



Brighton Council

Council Representatives:	Cr Gray (Chairperson); Cr Owen (Deputy Chair); Cr Curran; Cr Foster; Cr Garlick; Cr Geard; Cr Jeffries; Cr Murtagh and Cr Whelan.
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NOTICE OF MEETING

Dear Councillor,

Notice is hereby given that the next *Planning Authority Meeting* will be held in the Council Chambers, Council Offices, Old Beach at 5.30 p.m. on *Tuesday, 11 May 2021*, to discuss business as printed below.

Qualified Person Certification

I HEREBY CERTIFY that in accordance with Section 65 of the Local Government Act 1993, any advice, information and recommendation contained in the reports related to the Agenda have been prepared by persons who have the qualifications or experience necessary to give such advice, information and recommendations.

Dated at Old Beach this 6th day of *May 2021*.

James Dryburgh
GENERAL MANAGER

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Planning Authority

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A G E N D A

1. ACKNOWLEDGEMENT OF COUNTRY:

I would like to begin by acknowledging the traditional owners of the land on which we meet today. I would like to pay my respects to Elders past and present and acknowledge the Aboriginal people present today.

2. APOLOGIES:

3. QUESTION TIME & DEPUTATIONS:

4. DECLARATION OF INTEREST:

In accordance with Part 5, Section 48 of the *Local Government Act 1993*, the Chairman of a meeting is to request Councillors to indicate whether they have, or are likely to have an interest in any item on the agenda; and

Part 2 Regulation 8 (7) of the *Local Government (Meeting Procedures) Regulations 2015*, the Chairman of a meeting is to request Councillors to indicate whether they have, or are likely to have, a pecuniary interest in any item on the agenda.

Accordingly, Councillors are requested to advise of any interest they may have in respect to any matter appearing on the agenda, or any supplementary item to the agenda, which the Council has resolved to deal with, in accordance with Part 2 Regulation 8 (6) of the *Local Government (Meeting Procedures) Regulations 2015*.

5. COUNCIL ACTING AS PLANNING AUTHORITY:

In accordance with the provisions of Part 2 Regulation 25 of the *Local Government (Meeting Procedures) Regulations 2015*, the intention of the Council to act as a planning authority pursuant to the *Land Use Planning and Approvals Act 1993* is to be noted. In accordance with Regulation 25, the Council will act as a planning authority in respect to those matters appearing under Item 5 on this agenda, inclusive of any supplementary items.

5.1 APPLICATION UNDER THE TASMANIAN PLANNING SCHEME – BRIGHTON - DA 2020 / 311 – 18 HASKELL ROAD & 14 BESIER COURT, BRIGHTON - MULTIPLE DWELLINGS (8):

Type of Report:	Planning Authority – For Decision
Application No:	DA 2020 / 311
Address:	18 Haskell Road & 14 Besier Court, Brighton
Applicant:	Longview Design
Proposal:	Multiple Dwellings (8)
Zone:	General Residential
Representations:	Two (2)
Discretion:	1. Proximity of storage area for waste and recycling bins to a dwelling 2. Number of vehicle movements
Attachments:	A – Proposal Plans (See pages 32-87) C – Amended Elevations D – Engineering Report
Author:	Richard Cuskelly (Planning Officer)

1. Executive Summary

- 1.1. Planning approval is sought for eight (8) multiple dwellings in the General Residential Zone at 18 Haskell Road & 14 Besier Court, Brighton.
- 1.2. The application is discretionary due to reliance on performance criteria.
- 1.3. Two (2) representations were received. It is considered that the issues raised in the representations warrant minor modification of the application.
- 1.4. The key planning issues relate to waste and recycling bin storage and collection, and number of vehicle movements.
- 1.5. The proposal is recommended for approval subject to various conditions.
- 1.6. The final decision must be made by the Planning Authority or by full Council acting as a planning authority due to the receipt of representations via the public exhibition period for the development application.

2. Legislative & Policy Content

- 2.1. The purpose of this report is to enable the Planning Authority to determine application DA 2020 / 311.
- 2.2. This determination must be made no later than 18/05/2021.
- 2.3. The relevant legislation is the *Land Use Planning and Approvals Act 1993 (LUPAA)*. The provisions of LUPAA require a planning authority to take all reasonable steps to ensure compliance with the planning scheme.
- 2.4. This report details the reasons for the officer recommendation. The Planning Authority must consider this report but is not bound to adopt the recommendation. Broadly, the Planning Authority can either: (1) adopt the recommendation, or (2) vary the recommendation by adding, modifying or removing recommended reasons and conditions or replacing an approval with a refusal (or vice versa). Any alternative decision requires a full statement of reasons to comply with the *Judicial Review Act 2000* and the *Local Government (Meeting Procedures) Regulations 2015*.
- 2.5. This report has been prepared with appropriate regard to the State Policies that apply under the *State Policies and Projects Act 1993*.
- 2.6. This report has been prepared with appropriate regard to Council's Strategic Plan and other Council policies, and the application is not found to be inconsistent with these. Nevertheless, it must be recognised that the planning scheme is a regulatory document that provides the overriding consideration for this application. Matters of policy and strategy are primarily a matter for preparing or amending the planning scheme.

3. Risk & Implications

- 3.1. Approval or refusal of this application will have no direct financial implications for the Planning Authority.
- 3.2. Implications for Council include general matters related to rate income, asset maintenance and renewal and responding to future building applications.

4. Relevant Background

- 4.1. Brighton Council transitioned to the Tasmanian Planning Scheme – Brighton on 14/04/2021.
- 4.2. Section 51(3) of LUPAA states:
 - (3) *The decision of a planning authority on an application referred to in*

subsection (1A) or (1B) is to be made by reference:

(a) to the provisions of the planning scheme as in force at the date of that decision

- 4.3. Accordingly, whilst the proposal was submitted under the provisions of the Brighton Interim Planning Scheme 2015, the assessment must be assessed pursuant to the provisions of the Tasmanian Planning Scheme – Brighton.
- 4.4. The Tasmanian Planning Scheme - Brighton is a performance-based planning scheme.
- 4.5. To meet an applicable standard, a proposal must demonstrate compliance with either an Acceptable Solution or Performance Criteria. Where a proposal complies with a standard by relying on one or more Performance Criteria, the Council may approve or refuse the proposal on that basis. The ability to refuse the proposal relates only to the Performance Criteria relied upon.

5. Site Detail

- 5.1. The site refers to two adjoining lots: 14 Besier Ct and 18 Haskell Rd.

14 Besier Ct

- 5.2. 14 Besier Ct is an internal lot accessed via a 240.4m² access off the end of the cul-de-sac.
- 5.3. It is 1356m² in total area and is burdened by the following easements:
 - 1.5.1 Pipeline & services easement 3.5m wide
 - 2.5.1 Drainage easement 3.5m wide
 - 3.5.1 Pipeline & services easement (variable width)
 - 4.5.1 Drainage easement (variable width)

18 Haskell Rd

- 5.4. 18 Haskell Rd is an internal lot accessed via a 180.4m² access strip.
- 5.5. It is 1649m² in total area and is burdened by the following easements:
 - 1.5.1 Pipeline & services easement (variable width)
 - 2.5.1 Drainage easement (variable width)

- 5.6. Both lots are relatively level and have presence of Rough Speargrass: a formerly listed rare species under the Tasmanian *Threatened Species Protection Act 1995*. According to the Department of Primary Industries, Parks, Water and Environment¹, it has been since been delisted due to “its widespread distribution and large number of populations and individuals resulting from new observations since the time of listing.”
- 5.7. Both are zoned General Residential and adjoin Rural Living Zone A land to the north.
- 5.8. The Bushfire-Prone Areas Code overlay covers both sites; however, it does not apply to this proposal.

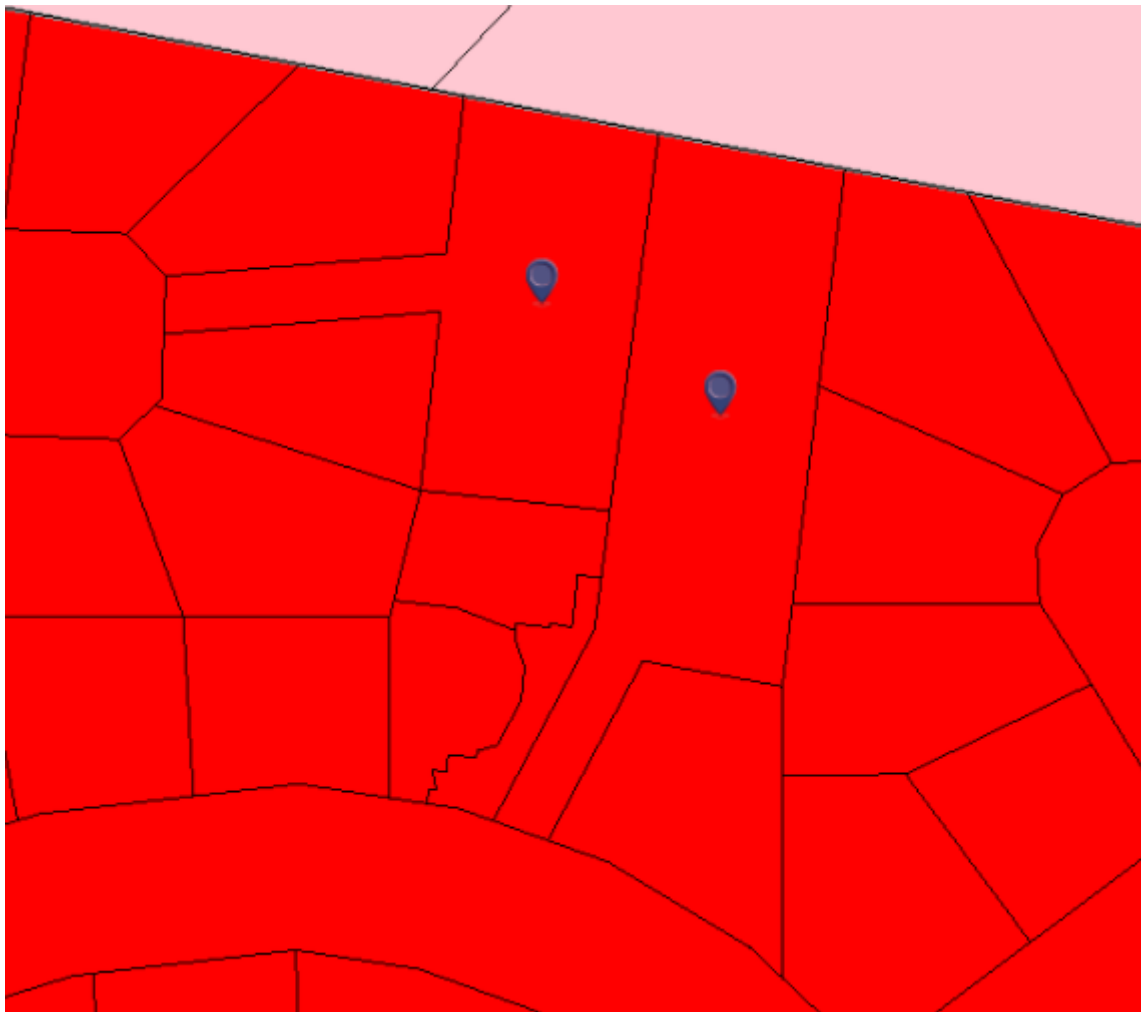


Figure 1. Zoning: General Residential (Red) and Rural Living Zone A (Pink)

¹Threatened Species Section (2021). *Austrostipa scabra* (rough speargrass): *Species Management Profile for Tasmania's Threatened Species Link*. <https://www.threatenedspecieslink.tas.gov.au/pages/austrostipa-scabra.aspx>. DPIPWE. Accessed on 3/5/2021.



Figure 2. Aerial image

6. Proposal

6.1. Proposed are 8 two storey dwellings with ground floor areas of 77.37m². The dwellings are proposed to be facilitated/accompanied by:

1.5.1 Adhering the two lots into one.

2.5.1 Extensive landscaping, including the conversion of the 14 Besier Ct access strip to a landscaped access for pedestrian use only.

3.5.1 Engineering works (stormwater, water and sewer).

4.5.1 Vehicle access and parking for 19 cars (two per dwelling and three designated for visitors only).

6.2. The application is supported by the attached design, servicing and landscaping plans.

7. Assessment against planning scheme provisions

7.1. The following provisions are relevant to the proposal:

- General Residential Zone
- Parking and Sustainable Transport Code
- Road and Railway Assets Code

7.2. The application satisfies the following Acceptable Solutions:

1.5.18.4.1 A1 – Density for multi dwellings

2.5.18.4.2 A1-A3 – Setbacks and building envelope

[Note the corrected elevation plans in Appendix C which remove reference to the superseded Brighton Interim Planning Scheme 2015.]

3.5.18.4.3 A1-A2 – Site coverage and private open space

4.5.18.4.4 A1 – Overshadowing of private open space

5.5.18.4.6 A2-A3 – Privacy impact from habitable room windows and driveway

7.3. The following discretions are invoked:

1.5.18.4.8 A1 – Waste and recycling bin storage for multiple dwellings

2.5.1 C3.5.1 A1.4 – Traffic generation at an existing vehicle crossing

7.4. **Discretion 1 - Waste and recycling bin storage for multiple dwellings**

7.5. The objective of standard 8.4.8 is:

To provide for the storage of waste and recycling bins for multiple dwellings.

7.6. Acceptable Solution 8.4.8 A1 states:

A multiple dwelling must have a storage area, for waste and recycling bins, that is not less than 1.5m² per dwelling and is within one of the following locations:

(a) an area for the exclusive use of each dwelling, excluding the area in front of the dwelling; or

(b) a common storage area with an impervious surface that:

(i) has a setback of not less than 4.5m from a frontage;

(ii) is not less than 5.5m from any dwelling; and

(iii) is screened from the frontage and any dwelling by a wall to a height not less than 1.2m above the finished surface level of the storage area.

- 7.7. The application proposes a common bin storage area that is approximately 1.7m from an existing dwelling on an adjoining site. Therefore, it does not clearly meet 8.4.8 A1 (b)(ii) and must meet corresponding Performance Criteria 8.4.8 P1, reproduced below:

A multiple dwelling must have storage for waste and recycling bins that is:

(a) capable of storing the number of bins required for the site;

(b) screened from the frontage and dwellings; and

(c) if the storage area is a common storage area, separated from dwellings on the site to minimise impacts caused by odours and noise.

- 7.8. The proposal meets the above Performance Criteria, with frontage screening to be clarified by recommended permit condition.

- 7.9. See Section 9 below regarding concerns raised by a representor regarding the proposed storage area, as well as a mutually beneficial outcome agreed to by the applicant for an improved arrangement whereby bins are stored behind each dwelling until collection day.

7.10. **Discretion 2 - Traffic generation at an existing vehicle crossing**

- 7.11. The objective of standard C3.5.1 is:

To minimise any adverse effects on the safety and efficiency of the road or rail network from vehicular traffic generated from the site at an existing or new vehicle crossing or level crossing or new junction.

- 7.12. Acceptable Solution C3.5.1 A1.4 states:

Vehicular traffic to and from the site, using an existing vehicle crossing or private level crossing, will not increase by more than:

(a) the amounts in Table C3.1; or

(b) allowed by a licence issued under Part IVA of the Roads and Jetties Act 1935 in respect to a limited access road.

- 7.13. The application proposes 8 dwellings which entails an estimated 64 vehicle movements per day. This exceeds the 20% or 40 vehicle movements per day, whichever is the greater amount prescribed in Table C3.1 which means the application must be assessed against corresponding Performance Criteria C3.5.1 P1, reproduced below:

Vehicular traffic to and from the site must minimise any adverse effects on the safety of a junction, vehicle crossing or level crossing or safety or efficiency of the road or rail network, having regard to:

- (a) *any increase in traffic caused by the use;*
- (b) *the nature of the traffic generated by the use;*
- (c) *the nature of the road;*
- (d) *the speed limit and traffic flow of the road;*
- (e) *any alternative access to a road;*
- (f) *the need for the use;*
- (g) *any traffic impact assessment; and*
- (h) *any advice received from the rail or road authority.*

7.14. Council Technical Officers assessed these criteria and determined that the amount of vehicle movements likely to be generated from 8 dwellings via the Haskell Rd access strip would not result in unreasonable risk to the safety or efficiency or either the vehicle crossing or the road network. Request for a traffic impact assessment was not deemed warranted.

7.15. The proposal is considered to meet the above Performance Criteria.

8. Discussion

8.1. Referrals

- TasWater

TasWater have imposed the attached conditions that must be included in any permit granted.

- Council's Technical Officer

See attached report – Appendix D.

9. Concerns raised by representors

9.1. The following table outlines the issues raised by representors.

Representation 1	Response
Concern regarding impact on amenity from traffic to and from site	See section 7.10 above. There is no unreasonable impact on amenity expected to result as the infrastructure to provide for the increase in vehicle movements is well provided for.

Concern regarding impact on amenity from the minimal distance of the common bin storage area to the lounge room and alfresco area of a dwelling on an adjoining site	<p>As summarised in Discretion 1 above (section 7.4), the minimal setback proposed complies as the Performance Criteria can only be applied to dwellings on the same site.</p> <p>However, to mitigate the potential for odour and noise impact on the neighbouring dwelling, the applicant has agreed to alter the proposed arrangement and ensure bins are stored beside/behind dwellings and only taken out to the driveway storage area for collection day.</p> <p>A permit condition is recommended to formalise this.</p>
Concern that double storey dwellings are out of character with the area and will impact privacy	<p>As the proposal meets the density and building envelope Acceptable Solutions prescribed by the Tasmanian Planning Scheme, Council cannot consider these concerns further.</p> <p>The proposal was submitted prior to 14th April 2021 and was at that time subject to the standards contained in the Brighton Interim Planning Scheme 2015, with the proposal being located outside the building envelope required by clause 10.4.2 A3. However, as the application is required to be assessed under the Tasmanian Planning Scheme including the Brighton Provisions Schedule, the proposal now satisfies the acceptable solution for that standard.</p>
Representation 2	Response
Concern that side and rear fencing will be mismatched	This is not a consideration for Council acting as Planning Authority, however the representor will be contacted directly with general advice.
Concern that landscaping could damage or overhang boundary fences	As above.

10. Conclusion

- 10.1. The proposed use and development of eight (8) multiple dwellings in the General Residential Zone at 18 Haskell Road and 14 Besier Court, Brighton, satisfies the relevant provisions of the Tasmanian Planning Scheme including the Brighton Local Provisions Schedule, and as such is recommend for approval.

11. Recommendations

That: A. Pursuant to the Tasmanian Planning Scheme including the Brighton Local Provisions Schedule, Council approves application DA 2020 / 311 for use and development of eight (8) multiple dwellings in the General Residential Zone at 18 Haskell Road and 14 Besier Court, Brighton, for the reasons outlined in the officer's report and a permit containing the following conditions be issued:

THE FOLLOWING CONDITIONS APPLY TO THIS PERMIT:

General

- (1) The use or development must be carried out substantially in accordance with the application for planning approval, the endorsed drawings and with the conditions of this permit and must not be altered or extended without the further written approval of Council.
- (2) This permit shall not take effect and must not be acted on until 15 days after the date of receipt of this letter or the date of the last letter to any representor, whichever is later, in accordance with section 53 of the *Land Use Planning and Approvals Act 1993*.

TasWater

- (3) The development must meet all required Conditions of approval specified by TasWater Submission to Planning Authority Notice TWDA 2020/01407-BTN, dated 15/09/2020 (attached).

Adhesion of Lots

- (4) Prior to the issue of building consent or the commencement of works on site (whichever occurs first), the lots comprising the site area must be the subject of an Adhesion Order pursuant to Section 110 of the *Local Government (Building and Miscellaneous Provisions) Act 1993*. The cost of preparing the Adhesion Order lies solely with the developer.

Advice: The Adhesion Order should be prepared by a solicitor and forwarded to Council for signing and sealing. Upon sealing, Council will return the adhesion order to the applicant who must lodge it and any relevant titles with the Recorder of Titles.

- (5) The developer must pay any Titles Office lodgement fees required by the Recorder of Titles.

Bin Collection

- (6) Bins must be placed along the eastern boundary of the access strip for collection and must not be placed on Haskell Road or Besier Court. Signage and line marking must be provided to delineate the area set aside for bin collection to the satisfaction of Council's Manager Development Services.

- (7) The requirements relating to bin collection in the above condition must become a by-law of the Body Corporate in accordance with section 90 of the *Strata Titles Act 1998*.
- (8) Prior to the use commencing the owner/body corporate must provide written agreement allowing Council's waste collection contractor to enter the site and indemnify Council and said contractor from any damage arising from the collection of waste from the site.

Part 5 Agreement

- (9) Prior to the issue of occupancy under the *Building Act 2016*, the owner(s) and Council must enter into an agreement pursuant to Part 5 of the *Land Use Planning and Approvals Act 1993* in respect of the land. The Agreement is to provide that the owner(s) covenant and agree with the Brighton Council that waste and recycling bins shall be stored behind respective dwellings and only moved to the waste collection area on the access strip for collection.
- (10) Agreement(s) made pursuant to Part 5 of the *Land Use Planning and Approvals Act 1993* must:
 - (a) bind the current owner and his/her successors in title;
 - (b) be prepared on the Land Titles Office blank instrument form; and
 - (c) be registered with the Recorder of Titles in accordance with Section 78 of the *Land Use Planning and Approvals Act 1993* by the applicant at no cost to Council.

Advice: The applicant is advised to discuss the requirements of preparing a Part 5 Agreement with their solicitor.

Landscaping

- (11) Prior to the issue of first occupancy under the *Building Act 2016* or the sealing of a strata plan (whichever comes first), all landscaping must be completed in accordance with the endorsed landscaping plans.
- (12) All landscaping must continue to be maintained to the satisfaction of Council.

Amenity

- (13) Any front fence or gate must have a height above natural ground level of not more than:
 - (a) 1.2m, if the fence is solid; or
 - (b) 1.8m, if the fence has openings above a height of 1.2m which provide a uniform transparency of not less than 30%.
- (14) All external metal building surfaces must be clad in non-reflective pre-coated metal sheeting or painted to the satisfaction of the Manager Development Services.

Services

- (15) The developer must pay the cost of any alterations and/or reinstatement to existing services, Council infrastructure or private property incurred as a result of the development. Any work required is to be specified or undertaken by the authority concerned.
- (16) Any redundant property connections are to be capped and sealed or removed to the satisfaction of the Council's Municipal Engineer and the responsible authority.

Parking and Access

- (17) At least nineteen (19) car parking spaces must be provided on the land at all times for the use of the development, including at least two (2) car parking spaces per dwelling and at least three (3) designated for visitor parking, in accordance with Australian Standard AS 2890.1- Parking Facilities Part 1: Off Street Car Parking.
- (18) Unless approved otherwise by Council's Municipal Engineer all parking, access ways, manoeuvring and circulation spaces must be provided in accordance the endorsed drawings, Australian Standard AS 2890 - Parking facilities, Parts 1-6 and include all of the following;
- (a) be constructed with a durable all weather pavement;
 - (b) be drained to the public stormwater system, or contain stormwater on the site; and
 - (c) be surfaced by a spray seal, asphalt, concrete, pavers or equivalent material to restrict abrasion from traffic and minimise entry of water to the pavement.
 - (d) have a gradient in accordance with Australian Standard AS 2890 - Parking facilities, Parts 1-6;
 - (e) provide for vehicles to enter and exit the site in a forward direction;
 - (f) have an access width not less than 5.5m;
 - (g) have car parking space dimensions not less than 3.0m x 5.4m;
 - (h) have car parking spaces delineated by line marking or other clear physical means.
- (19) A parking plan prepared and certified by a qualified civil engineer or other person approved by Council's Municipal Engineer must be submitted to Council prior to or in conjunction with lodgement of Building Application. The parking plan is to include:
- pavement details,
 - pavement and concrete details in trafficable areas to accommodate a 22.5 tonne truck,

- design surface levels and gradients,
- drainage,
- turning and travel paths (where required to demonstrate compliance with AS 2890.1) including medium rigid service vehicle requirements for waste removal,
- dimensions,
- line marking,
- signage,
- pedestrian access,

and shall form part of the permit once accepted.

- (20) The completed parking and associated turning areas and access must be certified by a practicing civil engineer to the effect that they have been constructed in accordance with the endorsed drawings and specifications approved by Council before the use commences.
- (21) All areas set-aside for parking and associated turning, and access must be completed before the use commences and must continue to be maintained to the satisfaction of the Council's Municipal Engineer.

Access to Public Road

- (22) Unless approved otherwise by Council's Municipal Engineer, the redundant driveway apron off Besier Court is to be removed and the nature strip reinstated.

Advice: *No works on or affecting any Council road reservation is to be commenced until the Brighton Council has issued a WORKS IN ROAD RESERVATION PERMIT. Application for the issue of the necessary works permit is to be made to the Brighton Council's Asset Services department prior to the proposed date of commencement of any works.*

Stormwater

- (23) Stormwater from the proposed development must drain to the piped public stormwater system to the satisfaction of Council's Municipal Engineer and in accordance with the *Building Act 2016*.
- (24) The Developer is to incorporate Water Sensitive Urban Design Principles into the development for the treatment and disposal of stormwater. These Principles will be in accordance with the Water Sensitive Urban Design Procedures for Stormwater Management in Southern Tasmania and to the satisfaction of the Council's Municipal Engineer.

Alternatively;

The developer may make a financial contribution to Brighton Council for the provision of stormwater treatment in accordance with Council Policy Water Sensitive Urban Design Contributions Policy - Tasmanian Planning Scheme.

Advice: A copy of Policy 6.1 Interim Water Sensitive Urban Design Contributions can be obtained from Council's Asset Services Department.

- (25) Where stormwater treatment is provided, the stormwater treatment system must continue to be maintained to ensure the quality targets in accordance with the State Stormwater Strategy 2010 are maintained and water is conveyed so as not to create any nuisance to adjacent properties.
- (26) The driveway must be drained to minimise surface runoff over adjoining land in accordance with the requirements of the Municipal Engineer and in accordance with the *Building Act 2016*.

Soil and Water Management

- (27) Before any work commences a soil and water management plan (SWMP) prepared in accordance with the guidelines Soil and Water Management on Building and Construction Sites, by the Derwent Estuary Programme and NRM South, must be approved by Council's General Manager before development of the land commences. The SWMP shall form part of this permit when approved.
- (28) Before any work commences install temporary run-off, erosion and sediment controls in accordance with the recommendations of the approved SWMP and maintain these controls at full operational capacity until the land is effectively rehabilitated and stabilised after completion of the development in accordance with the guidelines Soil and Water Management on Building and Construction Sites, by the Derwent Estuary Programme and NRM South and to the satisfaction of Council's General Manager.

Construction amenity

- (29) The road frontage of the development site including road, kerb and channel, footpath and nature strip, must be,
 - (a) Surveyed prior to construction, photographed, documented and any damage or defects be noted in a dilapidation survey to be provided to Council's Asset Services Department prior to construction.
 - (b) Be protected from damage, heavy equipment impact, surface scratching or scraping and be cleaned on completion.

- (c) In the event a dilapidation report is not provided to Council prior to commencement, any damage on completion will be deemed a result of construction activity requiring replacement prior to approval.
- (30) All works associated with the development of the land shall be carried out in such a manner so as not to unreasonably cause injury to, or prejudice or affect the amenity, function and safety of any adjoining or adjacent land, and of any person therein or in the vicinity thereof, by reason of:
- (31) Public roadways or footpaths must not be used for the storage of any construction materials or wastes, for the loading/unloading of any vehicle or equipment; or for the carrying out of any work, process or tasks associated with the project during the construction period.
- (32) The developer must make good and/or clean any footpath, road surface or other element damaged or soiled by the development to the satisfaction of the Council's Municipal Engineer.

THE FOLLOWING ADVICE APPLIES TO THIS PERMIT:

- A. This permit does not imply that any other approval required under any other legislation or by-law has been granted.
- B. **This planning approval shall lapse at the expiration of two (2) years from the date of the commencement of planning approval if the development for which the approval was given has not been substantially commenced. Where a planning approval for a development has lapsed, an application for renewal of a planning approval for that development shall be treated as a new application.**

DECISION:

5.2 APPLICATION UNDER TASMANIAN PLANNING SCHEME - BRIGHTON - DA 2021/0027 - 62 JETTY ROAD, OLD BEACH - MULTIPLE DWELLINGS (2):

Type of Report:	Planning Authority – For Decision
Application No:	DA 2021/0027
Address:	62 Jetty Rd, Old Beach
Proposal:	Multiple Dwellings (2)
Zone:	General Residential Zone
Representations:	One (1)
Discretions:	Private Open Space
Attachments:	A – Advertised documents (See pages 88 - 105)
Author:	Senior Planner (Jo Blackwell)

1. Executive Summary

- 1.1. Planning approval is sought for two multiple dwellings at 62 Jetty Rd, Old Beach (the ‘site’). The site is situated within the General Residential Zone of the *Tasmanian Planning Scheme – Brighton* (TPS).
- 1.2. The application relies on assessment under the Performance Criteria related to private open space.
- 1.3. The application has been advertised for public exhibition. One (1) representation was received.
- 1.4. The application is recommended for approval.
- 1.5. Due to the receipt of representations during the public exhibition period, the final decision is delegated to the Planning Authority or by full Council acting as a Planning Authority.

2. Legislative & Policy Content

- 2.1. The purpose of this report is to enable the Planning Authority to determine application DA 2021/0027.
- 2.2. This determination must be made no later than 18th May 2021. The statutory assessment period has been extended with the consent of the applicant.

- 2.3. The relevant legislation is the *Land Use Planning and Approvals Act 1993* (the 'Act'). The provisions of the Act require a planning authority to take all reasonable steps to ensure compliance with the planning scheme.
- 2.4. This report details the reasons for the officer recommendation. The Planning Authority must consider this report but is not bound to adopt the recommendation. Broadly, the Planning Authority can either: (1) adopt the recommendation, or (2) vary the recommendation by adding, modifying or removing recommended reasons and conditions or replacing an approval with a refusal (or vice versa). Any alternative decision requires a full statement of reasons to comply with the *Judicial Review Act 2000* and the *Local Government (Meeting Procedures) Regulations 2015*.
- 2.5. This report has been prepared with appropriate regard to the State Policies that apply under the *State Policies and Projects Act 1993*.
- 2.6. This report has been prepared with appropriate regard to Council's Strategic Plan and other Council policies, and the application is not found to be inconsistent with these. Nevertheless, it must be recognised that the planning scheme is a regulatory document that provides the overriding consideration for this application. Matters of policy and strategy are primarily a matter for preparing or amending the planning scheme.

