LAND TITLE REFERENCE 22254/7
 WIND CLASSIFICATION UNKNOWN
 SOIL CLASSIFICATION UNKNOWN
 WIND AND SOIL CLASSIFICATION NOT UNDERTAKEN

CLIMATE ZONE 7
 BUSHFIRE ATTACK LEVEL BAL-LOW
 PROPERTY NOT LOCATED WITHIN "BUSHFIRE-PRONE AREAS" LAYER UNDER TASMANIAN PLANNING SCHEME OVERLAY (LISTmap) AS OF 12/12/2024

ALPINE AREA NO
 CORROSION ENVIRONMENT HIGH
 OTHER CONSIDERATIONS NIL KNOWN

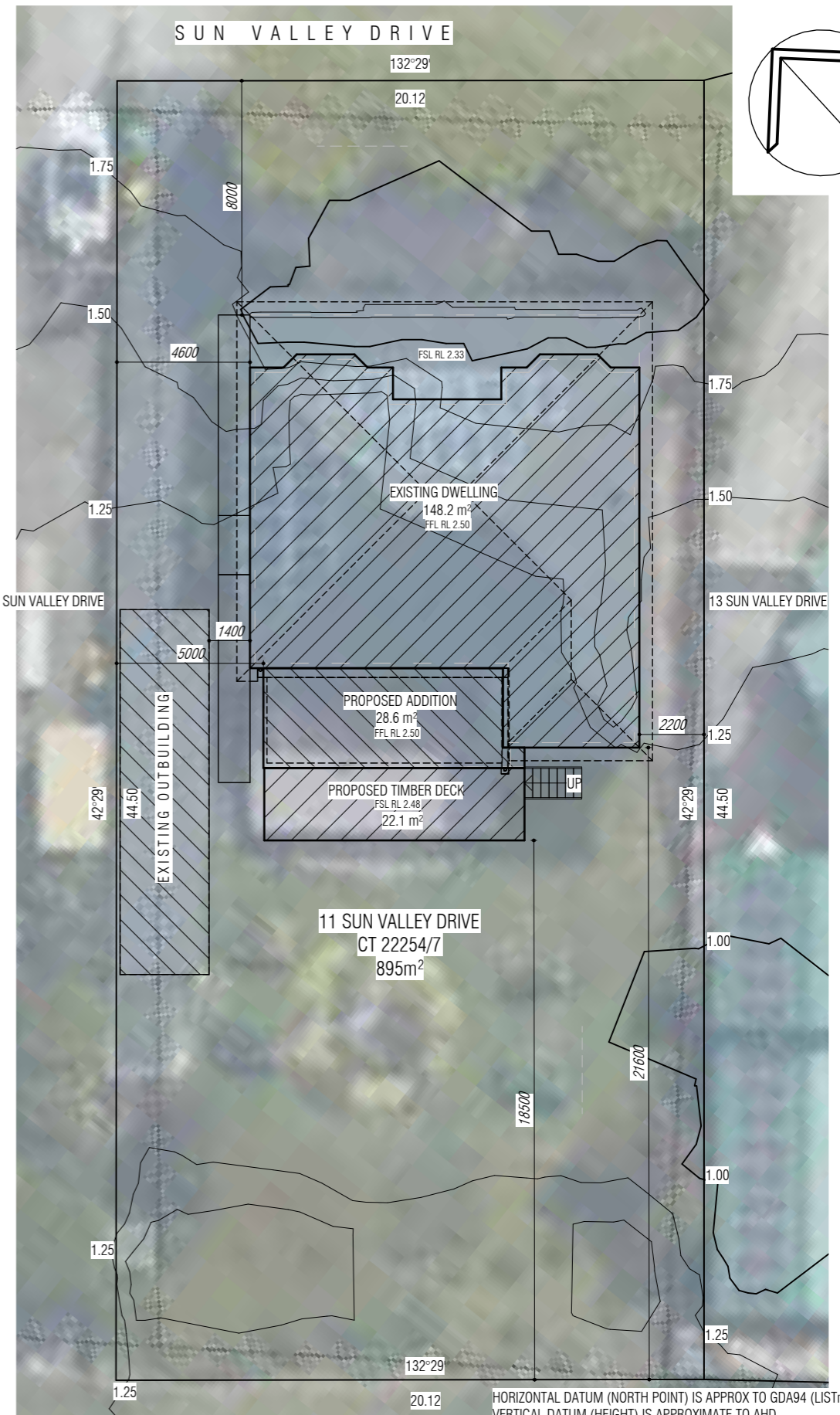
PLANNING & ZONING INFORMATION

ZONING: 8 - GENERAL RESIDENTIAL (TASMANIAN PLANNING SCHEME)

OVERLAYS: BRIGHTON LOCAL PROVISIONS SCHEDULE
 • COASTAL INUNDATION HAZARD CODE - LOW AND MEDIUM
 • COASTAL EROSION HAZARD CODE - LOW, MEDIUM AND HIGH
 • NATURAL ASSETS CODE - WATERWAY & COASTAL PROTECTION AREA (PART)

SITE AREAS

EXISTING DWELLING EXCLUDING DECKS, LANDINGS AND STAIRS	148.2m ²
EXISTING ROOF AREA - DWELLING	200.0m ²
EXISTING OUTBUILDING	38.0m ²
EXISTING SITE COVERAGE	284.0m ²
PROPOSED ADDITION	28.6m ²
PROPOSED DECK	22.1m ²
PROPOSED ROOF AREA - DWELLING	223.6m ²
PROPOSED SITE COVERAGE	283.6m ²
LAND AREA	895m ²
SITE COVERAGE PERCENTAGE	31.7%



