



# Application for Planning Approval

## *Land Use Planning and Approvals Act 1993*

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APPLICATION NO.

**DA2025/001**

LOCATION OF AFFECTED AREA

**46 COBBS HILL ROAD, BRIDGEWATER**

DESCRIPTION OF DEVELOPMENT PROPOSAL

**RETROSPECTIVE GARAGE AND OUTBUILDING**

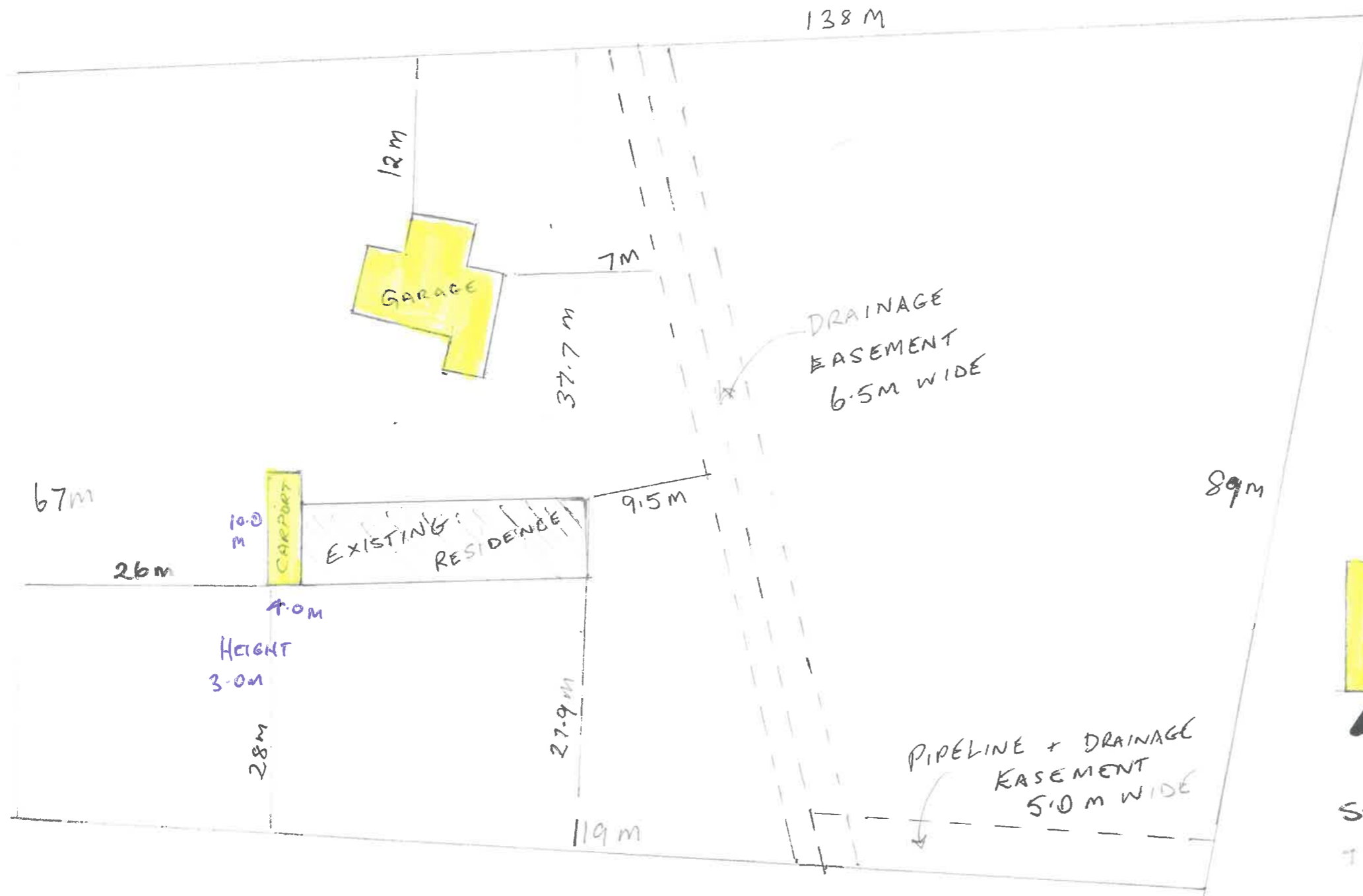
A COPY OF THE DEVELOPMENT APPLICATION MAY BE VIEWED AT [www.brighton.tas.gov.au](http://www.brighton.tas.gov.au) AND AT THE COUNCIL OFFICES, 1 TIVOLI ROAD, OLD BEACH, BETWEEN 8:15 A.M. AND 4:45 P.M, MONDAY TO FRIDAY OR VIA THE QR CODE BELOW. ANY PERSON MAY MAKE WRITTEN REPRESENTATIONS IN ACCORDANCE WITH S.57(5) OF THE LAND USE PLANNING AND APPROVALS ACT 1993 CONCERNING THIS APPLICATION UNTIL 4:45 P.M. ON **11/03/2025**. ADDRESSED TO THE CHIEF EXECUTIVE OFFICER AT 1 TIVOLI ROAD, OLD BEACH, 7017 OR BY EMAIL AT [development@brighton.tas.gov.au](mailto:development@brighton.tas.gov.au). REPRESENTATIONS SHOULD INCLUDE A DAYTIME TELEPHONE NUMBER TO ALLOW COUNCIL OFFICERS TO DISCUSS, IF NECESSARY, ANY MATTERS RAISED.