3. Risk & Implications

- 3.1. Approval or refusal of this application will have no direct financial implications for the Planning Authority unless the decision is appealed.
- 3.2. Implications for Council include general matters related to rate income, asset maintenance and renewal and responding to future building applications.

4. Site Detail

- 4.1. The site is a 902 square metre (sqm) vacant site. The site falls approximately 1m from the NE corner to the SE corner.
- 4.2. The adjoining properties are all developed with single dwellings. The adjoining property to the north and north-west are double storey dwellings with all other adjoining properties single storey.



Figure 1: Subject Site (Source: Listmap)

- 4.3. The site and surrounding land is zoned General Residential pursuant to the TPS, with no planning scheme overlays attributable to the site (see Figure 2).



Figure 2: Zoning Map (Source Listmap)

- 4.4. Jetty Rd is subject to a residential speed limit of 50kmh and is located along a Metro bus route.

5. Proposal

- 5.1. The proposal is for two three bedroom double storey multiple dwelling units. Both units have an “L” shaped footprint and the ground floor footprint is identical to the upper floor, with minimal articulation between the two levels. The built form is broken up using brick on the lower floor and lightweight cladding on the upper floor. Skillion roofs also provide visual interest.
- 5.2. The living area is located on the upper floor for both dwellings. A rectangular 12sqm deck is accessible directly off the living room for unit 1, whilst unit 2 comprises a 16.23sqm deck which wraps around the corner of the living room.
- 5.3. A total of 5 car parking spaces are provided for the development. Each dwelling has a garage and a “jockey” parking space. One visitor space and a turning area is also provided. The existing access will be widened and the parking areas and front setback are proposed to be landscaped.

6. Assessment

- 6.1. Brighton Council transitioned to the *Tasmanian Planning Scheme – Brighton* (TPS) on 14th April 2021.
- 6.2. Section 51(3) of the *Land Use Planning and Approvals Act 1993* states:
- “(3) The decision of a planning authority on an application referred to in subsection (1A) or (1B) is to be made by reference:
- (a) to the provisions of the planning scheme as in force at the date of that decision”
- 6.3. Accordingly, whilst the proposal was submitted under the provisions of the *Brighton Interim Planning Scheme 2015*, the assessment must be assessed pursuant to the provisions of the *TPS*.
- 6.4. The *TPS* is a performance-based planning scheme.
- 6.5. To meet an applicable standard, a proposal must demonstrate compliance with either an Acceptable Solution or Performance Criteria. Where a proposal complies with a standard by relying on one or more Performance Criteria, the Council may approve or refuse the proposal on that basis. The ability to refuse the proposal relates only to the Performance Criteria relied upon.

7. Assessment against planning scheme provision

7.1. The following provisions are relevant to the assessment of the proposed use and development:

- Clause 8 – General Residential Zone
- C2.0 – Parking and Sustainable Access Code
- C3.0 – Road and Railway Assets Code

7.2. The proposed use is for multiple dwellings within the General Residential Zone. 'Residential (Multiple Dwellings)' is a Permitted Use in the General Residential Zone, pursuant to the Use Table set out in Clause 8.2.

7.3. The proposal is considered to satisfy the relevant Acceptable Solutions listed below:

General Residential Zone

- | | | |
|-----------------|------------|--|
| • Clause 8.4.1 | A1 | Residential density for multiple dwellings |
| • Clause 8.4.2 | A1, A2, A3 | Setbacks and building envelope for all dwellings |
| • Clause 8.4.3 | A1 | Site Coverage and Private Open Space for all dwellings |
| • Clause 8.4.4. | A1 | Sunlight to Private Open Space of all dwellings |
| • Clause 8.4.5 | A1 | Width of Openings for garages and carports for all dwellings |
| • Clause 8.4.6 | A1, A2, A3 | Privacy for all dwellings |
| • Clause 8.4.7 | A1 | Frontage Fences for all dwellings |
| • Clause 8.4.8 | A1 | Waste storage for multiple dwellings |

Code

- C2.0 Parking and Sustainable Transport Code (entire code)
- C3.0 Road and Railway Assets Code (entire code)

7.4. The following discretions are invoked by the proposal:

- Clause 8.4.3 A2 Private Open Space

7.5. **Discretion 1 – Clause D8.4.3 A2 - Private Open Space**

7.5.1 The acceptable solution requires the proposal satisfy the following:

A2 A dwelling must have private open space that:

(a) is in one location and is not less than:

(i) 24m² or

(ii) 12m², if the dwelling is a multiple dwelling with a finished floor level that is entirely more than 1.8m above the finished ground level (excluding a garage, carport or entry foyer);

(b) has a minimum horizontal dimension of not less than:

(i) 4m; or

(ii) 2m, if the dwelling is a multiple dwelling with a finished floor level that is entirely more than 1.8m above the finished ground level (excluding a garage, carport or entry foyer);

(c) is located between the dwelling and the frontage only if the frontage is orientated between 30 degrees west of true north and 30 degrees east of true north; and

(d) has a gradient not steeper than 1 in 10.

7.5.2 The proposal does not satisfy the AS, given the dimensions of the available private open spaces for unit 1.

7.5.3 Accordingly, the performance criteria must be addressed, which requires:

P2 A dwelling must have private open space that includes an area capable of serving as an extension of the dwelling for outdoor relaxation, dining, entertaining and

(a) conveniently located in relation to a living area of the dwelling; and

(b) orientated to take advantage of sunlight.

7.5.4 The proposal plans show a 4.6m x 2.5m (approx. 12sqm) western facing deck accessible from the living room on the first floor of Unit 1, together with an area of approximately 66sqm of north and western facing private open space at ground floor level.

7.5.5 Unit 2 has a south western facing deck accessible from the living room on the first floor, which has a floor area of approximately 16sqm. In addition, there is approximately 160sqm of private open space available at ground level for the use of the occupants.

7.5.6 It is considered that the proposal satisfies the performance criteria, in that it provides for various areas of private open space which allow for outdoor relaxation and dining, entertaining and children's play whilst being orientated to take advantage of sunlight.

8 Referrals

8.1 Engineering

The application was referred to the Council's Technical Officer, whose comments are included where necessary throughout this report.

8.2 TasWater

Sewer and Water reticulation is available to the site. The application was referred to TasWater who have imposed development conditions. A copy of TasWater's Submission to Planning Authority Notice (SPAN) will be attached to any permit issued.

8.3 Concerns raised by Representors

8.3.1 The application was advertised in accordance with the statutory requirements of the *Land Use Planning and Approvals Act 1993*.

8.3.2 One (1) representation was received during the public exhibition period.

8.3.3 The concerns of the representor is summarised below:

Concerns of Representor 1	Planning Response
Loss of amenity relating to significant visual bulk, with 1.5m setback and double storey design contributing factors	The proposal satisfies the acceptable solution in relation to building envelope and the building setback 3m (8.4.2 A3). Accordingly, the performance criteria cannot be considered
Loss of views arising from proposal scale bulk and proportions	
Overshadowing of adjoining properties	
Private Open Space of unit 1 does not receive at least 3 hours sunlight to more than 50% of deck	Private open space is addressed in clause 7.5 above.

Private open space for unit 2 is not considered to be conveniently located in relation to a living area of the dwelling.	Private open space for unit 2 addresses the acceptable solution, and is addressed in clause 7.5 above.
--	--

9 Conclusion

- 9.1 The proposal is for multiple dwellings (x2) at 62 Jetty Road, Old Beach. The site is situated within the General Residential Zone of the Tasmanian Planning Scheme – Brighton.
- 9.2 The key issues relate to private open space.
- 9.3 For the reasons set out above, the proposal is considered to satisfy the requirements of the Tasmanian Planning Scheme - Brighton, and as such, is recommended for the application is recommended for approval.

10 Recommendations

That: A. Pursuant to the *Tasmanian Planning Scheme – Brighton* Council approve DA 2021/27 for multiple dwellings (x2) in the General Residential Zone at 62 Jetty Road, Old Beach with the following conditions:

General

- (1) The use or development must be carried out substantially in accordance with the application for planning approval, the endorsed drawings and with the conditions of this permit and must not be altered or extended without the further written approval of Council.
- (2) This permit shall not take effect and must not be acted on until 15 days after the date of receipt of this letter or the date of the last letter to any representor, whichever is later, in accordance with section 53 of the *Land Use Planning and Approvals Act 1993*.

Amended Plans

- (3) Prior to issue of approvals pursuant to the *Building Act 2016*, whichever first occurs, correctly labelled elevations for Unit 2 must be submitted for approval by the Manager Development Services. Once approved the amended plan will form part of the approved documents.

Staging

- (4) The development must not be staged without prior approval in writing by the Manager Development Services.

TasWater

- (5) The use and/or development must comply with the requirements of TasWater, as detailed in the form Submission to Planning Authority Notice, Reference No TWDA 2021/0332-BTN, dated 5th March 2021, as attached to this permit.

Amenity

- (6) All external metal building surfaces must be clad in non-reflective pre-coated metal sheeting or painted to the satisfaction of the Manager Development Services.

Private Open Space

- (7) The private open space for all units must be formed or constructed to the satisfaction of Council's Manager Development Services before the use commences.

Landscaping

- (8) Before any work commences submit an amended landscape plan prepared by a suitably qualified person for approval by Council's Manager Development Services. The landscape plan must include:
 - a) A survey of all existing vegetation to be retained and/or removed.
 - b) The areas to be landscaped, including the private open space for each unit.
 - c) Details of surface finishes of paths and driveways.
 - d) Details of fencing, including frontage and internal privacy fencing.
 - e) A planting schedule of all proposed trees, shrubs and ground covers including botanical names, common names, pot sizes, sizes at maturity and quantities of each plant.
- (9) All plantings must bear a suitable relationship to the proposed height of the buildings and must not use species listed as noxious weeds within Tasmania, displaying invasive characteristics or unsuitable for fire prone areas. If considered satisfactory, the landscape plan will be endorsed and will form part of this permit.

- (10) Prior to commencement of use, all trees and landscaping must be planted and installed in accordance with the approved Landscaping Plan to the satisfaction of the Council's Manager Development Services. Evidence showing compliance with this condition must be submitted to and approved by the Manager Development Services within 30 days of planting.
- (11) Replacement trees and landscaping in accordance with the approved Landscaping Plan must be planted if any is lost. All landscaping must continue to be maintained to the satisfaction of Council.

Services

- (12) The developer must pay the cost of any alterations and/or reinstatement to existing services, Council infrastructure or private property incurred as a result of the development. Any work required is to be specified or undertaken by the authority concerned.

Parking and Access

- (13) At least five (5) car parking spaces must be provided on the land at all times for the use of the development, including at least two (2) car parking spaces per dwelling and at least one (1) designated for visitor parking, in accordance with Australian Standard AS 2890.1- Parking Facilities Part 1: Off Street Car Parking.
- (14) Unless approved otherwise by Council's Municipal Engineer all parking, access ways, manoeuvring and circulation spaces must be provided in accordance the endorsed drawings, Australian Standard AS 2890 - Parking facilities, Parts 1-6 and include all of the following:
 - a) be constructed with a durable all weather pavement;
 - b) be drained to the public stormwater system, or contain stormwater on the site; and
 - c) be surfaced by a spray seal, asphalt, concrete, pavers or equivalent material to restrict abrasion from traffic and minimise entry of water to the pavement.
 - d) have a gradient in accordance with Australian Standard AS 2890 - Parking facilities, Parts 1-6;
 - e) provide for vehicles to enter and exit the site in a forward direction;
 - f) have an access width not less than 3m;
 - g) have car parking space dimensions not less than 3.0m x 5.4m;

- h) have car parking spaces delineated by line marking or other clear physical means.

- (15) All areas set-aside for parking and associated turning, and access must be completed before the use commences and must continue to be maintained to the satisfaction of the Council's Municipal Engineer.

Access to Public Road

ADVICE: No works on or affecting any Council road reservation is to be commenced until the Brighton Council has issued a WORKS IN ROAD RESERVATION PERMIT. Application for the issue of the necessary works permit is to be made to the Brighton Council's Asset Services department prior to the proposed date of commencement of any works.

Stormwater

- (16) Stormwater from the proposed development must drain to the piped public stormwater system to the satisfaction of Council's Municipal Engineer and in accordance with the Building Act 2016.
- (17) The driveway must be drained to minimise surface runoff over adjoining land in accordance with the requirements of the Municipal Engineer and in accordance with the Building Act 2016.

Soil and Water Management

- (18) Before any work commences a soil and water management plan (SWMP) prepared in accordance with the guidelines Soil and Water Management on Building and Construction Sites, by the Derwent Estuary Programme and NRM South, must be approved by Council's General Manager before development of the land commences. The SWMP shall form part of this permit when approved.
- (19) Before any work commences install temporary run-off, erosion and sediment controls in accordance with the recommendations of the approved SWMP and maintain these controls at full operational capacity until the land is effectively rehabilitated and stabilised after completion of the development in accordance with the guidelines Soil and Water Management on Building and Construction Sites, by the Derwent Estuary Programme and NRM South and to the satisfaction of Council's General Manager.

Construction amenity

- (20) The road frontage of the development site including road, kerb and channel, footpath and nature strip, must be:
 - (a) Surveyed prior to construction, photographed, documented and any damage or defects be noted in a dilapidation survey to be provided to Council's Asset Services Department prior to construction.

- (b) Be protected from damage, heavy equipment impact, surface scratching or scraping and be cleaned on completion.
 - (c) In the event a dilapidation report is not provided to Council prior to commencement, any damage on completion will be deemed a result of construction activity requiring replacement prior to approval.
- (21) The development must only be carried out between the following hours unless otherwise approved by the Council's Manager Development Services:

Monday to Friday	7:00 a.m. to 6:00 p.m.
Saturday	8:00 a.m. to 6:00 p.m.
Sunday and State-wide public holidays	10:00 a.m. to 6:00 p.m.

- (22) All works associated with the development of the land shall be carried out in such a manner so as not to unreasonably cause injury to, or prejudice or affect the amenity, function and safety of any adjoining or adjacent land, and of any person therein or in the vicinity thereof, by reason of:
- a. Emission of noise, artificial light, vibration, odour, fumes, smoke, vapour, steam, ash, dust, waste water, waste products, grit or otherwise.
 - b. The transportation of materials, goods and commodities to and from the land.
 - c. Obstruction of any public footway or highway.
 - d. Appearance of any building, works or materials.
- (23) Any accumulation of vegetation, building debris or other unwanted material must be disposed of by removal from the site in an approved manner. No burning of such materials on site will be permitted unless approved in writing by the Council's Manager Development Services.
- (24) Public roadways or footpaths must not be used for the storage of any construction materials or wastes, for the loading/unloading of any vehicle or equipment; or for the carrying out of any work, process or tasks associated with the project during the construction period.
- (25) The developer must make good and/or clean any footpath, road surface or other element damaged or soiled by the development to the satisfaction of the Council's Municipal Engineer.

THE FOLLOWING ADVICE APPLIES TO THIS PERMIT:

- A. This permit does not imply that any other approval required under any other legislation or by-law has been granted.
- B. No works on or affecting any Council road reservation is to be commenced until the Brighton Council has issued a WORKS IN ROAD RESERVATION PERMIT. Application for the issue of the necessary works permit is to be made to the Brighton Council's Asset Services department prior to the proposed date of commencement of any works.
- C. **This planning approval shall lapse at the expiration of two (2) years from the date of the commencement of planning approval if the development for which the approval was given has not been substantially commenced. Where a planning approval for a development has lapsed, an application for renewal of a planning approval for that development shall be treated as a new application.**

DECISION:

PROPERTY/ PROJECT DETAILS

CLIENT:
SITE TITLE REF:

CASERN INVESTMENTS PTY LTD
177925/ 207 & 177925/ 239

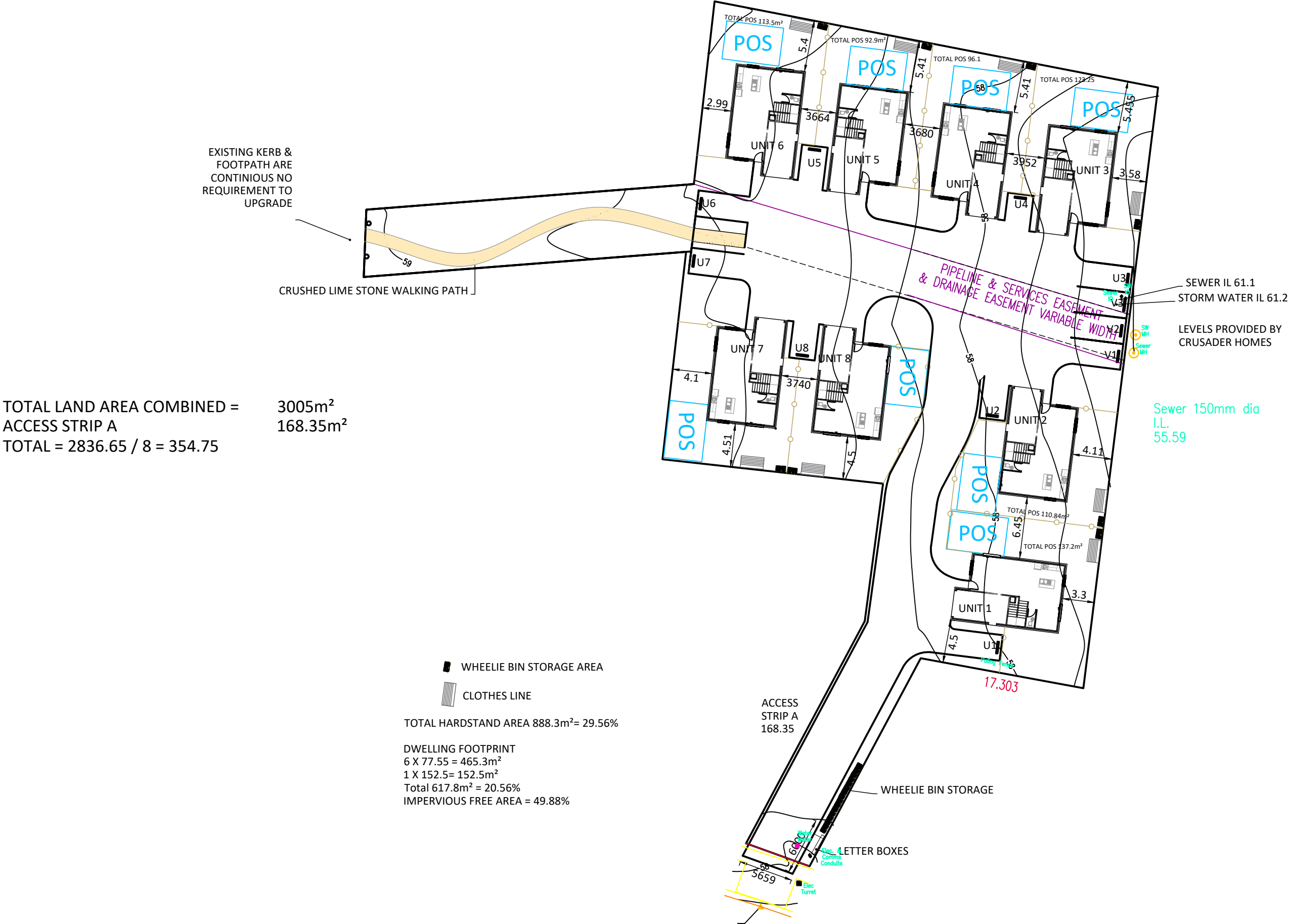
PROPERTY IDENTIFICATION NO:
ADDRESS:

9061157 & 9061125
18 HASKELL ROAD/ 14 BESIER CRT
BRIGHTON TAS 7030

LOCAL AUTHORITY:
PLANNING SCHEME:
ZONE:

BRIGHTON
BRIGHTON INTERIM PLANNING SCHEME 2015
10.0 GENERAL RESIDENTIAL

DRAWING CONTENTS:	
ARCHITECTURAL : PLANNING	
SHEET No	DRAWING TITLE
P01.0	COVER PAGE
P02.0	SITE PLAN
P02.1	SITE SURVEY
P03.0	FLOOR PLAN U1
P03.1	ELEVATIONS U1
P04.0	FLOOR PLAN U2
P04.1	ELEVATIONS U2
P05.0	FLOOR PLAN U3
P05.1	ELEVATIONS U3
P06.0	FLOOR PLAN U4
P06.1	ELEVATIONS U4
P07.0	FLOOR PLAN U5
P07.1	ELEVATIONS U5
P08.0	FLOOR PLAN U6
P08.1	ELEVATIONS U6
P09.0	FLOOR PLAN U7
P09.1	ELEVATIONS U7
P10.0	FLOOR PLAN U8
P10.1	ELEVATIONS U8
P11.0	TASWATER
P12.0	S/W RUNOFF CALCS
P12.1	STORMWATER
P13.0	SEWER
P14.0	DRIVEWAY
P15.0	SHADOW DIAGRAM 9AM
P15.1	SHADOW DIAGRAM 12PM
P15.2	SHADOW DIAGRAM 3PM
12-2020	LANDSCAPE & GARDEN PLAN



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CLIENT NAME:
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PROJECT ADDRESS:
18 HASKELL RD & 14 BESIER COURT, BRIGHTON TAS 7030
PROJECT:
MULTIPLE DWELLINGS

DRAWING TITLE:
SITE PLAN

DATE: 15/03/2021	SCALE: 1:400	DRAWN BY: PK
REVISION No:	SHEET SIZE: R:2 RFI A3	JOB No: 20-116
		SHEET No: P02.0

BESIER CT

Sewer 150mm dia
I.L.
56.22

Sewer 150mm dia
I.L.
55.96

Sewer 150mm dia
I.L.
55.94

Sewer 150mm dia
I.L.
55.59



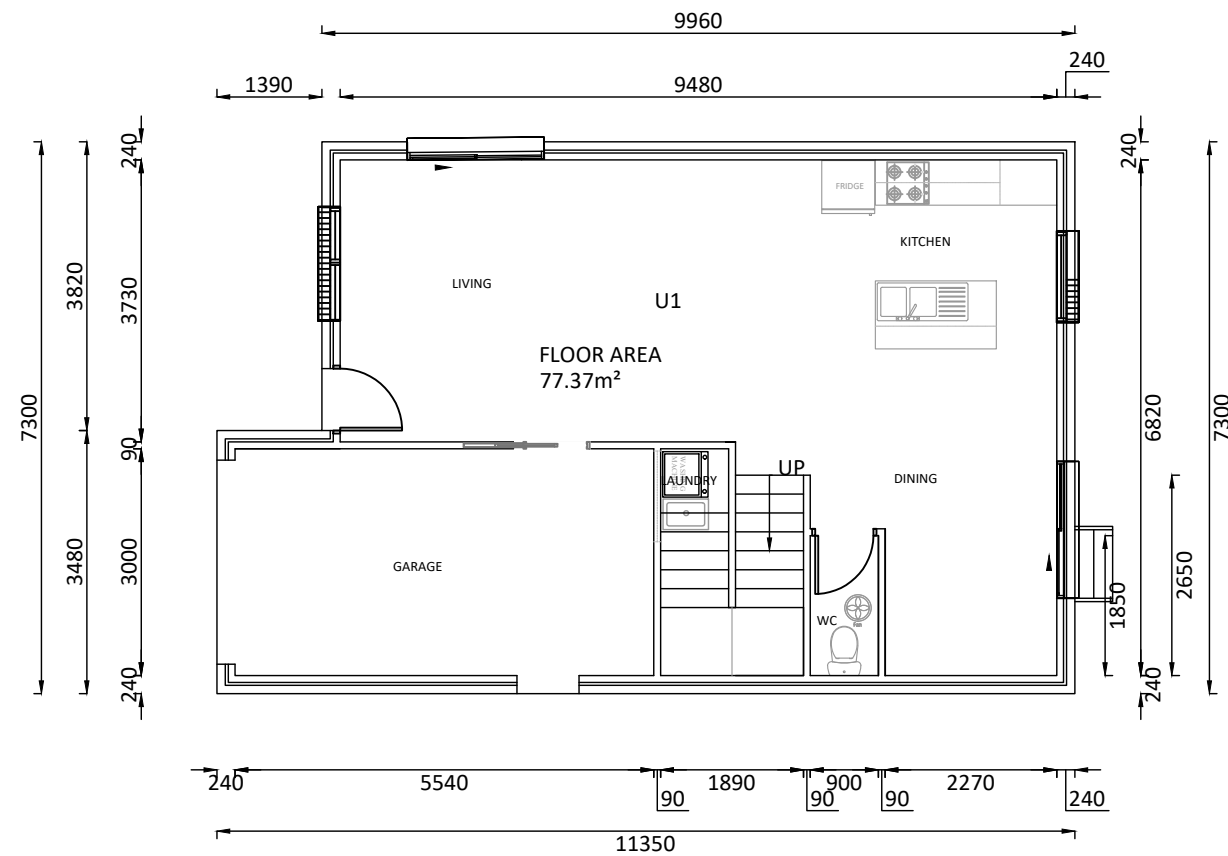
Note:
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It has been created to assist with Site Design.
The information on this plan should not be used for any other purpose.

Peter Binny Surveys can supply drawings for other purposes upon request.
Boundaries shown for Identification purposes only
and have not been re-established or re-marked.

Visible services located only.
Other services may exist.

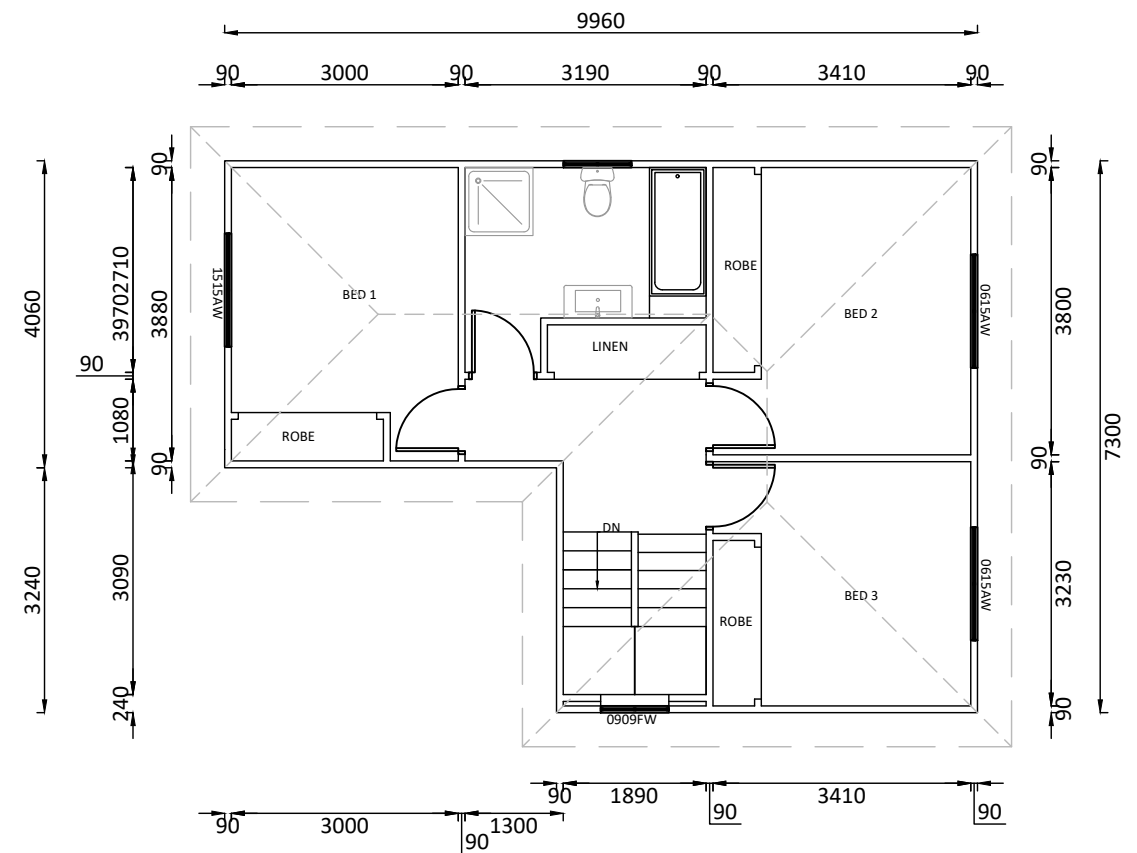
This disclaimer forms an integral part of the plan.