HORIZONTAL DATUM (NORTH POINT) IS APPROX TO GDA94 (LISTmap)
 VERTICAL DATUM (HEIGHT) IS APPROXIMATE TO AHD.
 LEVELS AND CONTOURS ARE DERIVED FROM LIDAR DATA AND ARE RELATIVE AND APPROXIMATE ONLY. BEARINGS IN ITALICS ARE ROUNDED AND INDICATIVE ONLY.
 BOUNDARY DISTANCES AND CONTOUR HEIGHTS ARE IN METRES. BEARINGS ARE AS PER P22254. SITE INFORMATION NOT CONFIRMED BY SURVEYOR

DATE	REVISION/ISSUE	DRAWING LIST	
13/12/2024	CLIENT REVIEW	SITE PLANS	24-014 A01
28/01/2025	DEVELOPMENT APP	FLOOR PLAN - EXISTING	24-014 A02
		FLOOR PLAN - PROPOSED	24-014 A03
		ELEVATIONS - EXISTING	24-014 A04
		ELEVATIONS - PROPOSED	24-014 A05
		ROOF & CONCEPT S/W PLAN	24-014 A06
		3D VIEWS	24-014 B01
		SWMP	24-014 C01



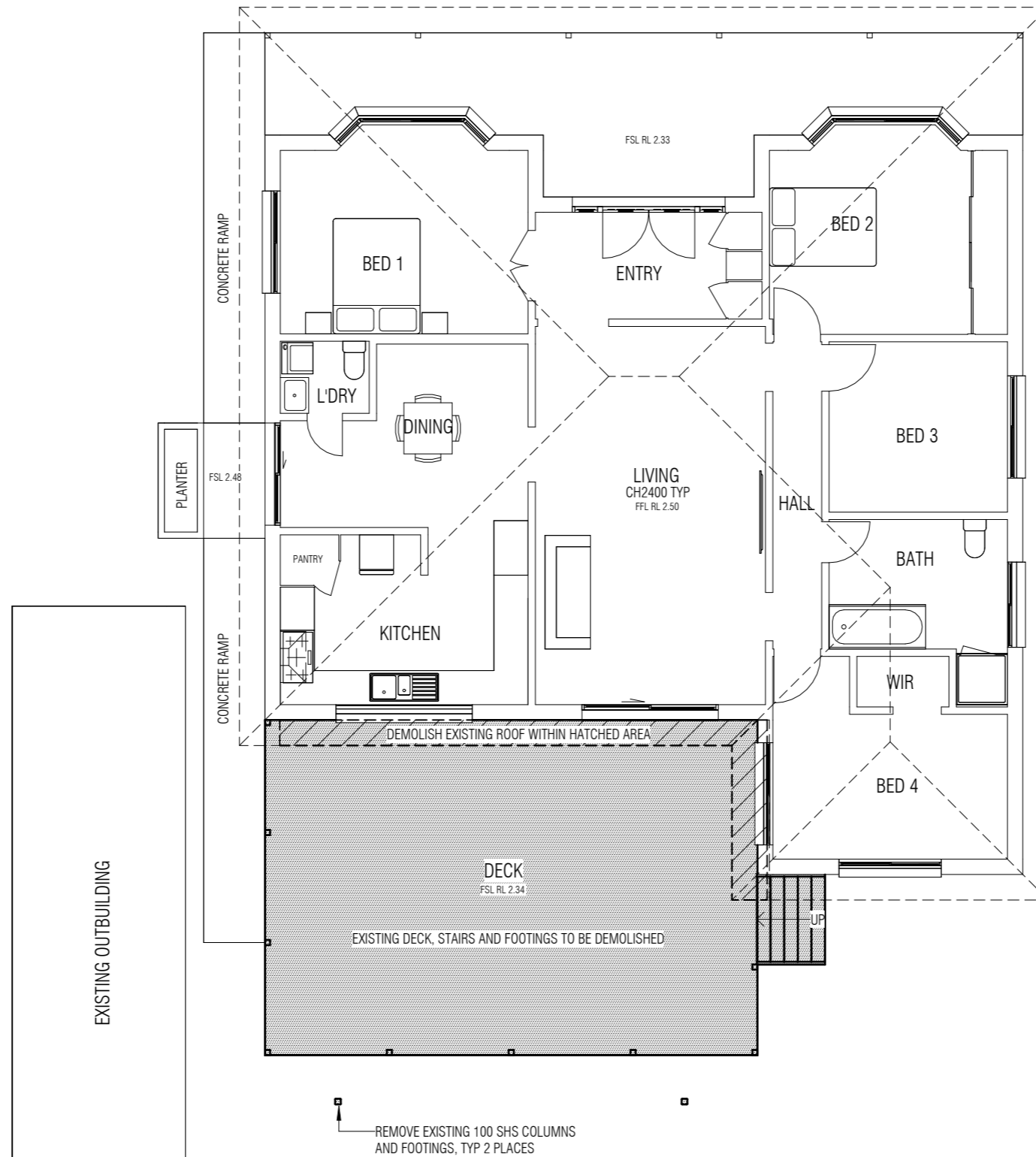
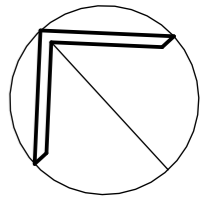
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 Building Services Provider Licence No 619068752

Client:
 KEVIN & LORETTA MACDONALD
 Project:
 ADDITIONS & ALTERATIONS
 11 SUN VALLEY DRIVE,
 OLD BEACH, TAS 7017

Scale: 1 : 200 at A3
 Drawn: PB
 Checked: PB

DIMENSIONS IN MILLIMETRES UNLESS OTHERWISE NOTED.
 DO NOT SCALE DRAWINGS. USE ONLY WRITTEN DIMENSIONS.
 1:200 0 2 4 6 8 10m

Project No:
24-014
 Drawing No:
A01



WALL LEGEND:

	EXISTING
	TO BE DEMOLISHED

FCL - FINISHED CEILING LEVEL
 FFL - FINISHED FLOOR LEVEL
 FSL - FINISHED SURFACE LEVEL
 NGL - NATURAL GROUND LEVEL

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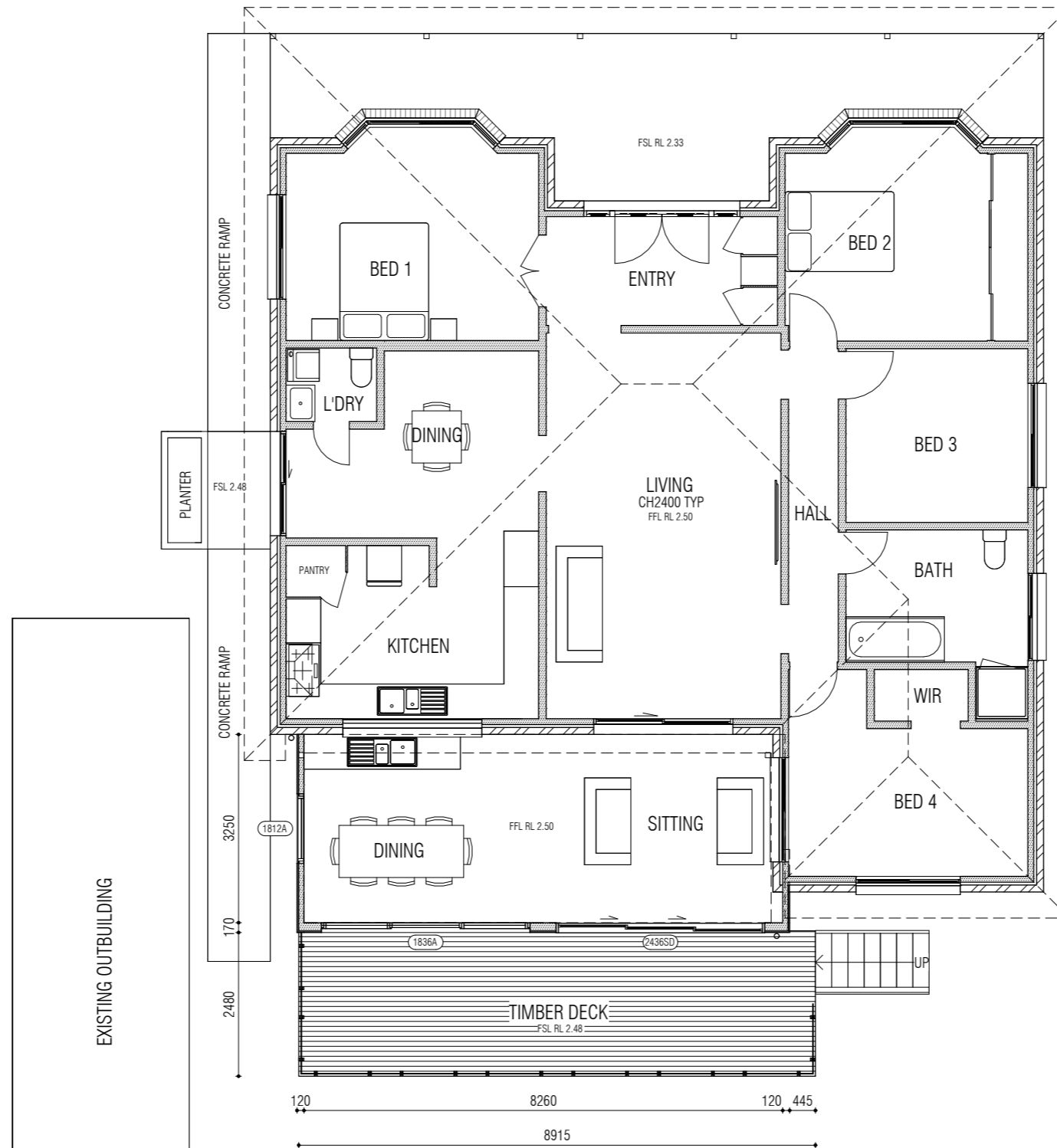
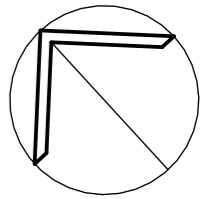
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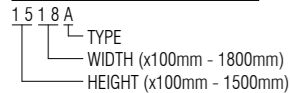
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FLOOR PLAN - EXISTING

Project No:
24-014
 Drawing No:
A02



WINDOW & SLIDING DOOR LEGEND:



- TYPES:**
- A - AWNING
 - SD - SLIDING DOOR
 - FCL - FINISHED CEILING LEVEL
 - FFL - FINISHED FLOOR LEVEL
 - FSL - FINISHED SURFACE LEVEL