**JAMES DRYBURGH**  
**Chief Executive Officer**



**Brighton**  
*going places*

COBBS HILL ROAD



**SITE PLAN**

PROPOSED STORAGE SHED + WORKSHOP + CARPORT

**46 COBBS HILL ROAD**

STORM WATER PLUMBED TO DRAINAGE EASEMENT

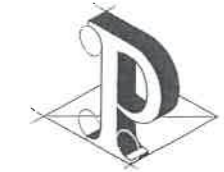
**Note:**  
 Builder and subcontractors to verify all dimensions and levels prior to the commencement of any work. Give 24 hours minimum notice where amendments are required to design of working drawings. These drawings are to be read in conjunction with engineers and surveyors drawings and notes. Do not scale drawings. Dimensions are to take preference over scale. Building specification and engineers drawings shall override architectural drawings.  
 All construction work shall be carried out in accordance with the state building regulations, local council by-laws and relevant BCA and AS codes.

**Important Notice for Attention of Owner:**  
 The owners attention is drawn to the fact that foundations and associated drainage in all sites requires continuing maintenance to assist footing performance. Advice for foundation maintenance is contained in the CSIRO building technology file 18 and it is the owners responsibility to maintain the site in accordance with this document.

**GLAZING PART 3.6 BCA**  
 ALL NEW WINDOWS TO BE ALUMINIUM AWNING OR FIXED STYLE, DOUBLE GLAZED.  
 ALL GLAZING SHALL COMPLY WITH THE REQUIREMENTS OF AS 2047 - AS 1288 AND BCA CLAUSES IN PART 3.6  
 HUMAN IMPACT SAFETY REQUIREMENTS SHALL COMPLY WITH BCA CLAUSES 3.6.4. PANE WITHIN 500mm FROM FINISHED FLOOR LEVEL & GLAZED FULL HEIGHT.