HASKELL ROAD



1 LWR FLOOR PLAN UNIT 1

Scale: 1:100



2 UPPER FLOOR PLAN UNIT 1

Scale: 1:100

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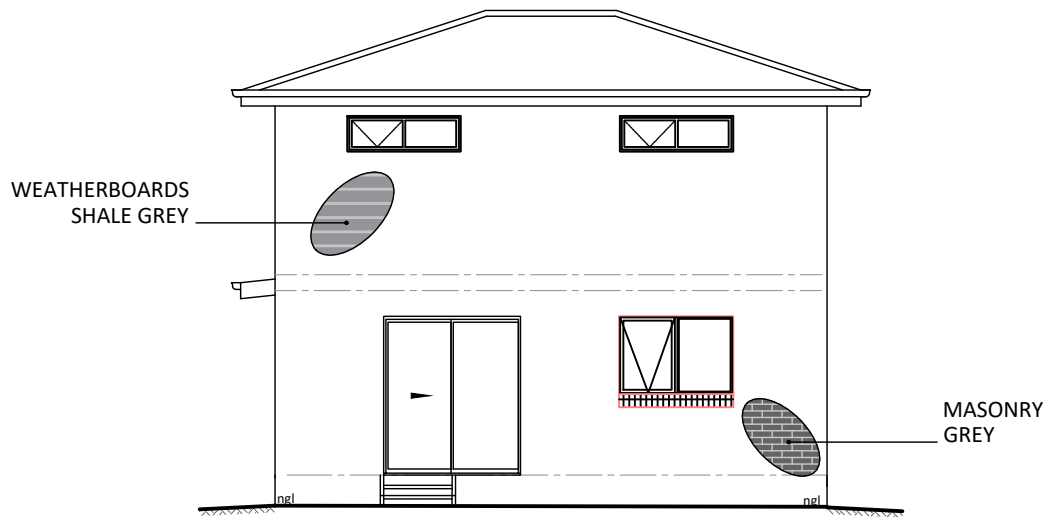


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PROJECT:	MULTIPLE DWELLINGS

DRAWING TITLE:
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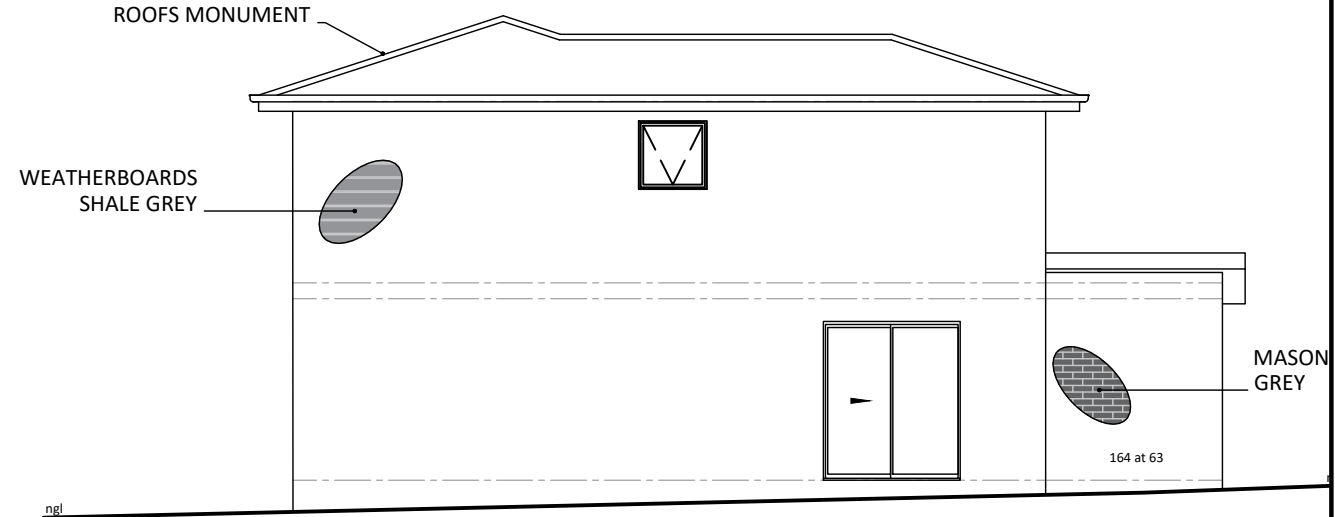
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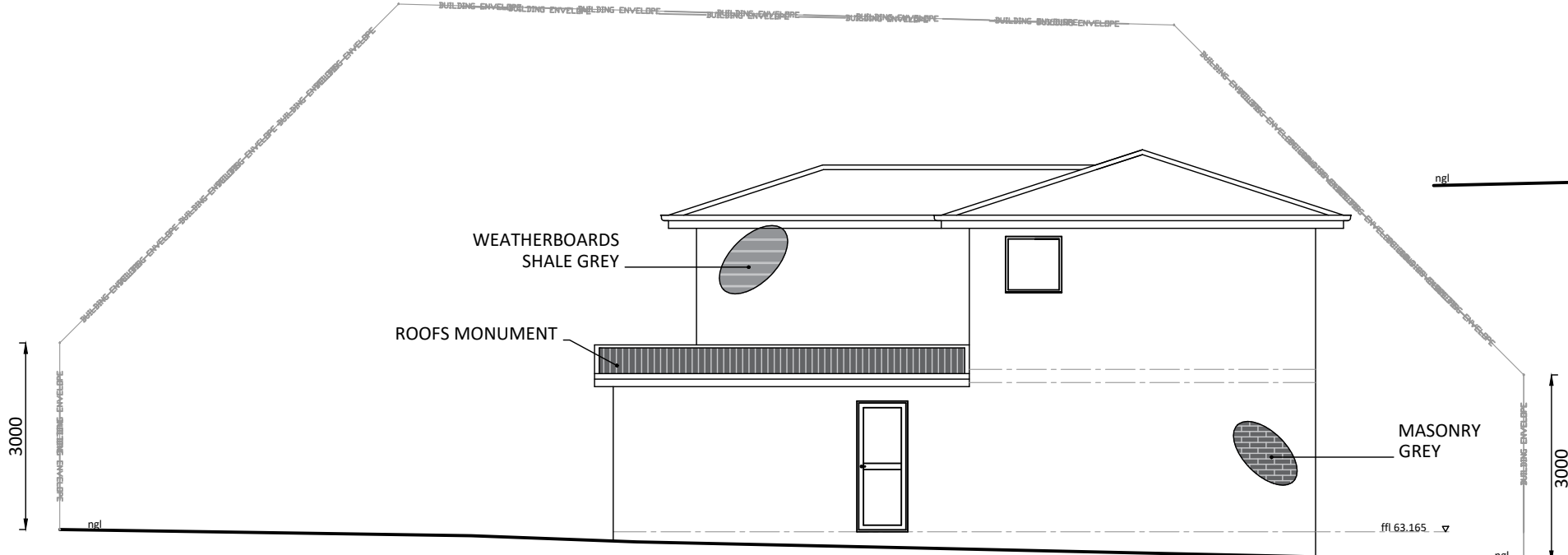
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W WEST ELEVATION
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N NORTH ELEVATION
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S SOUTH ELEVATION
Scale: 1:100

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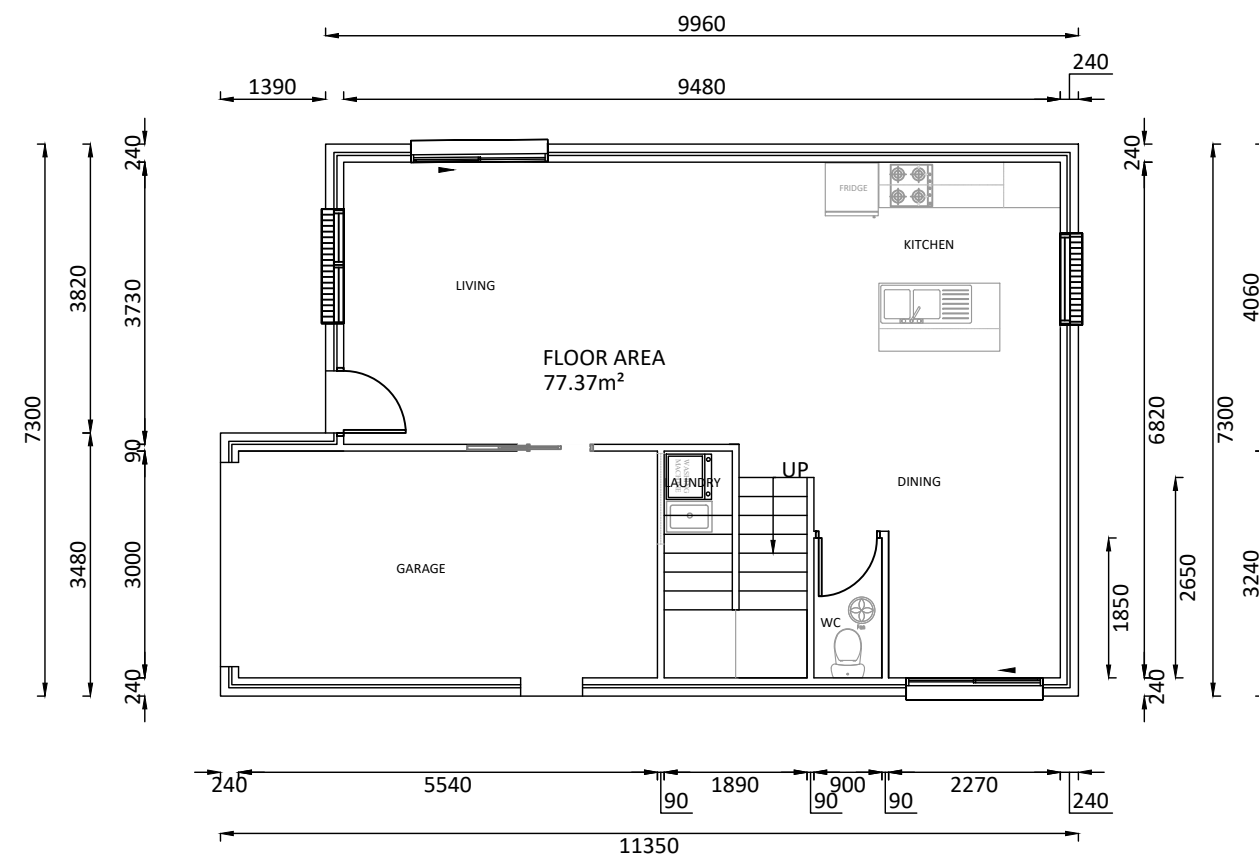


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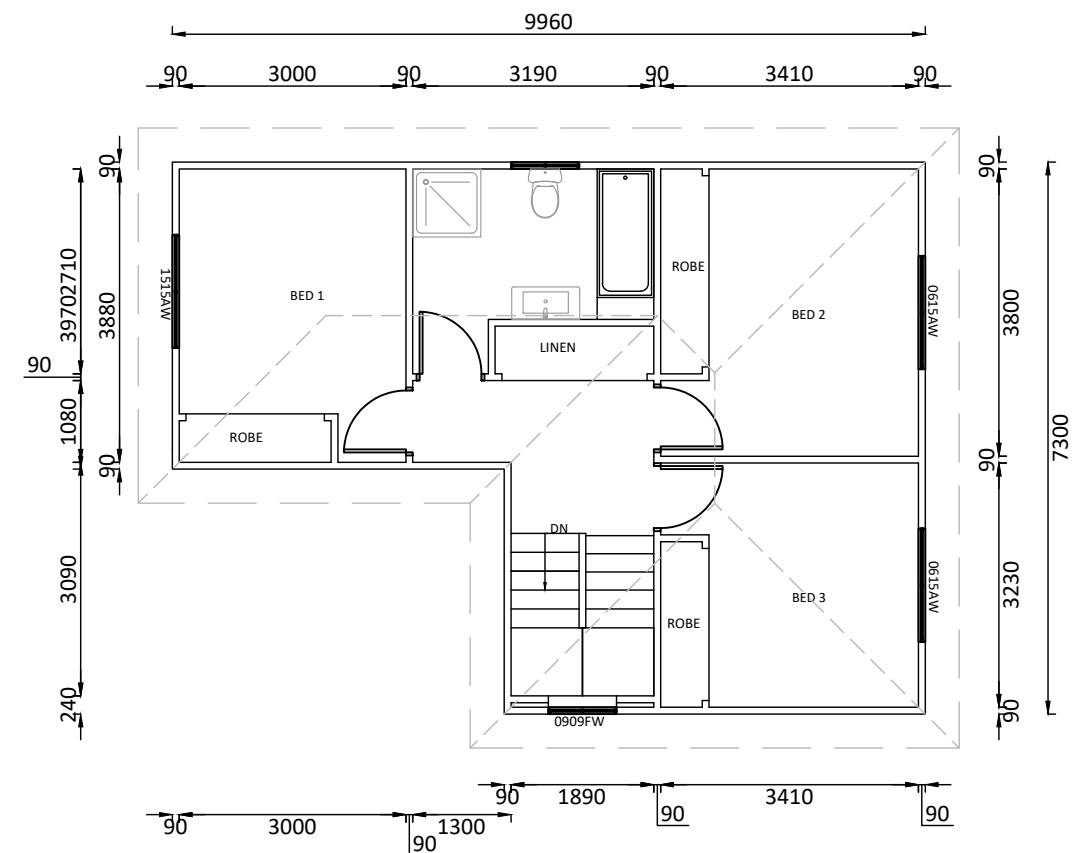
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		SHEET No: P03.1



1 LWR FLOOR PLAN UNIT 2

Scale: 1:100



2 UPPER FLOOR PLAN UNIT 2

Scale: 1:100

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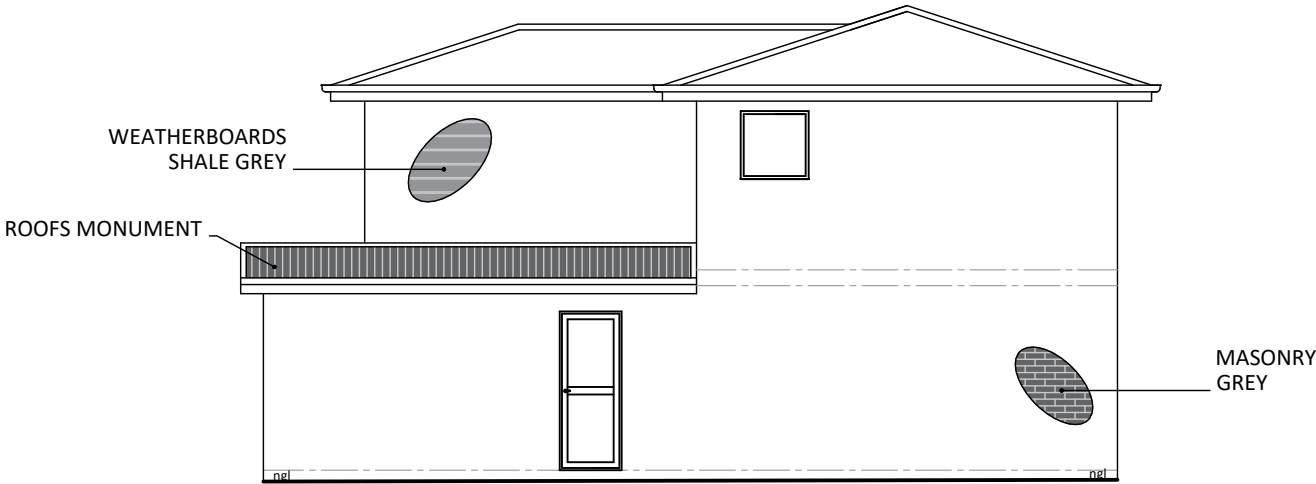


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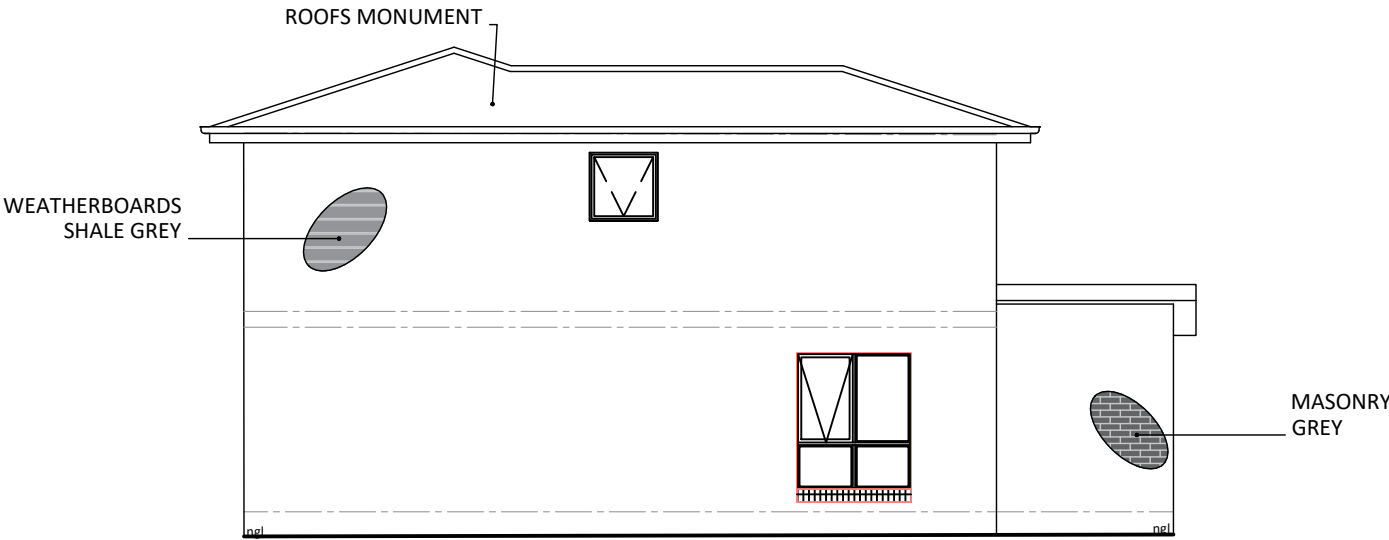
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PROJECT:	MULTIPLE DWELLINGS

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UNIT 2 FLOOR PLANS

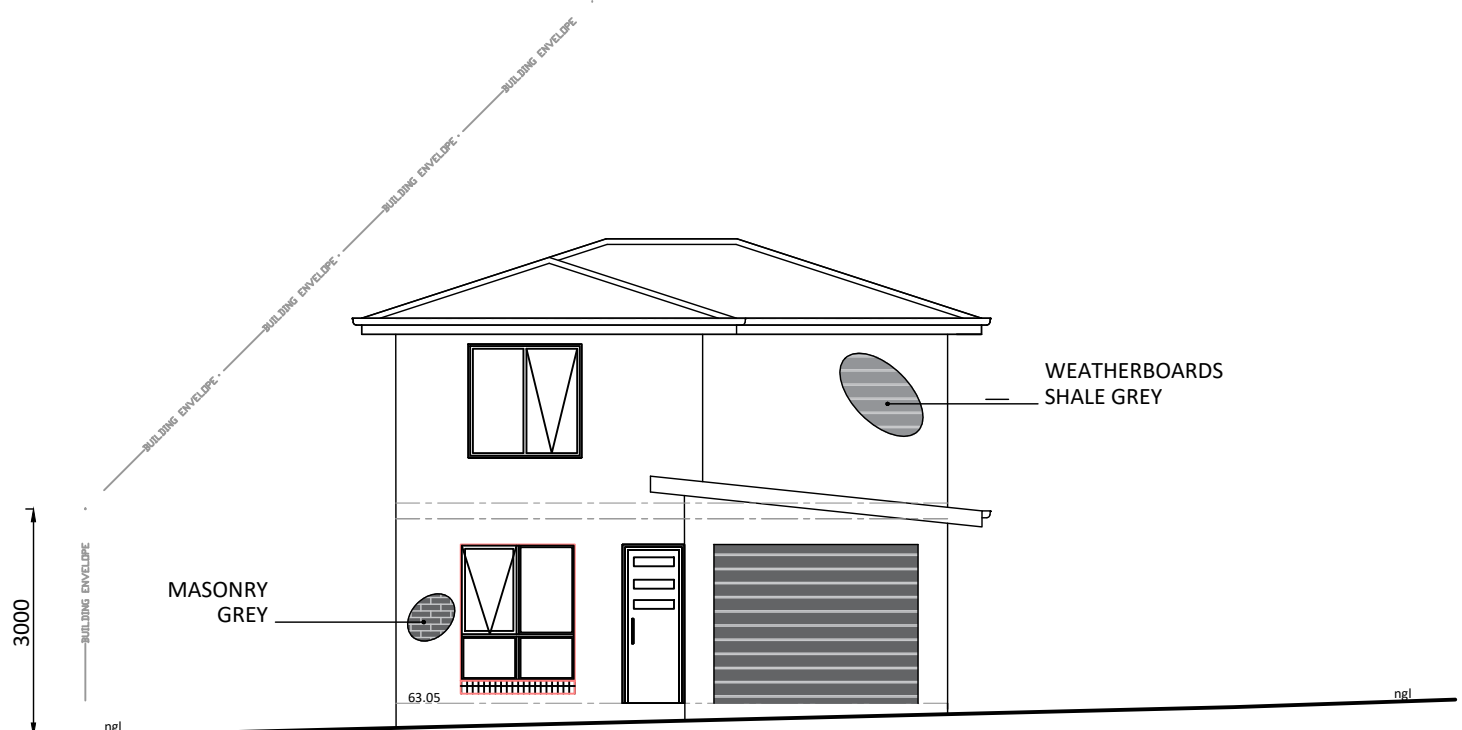
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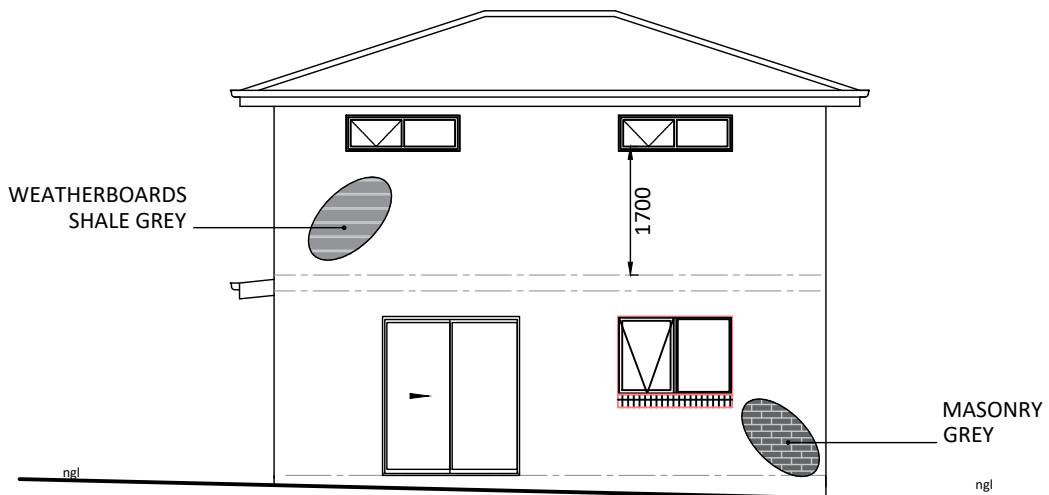
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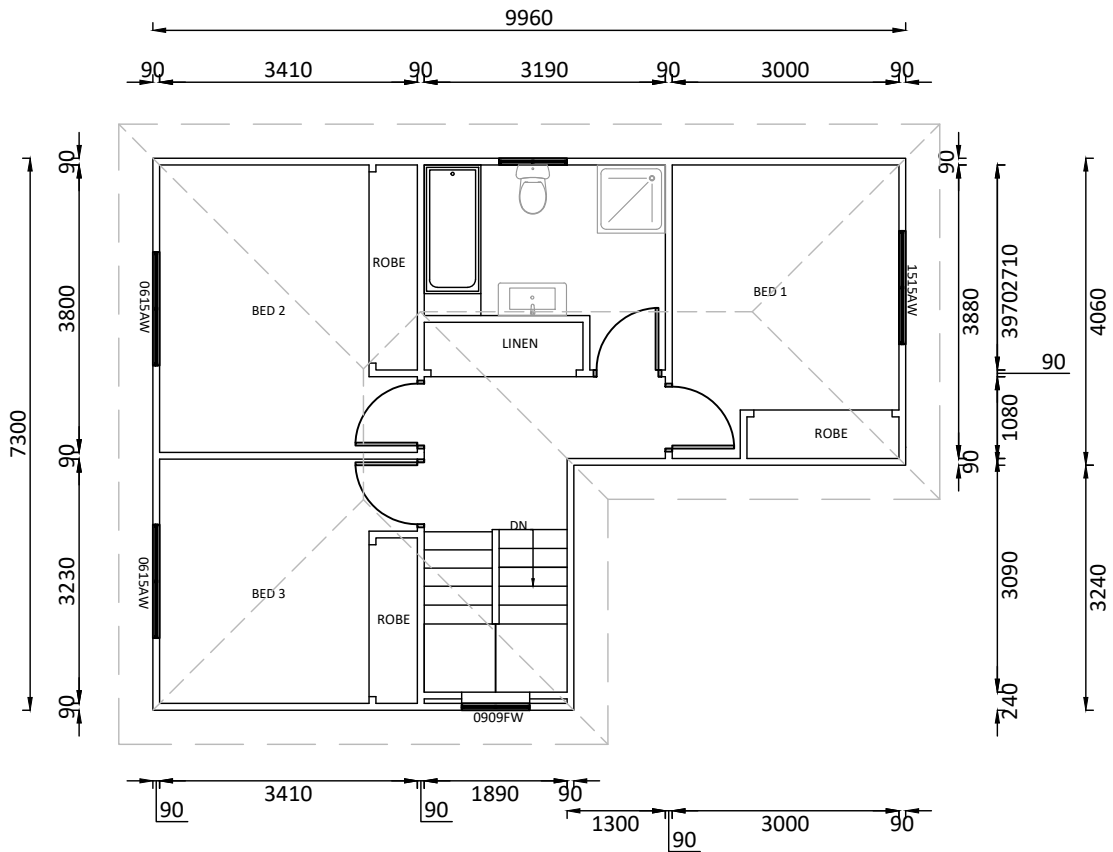
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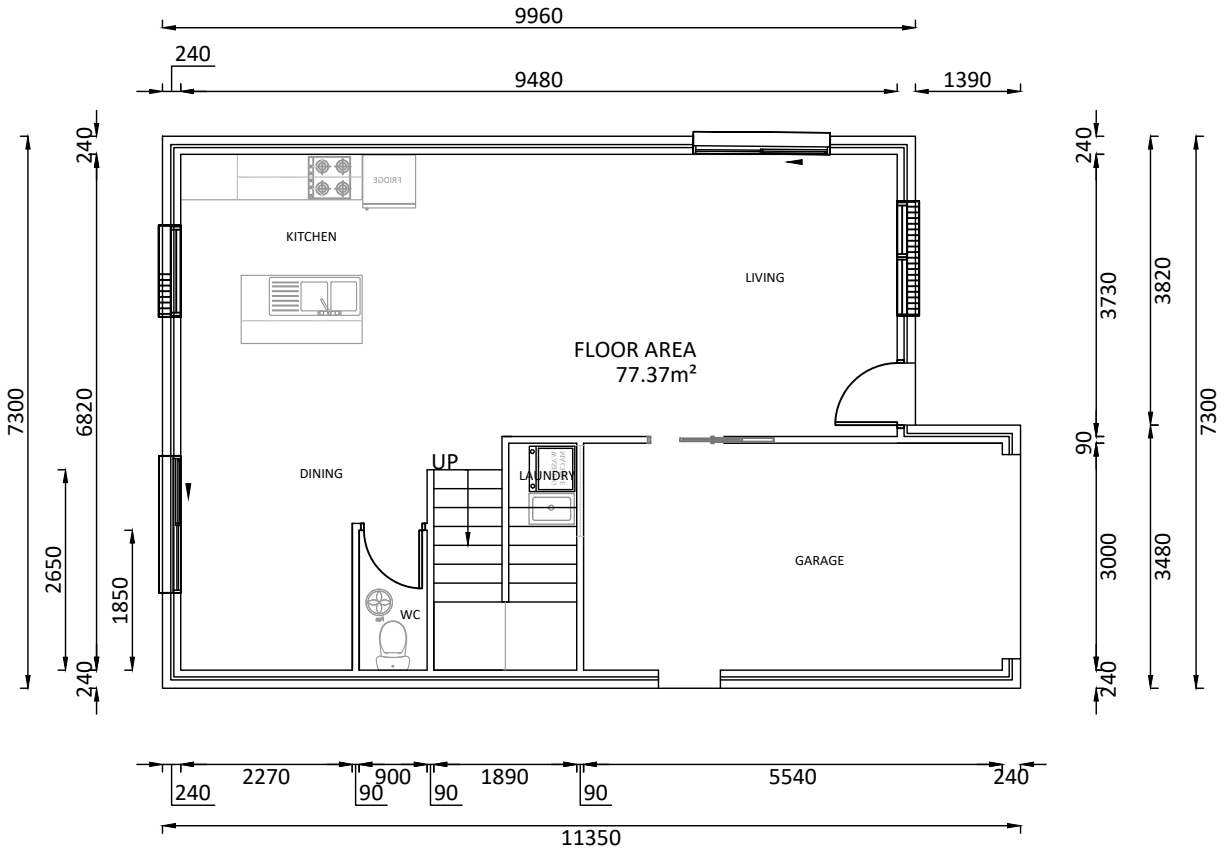
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S SOUTH ELEVATION
Scale: 1:100



2 UPPER FLOOR PLAN UNIT 3
Scale: 1:100



1 LWR FLOOR PLAN UNIT 3
Scale: 1:100

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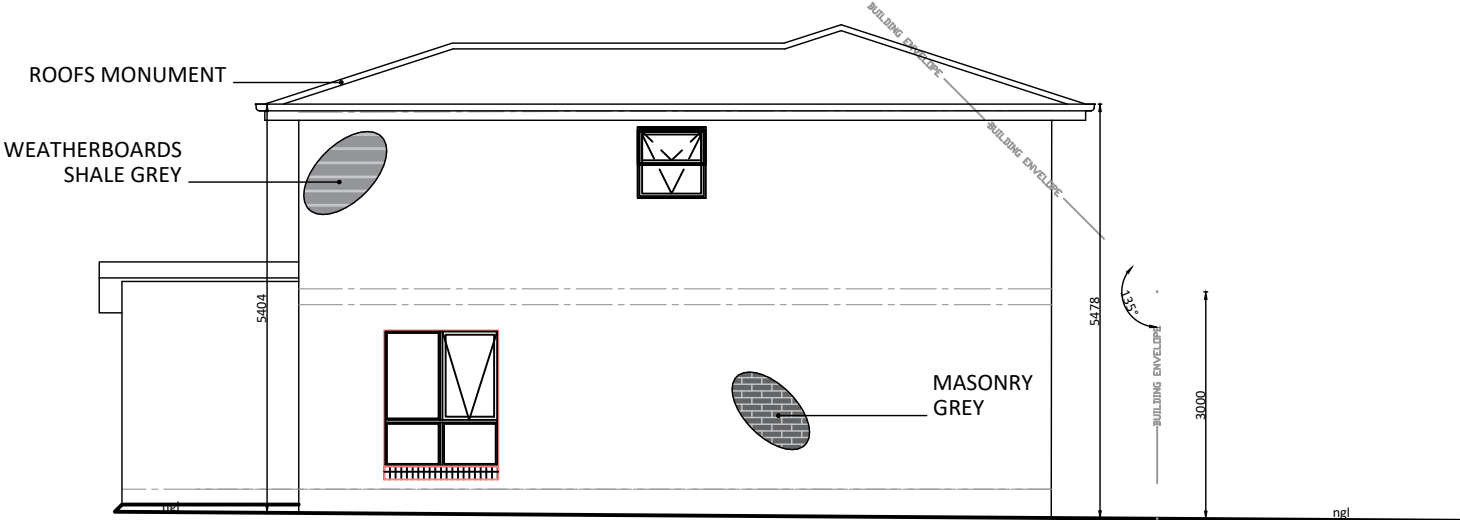