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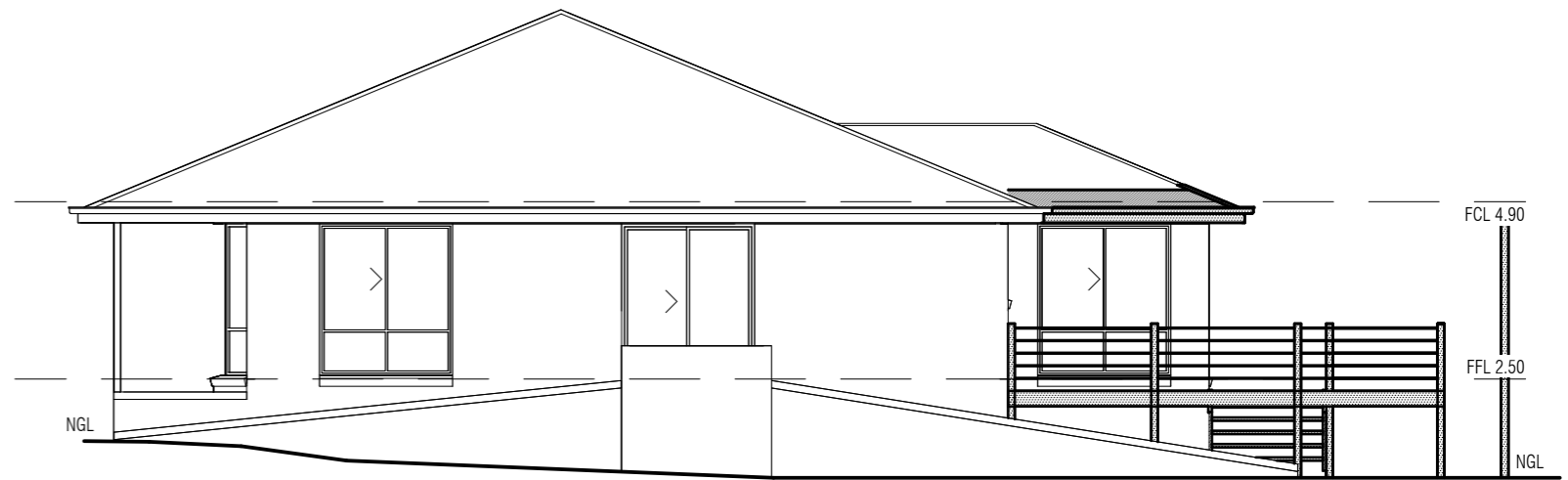
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FLOOR PLAN - PROPOSED

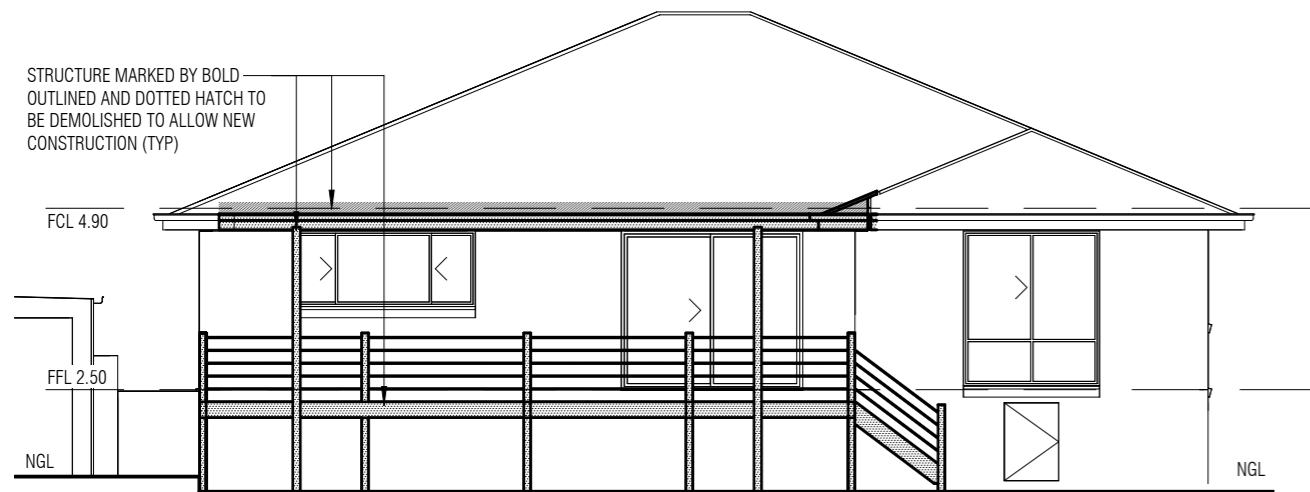
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A03



NORTH EAST ELEVATION - EXISTING
SCALE 1 : 100 at A3



NORTH WEST ELEVATION - EXISTING
SCALE 1 : 100 at A3



SOUTH WEST ELEVATION - EXISTING
SCALE 1 : 100 at A3



SOUTH EAST ELEVATION - EXISTING
SCALE 1 : 100 at A3

FCL - FINISHED CEILING LEVEL
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NGL - NATURAL GROUND LEVEL

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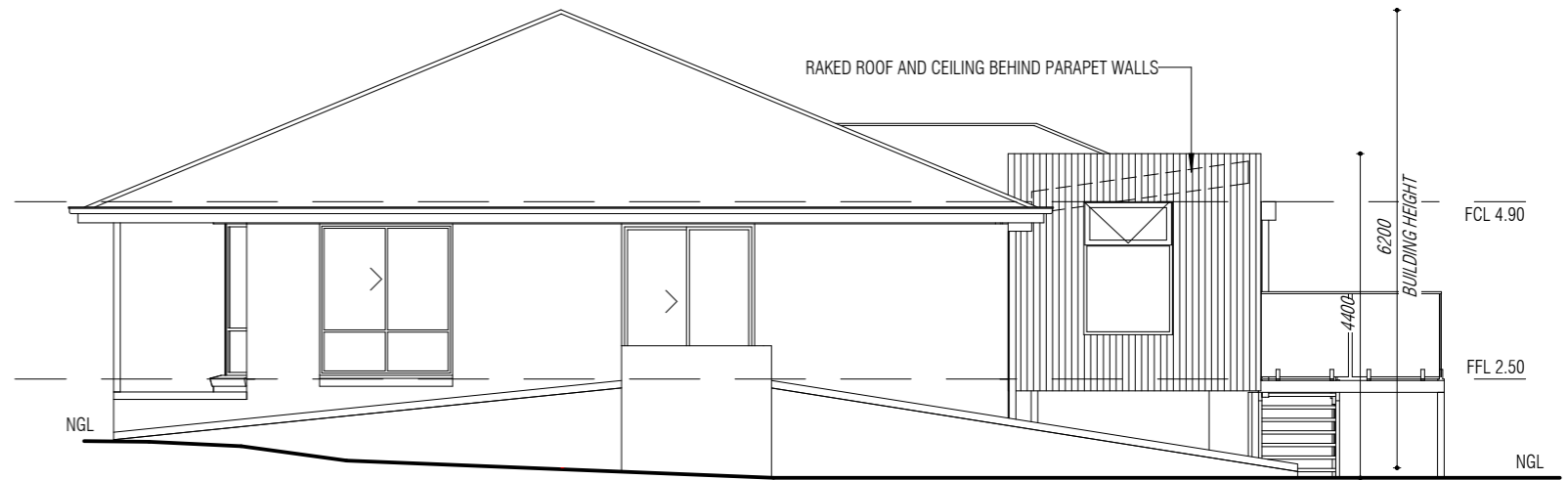
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ELEVATIONS - EXISTING