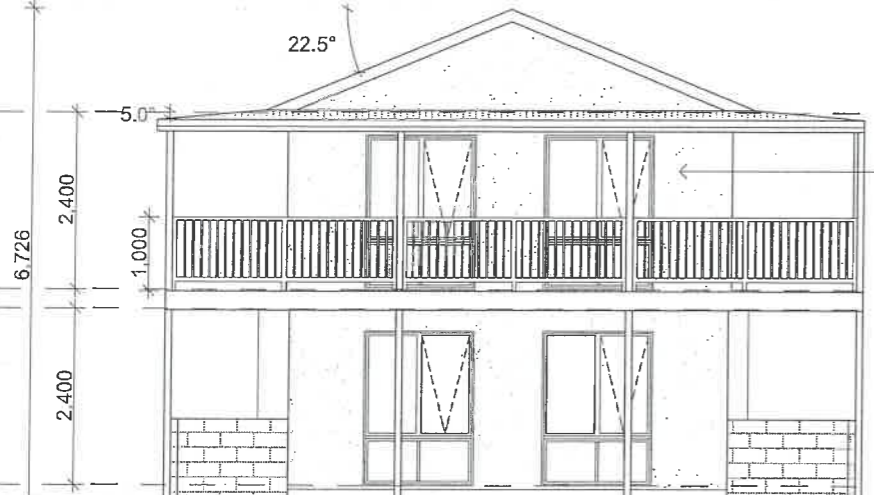
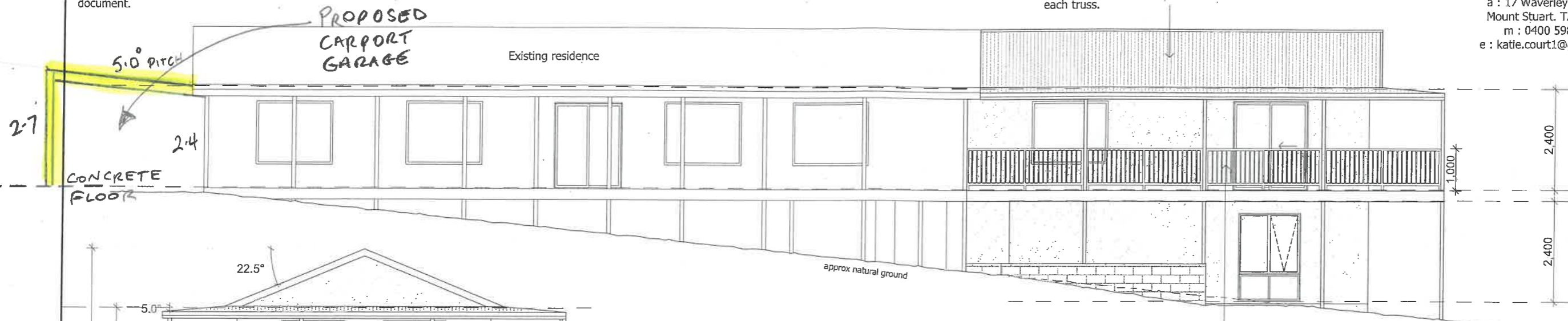
**FRAMING PART 3.4 BCA**  
 ALL TIMBER FRAMING, FIXINGS AND BRACING SHALL COMPLY WITH AS 1684 AND THE REQUIREMENTS OF BCA PART 3.4.3. MANUFACTURED SIZES MUST NOT BE UNDERSIZED TO THOSE SPECIFIED. FOR ALL TIMBER SIZES, STRESS GRADES, SPACINGS AND WALL BRACING REFER TO ENGINEERS DETAILS. TIE-DOWN DETAILS SHALL COMPLY WITH THE REQUIREMENTS OF TABLES 3.4.3.8 AND 3.4.3.9  
 STRUCTURAL STEEL MEMBERS SHALL COMPLY WITH THE REQUIREMENTS OF CLAUSES IN PART 3.4.4. REFER TO ENGINEERS DETAILS WHERE PROVIDED

Colorbond custom orb steel roof cladding on 75x38 F8 HWD battens @ 900 ctrs, fix battens with min 2 No. 3.15mm dia x 75mm annular grooved nails at each truss.