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PROJECT:
MULTIPLE DWELLINGS

DRAWING TITLE:
UNIT 3 FLOOR PLANS

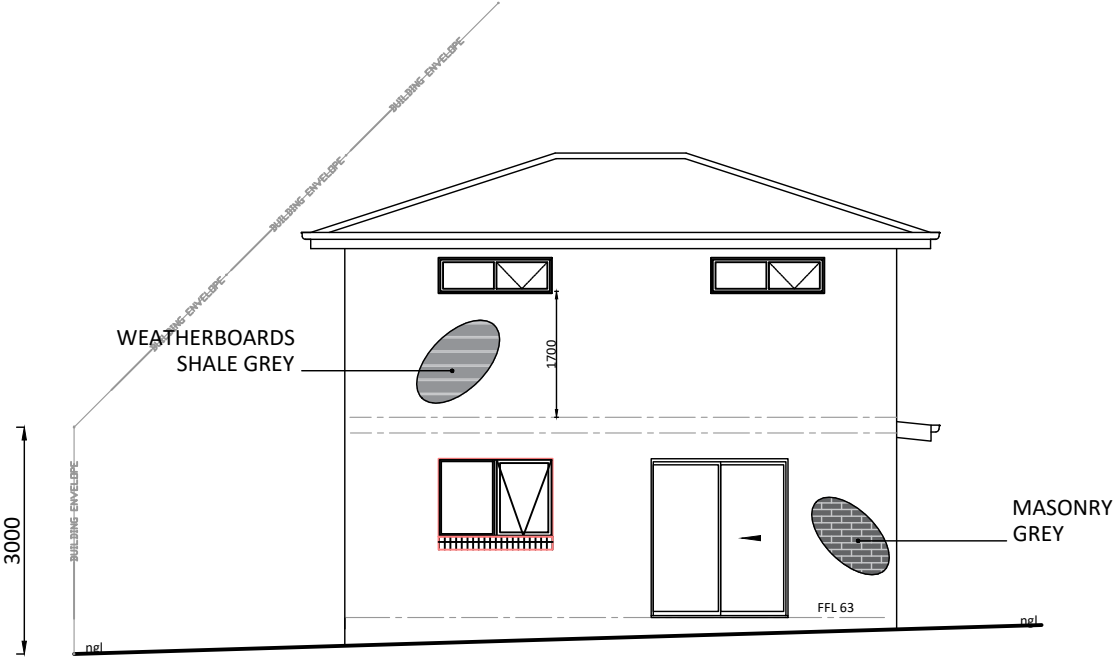
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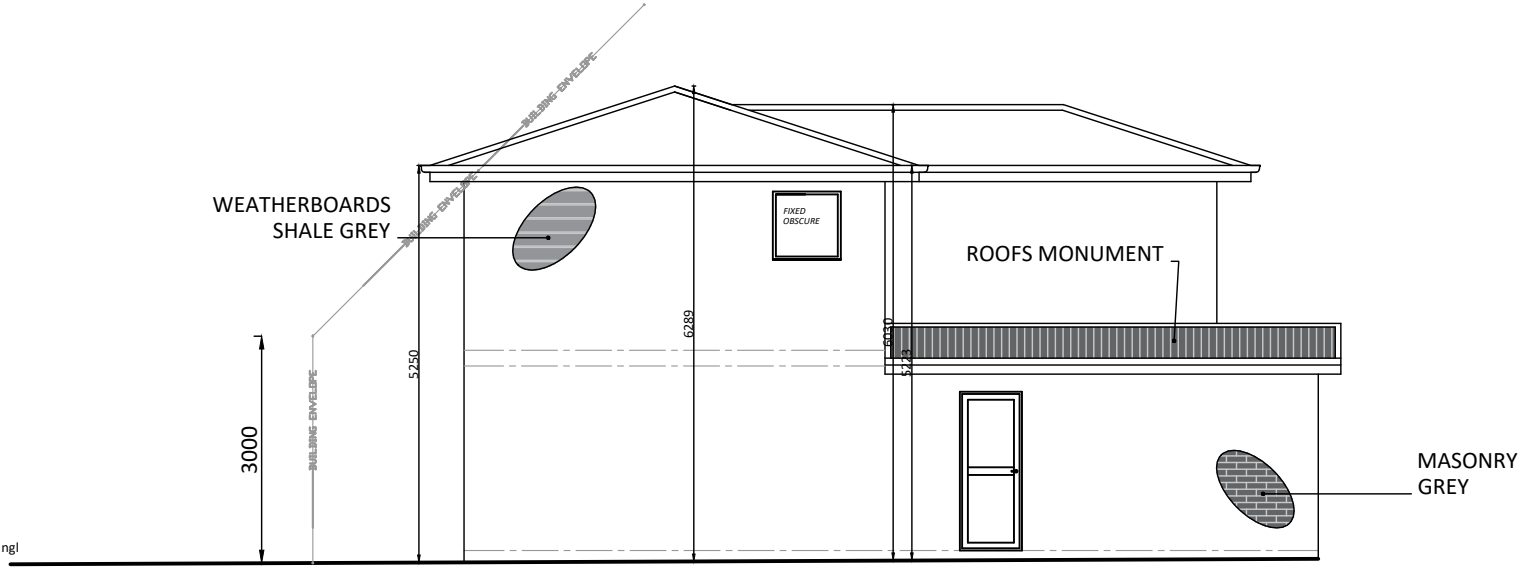
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Scale: 1:100



S SOUTH ELEVATION
Scale: 1:100



N NORTH ELEVATION
Scale: 1:100



W WEST ELEVATION
Scale: 1:100

DIMENSION NOTE:
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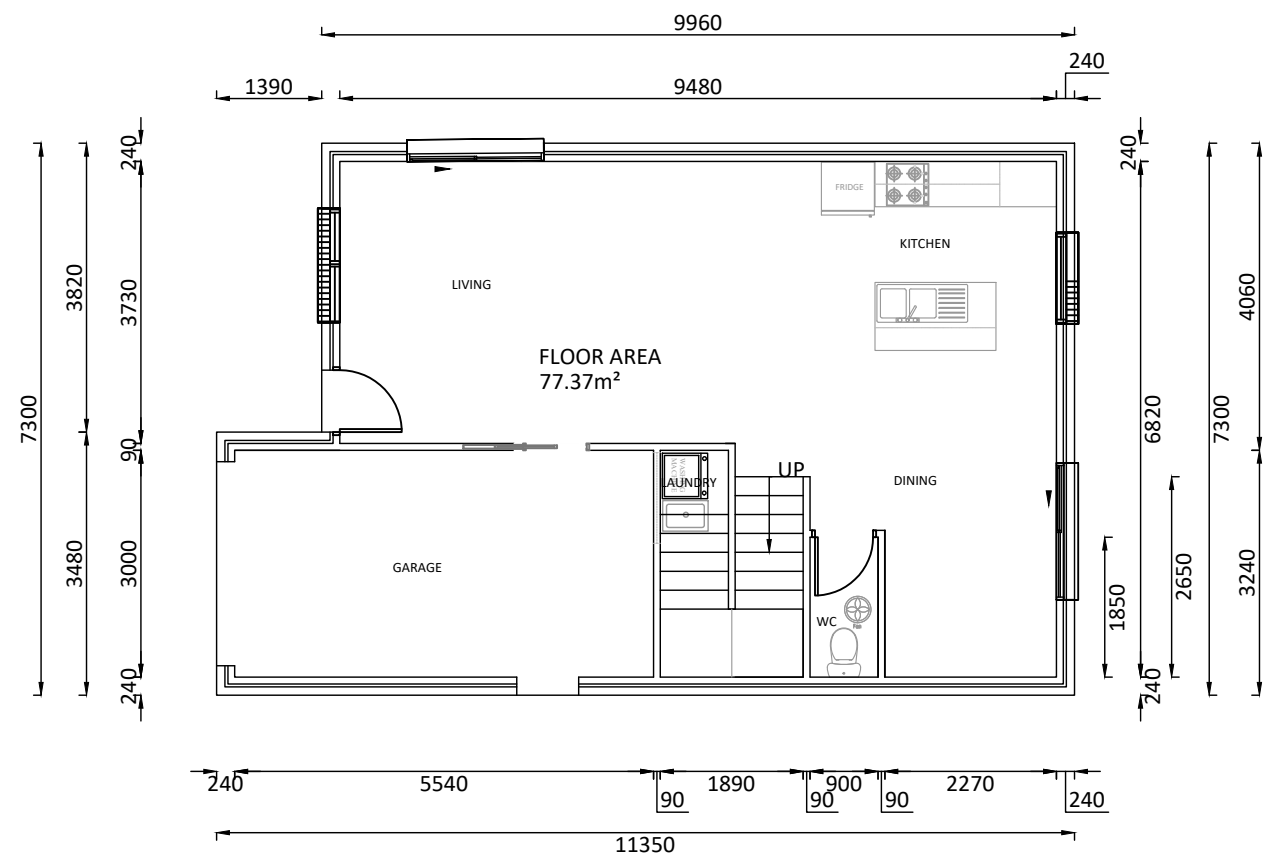


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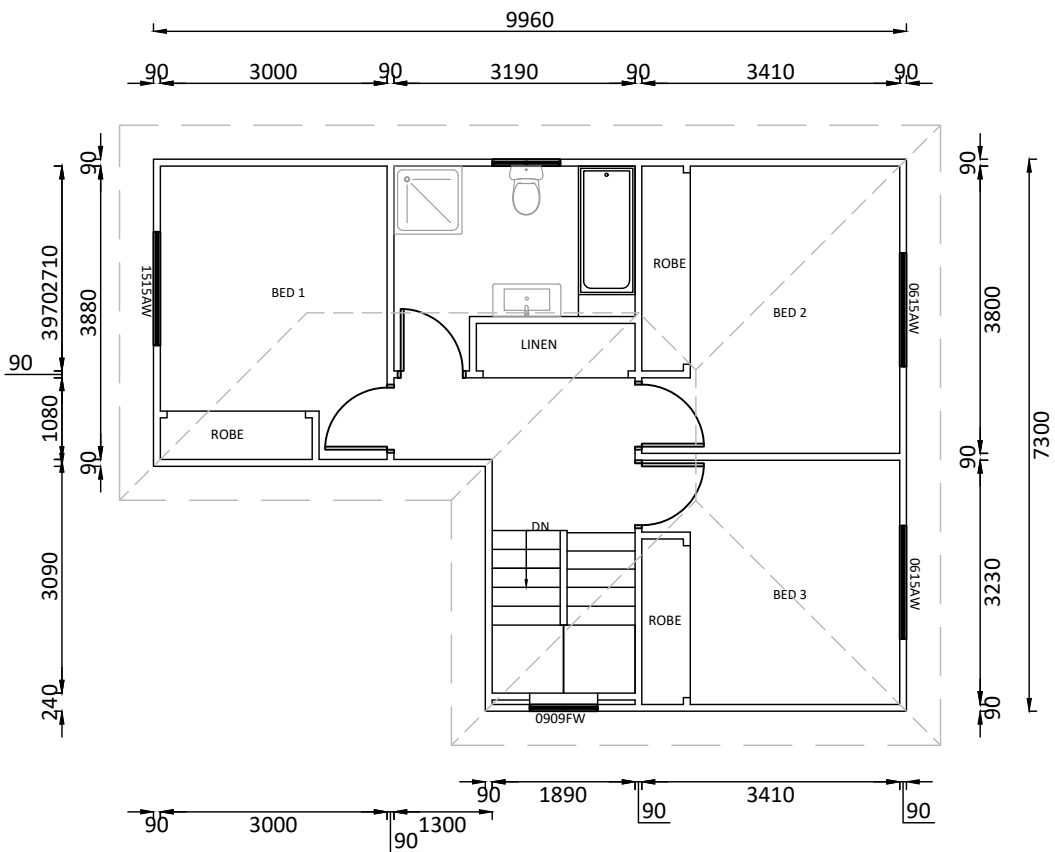
CLIENT NAME:
CASERN INVESTMENTS PTY LTD
PROJECT ADDRESS:
18 HASKELL RD & 14 BESIER COURT, BRIGHTON TAS 7030
PROJECT:
MULTIPLE DWELLINGS

DRAWING TITLE:
UNIT 3 ELEVATIONS

DATE: 15/03/2021	SCALE: 1:100	DRAWN BY: PK
REVISION No: R:2 RFI	SHEET SIZE: A3 210x297	SHEET No: P05.1



1 LWR FLOOR PLAN UNIT 4
Scale: 1:100



2 UPPER FLOOR PLAN UNIT 4
Scale: 1:100

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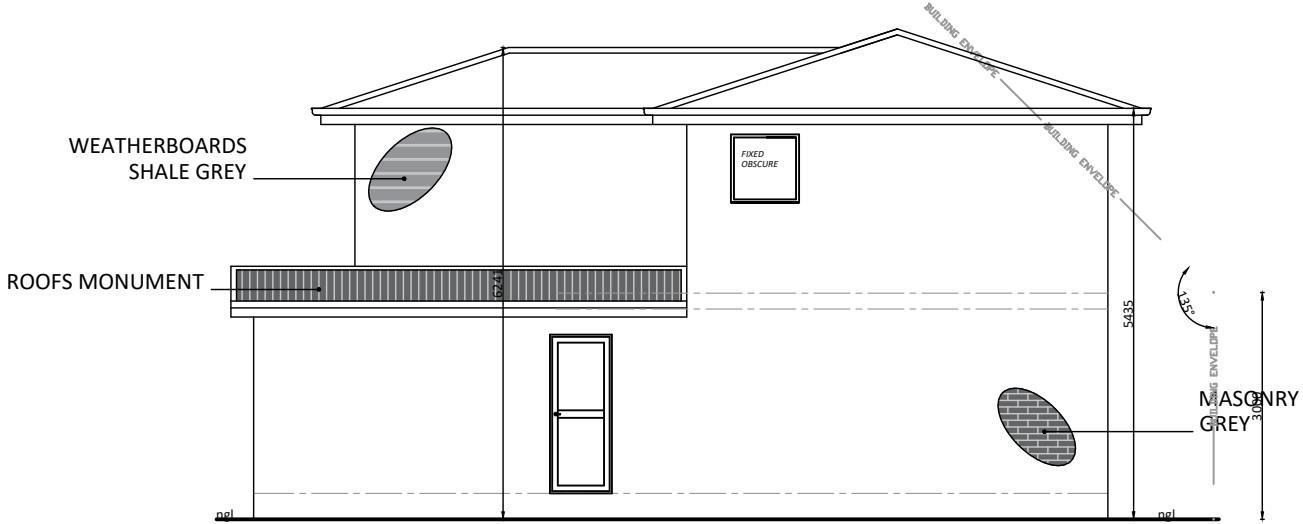
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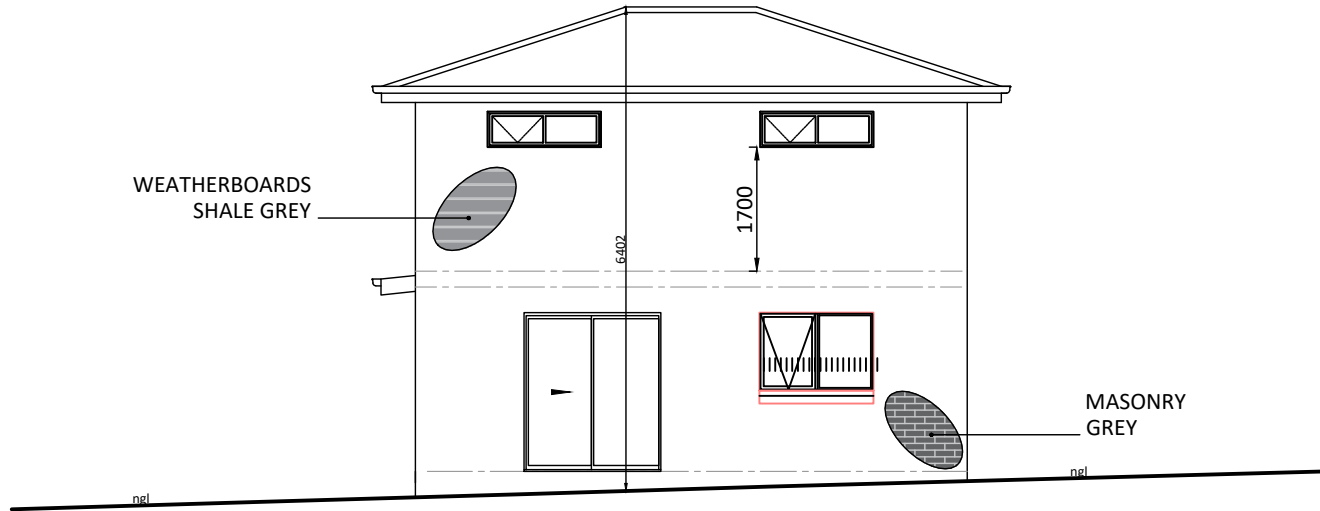
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CLIENT NAME:
CASERN INVESTMENTS PTY LTD
PROJECT ADDRESS:
18 HASKELL RD & 14 BESIER COURT, BRIGHTON TAS 7030
PROJECT:
MULTIPLE DWELLINGS

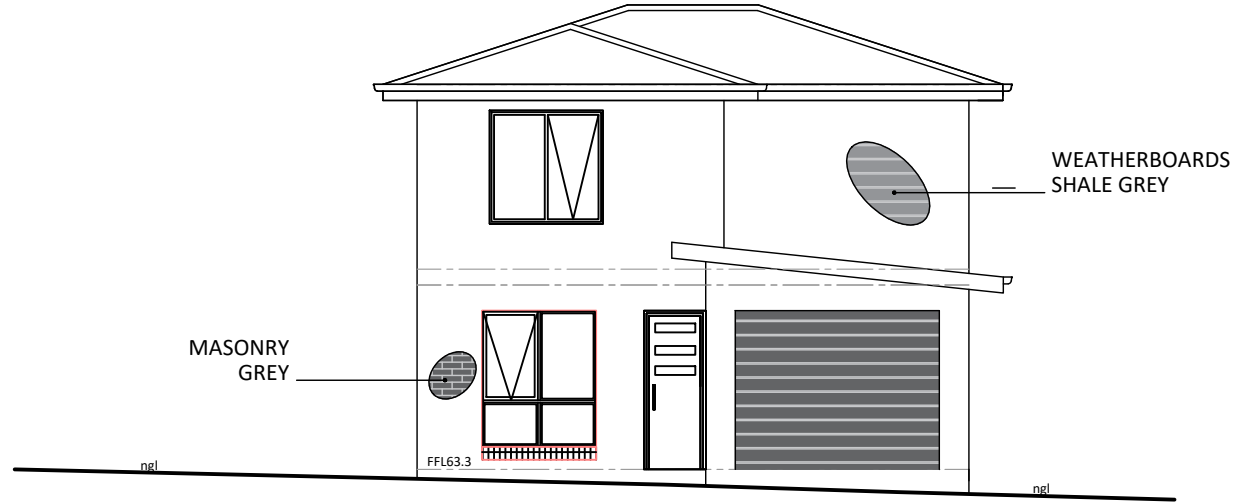
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REVISION No: R:2 RFI		SHEET SIZE: A3		JOB No: 20-116		SHEET No: P06.0			



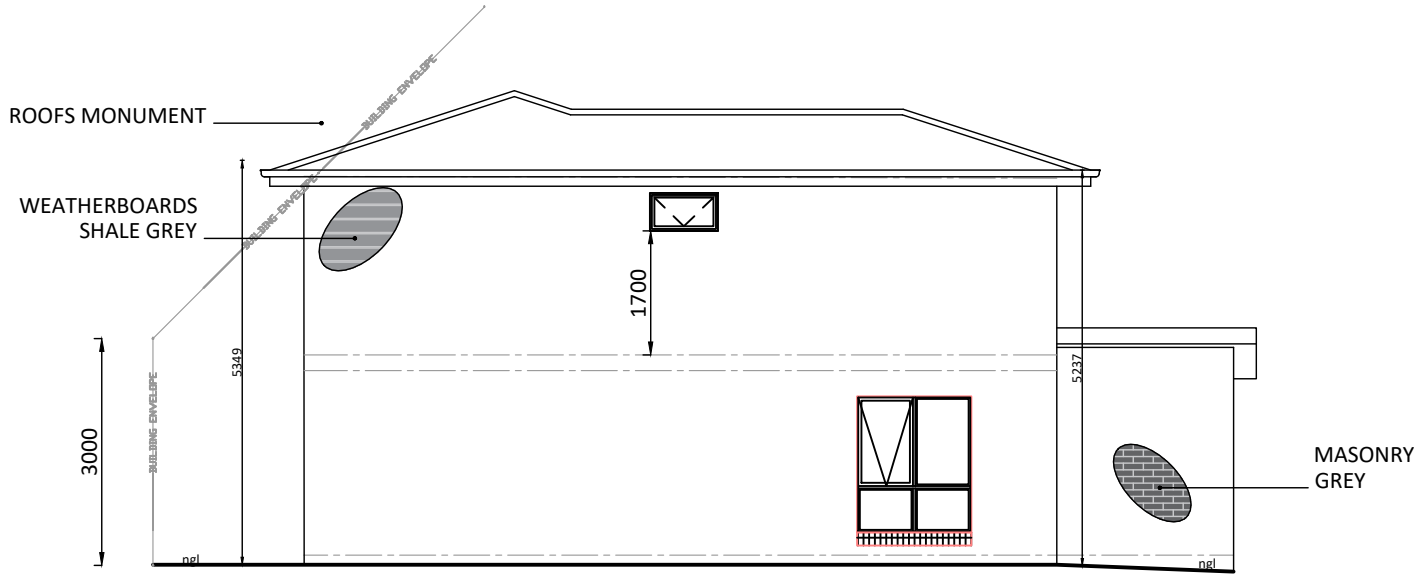
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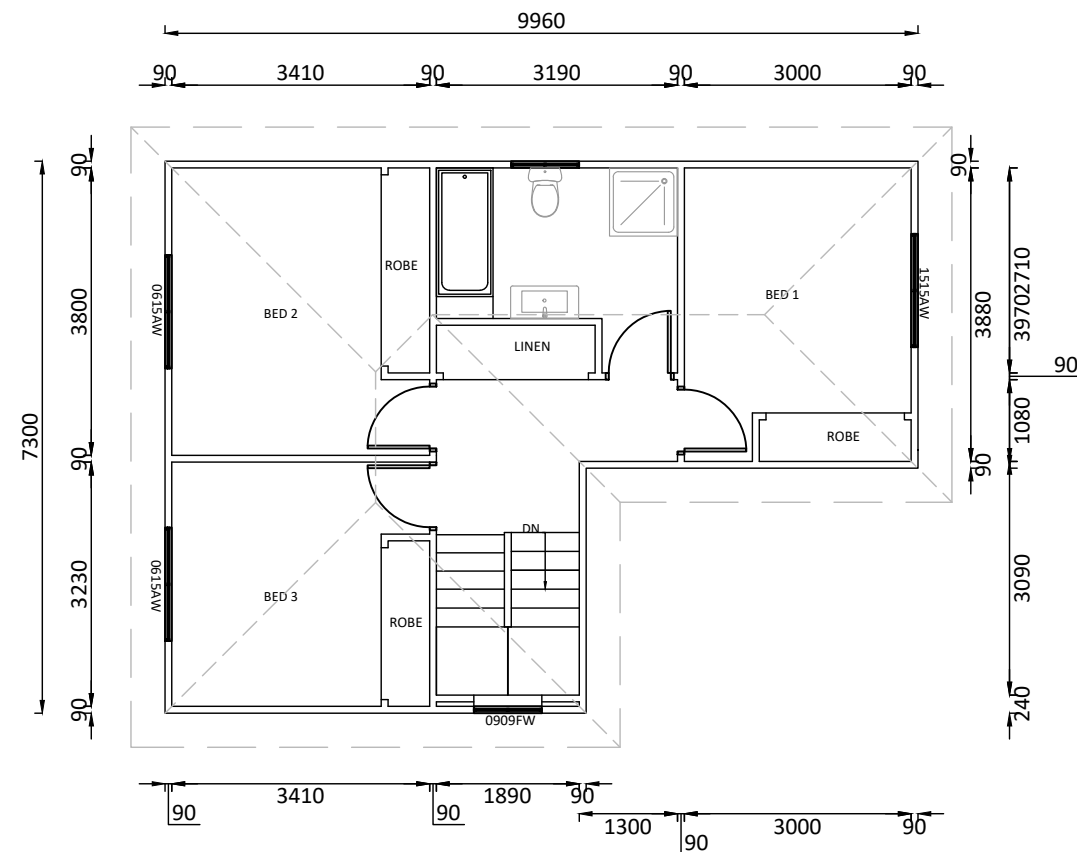
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S SOUTH ELEVATION
Scale: 1:100

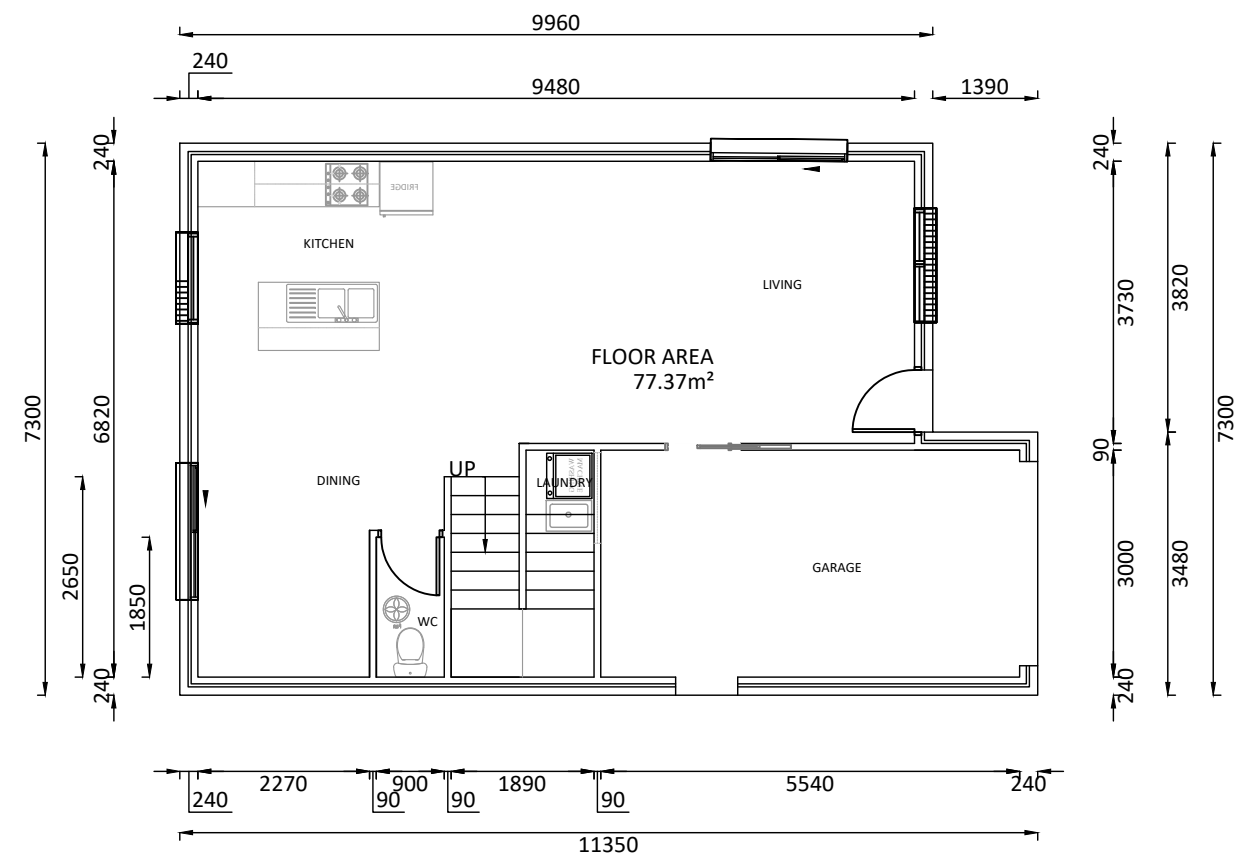


W WEST ELEVATION
Scale: 1:100



2 UPPER FLOOR PLAN UNIT 5

Scale: 1:100



1 LWR FLOOR PLAN UNIT 5
Scale: 1:100

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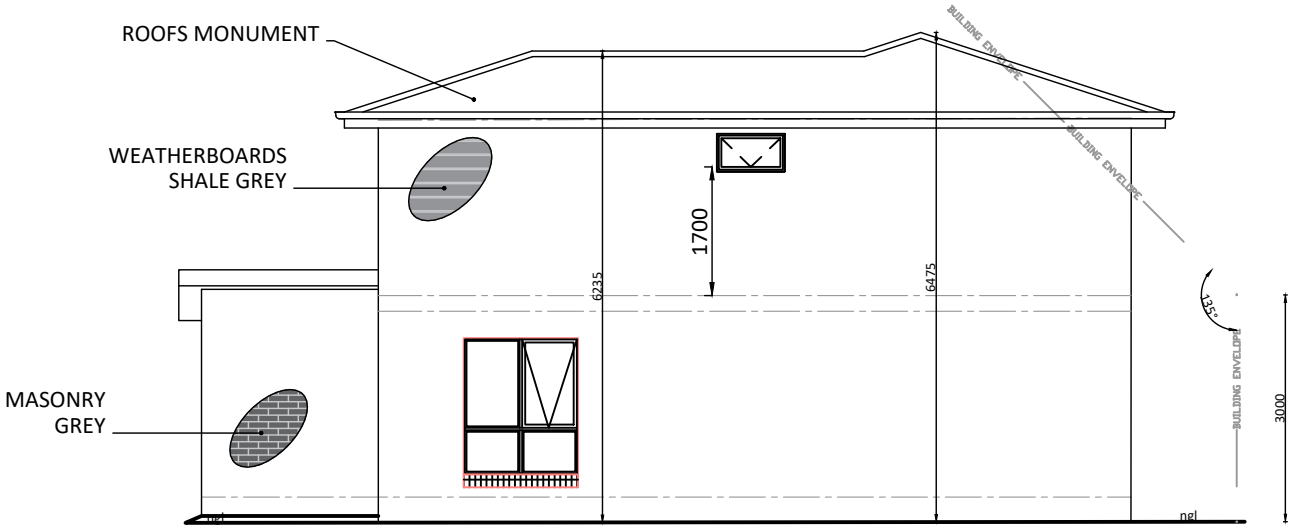