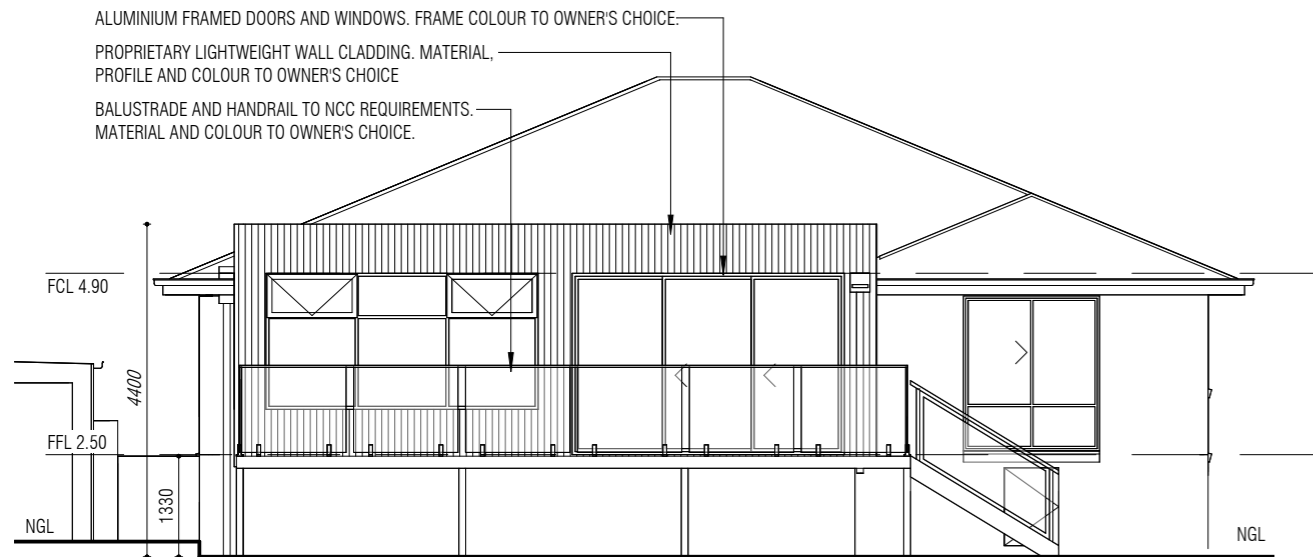
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24-014
Drawing No:
A04



NORTH EAST ELEVATION - PROPOSED
SCALE 1 : 100 at A3



NORTH WEST ELEVATION - PROPOSED
SCALE 1 : 100 at A3



SOUTH WEST ELEVATION - PROPOSED
SCALE 1 : 100 at A3



SOUTH EAST ELEVATION - PROPOSED
SCALE 1 : 100 at A3

FCL - FINISHED CEILING LEVEL
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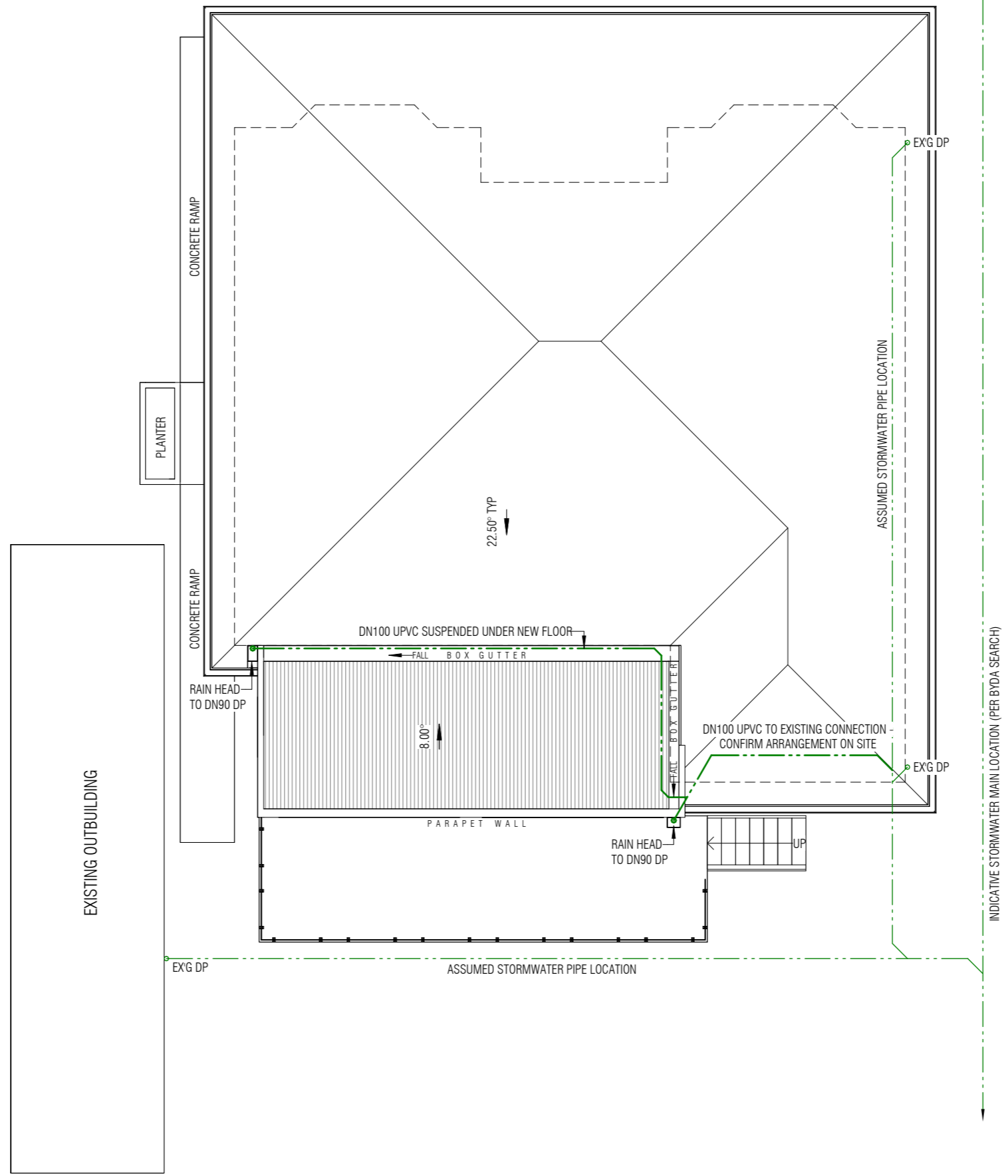
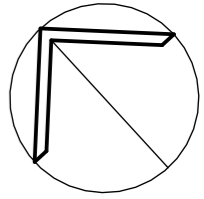
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 1:100 5m