**PRECISION**  
 DESIGN & DRAFTING

Katie Court  
 a : 17 Waverley Avenue,  
 Mount Stuart, TAS. 7000  
 m : 0400 598 990  
 e : katie.court1@gmail.com



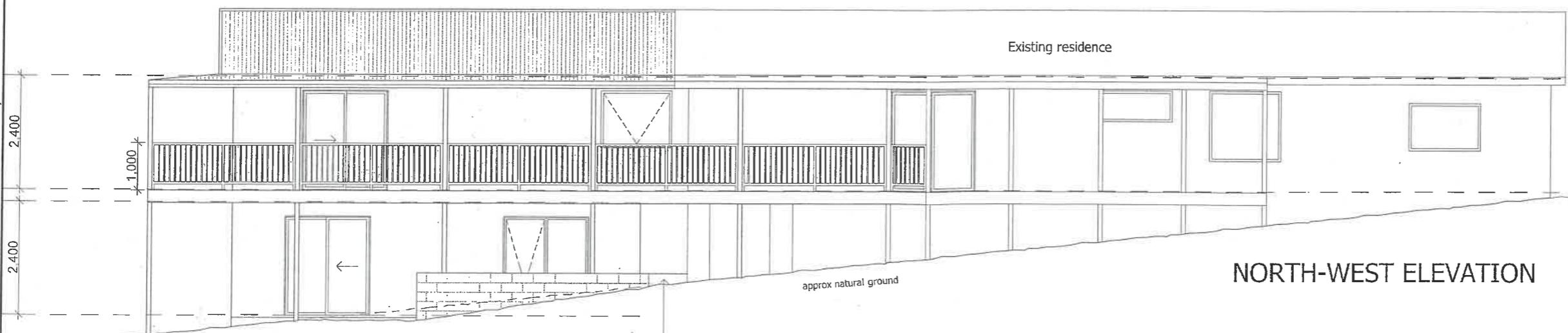
**SOUTH-EAST ELEVATION**

The height of any verandah/patio/landing exceeding 1000mm above ground level shall be provided with a balustrade in accordance with Part 3.9 of the BCA. The balustrade shall be 1000mm high and gaps to be no more than 125mm.

**NORTH-EAST ELEVATION**

This is one of the documents associated with Certificate of Likely Compliance LMBS 15/20 dated 29/4/20

*[Handwritten signature]*



**NORTH-WEST ELEVATION**

JOB : PROPOSED ALTERATIONS & ADDITION  
 AT : #46 COBBS HILL ROAD, BRIDGEWATER  
 FOR : MR D & MRS P HALLAM

DRAWING TITLE :  
**PROPOSED ELEVATIONS**

DRAWN: DATE: DWG NO. :  
 KC 29.01.20

SCALE: A3 1:100

**07**

Block retaining wall.