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CLIENT NAME:	CASERN INVESTMENTS PTY LTD
PROJECT ADDRESS:	18 HASKELL RD & 14 BESIER COURT, BRIGHTON TAS 7030
PROJECT:	MULTIPLE DWELLINGS

DRAWING TITLE:
UNIT 5 FLOOR PLANS

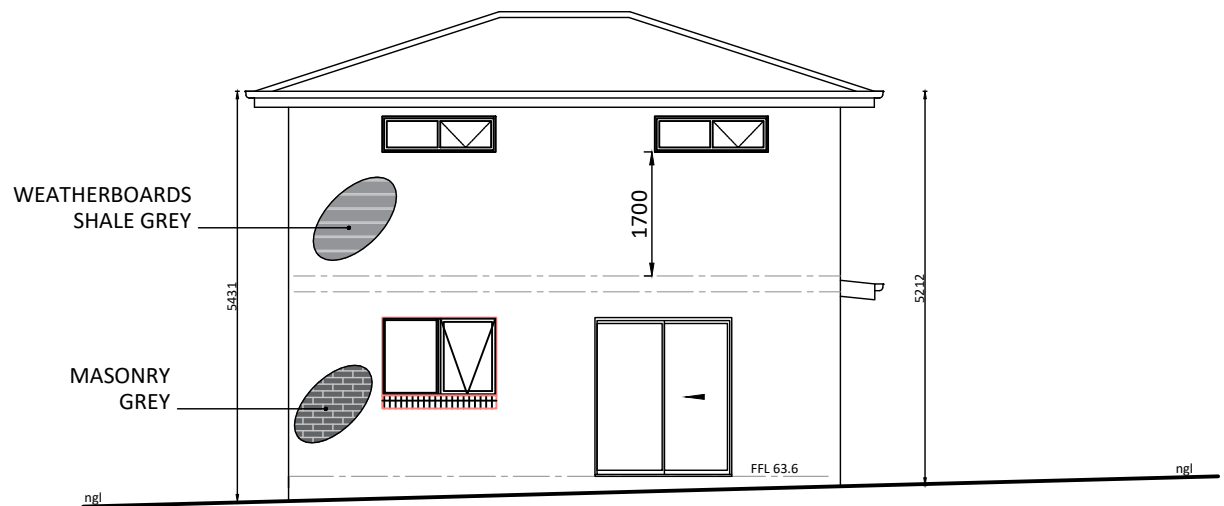
DATE: 15/03/2021	SCALE: 1:100	DRAWN BY: PK
REVISION No: R:2	SHEET SIZE: A3	JOB No: 20-116
SHEET No: P07.0		



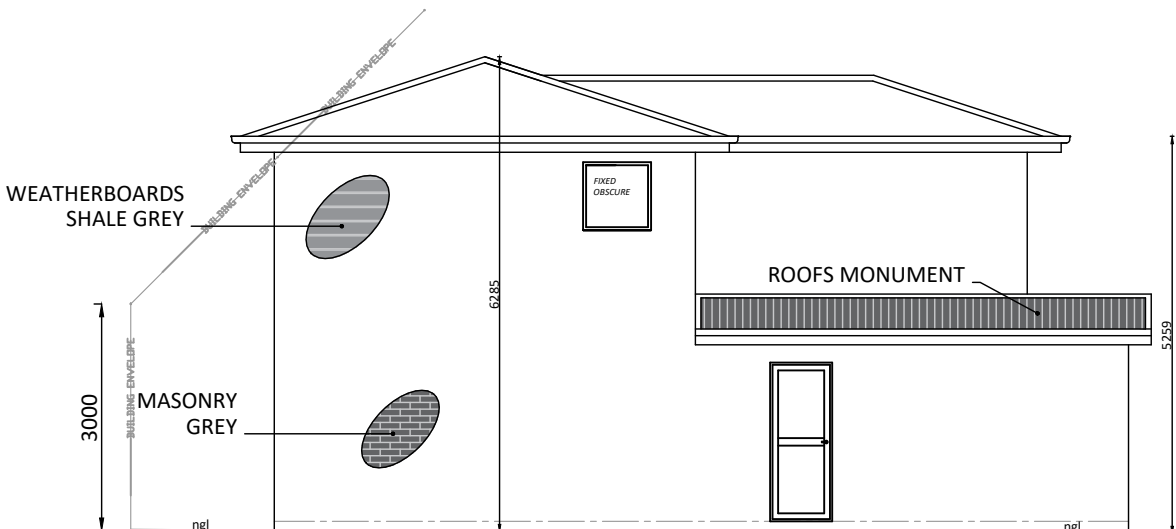
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S SOUTH ELEVATION
Scale: 1:100



N NORTH ELEVATION
Scale: 1:100



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Scale: 1:100

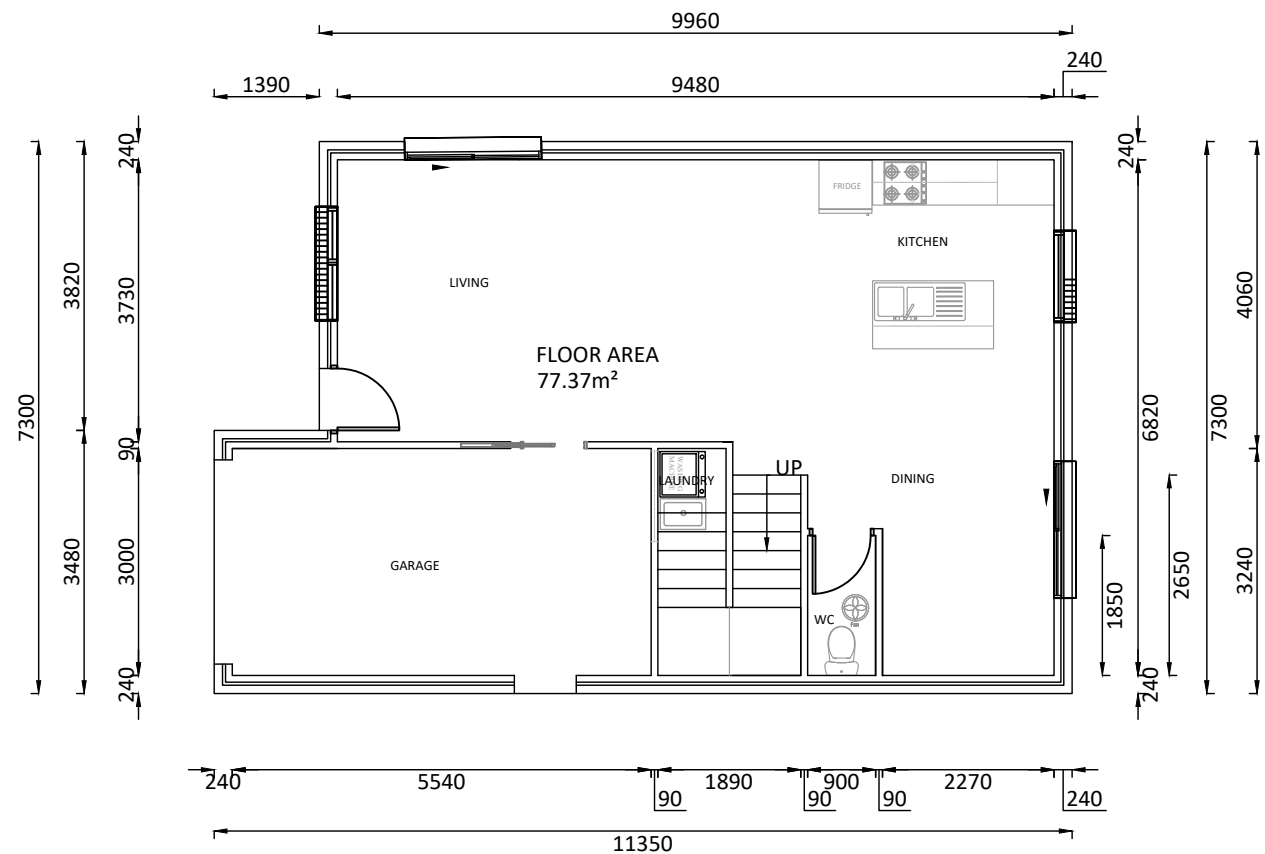
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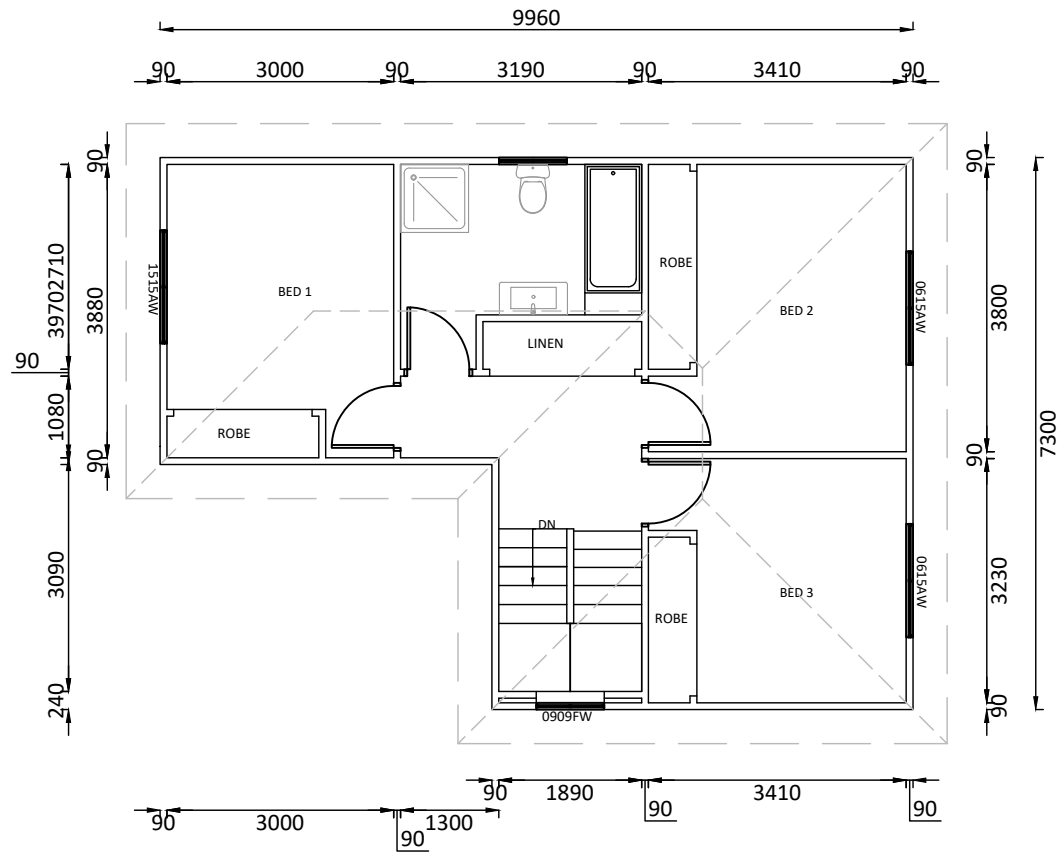


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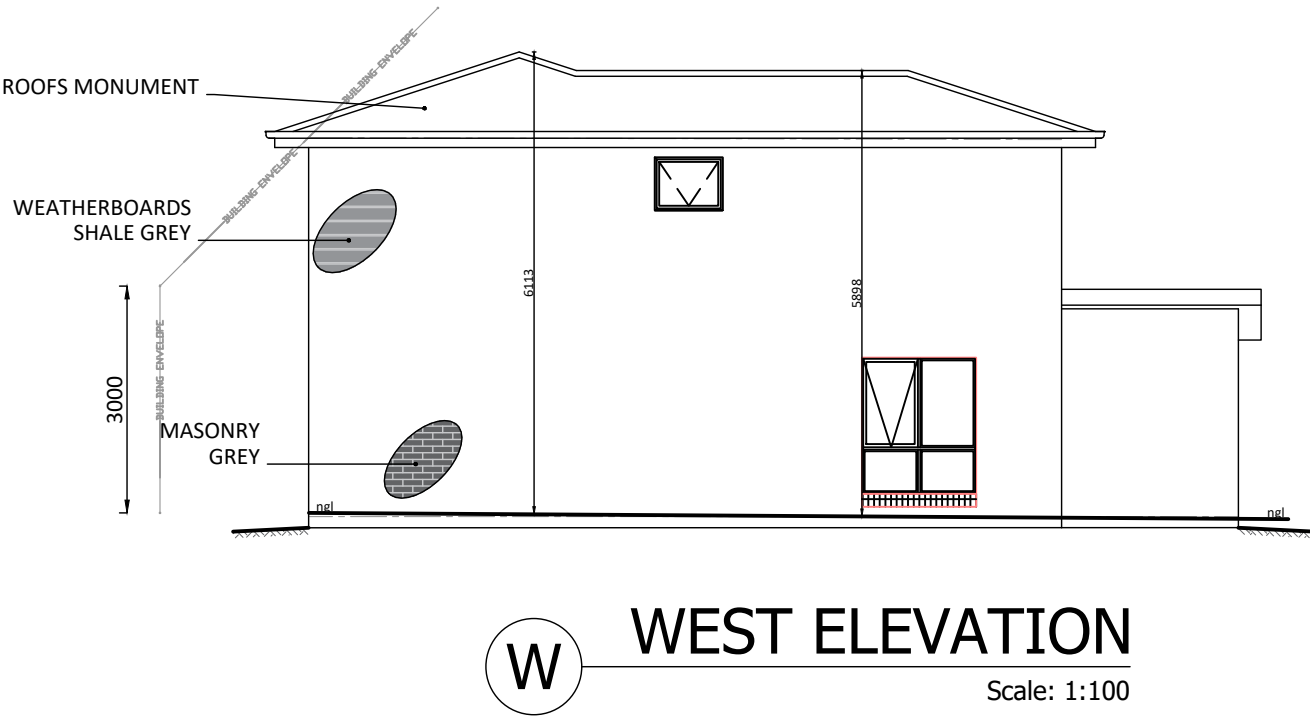
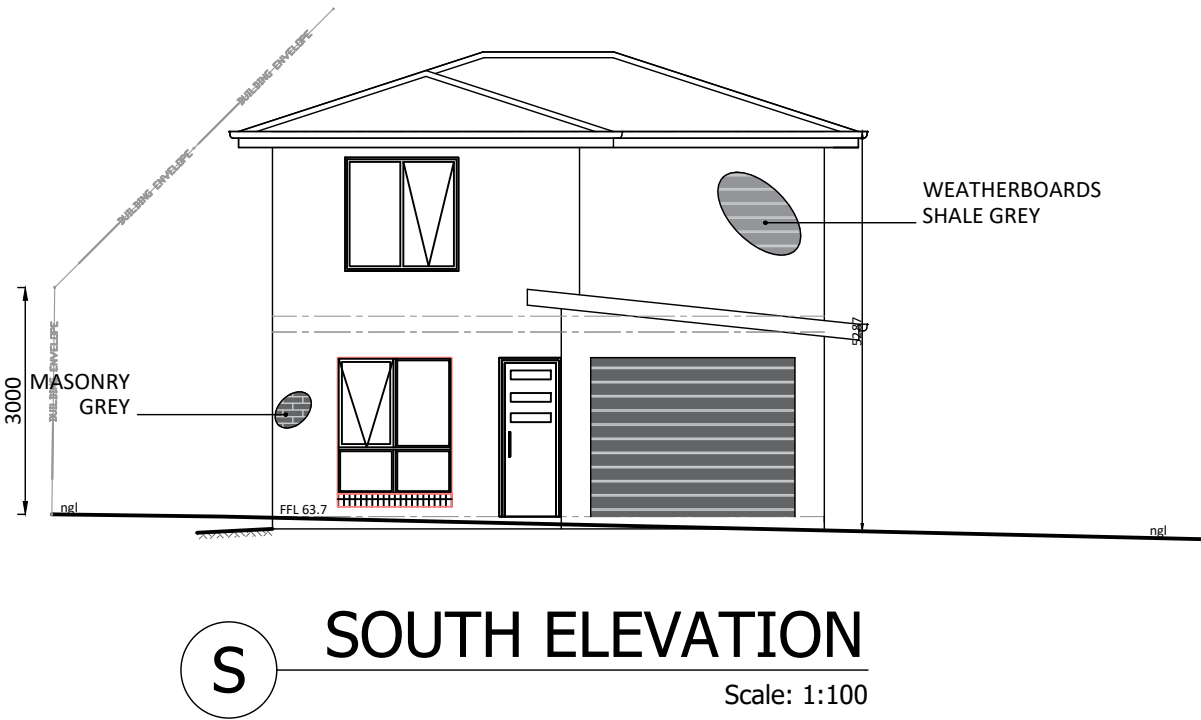
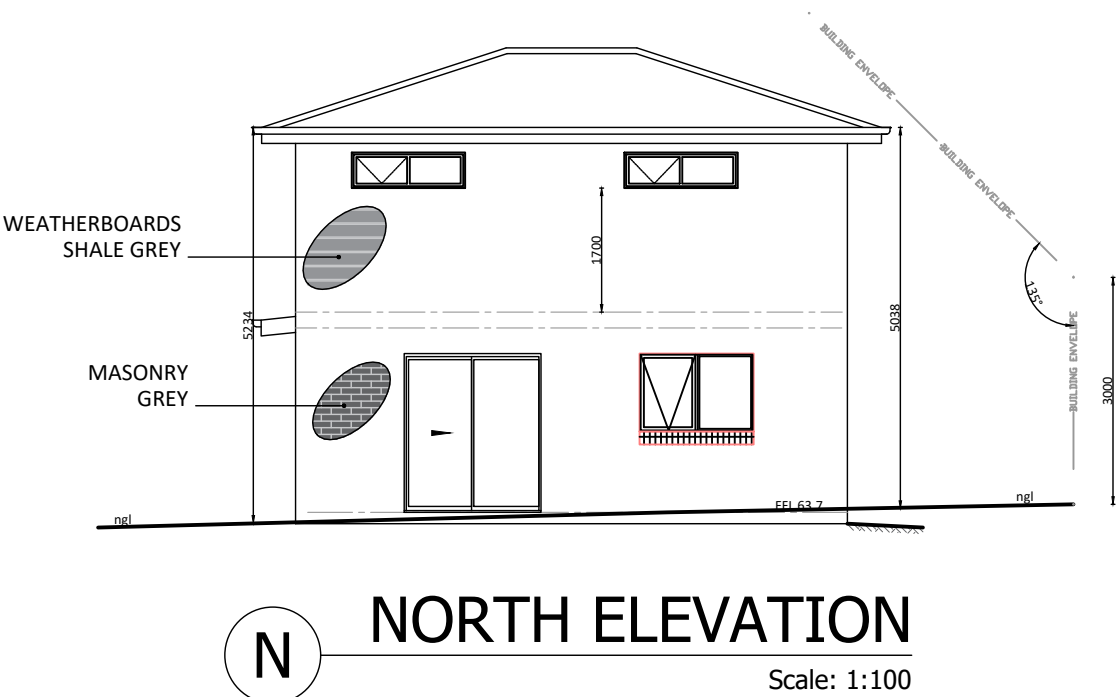
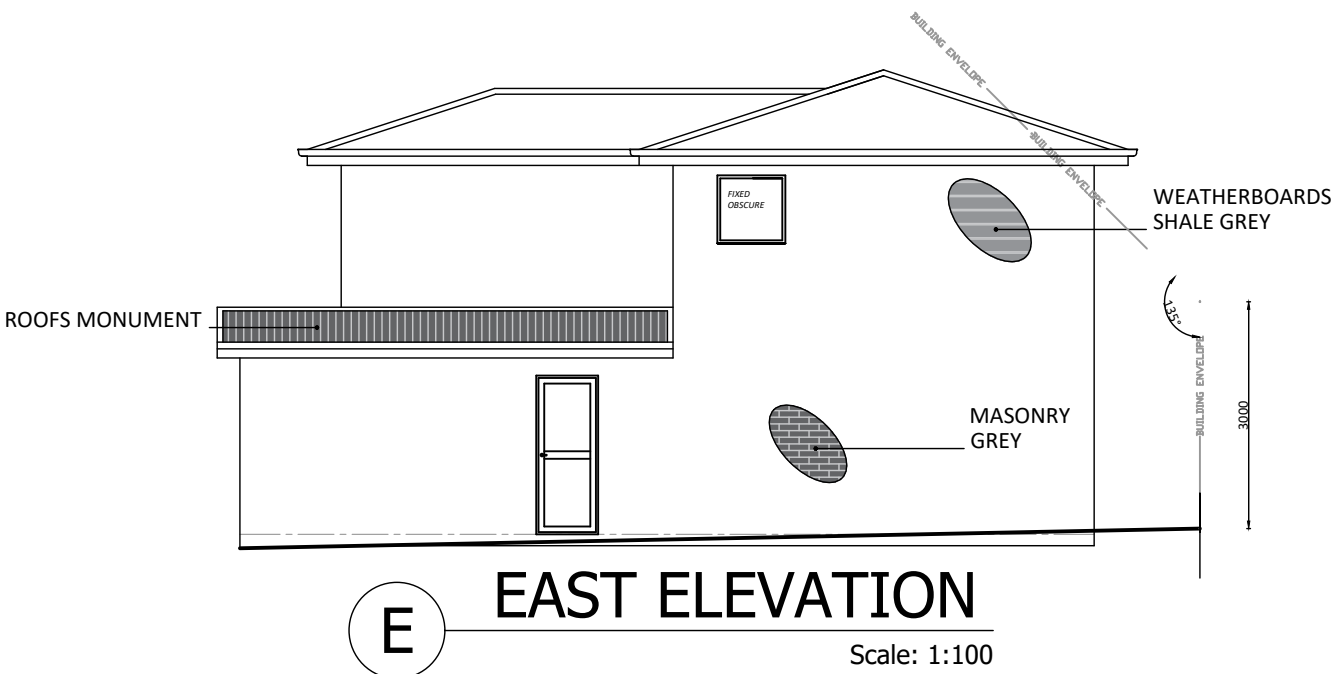
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PROJECT ADDRESS: 18 HASKELL RD & 14 BESIER COURT, BRIGHTON TAS 7030		DATE: 15/03/2021		SCALE: 1:100	DRAWN BY: PK
PROJECT: MULTIPLE DWELLINGS		REVISION No: R:2	SHEET SIZE: A3	JOB No: 20-116	SHEET No: P07.1



1 LWR FLOOR PLAN UNIT 6
Scale: 1:100



2 UPPER FLOOR PLAN UNIT 6
Scale: 1:100



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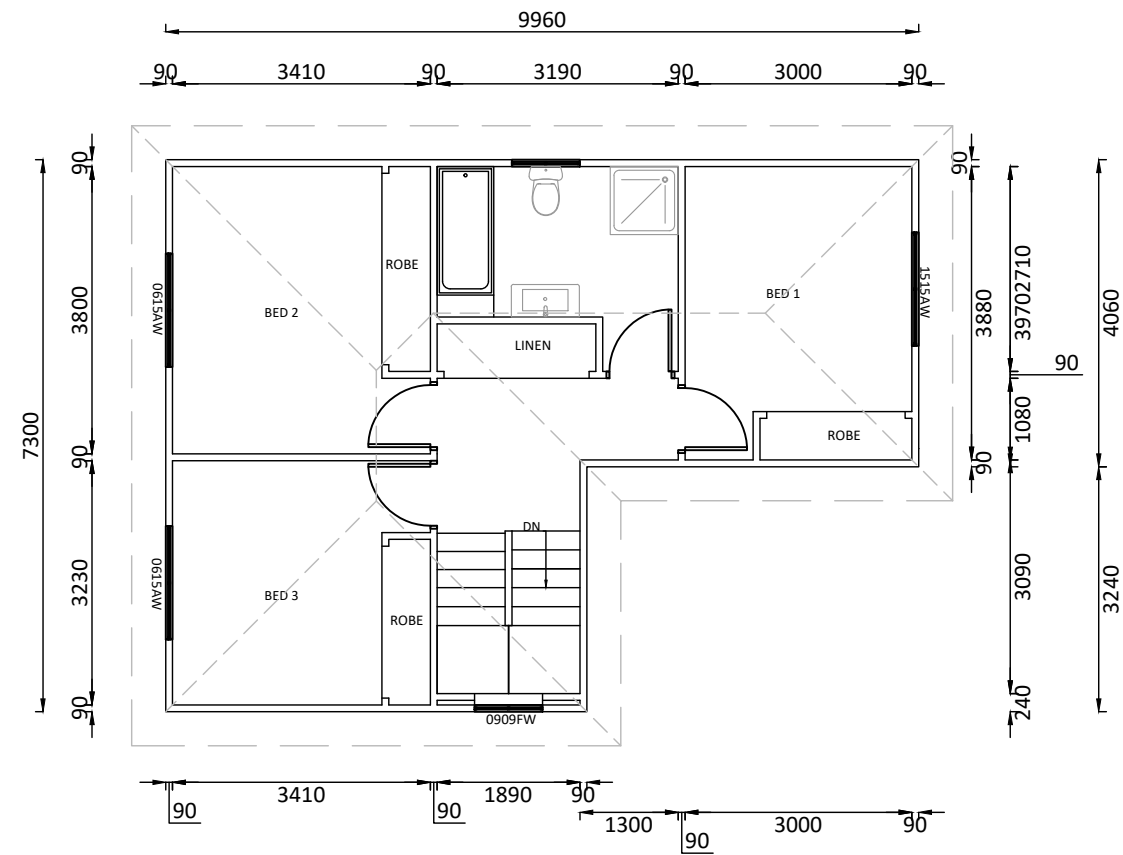


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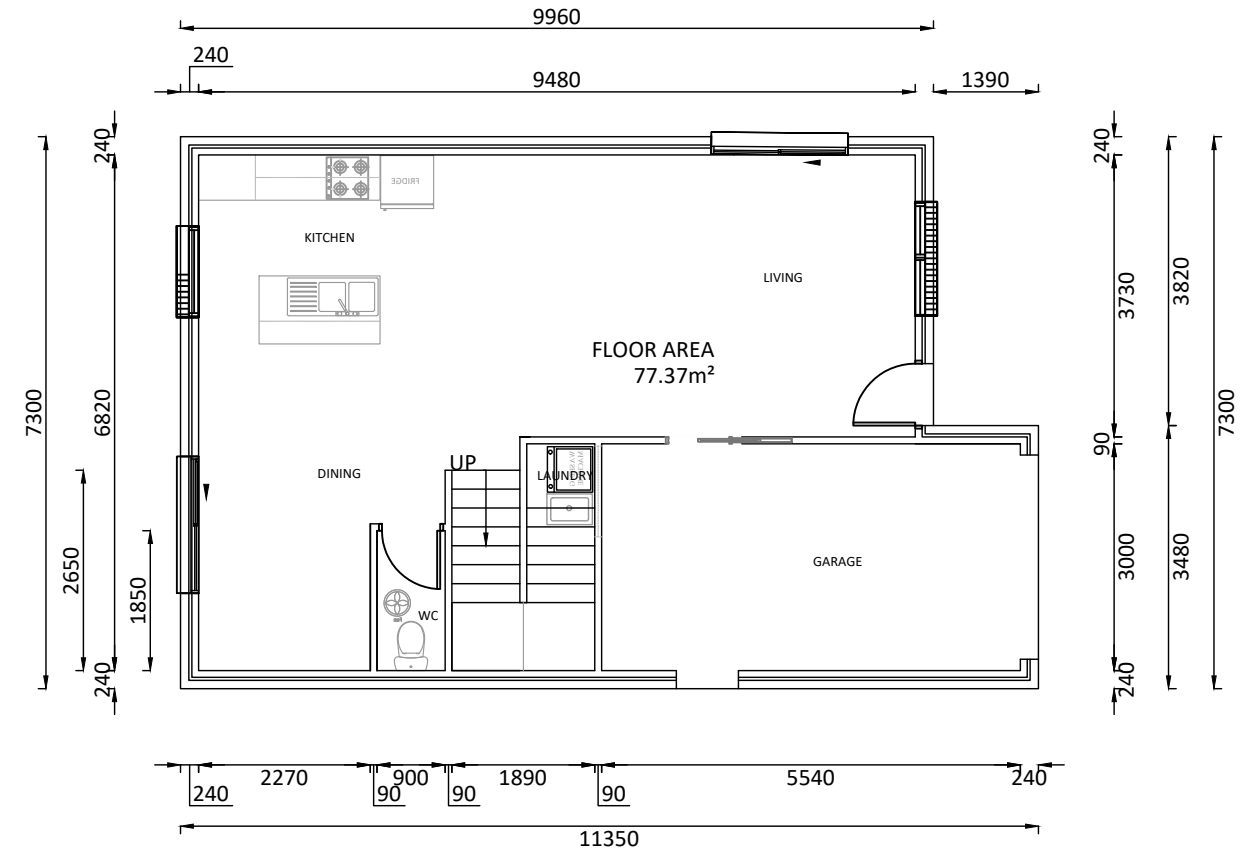
CLIENT NAME:
CASERN INVESTMENTS PTY LTD
PROJECT ADDRESS:
18 HASKELL RD & 14 BESIER COURT, BRIGHTON TAS 7030
PROJECT:
MULTIPLE DWELLINGS