ELEVATIONS - PROPOSED

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A05



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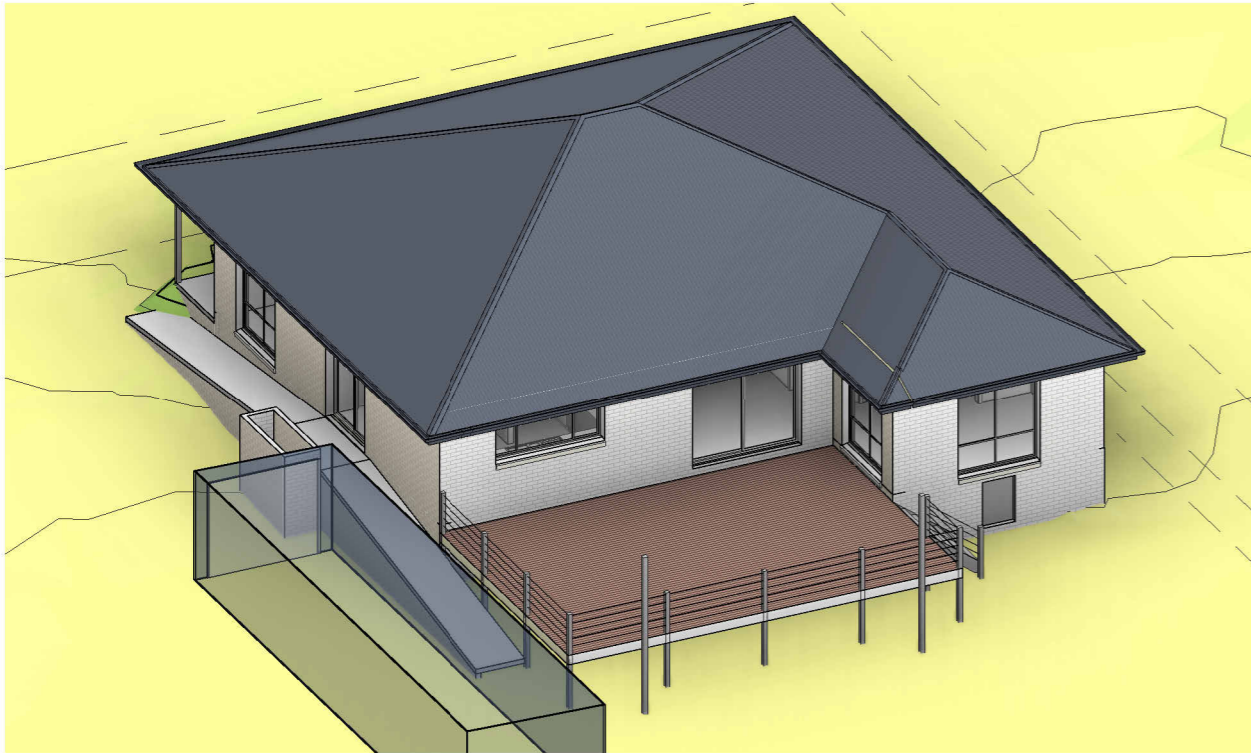
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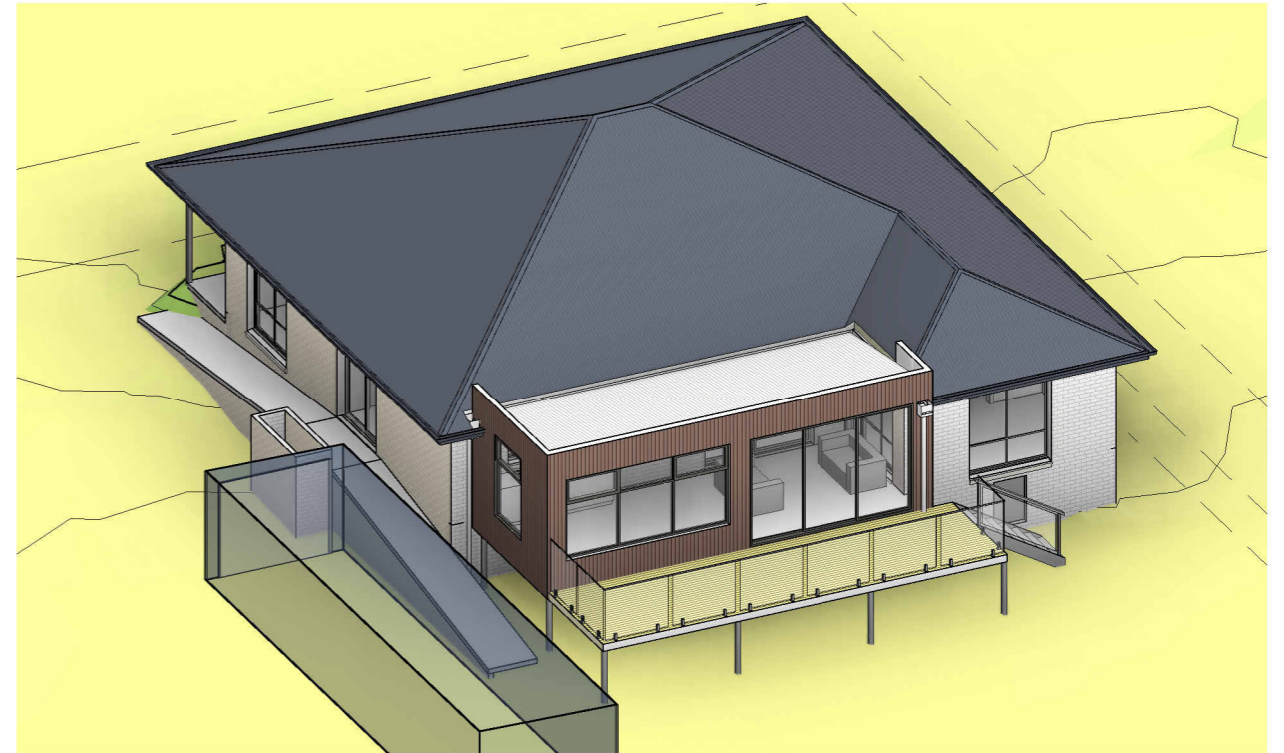
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 0 1 2 3 4 5m