**Note:**

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TOTAL FLOOR AREAS

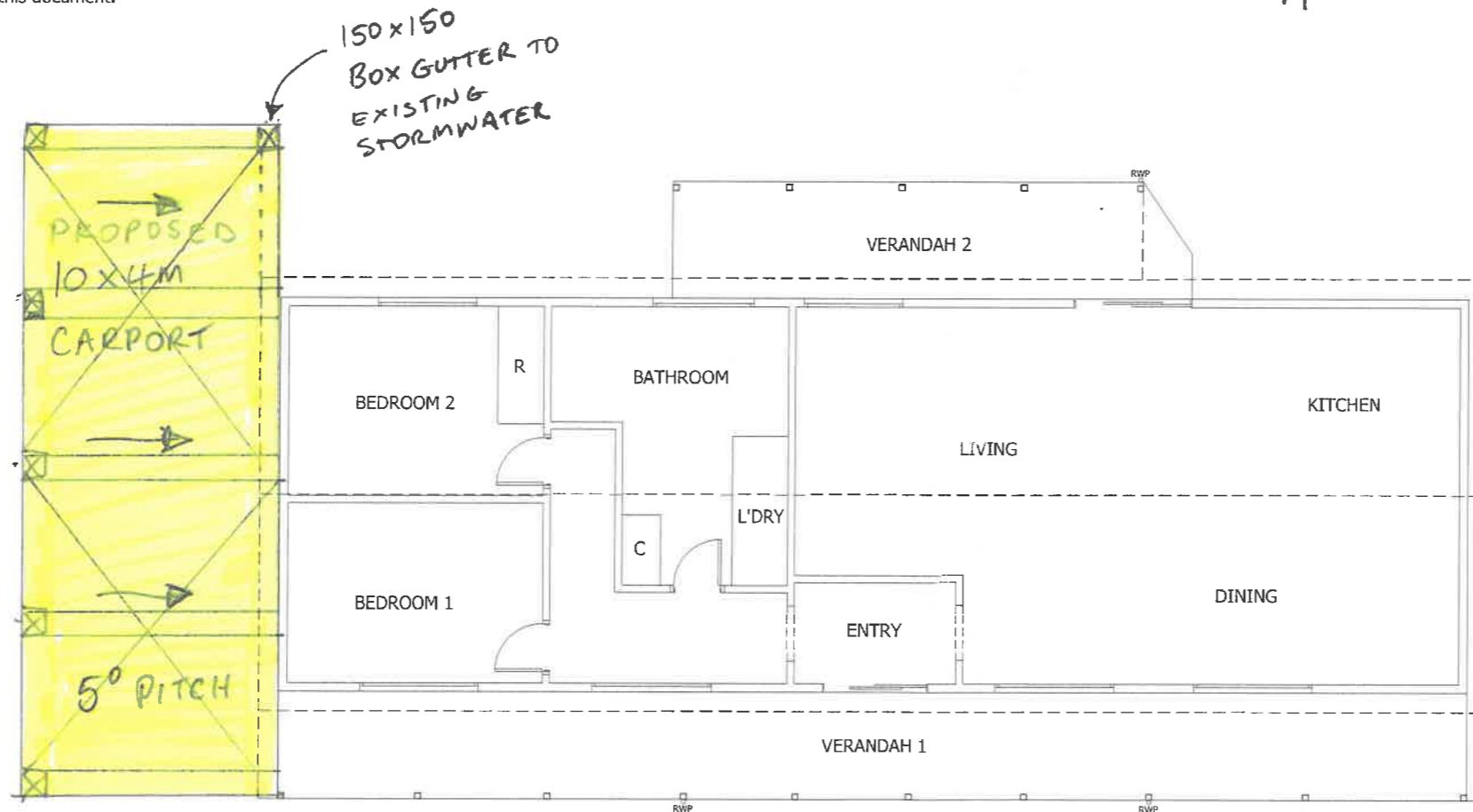
RESIDENCE 226 m<sup>2</sup>  
GARAGE 104 m<sup>2</sup>  
CARPORT 40 m<sup>2</sup>

TOTAL AREA 370 m<sup>2</sup>  
M<sup>2</sup>



**PRECISION**  
DESIGN & DRAFTING

Katie Court  
a : 17 Waverley Avenue,  
Mount Stuart, TAS. 7000  
m : 0400 598 990  
e : katie.court1@gmail.com



CUSTOM ORB COLOUR BOND ROOF  
100 X 100 TREATED PINE POSTS  
500 X 500 X 500 CONCRETE FOOTINGS  
190 X 45 TP PERIMETER BEAMS AND ROOF  
70 X 50 ROOF BATTONS  
GALVANIZED DIAGONAL BRACING STRAP WHERE REQUIRED



JOB : PROPOSED ALTERATIONS & ADDITION

AT : #46 COBBS HILL ROAD, BRIDGEWATER

FOR : MR D & MRS P HALLAM

DRAWING TITLE :

**EXISTING FLOOR PLAN**

DRAWN: DATE: DWG NO. :  
KC 29.01.20 02

SCALE:  
A3 1:100

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