DRAWING TITLE:
UNIT 6 ELEVATIONS

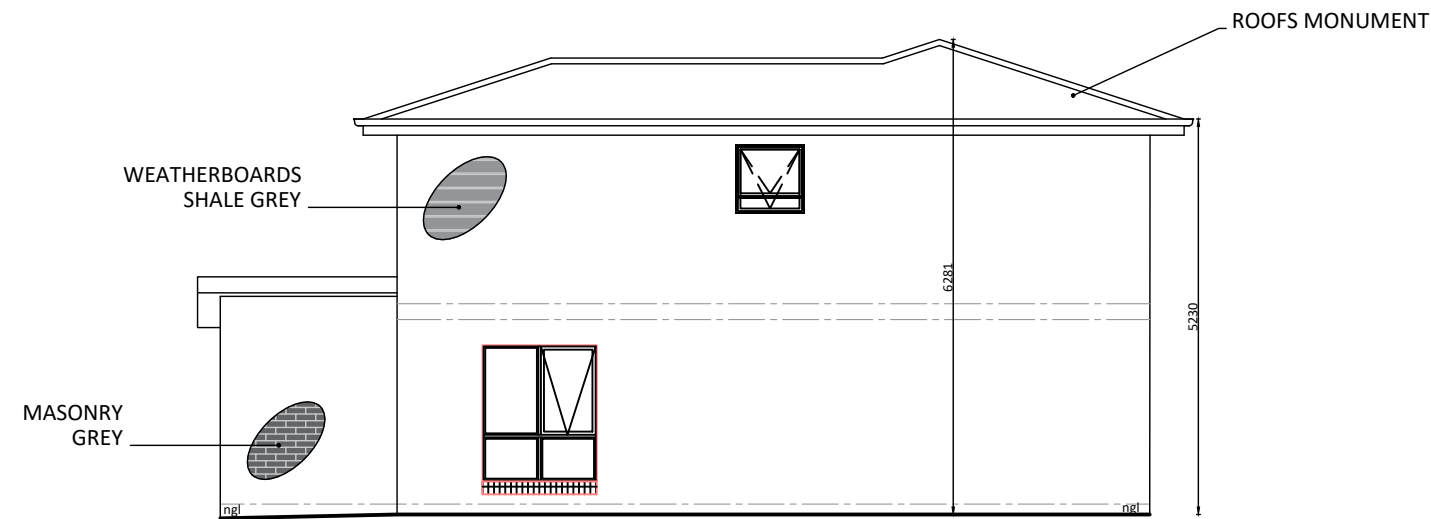
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REVISION No: R:2 RFI	SHEET SIZE: A3	JOB No: 20-116
SHEET No: P08.1		



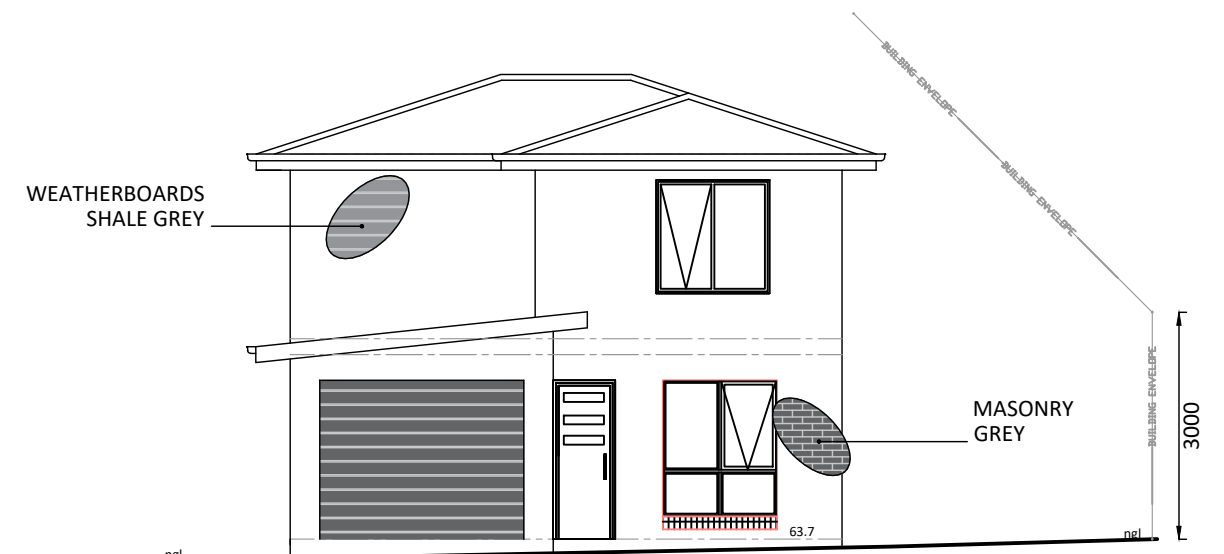
2 UPPER FLOOR PLAN UNIT 7
Scale: 1:100



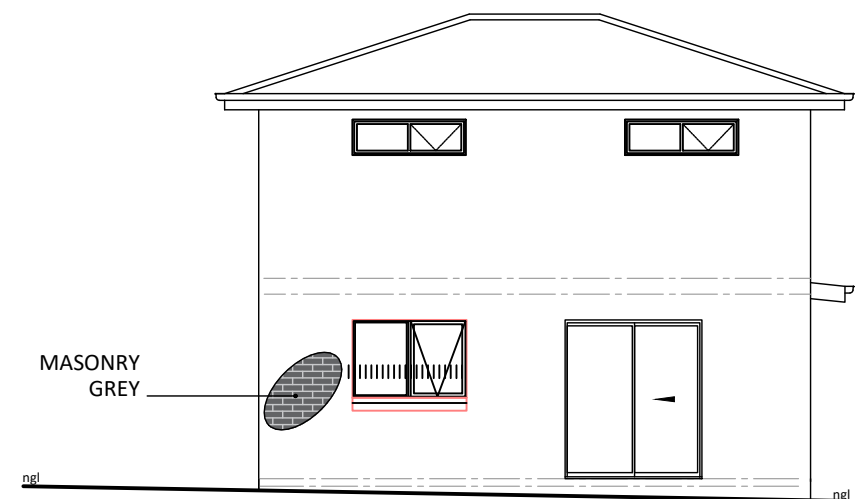
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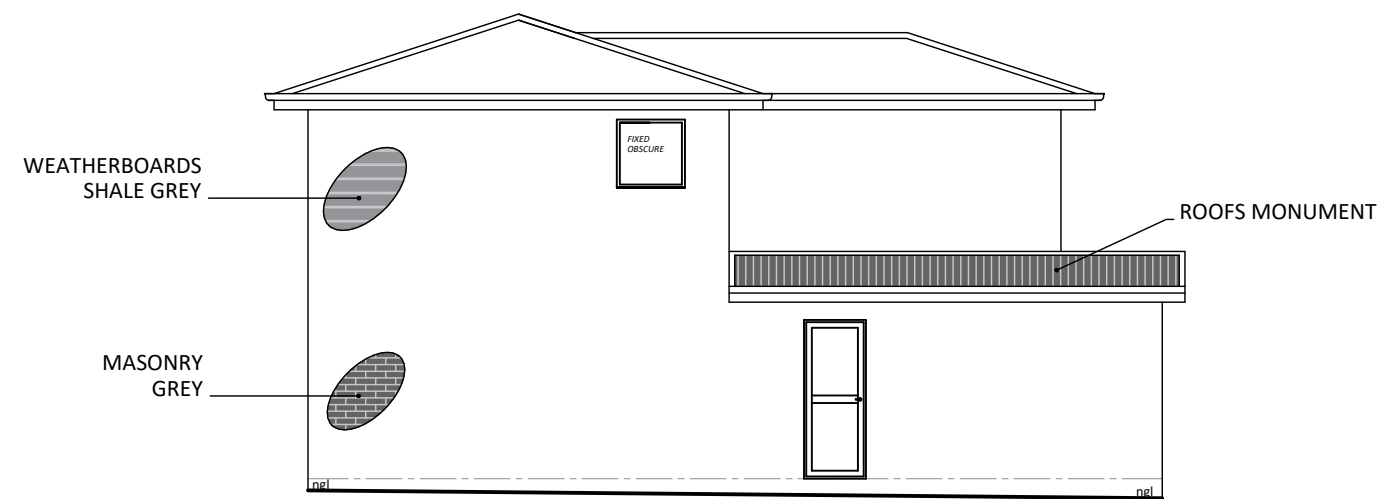
W WEST ELEVATION
Scale: 1:100



N NORTH ELEVATION
Scale: 1:100



S SOUTH ELEVATION
Scale: 1:100



E EAST ELEVATION
Scale: 1:100

DIMENSION NOTE:
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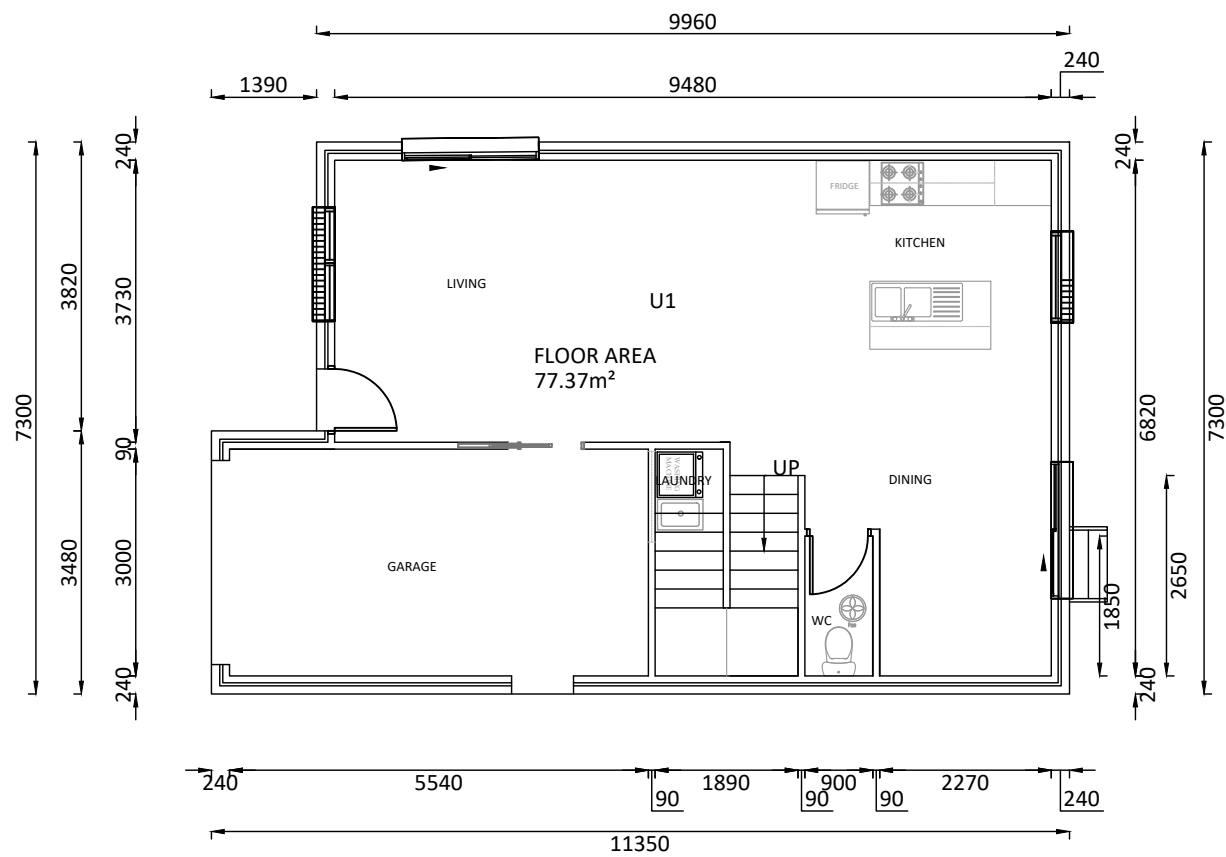
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PROJECT ADDRESS:
18 HASKELL RD & 14 BESIER COURT, BRIGHTON TAS 7030

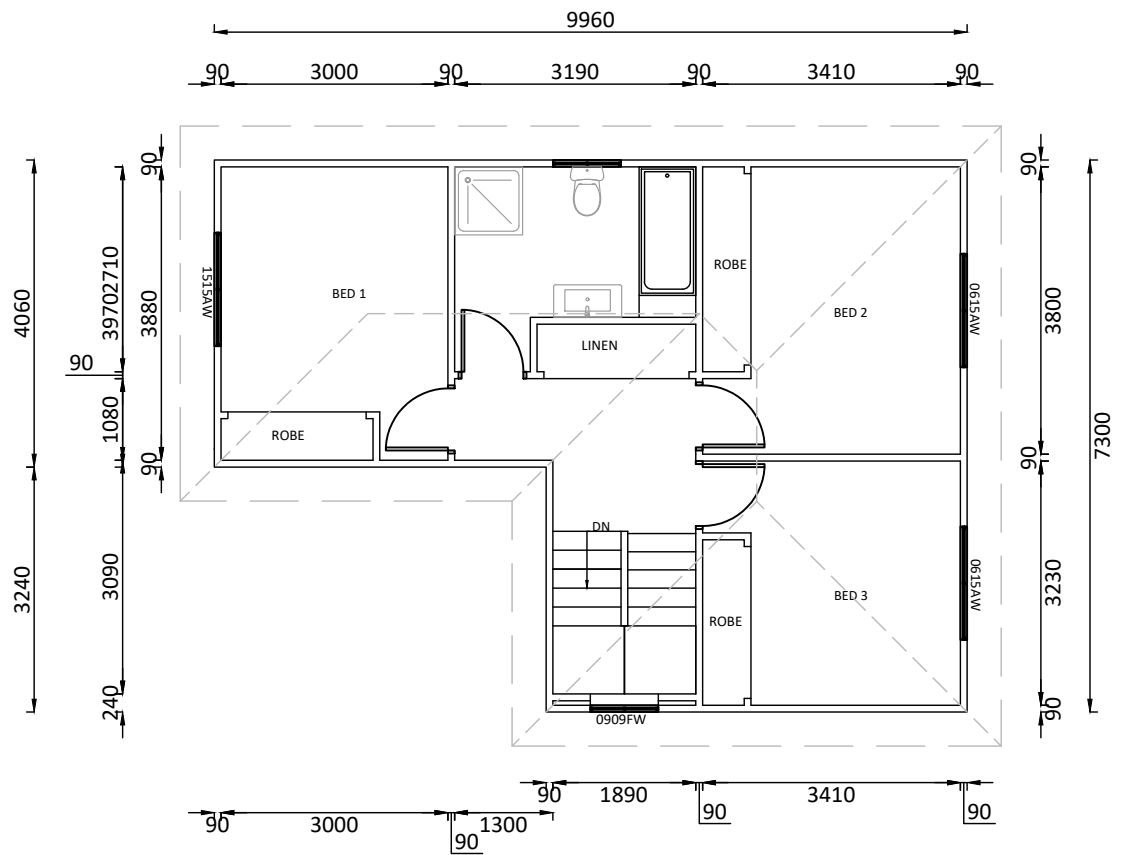
PROJECT:
MULTIPLE DWELLINGS

DRAWING TITLE:
UNIT 7 ELEVATIONS

DATE: 15/03/2021	SCALE: 1:100	DRAWN BY: PK
REVISION No: R:2 REVISION	SHEET SIZE: A3	JOB No: 20-116
SHEET No: P09.1		



1 LWR FLOOR PLAN UNIT 8
Scale: 1:100



2 UPPER FLOOR PLAN UNIT 8
Scale: 1:100

DIMENSION NOTE:
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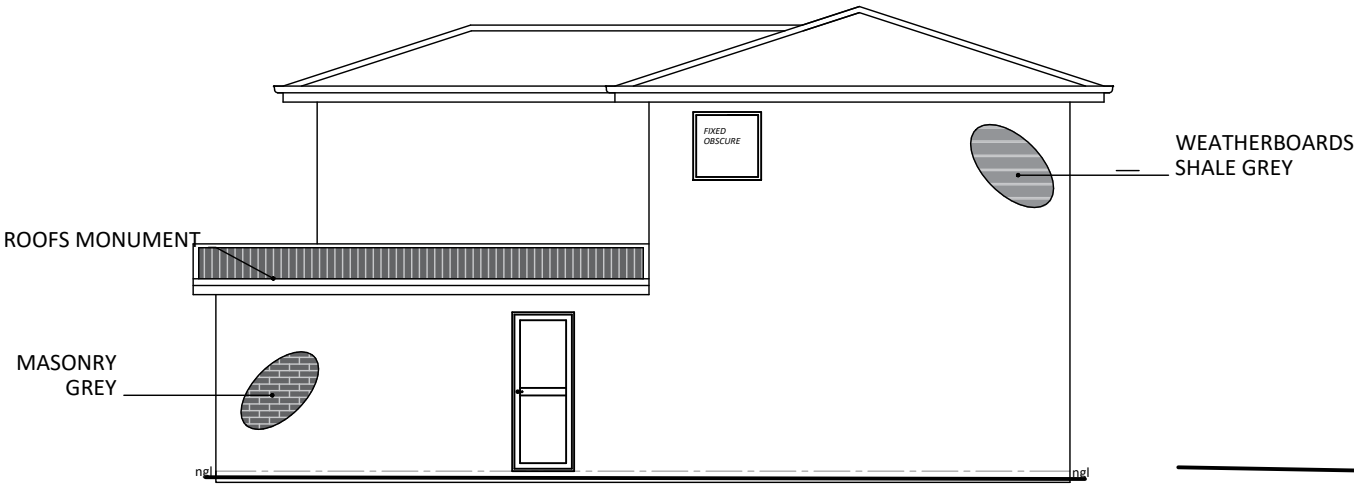


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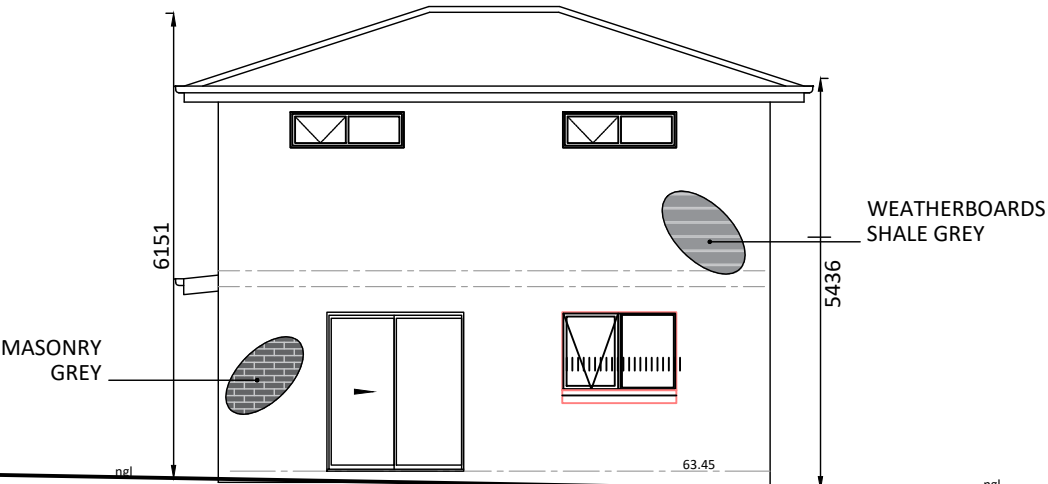
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CASERN INVESTMENTS PTY LTD
PROJECT ADDRESS:
18 HASKELL RD & 14 BESIER COURT, BRIGHTON TAS 7030
PROJECT:
MULTIPLE DWELLINGS

DRAWING TITLE:
FLOOR PLANS UNIT 8

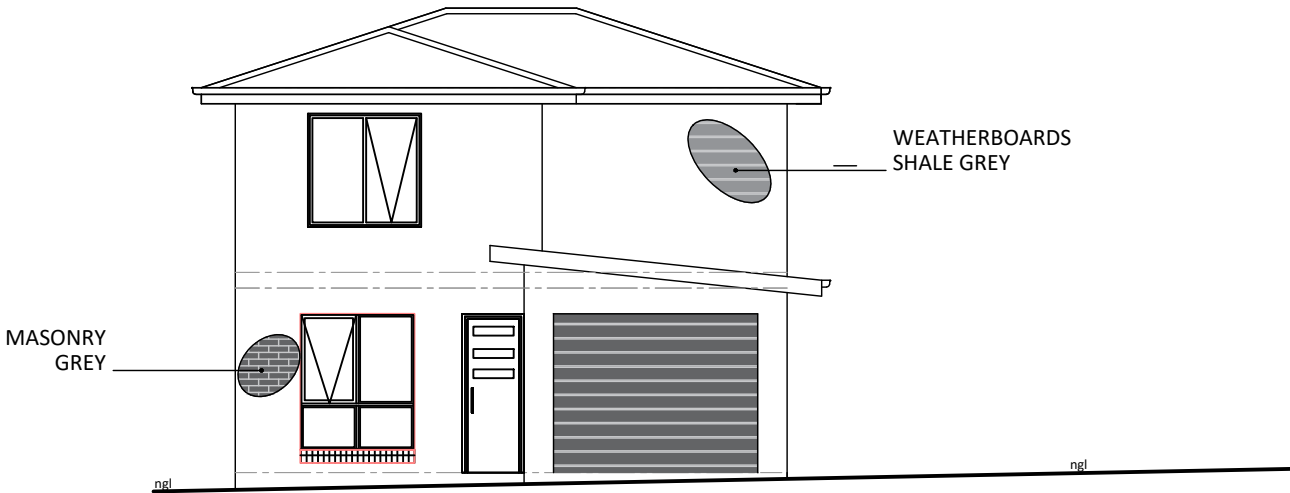
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REVISION No: R:2	SHEET SIZE: A3	JOB No: 20-116
SHEET No: P10.0		



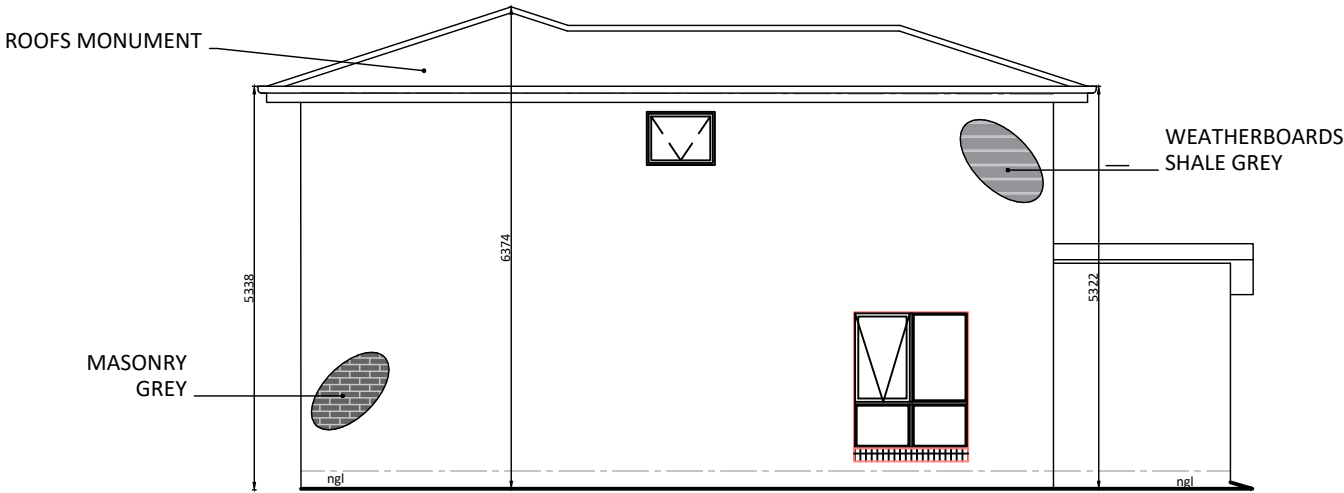
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S SOUTH ELEVATION
Scale: 1:100



N NORTH ELEVATION
Scale: 1:100



E EAST ELEVATION
Scale: 1:100

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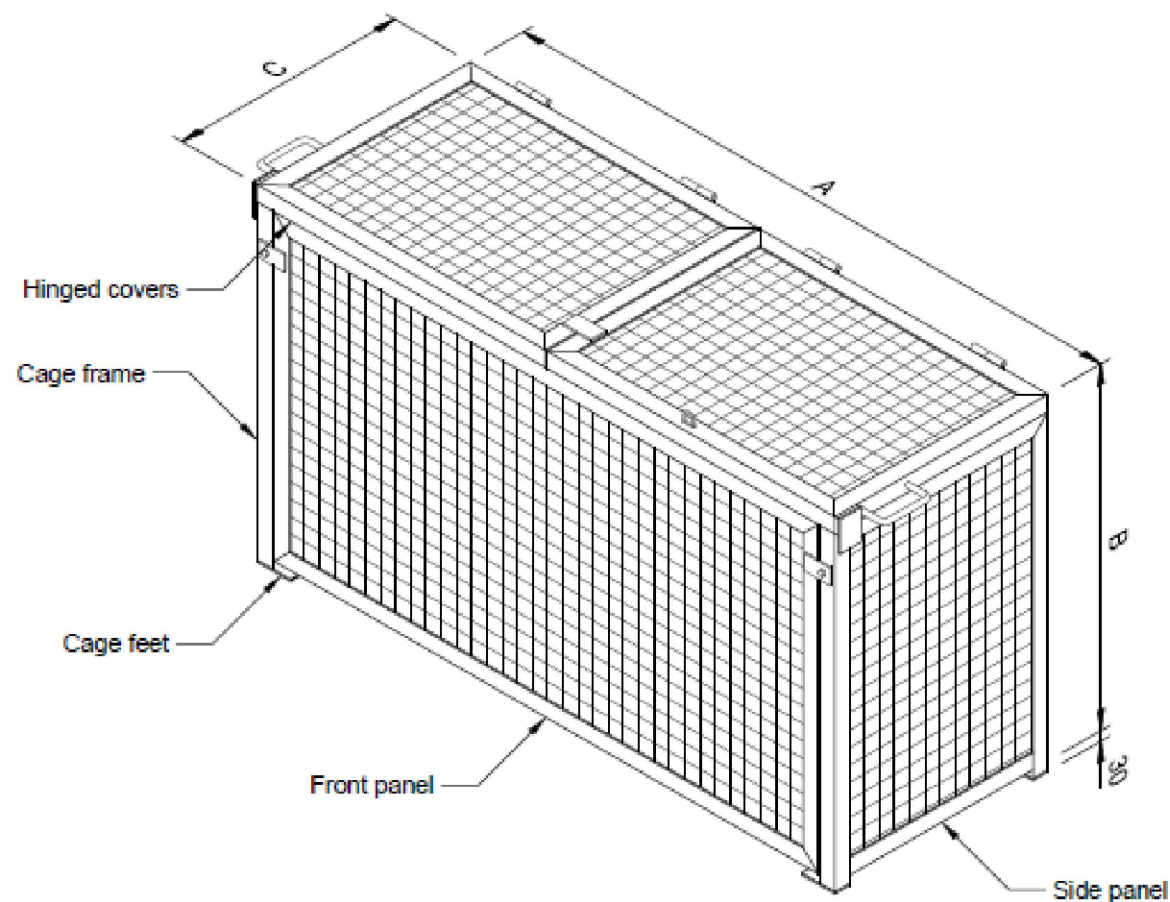


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CLIENT NAME:
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PROJECT ADDRESS:
18 HASKELL RD & 14 BESIER COURT, BRIGHTON TAS 7030
PROJECT:
MULTIPLE DWELLINGS

DRAWING TITLE:
ELEVATIONS UNIT 8

DATE: 15/03/2021	SCALE: 1:100	DRAWN BY: PK
REVISION No: R:2	SHEET SIZE: A3	JOB No: 20-116
SHEET No: P10.1		



ISOMETRIC VIEW

1 : 20

DN	CAGE DIMENSIONS		
	A	B	C
32/40 (Med - High Hazard)	1800	600	450
50 (Low Hazard)	1950	650	450
50 (Med - High Hazard)	2300	650	450
65 (Low Hazard)	1850	750	500
65 (Med - High Hazard)	2200	800	500
80 (Low Hazard)	2050	750	500
80 (Med - High Hazard)	2500	800	500
100 (Low Hazard)	2250	800	600
100 (Med - High Hazard)	2800	900	600
100 Fire Connection	1300	800	600
100 Mag. Flow Meter	2250	1250	600
100 with DN.25 By-Pass	1300	800	600

TABLE 1

GENERAL NOTES

1. All dimensions in millimeters (mm), unless noted otherwise.
2. Dimensions are based on TasWater Standard water meter drawings TWS-W-0003, required cage dimensions should be confirmed on site prior to fabrication.
3. Construct all framework from 50 x 50 x 4 mild steel equal angle.
4. All welds to be continuous fillet or butt welds and ground flush on framework.
5. Deburr and remove all sharp edges.
6. Provide drain holes prior to galvanising.
7. Cage Padlock - supplied by TasWater.
8. Weld cage mesh ('ARC Weldmesh' WB 422) on inside of panels.
9. DN.100 (Low Hazard) meter cage drawn - for other meter types see Table 1 for required dimensions.
10. Secure meter cage to concrete slab with 4 x M10 chemical anchors, 80 (min.) embedment.