**ROOF AND CONCEPT S/W
 PLAN - PROPOSED**

Project No:
24-014
 Drawing No:
A06



3D EXISTING
NOT TO SCALE



3D PROPOSED
NOT TO SCALE



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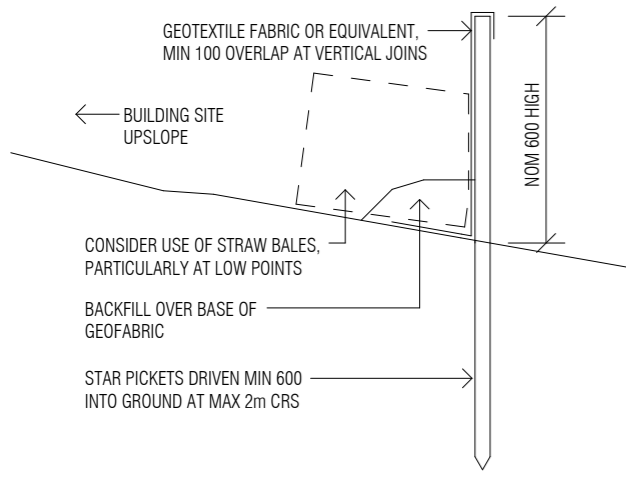
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3D VIEWS

Project No:
24-014
Drawing No:
B01



TYPICAL SEDIMENT FENCE DETAIL (NOT TO SCALE)

WITH REFERENCE TO ABCB HOUSING PROVISIONS STANDARD 2022 (1 MAY 2023),
3.3.3 SURFACE WATER DRAINAGE [FORMERLY 2019: 3.1.3.3]

THIS CLAUSE, IN PART, STATES THAT:

- THE GROUND BENEATH SUSPENDED FLOORS MUST BE GRADED SO THAT THE AREA BENEATH THE BUILDING IS ABOVE THE ADJACENT EXTERNAL FINISHED GROUND LEVEL AND SURFACE WATER IS PREVENTED FROM PONDING UNDER THE BUILDING

WITH REFERENCE TO ABCB HOUSING PROVISIONS STANDARD 2022 (1 MAY 2023),
4.2.3 EXCAVATION FOR FOOTINGS [FORMERLY 2019: 3.2.2.1]

THIS CLAUSE, IN PART, STATES THAT:

- EXCAVATION FOR FOOTINGS, INCLUDING THICKENINGS FOR SLABS AND PADS MUST BE CLEAN CUT WITH VERTICAL SIDES, WHEREVER POSSIBLE.
- THE BASE OF THE EXCAVATION MUST BE FOR FLAT SITES, GENERALLY LEVEL BUT MAY SLOPE NOT MORE THAN 1:40 TO ALLOW EXCAVATIONS TO DRAIN
- FOOTING EXCAVATIONS MUST BE FREE OF LOOSE EARTH, TREE ROOTS, MUD OR DEBRIS
- TOPSOIL CONTAINING GRASS ROOTS MUST BE REMOVED FROM THE SITE OF THE FOUNDATION.
- EXCAVATION DEPTHS AND SOIL CUTS MUST COMPLY WITH PART 3.2.
- THE HEIGHT OF A FINISHED SLAB-ON-GROUND MUST BE IN ACCORDANCE WITH 3.3.3(B).

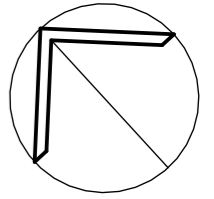
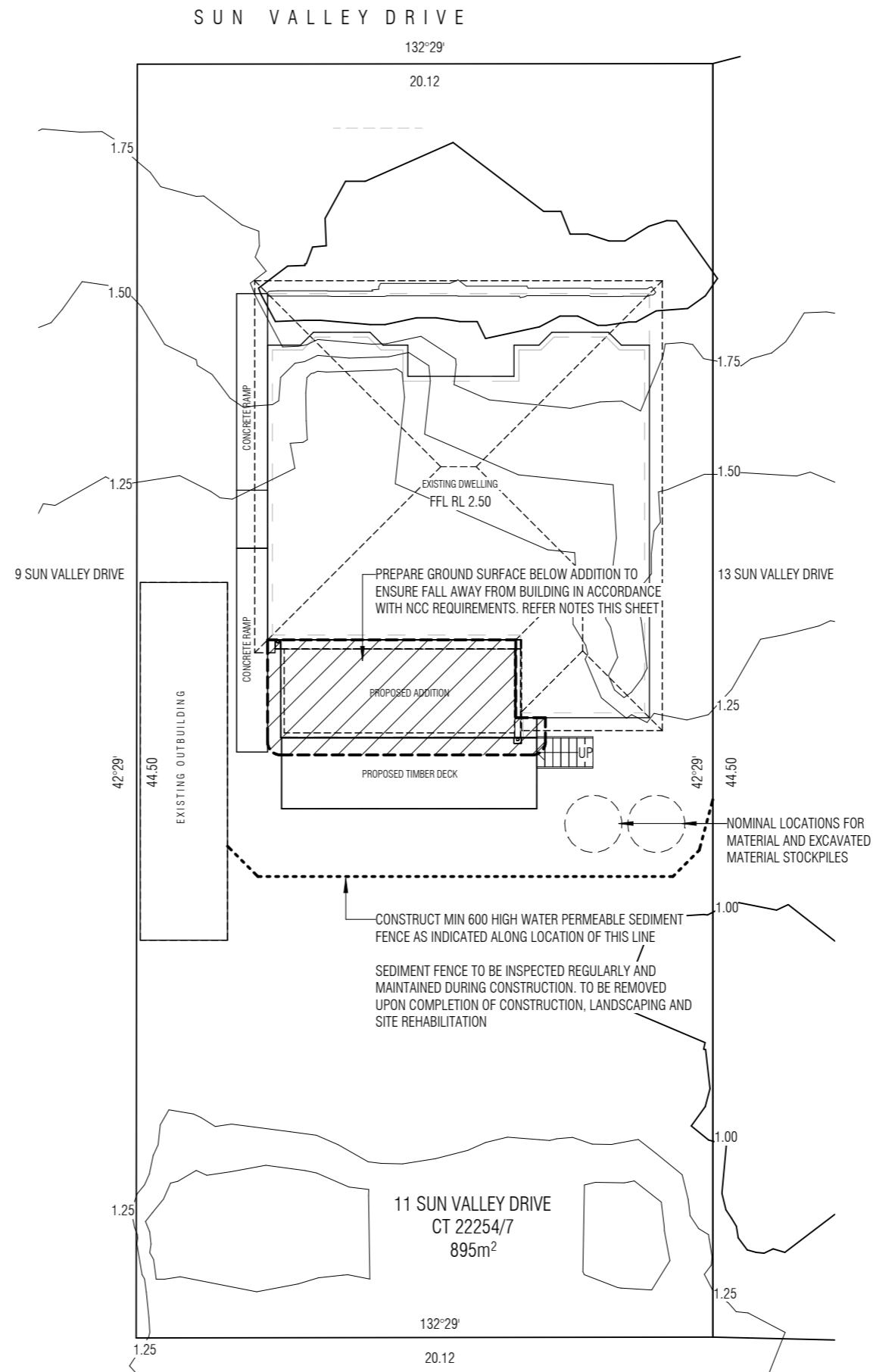
REFER TO THIS AND OTHER RELEVANT CLAUSES IN THE NCC FOR FULL REQUIREMENTS OF SITE PREPARATION

MANDATORY SOIL & WATER MANAGEMENT STRATEGIES

- INSTALL A SEDIMENT FENCE ON THE DOWNSLOPE SIDE OF ALL EXCAVATION OR MATERIAL STOCKPILES
- CONSTRUCT STABILISED SITE ACCESS - RECOMMENDED 200mm THICK LAYER OF 40mm AGGREGATE OR RECYCLED CONCRETE
- DOWNSPIPES TO BE CONNECTED TO STORMWATER PLUMBING AS SOON AS IS PRACTICAL AFTER INSTALLATION OF ROOF CLADDING AND GUTTERS
- INSTALL REQUIRED AG DRAINS PRIOR TO FOOTING EXCAVATION. REFER TO PLUMBING/DRAINAGE PLANS FOR LOCATIONS (AS REQUIRED)
- PERFORM SITE REHABILITATION (EG LANDSCAPING AND REVEGETATION) AS SOON AS POSSIBLE FOLLOWING CONSTRUCTION

RECOMMENDED SOIL & WATER MANAGEMENT STRATEGIES

- CONSTRUCT AND PROVIDE A VEHICLE WASHDOWN AREA NEAR SITE ACCESS WHERE APPLICABLE, TO PREVENT VEHICLES TRANSFERRING MUD AND DEBRIS ONTO ROADWAYS
- EXCAVATED MATERIAL TO BE REMOVED WHEN BUILDING WORKS ARE COMPLETE, OR USED AS FILL ON SITE FOR ANY LOW POINTS
- CONSTRUCTION VEHICLES TO PARK ON STREET WHENEVER POSSIBLE, TO PREVENT TRANSFER OF DEBRIS ONTO ROADWAY



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SOIL & WATER MANAGEMENT PLAN

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C01