0 0.4 0.8 1.2 1.6 2.0 metres
SCALE - 1 : 20

Revision Notes				
2. ADJUSTED DIMENSION B ON DN.100 MAG FLOW METER				
Rev.	2	Date	08/08/2018	Approved
				G. HENDERSON



Scale	1 : 20
Datum	N/A
Sheet Size	A3
References	

Drawn:	K. KRAMBY	08/03/2017	
Designed:	K. CAMERON	07/02/2017	
Verified:	K. JAMES	26/02/2017	
Project No.	J010803-005	Discipline	W
Valid Until	01/01/2018	©	2015
HPVH Plotted	T1580308-0004		

DRAWING ISSUE	
APPROVED	



TASWATER STANDARD DRAWING
PROPERTY SERVICE CONNECTIONS
CAGE FOR WATER METER ASSEMBLY
ISOMETRIC VIEW AND NOTES

TASWATER WATER & SEWAGE CORPORATION PTY LTD	AWK 47 16222 W/S	TWS-W-0003	1 of 5	2
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DIMENSION NOTE:
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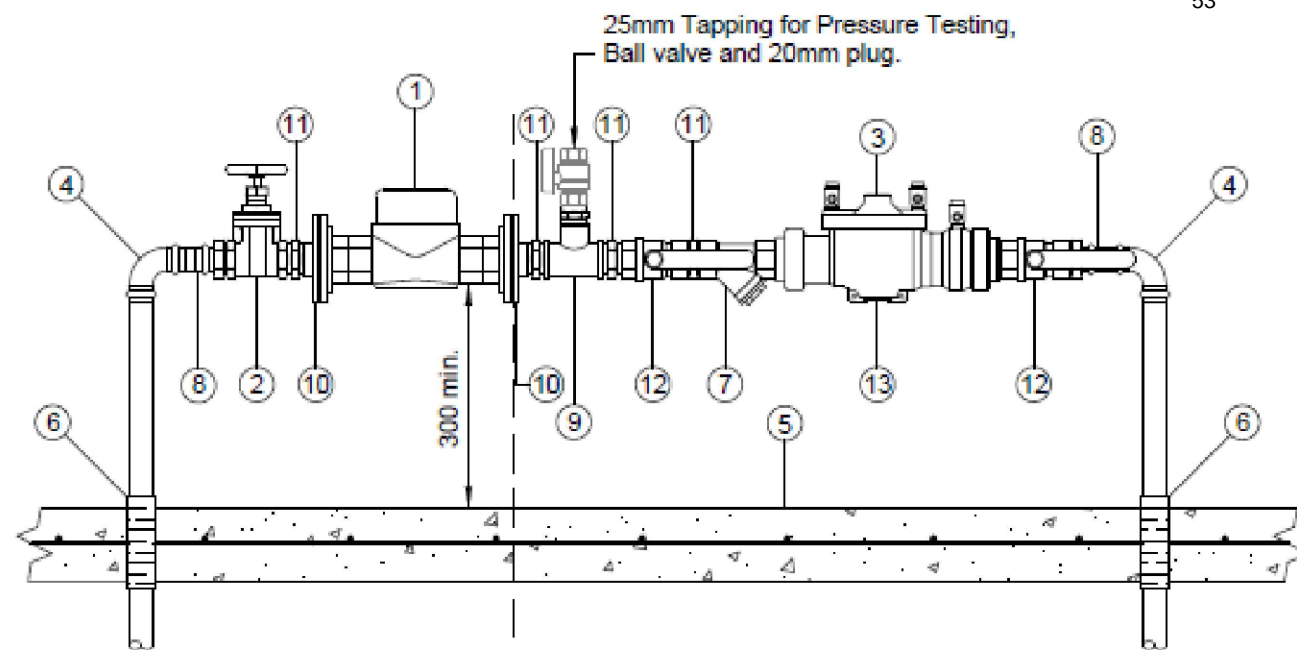


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CLIENT NAME:
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PROJECT ADDRESS:
18 HASKELL RD & 14 BESIER COURT, BRIGHTON TAS 7030
PROJECT:
MULTIPLE DWELLINGS

DRAWING TITLE:
TAS WATER DRAWING

DATE: 15/03/2021	SCALE: N/A	DRAWN BY: PK
REVISION No: R:2 RFI	SHEET SIZE: A3	JOB No: 20-116
		SHEET No: P11.1



ELEVATION

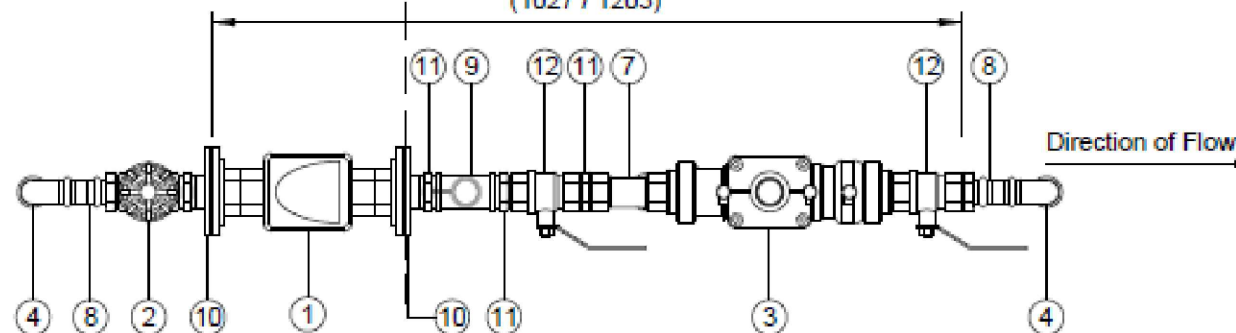
1 : 10

TasWater Responsibility

Property Owner Responsibility

(1027 / 1203)

Direction of Flow



PLAN

1 : 10

VALVE & EQUIPMENT SCHEDULE

1. Only use products with watermark certification and approved for use by TasWater and listed within City West Water's approved products catalogue.
2. Installation must comply with manufacturer's written instructions.
3. All valves must be resilient seated, clockwise closing to AS 1628 with 316 stainless steel bolts and washers.
4. Unless approved otherwise the water meter/s, tails and meter boxes are to be supplied by TasWater.

0 0.2 0.4 0.6 0.8 1.0 metres
SCALE - 1 : 10

Revision Notes				
5. AMENDMENTS TO SHEETS 7, 12 AND 17				
Rev	5	Date	31/10/2018	Approved
				G. HENDERSON



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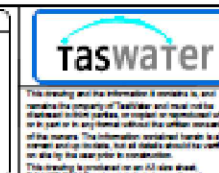
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Scale	1 : 10
Datum	N/A
Sheet Size	A3

Drawn	R. HAWLEY	07/02/2017	
Designed	R. CAMERON	08/02/2017	
Verified	R. JAMES	20/02/2017	
Project No.	JY580-008	Discipline	W
Issue Number	STANDARD	©	2018
Issue Date	11/03/2018	Issue	004

APPROVED

TASWATER STANDARD DRAWING
PROPERTY SERVICE CONNECTIONS
DN.32 AND DN.40 WATER METERS
MEDIUM - HIGH HAZARDTASWATER WATER & SEWAGE CORPORATION PTY LTD
APRIL 2018

TWS-W-0002

12 of 18

5

CLIENT NAME:
CASERN INVESTMENTS PTY LTDPROJECT ADDRESS:
18 HASKELL RD & 14 BESIER COURT, BRIGHTON TAS 7030PROJECT:
MULTIPLE DWELLINGSDRAWING TITLE:
TAS WATER DRAWINGDATE:
15/03/2021SCALE:
N/ADRAWN BY:
PKREVISION No:
R:2 RFISHEET SIZE:
A3JOB No:
20-116SHEET No:
P11.2

BOUNDARY CONNECTION PARTS LIST

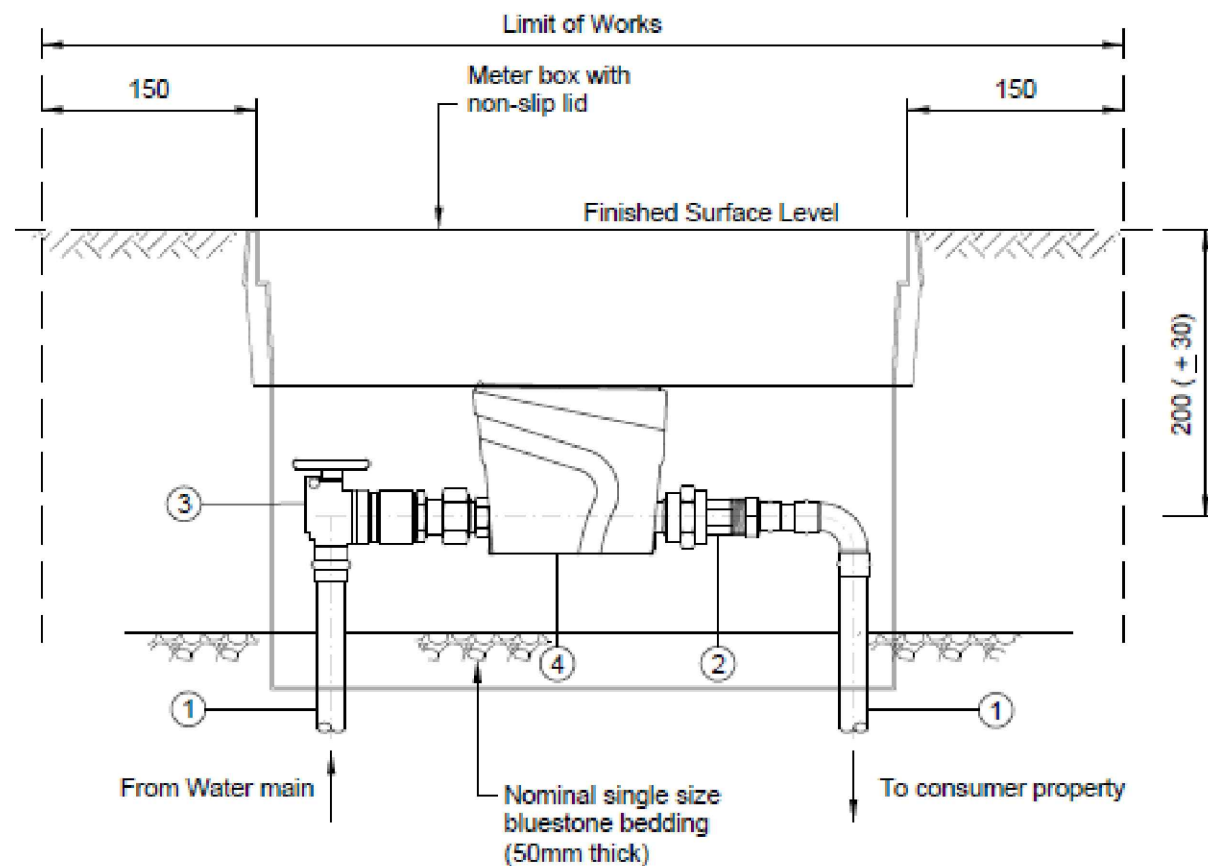
No.	DESCRIPTION	COMMENTS
①	DN.32 'Sensus' Iperl Water Meter with Dual Check Valve	Supplied by TasWater
②	DN.32 Gate Valve	Supplied by TasWater
③	Medium Hazard DN.32 'ValvCheQ' DC03 Double Check Valve High hazard DN.32 'ValvCheQ' RPZD RP03 Valve Only	Owned, operated and maintained by Property Owner
④	DN.32 Type 'A' Copper Pipework	
⑤	100mm (minimum) Reinforced Concrete Slab	SL72 placed central
⑥	Pipe Wrapped where Concrete will contact Pipe	(Refer Note 5)
⑦	DN.32 Strainer	Owned, operated and maintained by Property Owner
⑧	B-Press Fittings or Equivalent	
⑨	DN.32 x 25 Fem x Fem BSP Reducing Tee	
⑩	DN.32 BSP to Table E Flange Adaptor	
⑪	DN.32 Nipple	
⑫	DN.32 Ball Valve - Lockable Quarter Turn brass DZR with brass handle, resilient seated	
⑬	Vent only applies to RPZD	

GENERAL NOTES

1. All dimensions in millimeters (mm), unless noted otherwise.
2. Installation and fittings schedule is also suitable for DN.40 meter.
3. Dimensions shown in brackets apply to (DN.32 / DN.40).
4. A 3mm clearance has been added where a gasket is required.
5. All metallic pipe work to be 'Denso' wrapped, or equivalent where it comes in contact with concrete - to protect it from corrosion.
6. Install and locate the meter assembly so that the meter can be easily read.
7. Where a vented back flow prevention device is required such as a Reduced Pressure Zone Device (RPZD) it shall:
 - Comply with AS 3500 and AS 2845; and shall
 - Have free ventilation to the atmosphere for the relief valve at all times.
 - Not to be in an area that may be subject to ponding;
 - Have the relief drain outlet not less than 300mm above the surrounding surface.
8. Install the meter assembly in cage in accordance with TWS-W-0003.
9. The Property Owner is responsible for the ongoing maintenance of the security cage.

DIMENSION NOTE:
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DN.20 METER RENEWAL

1:5

SCHEDULE OF ITEMS	
No.	DESCRIPTION
①	Pipe and Fittings (PN 16 minimum)
②	Nut and Tail Connector
③	Ball Valve - W/MRK R/A Lockable Quarter Turn Brass DZR, Resilient Seated with Extendable Nut and Tail.
④	'Sensus' Water Meter with Dual Check Valve

WARNING

Where a metallic water service is to be replaced using non metallic pipe a licensed electrician shall assess affected property's electricity supply for defects and the likely effect on earthing adequacy. Work can commence once the electrician declares in writing that it is safe to proceed.



LOCATION	METER BOX TYPE
Non Trafficable	Standard polyethylene meter box with black/green non-slip lid ('Draper' Model DRA 20/1 or 20/3)
Footpath and Paved areas (Class B to AS/NZS 3996)	Standard polyethylene meter box with galvanised non-slip lid ('Draper' Model DRA 30/5)
Trafficable	Proprietary or in-situ meter boxes with trafficable lids to AS/NZS 3996

GENERAL NOTES

- All dimensions in millimeters (mm), unless noted otherwise.
- Installation and fittings schedule is also suitable for DN.25 meter.
- All existing metallic service connections should be considered an electrical hazard and electrical bridging leads (min. 70 Amp rating) and low voltage insulated gloves should be utilised at all times.
- Reinstate all surfaces to match existing.
- Footpaths and paved areas are defined as areas with a Class B wheel loading to AS/NZS 3996. In areas with wheel loading greater than Class B then a polyethylene pit is unsuitable.
- In footpaths and paved areas the Polyethylene meter box must be supported with an insitu N25 concrete surround of minimum dimension 50 wide and 100 deep ('Rapidset' not permitted).
- Reinstall property pressure limiting valve where existing.
- Installation must comply with Manufacturer's specifications.
- Connectors and gate valves must be pressure rated PN16. Minimum body dezincification resistant brass to AS/NZS 2345 and comply with Potable Water Contact to AS/NZS 4020.
- Provide additional adaptors to suit the existing property connection materials.
- All products to be in accordance with City West Water's "Approved Products Catalogue".
- All copper fittings to be 'Viega pro-press' system, or equivalent.
- All pipes and fittings are to be approved by TasWater.

ITEMS SUPPLIED BY TASWATER

- Polyethylene meter box
- Water meter - complete with inbuilt strainer and dual check valve.
- Water meter nuts and tails.
- Valves

ITEMS NOT SUPPLIED BY TASWATER

- Pipework and adaptor couplings.

Revision Notes				
5. AMENDMENTS TO SHEETS 7, 12 AND 17				
Rev	5	Date	31/10/2018	Approved
				G. HENDERSON



Scale	1:5
Datum	N/A
Sheet Size	A3

Drawn	R. HANLEY	01/02/2017	
Designed	R. CAMERON	01/02/2017	
Verified	R. JAMES	01/02/2017	
Project No.	JPM0000000	Design No.	10
Issue No.	1	Issue Date	01/02/2017
Issue By	R. HANLEY	Issue Date	01/02/2017



TASWATER STANDARD DRAWING PROPERTY SERVICE CONNECTIONS DN.20 AND DN.25 WATER METER RENEWAL BELOW GROUND (NON-TRAFFICABLE)			
TASWATER WATER & SEWERAGE CORPORATION PTY LTD ABN 47 162201450	TWS-W-0002	02 of 19	5

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CLIENT NAME:
CASERN INVESTMENTS PTY LTD
PROJECT ADDRESS:
18 HASKELL RD & 14 BESIER COURT, BRIGHTON TAS 7030
PROJECT:
MULTIPLE DWELLINGS

DRAWING TITLE:
TASWATER DRAWING

DATE:
15/03/2021
SCALE:
N/A
REVISION No:
R:2 RFI
SHEET SIZE:
A3
JOB No:
20-116
SHEET No:
P11.3
DRAWN BY:
PK

RUN OFF CALCULATIONS FOR- DEVELOPMENT AT18 HASKELL/ 14 BESIER
BY LONGVIEW DESIGN

PRE DEVELOPMENT				
AREA	3005	m²	0.3005	ha

POST DEVELOPMENT			
AREA			
HOUSE m²	EXISTING HOUSE m²	HARDSTAND AREA m²	AREA NOT DEVELOPED m²
617.8	0	888.3	1498.9

RATIONAL METHOD:

EQUATION: Q= 0.00278 * c * i * A

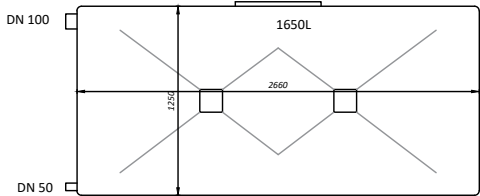
WHERE: Q= PEAK DISCHARGE FLOW RATE (m/s)

 c = rational method runoff coefficient, (typ) taken to be 0.4 for pervious areas & 0.9 for impervious areas
 i = Rainfall intensity
 A = Area in Hectors

Coefficient c = 0.9 concrete driveway, metal sheet roof finish
 0.4 undeveloped grass land
 0.5 concrete driveway with grass infill

RUNOFF Q (L/S)- PRE DEVELOPMENT						
AREA						
		DURATION				
	AEP	hr	min	Rain Fall Intensity (mm/hr)	Q (L/s)	Total Flow Quantity (L)
Undeveloped Area	5%	0.08	5	83.2	27.80	8340
					SUM	8340

RUNOFF Q (L/S)- POST DEVELOPMENT						
AREA						
		DURATION				
	AEP	hr	min	Rain Fall Intensity (mm/hr)	Q (L/s)	Total Flow Quantity (L)
New House	5%	0.08	5	83.2	12.86	3858
Hardstand Area	5%	0.08	5	83.2	10.27	3081
Undeveloped Area	5%	0.08	5	83.2	13.86	4158
					SUM	11097
flow Rate at the manhole					36.99	



SHOCK LOAD TANKS

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CASERN INVESTMENTS PTY LTD
PROJECT ADDRESS:
18 HASKELL RD & 14 BESIER COURT, BRIGHTON TAS 7030
PROJECT:
MULTIPLE DWELLINGS

DRAWING TITLE:
STORM WATER

DATE: 15/03/2021	SCALE: 1:400	DRAWN BY: PK
REVISION No: R:2 RFI	SHEET SIZE: A3	SHEET No: P12.1

HASKELL ROAD

BM SH Nail ERM
R55.77



Exc. & Corroble

Water Meter

Dec. Tunnel

34.927

26.345

24.674

17.303

60.748

23.222

14.509

21.838

33.835

34.371

7.048

56.22

55.96

55.94

19.231

24.177

23.110

63.308

55.59

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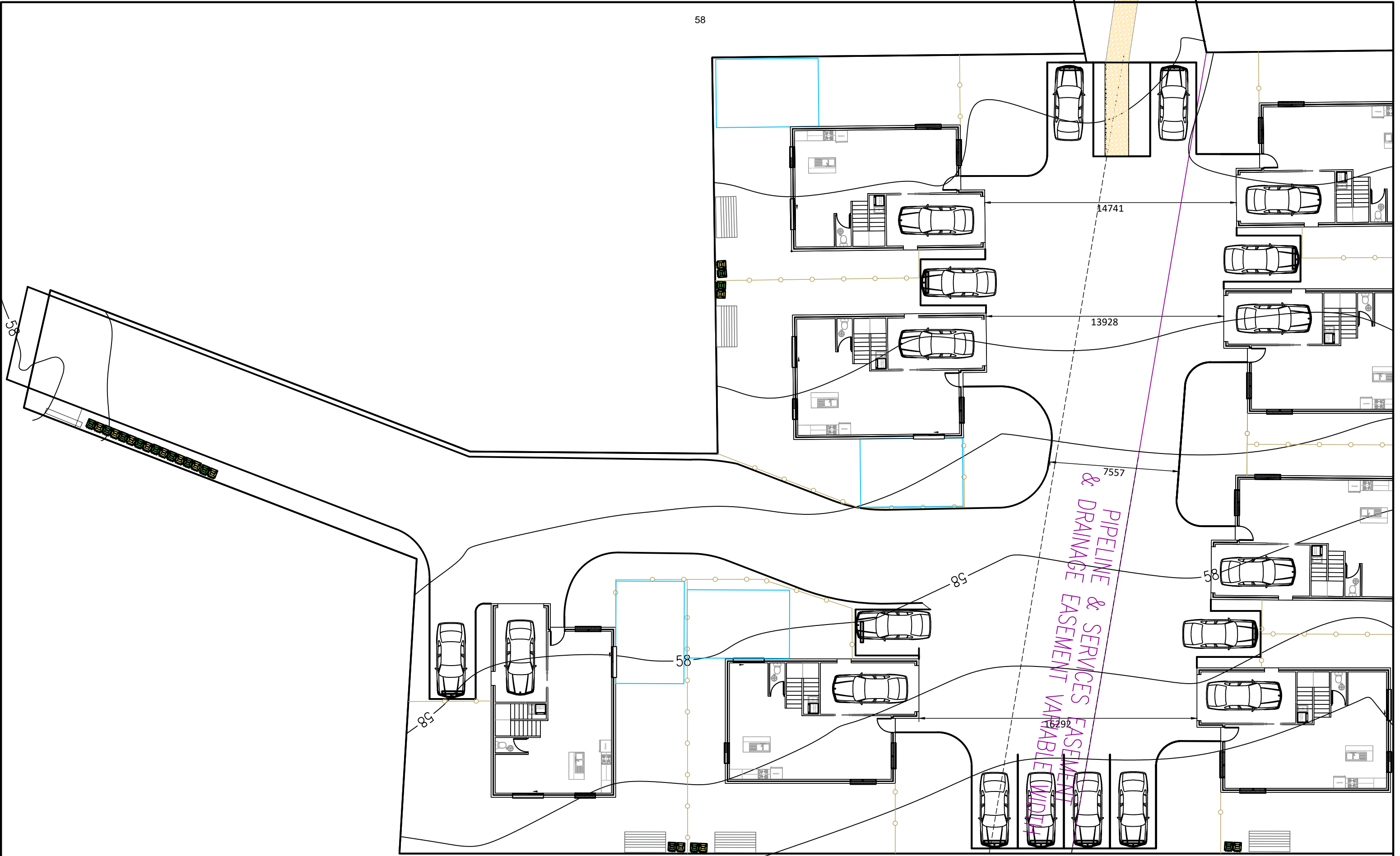


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PROJECT ADDRESS:
18 HASKELL RD & 14 BESIER COURT, BRIGHTON TAS 7030
PROJECT:
MULTIPLE DWELLINGS

DRAWING TITLE:
SEWER

DATE: 15/03/2021	SCALE: 1:400	DRAWN BY: PK
REVISION No: R:2 RFI	SHEET SIZE: A3	JOB No: 20-116
		SHEET No: P13.0



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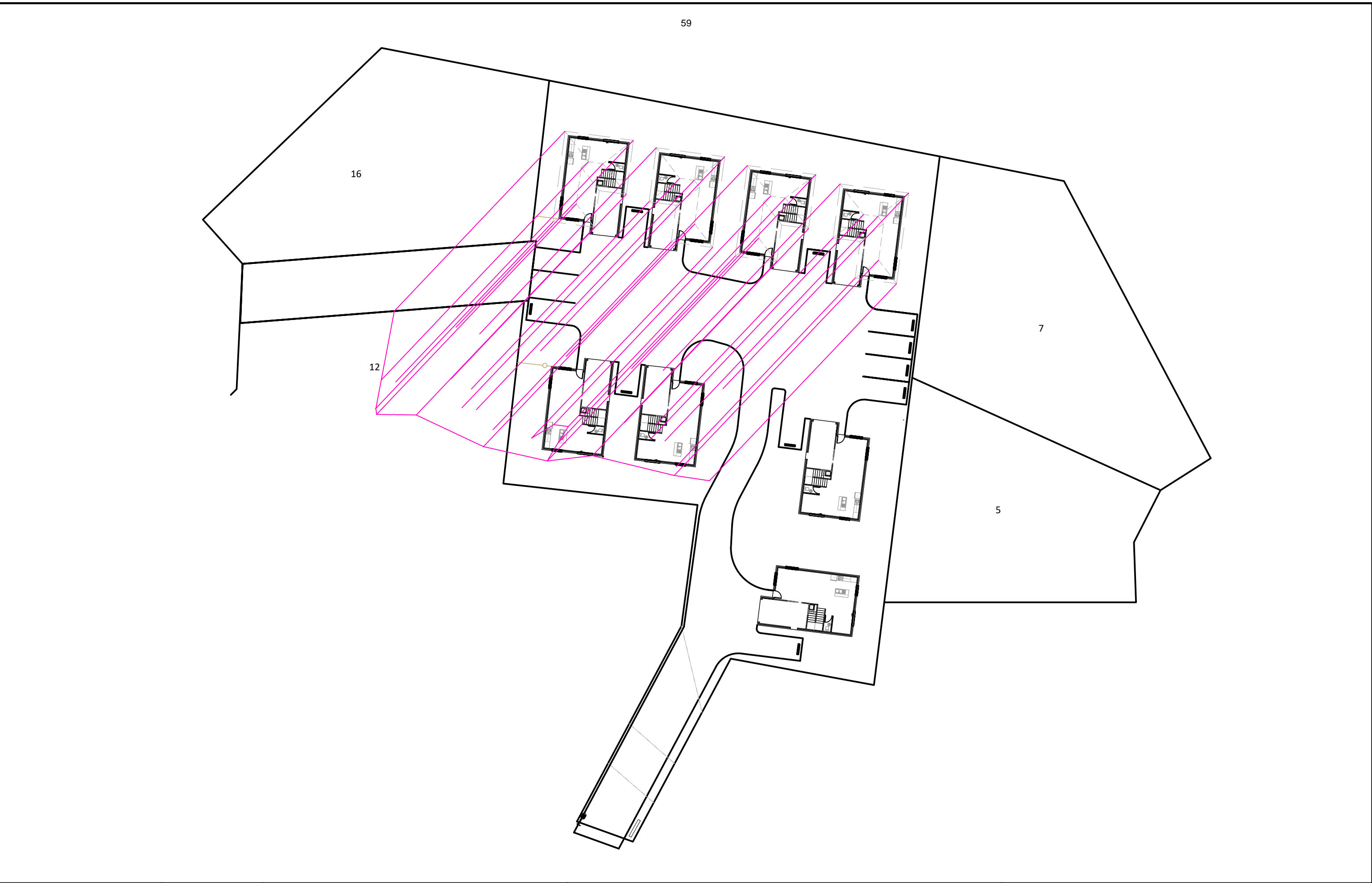


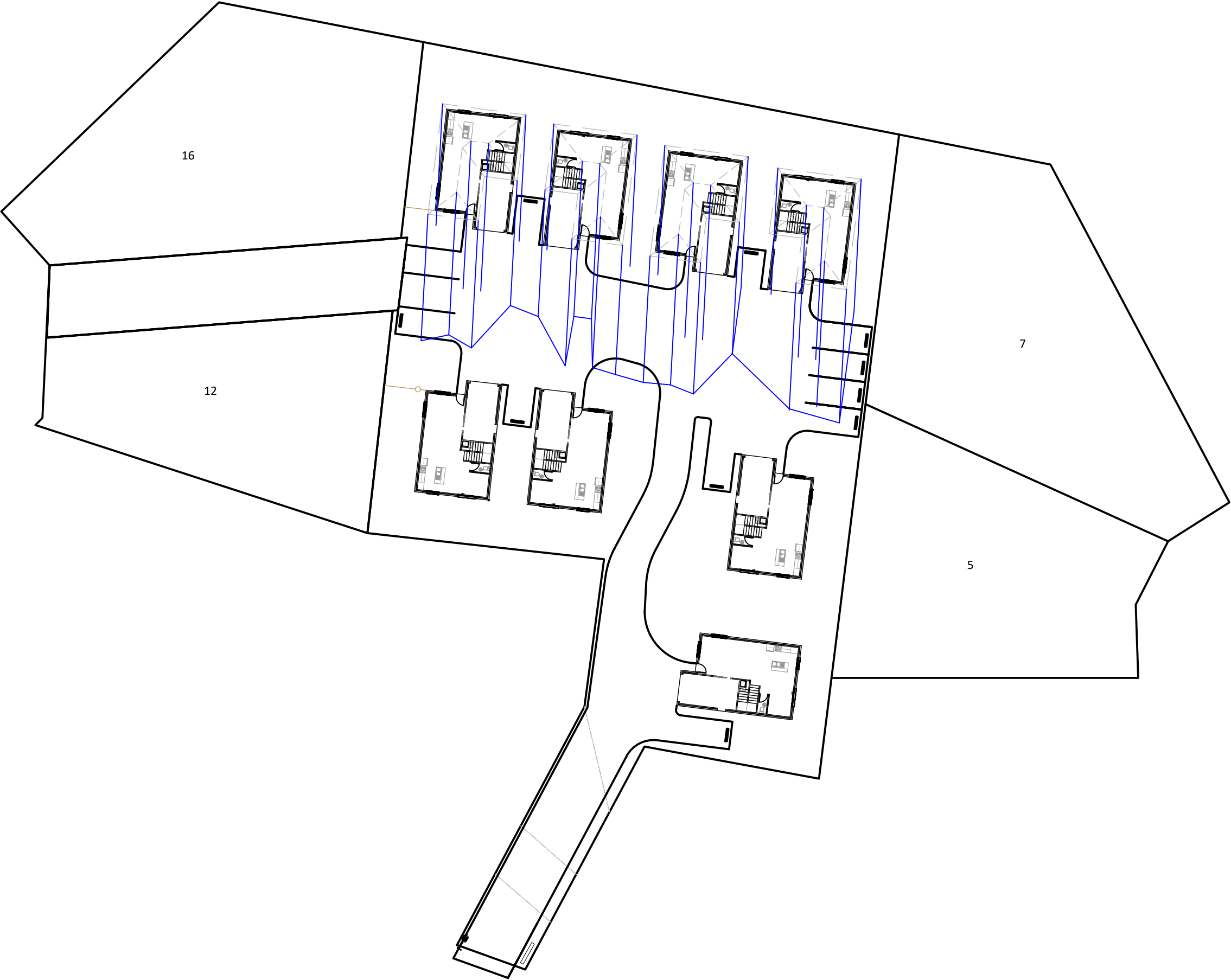
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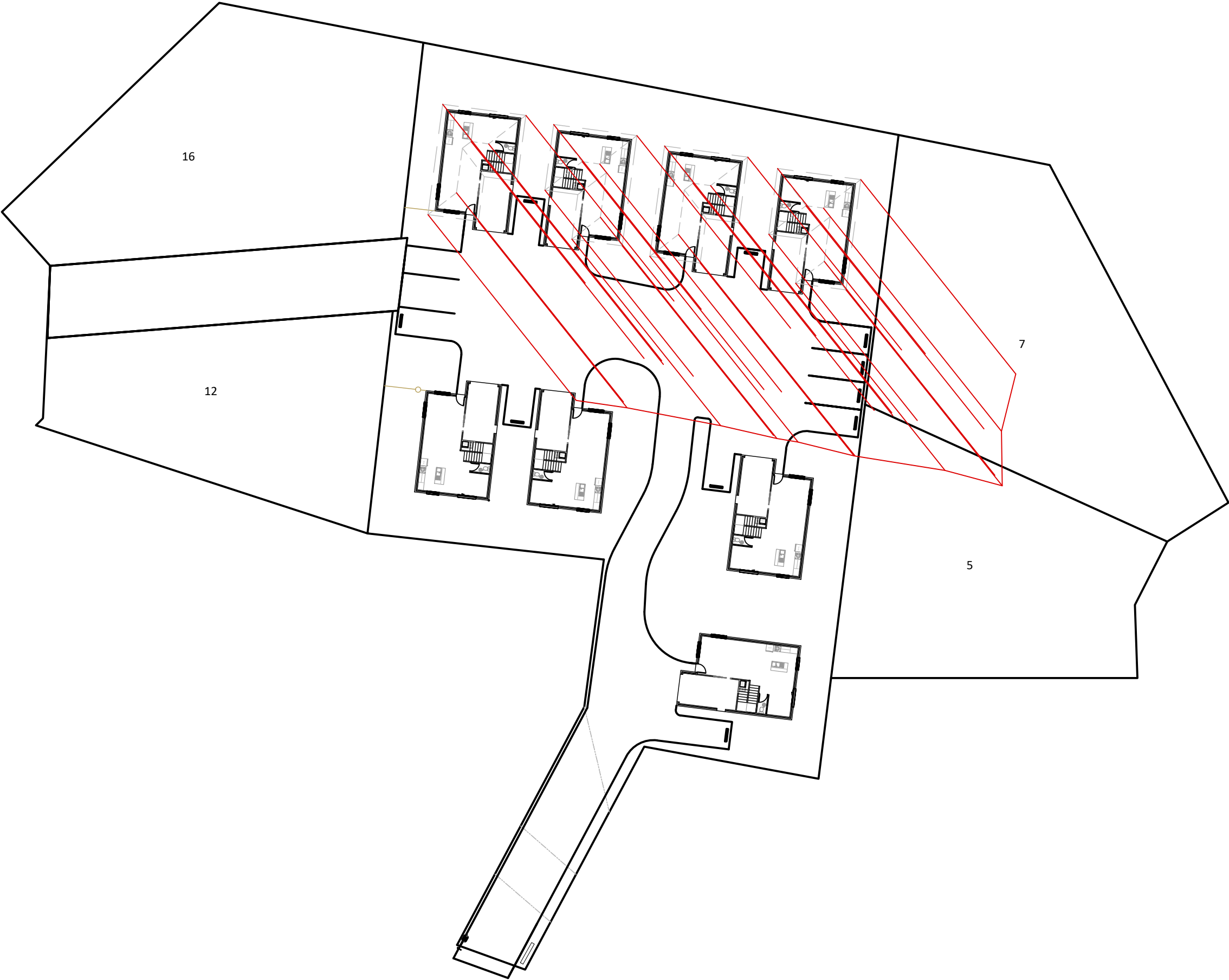
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PROJECT:
MULTIPLE DWELLINGS

DRAWING TITLE:
DRIVEWAY

DATE: 15/03/2021	SCALE: 1:400	DRAWN BY: PK
REVISION No: R:2 RFI	SHEET SIZE: A3 210-116	SHEET No: P14.0







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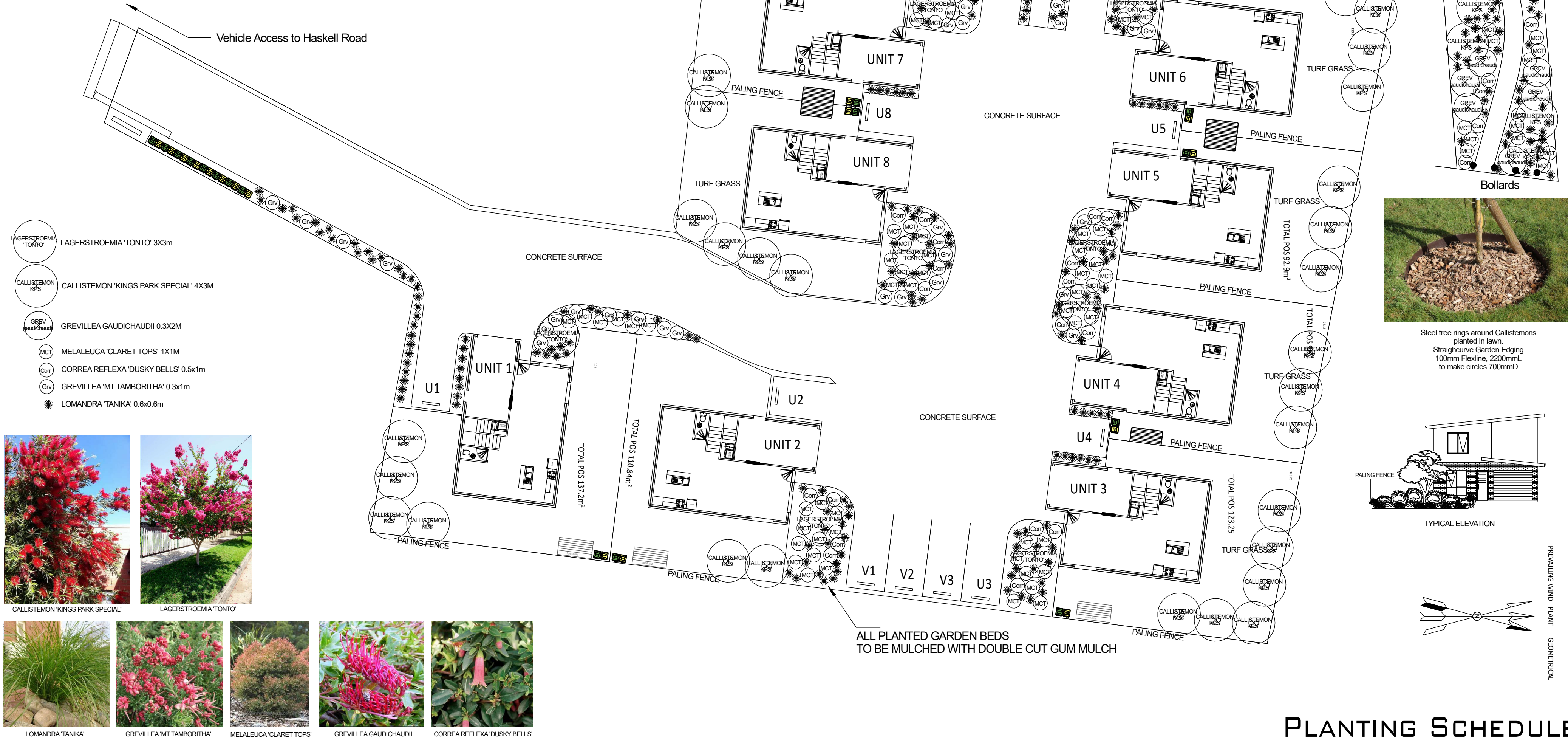
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PROJECT ADDRESS:
18 HASKELL RD & 14 BESIER COURT, BRIGHTON TAS 7030
PROJECT:
MULTIPLE DWELLINGS

DRAWING TITLE:
SHADOWS 3PM

DATE: 15/03/2021	SCALE: N/A	DRAWN BY: PK
REVISION No: R:2 REVISION	SHEET SIZE: A3	JOB No: 20-116
		SHEET No: P15.2

Plant Schedule	30-Nov-20	18 Haskell Rd/14 Besier Crt Brighton				
Please Note: Not all plants will be available at any one time. Please let me know if you are having trouble finding any plants. Sizes indicative only.						
* NO SUBSTITUTIONS OTHER THAN INDICATED WITHOUT CONSULTATION WITH DESIGNER						
Botanical Name	Type	Pot Size	#	Supplier	Maintenance	Substitutes
Callistemon 'Kings Park Special'	Shrub	45l	40	Greenhill Nursery	Trim to shape immediately after flowering.	Callistemon 'Mary McKillop'
Correa 'Dusky Bells'	Shrub	150mm	29	Greenhill Nursery	Trim if required to keep compact	Other Correa reflexa varieties
Grevillea gaudichaudii	Shrub	150mm	18	Greenhill Nursery	Can be trimmed if required	Grevillea 'Poorinda Royal Mantle'
Grevillea 'Mt Tamboritha'	Shrub	150mm	35	Greenhill Nursery	Can be trimmed if required	Grevillea 'Winter Delight'
Lagerstromea 'Tonto'	Tree	45L	9	Greenhill Nursery	Prune to shape after flowering if required.	Lagerstromea 'Sioux'
Lomandra 'Tanika'	Grass	150mm	300	Greenhill Nursery	Can be cut back to 20cm every few years if required.	L. 'Nyalla'
Melaleuca 'Claret Tops'	Shrub	150mm	96	Greenhill Nursery	Can be clipped if required	Callistemon 'Little John'



NOTES
ALL DIMENSIONS MUST BE CHECKED ON SITE AND NOT SCALED FROM THIS DRAWING
ALL WORK TO BE CONSTRUCTED IN ACCORDANCE WITH AUSTRALIAN STANDARDS AND ANY BY-LAWS THAT MAY APPLY
PRIOR TO COMMENCING ANY CONSTRUCTION OR EARTHWORKS OWNER MUST CONTACT LOCAL COUNCIL AS PLANNING, BUILDING, PLUMBING OR EARTHWORK PERMISSIONS MAY APPLY
IT REMAINS THE OWNERS RESPONSIBILITY THAT PERMISSIONS ARE SOUGHT AND ADHERED TO

Please Note:
Existing soil on site is not of suitable quality to establish plantings. The soil is shallow, poor and susceptible to waterlogging.
The subsoil is clay and does not drain well. Adherence to the supplied document: 0250B Landscape - Gardening is vital to ensuring success of this planting plan.
Garden beds should be raised slightly to increase drainage and soils should be well cultivated and have organic matter incorporated.

18 HASKELL RD/14 BESIER CRT BRIGHTON
FOR PHILIP KRAUSE

DESIGNER
SUSAN MCKINNON

SCALE
1:200 A2
DATE
01-12-2020
JOB NUMBER
KRAUSE-12-2020

PLANTING SCHEDULE
SUSAN MCKINNON
LANDSCAPE & GARDEN DESIGN

M: 0438 286 761
E: MCKINNONHOME@BIGPOND.COM

0250B LANDSCAPE – GARDENING**1 GENERAL****1.1 RESPONSIBILITIES****General**

Requirement: Provide landscaped gardening, as documented.

Plants: Provide plants that have been grown to a standard that allows them to establish rapidly and grow to maturity.

Maintenance: Encourage and maintain healthy growth for the duration of the contract.

Program: Provide suitable pruning, fertiliser and monitoring program for all plant materials held by the supplier. Take any other precautions required to safeguard the health and well-being of all plant materials before and including their delivery to site.

1.2 CROSS REFERENCES**General**

Requirement: Conform to the following:

- 0171 General requirements.

1.3 INTERPRETATION**Definitions**

General: For the purposes of this worksection the following definitions apply:

- Imported topsoil: Similar to naturally occurring local topsoil, suitable for the establishment and ongoing viability of the selected vegetation, free of weed propagules and of contaminants, and classified by texture to AS 4419 Appendix 1, as follows:
 - . Fine: Clay loam, fine sandy loam, sandy clay loam, silty loam, loam.
 - . Medium: Sandy loam, fine sandy loam.
 - . Coarse: Sand, loamy sand.
- Site topsoil: Soil excavated from the site which contains organic matter, supports plant life, conforms generally to the fine-to-medium texture classification to AS 4419 (loam, silt, clay loam) and is free from:
 - . Stones more than 25 mm diameter.
 - . Clay lumps more than 75 mm diameter.
 - . Weeds and tree roots.
 - . Sticks and rubbish.
 - . Material toxic to plants.

1.4 SUBMISSIONS**Replacement plants**

Species: Submit written certification that all plant material is true to the required species and type.

2 PRODUCTS**2.1 TOPSOIL****Standard**

Site and imported topsoil: To AS 4419.

Potting mixes: To AS 3743.

Composts, soil conditioners and mulches: To AS 4454.

Source

General: If the topsoil type cannot be provided from material recovered from site, provide imported topsoil.

Site topsoil

General: Provide site topsoil, as documented in the **Site topsoil schedule**.

Soil blend: If required, stripped topsoil with ameliorants.

Imported topsoil

General: Provide imported topsoil as documented in the **Imported topsoil schedules**.

Topsoil particle size table (% passing by mass)

Sieve aperture to AS 1152 (mm)	Soil textures		
	Fine	Medium	Coarse
2.36	100	100	100
1.18	90 – 100	90 – 100	90 – 100
0.60	75 – 100	75 – 100	70 – 90
0.30	57 – 90	55 – 85	30 – 46
0.15	45 – 70	38 – 55	10 – 22
0.075	35 – 55	25 – 35	5 – 10
0.002		2 – 15	2 – 8

Topsoil nutrient level table

Nutrient	Unit	Sufficiency range
Nitrate-N (NO ₃)	mg/kg	> 25
Phosphate-P (PO ₄) – P tolerant	mg/kg	43 - 63
Phosphate-P (PO ₄) – P sensitive	mg/kg	< 28
Phosphate-P (PO ₄) – P very sensitive	mg/kg	< 6
Potassium (K)	mg/kg	178 - 388
Sulphate-S (SO ₄)	mg/kg	39 - 68
Calcium (Ca)	mg/kg	1200 - 2400
Magnesium (Mg)	mg/kg	134 - 289
Iron (Fe)	mg/kg	279 - 552
Manganese (Mn)	mg/kg	18 - 44
Zinc (Zn)	mg/kg	2.6 - 5.1
Copper (Cu)	mg/kg	4.5 - 6.3
Boron (B)	mg/kg	1.4 - 2.7

Method References

pH in H₂O (1:5), pH in CaCl₂ (1:5) and Electrical Conductivity (EC) by Rayment & Higginson (1992) method 4A2, 4B2, 3A1

Soluble Nitrate-N by APHA 4500

Soluble Chloride by Rayment & Higginson (1992) modified method 5A2

Extractable P by Mehlich 3 – ICP

Exchangeable cations – Ca, Mg, K, Na by Mehlich 3 – ICP

Extractable S by Mehlich 3 – ICP

Extractable trace elements (Fe, Mn, Zn, Cu, B) by Mehlich 3 - ICP

2.2 GRASS**Turf**

Supplier: Obtain turf from a specialist grower of cultivated turf.

Quality: Provide turf of even thickness, free from weeds and other foreign matter.

2.3 FERTILISER

General

Requirement: Provide proprietary fertilisers, delivered to the site in sealed bags marked to show manufacturer or vendor, weight, fertiliser type, N:P:K ratio, recommended uses and application rates to **Fertiliser schedule**.

2.4 PLANTS - GENERAL

Supply

Supply trees with the following properties:

- Free from injury.
- Self-supporting.
- With calliper at any given point on the stem greater than the calliper at any higher point on the stem.
- Health: Foliage size, texture and colour at time of delivery consistent with that of healthy specimens for the nominated species.
- Vigour: Extension growth consistent with that exhibited in vigorous specimens of the species nominated.
- Damage: Free from damage and from restricted habit due to growth in nursery rows.
- Stress: Free from stress resulting from inadequate watering, excessive shade or excessive sunlight experienced at any time during their development.
- Site environment: Grown and hardened off to suit anticipated site conditions at the time of delivery.
- Root development: Grown in their final containers for the following periods:
 - . Plants < 25 L size: More than 6 weeks.
 - . Plants > 25 L size: More than 12 weeks.
- Pests and disease: Free from attack by pests or disease.
- Native species with a history of attack by native pests: Restrict plant supply to those with evidence of previous attack to less than 15% of the foliage and ensure absence of actively feeding insects.

Labelling

General: Clearly label individual plants and batches.

Label type: To withstand transit without erasure or misplacement.

Root system

Requirement: Supply plant material with a root system that is:

- Well proportioned in relation to the size of the plant material.
- Conducive to successful transplantation.
- Free of any indication of having been restricted or damaged.

Root inspection: If inspection is by the removal of soil test, such as investigative inspection, sample as follows:

- For > 100 samples: Inspect 1%.
- For < 100 samples: Inspect 1 sample.

Sample plants: Replace plants used in investigative inspection.

Rejection: Do not provide root bound stock.

3 EXECUTION

3.1 PREPARATION

Weed eradication

Herbicide: Eradicate weeds using environmentally acceptable methods, such as a non-residual glyphosate herbicide in any of its registered formulae, at the recommended maximum rate.

Manual weeding: Remove rubbish and weed growth throughout grassed, planted and mulched areas by hand, regularly. Remove weed growth from an area of 750 mm diameter around the base of the trees in grassed areas. Continue eradication throughout the course of the works and during the planting establishment period.

Vegetative spoil

Disposal: Remove vegetative spoil from site. Do not burn.

3.2 SUBSOIL**Planting beds**

Excavated: Excavate to bring the subsoil to at least 300 mm below finished design levels. Shape the subsoil to fall to subsoil drains where required. Break up the subsoil to a further depth of 100 mm.

Unexcavated: Remove weeds, roots, builder's rubbish and other debris. Bring the planting bed to 75 mm below finished design levels.

Cultivation

Minimum depth: 100 mm.

Services and roots: Do not disturb services or tree roots. If required cultivate these areas by hand.

Cultivation: Mix in materials required to be incorporated into the subsoil. Cultivate manually within 300 mm of paths or structures. Remove stones exceeding 25 mm, clods of earth exceeding 50 mm, and weeds, rubbish or other deleterious material brought to the surface during cultivation. Trim the surface to design levels after cultivation.

Additives

General: Apply additives after ripping or cultivation and incorporate into the upper 100 mm layer of the subsoil as documented in the **Subsoil additives schedule**.

Gypsum: Incorporate at the rate of 0.25 kg/m².

3.3 TOPSOIL**Placing topsoil**

General: Spread the topsoil on the prepared subsoil and grade evenly, making the necessary allowances to permit the following:

- Required finished levels and contours may be achieved after light compaction.
- Grassed areas may be finished flush with adjacent hard surfaces such as kerbs, paths and mowing strips.

Spreading: On steep batters, if using a chain drag, make sure there is no danger of batter disturbance.

Finishing: Feather edges into adjoining undisturbed ground.

Consolidation

General: Compact lightly and uniformly in 150 mm layers. Avoid differential subsidence and excess compaction and produce a finished topsoil surface which has the following characteristics:

- Finished to design levels.
- Smooth and free from stones or lumps of soil.
- Graded to drain freely, without pending, to catchment points.
- Graded evenly into adjoining ground surfaces.
- Ready for planting.

Topsoil depths

General: Spread topsoil to the following typical depths:

- Excavated planting areas:
 - . If using organic mulch: 225 mm.
 - . If using gravel mulch: 250 mm.
- Irrigated grassed areas generally: 150 mm.
- Irrigated grassed areas, heavy use (e.g. playing fields, playgrounds, and public parks): 200 mm.
- Non-irrigated grass areas: 100 mm.
- Earth mounds:
 - . Mass planted surfaces: 300 mm.
 - . Grassed surfaces: 100 mm.
- Top dressing: 10 mm.

Surplus topsoil

General: Spread surplus topsoil on designated areas on site or dispose off-site.

3.4 TURFING

Supply

Elapsed time: Deliver the turf within 24 hours of cutting, and lay it within 36 hours of cutting. Prevent it from drying out between cutting and laying. If it is not laid within 36 hours of cutting, roll it out on a flat surface with the grass up, and water as necessary to maintain a good condition.

Laying

General: Lay the turf in the following manner:

- In stretcher pattern with the joints staggered and close butted.
- Parallel with the long sides of level areas, and with contours on slopes.
- To finish flush, after tamping, with adjacent finished surfaces of ground, paving edging, or grass seeded areas.

Strip turf: Close butt the end joints and space the strips 300 mm apart. Apply a layer of top dressing between the strips of turf. Finish with an even surface.

Tamping

General: Lightly tamp to an even surface immediately after laying. Do not use a roller.

Pegging

Stabilising: Peg the turf on steep slopes to prevent downslope movement. Remove the pegs when the turf is established.

Fertilising

General: Mix the fertiliser thoroughly into the topsoil before placing the turf. Apply lawn fertiliser at the completion of the first and last mowings, and at other times as required to maintain healthy grass cover.

Watering

General: Water immediately after laying until the topsoil is moistened to its full depth. Continue watering to maintain moisture to this depth.

Mowing

Height: Mow to maintain the grass height within the required range. Do not remove more than one third of the grass height at any one time. Carry out the last mowing within 7 days before the end of the planting establishment period. Remove grass clippings from the site after each mowing.

Turfing

General: Lay turfing as documented in the **Turfing schedule**.

Maintenance

General: Maintain turfed areas until the attainment of a dense continuous sward of healthy grass over the whole turfed area, evenly green and of a consistent height.

Failed turf: Lift failed turf and relay with new turf.

Levels: If levels have deviated from the design levels after placing and watering, lift turf and regrade topsoil to achieve design levels.

Top dressing

General: When the turf is established, mow. Remove cuttings and lightly top dress to a depth of 10 mm. Rub the dressing well into the joints and correct any unevenness in the turf surface.

3.5 PLANTING

Individual plantings in grassed areas

Method: Excavate a hole twice the diameter of the root ball and at least 100 mm deeper than the root ball. Break up the base of the hole to a further depth of 100 mm, and loosen compacted sides of the hole to prevent confinement of root growth.

Locations

General: If it appears necessary to vary plant locations and spacings to avoid service lines, or to cover the area uniformly, or for other reasons, give notice.

Planting conditions

Weather: Do not plant in unsuitable weather conditions such as extreme heat, cold, wind or rain. In other than sandy soils, suspend excavation when the soil is wet, or during frost periods.

Watering

Timing: Thoroughly water the plants before planting, immediately after planting, and as required to maintain growth rates free of stress.

Placing

Method: Remove the plant from the container with minimum disturbance to the root ball. Make sure that the root ball is moist and place it in its final position, in the centre of the hole and plumb, and with the top soil level of the plant root ball level with the finished surface of the surrounding soil.

Fertilising

Pellets: In planting beds and individual plantings, place fertiliser pellets around the plants at the time of planting at the rate as per suppliers recommendations.

Backfilling

General: Backfill with topsoil mixture. Tamp lightly and water to eliminate air pockets. Make sure that topsoil is not placed over the top of the root ball, so the plant stem remains the same height above ground as it was in the container.

Watering basins for plants in grass

Method: Except in irrigated grassed areas and normally moist areas, construct a watering basin around the base of each individual plant, consisting of a raised ring of soil capable of holding at least 10 L.

3.6 MULCHING**Placing mulch**

General: Place mulch to the required depth, clear of plant stems, and rake to an even surface flush with the surrounding finished levels. Spread and roll mulch so that after settling, or after rolling, it is smooth and evenly graded between design surface levels sloped towards the base of plant stems in plantation beds, and not closer to the stem than 50 mm in the case of gravel mulches.

In mass planted areas: Place after the preparation of the planting bed but before planting and other work.

In smaller areas (e.g. planter boxes): Place after the preparation of the planting bed, planting and other work.

Extent: Provide mulch to 750 mm diameter, to surrounds of plants planted in riplines and grass areas.

Depths: Spread organic mulch to a depth of 100 mm, and gravel mulch to a depth of 50 mm.

3.7 SPRAYING**Notice**

Requirement: Immediately give notice of evidence of insect attack or disease amongst plant material.

Pesticide

Product: Spray with insecticide, fungicide or both, as required.

3.8 STAKES AND TIES**Stakes**

Material: Hardwood, straight, free from knots or twists, pointed at one end.

Installation: Drive stakes into the ground at least one third of their length, avoiding damage to the root system.

Stake sizes:

- For plants ≥ 2.5 m high: Three 50 x 50 x 2400 mm stakes per plant.
- For plants 1 to 2.5 m high: Two 50 x 50 x 1800 mm stakes per plant.
- For plants < 1 m high: One 38 x 38 x 1200 mm stake per plant.

Ties

General: Provide ties fixed securely to the stakes, one tie at half the height of the main stem, others as necessary to stabilise the plant. Attach ties loosely so as not to restrict plant growth.

Tie types:

- For plants ≥ 2.5 m high: Two strands of 2.5 mm galvanized wire neatly twisted together, passed through reinforced rubber or plastic hose, and installed around stake and stem in a figure of eight pattern.

- For plants < 2.5 m high: 50 mm hessian webbing stapled to the stake.

Trunk protection

Collar guards: 200 mm length of 100 mm diameter agricultural pipe split lengthways.

3.9 COMPLETION**Cleaning**

Stakes and ties: Remove those no longer required at the end of the planting establishment period.

Temporary fences: Remove temporary protective fences at the end of the planting establishment period.

Warranties

Parties: Supplier(s) to the principal.

Form: All the plants supplied under these works are true-to-species and type, and free of disease, fungal infection and/or any other impediment to their future growth and that they have been fully acclimatised for the conditions of the site.

Submission of warranty: At the time of each delivery.

4 SELECTIONS**4.1 TOPSOIL****Imported topsoil schedule**

Property	Soil
Type	Approved sourced loam
Texture	Rich organic
Soil pH	6.5
Fertiliser	McKays Slow Release Lawn Fertiliser or equal approved.
Fertiliser application rate	0.3 Kg / 100m ²

4.2 GRASSING**Turfing schedule**

Property	Turf
Species or variety	RTF Tall Fescue Lawn
Supplier	StrathAyr Instant Lawn
Mowing height (mm)	As recommended by the supplier
Area	To all the areas as noted on the drawings for new lawn

4.3 MULCHING**Mulching schedule**

Property	Requirement
Mulch type	Double Cut Gum Mulch
Depth (mm)	100 mm min.
Stabilisation method	None

4.4 PLANT SUPPLY SCHEDULE

Plant supply schedule


Plant Schedule	17-Nov-20	7A Augustas St Brighton				
Please Note: Not all plants will be available at any one time. Please let me know if you are having trouble finding any plants. Sizes indicative only.						
* NO SUBSTITUTIONS OTHER THAN INDICATED WITHOUT CONSULTATION WITH DESIGNER						
Botanical Name	Type	Pot Size	#	Supplier	Maintenance	Substitutes
Correa 'Dusky Bells'	Shrub	150mm	62	Greenhill Nursery	Trim if required to keep compact	Other Correa reflexa varieties
Grevillea 'Mt Tamboritha'	Shrub	150mm	32	Greenhill Nursery	Can be trimmed if required	Grevillea 'Winter Delight'
Lagerstromea 'Sioux'	Tree	45L	18	Greenhill Nursery	Prune to shape after flowering if required.	Lagerstromea 'Lipan'
Lomandra 'Tanika'	Grass	150mm	334	Greenhill Nursery	Can be cut back to 20cm every few years if required.	L. 'Nyalla'
Myoporum parvifolium 'Yareena'	Groundcover	150mm	35	Greenhill Nursery	Can be trimmed if required	Myoporum parvifolium
Raphiolepis indica 'Oriental Pearl'	Shrub	250mm	71	Greenhill Nursery	Trim to shape after flowering if required.	Escallonia 'Pink Elle'
Viburnum tinus 'Emeral Beauty'	Shrub	250mm	22	Greenhill Nursery	Trim to shape immediately after flowering.	V. tinus 'Anvi'

HYDRAULIC DRAWINGS
CASERN INVESTMENTS PTY LTD
18 HASKELL ROAD
BRIGHTON TAS 7030

H0.01	DRAWING INDEX	A
H1.01	HYDRAULIC, WORKPLACE HEALTH & SAFETY NOTES	A
H1.02	SITE DRAINAGE PROPOSAL	A
H1.03	SERVICES CROSS OVER LONG SECTION	A

						<div><div>ALDANMARK^{PTY. LTD.} CONSULTING ENGINEERS</div><div>Lower Ground 199 Macquarie Street Hobart TAS 7000 03 6234 8666 mail@aldanmark.com.au www.aldanmark.com.au</div></div>	CLIENT: CASERN INVESTMENTS PTY LTD	SHEET: DRAWING INDEX	DRAWN: SL	DESIGNED: SL	VERIFIED: DM	DATE: 29/03/2021
								ADDRESS: 18 HASKELL ROAD BRIGHTON TAS 7030	PROJECT: MULTI UNIT DEVELOPMENT	SCALE: ~	SIZE: A1	TOTAL SHEETS: -
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A	DEVELOPMENT APPROVAL	29/03/2021										
REV.	DESCRIPTION	DATE	REV.	DESCRIPTION	DATE							

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BEWARE OF UNDERGROUND SERVICES
THE LOCATION OF UNDERGROUND SERVICES ARE
APPROXIMATE ONLY AND THEIR EXACT LOCATION SHOULD
BE PROVEN ON SITE BY THE RELEVANT AUTHORITIES. NO
GUARANTEE IS GIVEN THAT ALL SERVICES ARE SHOWN.

HYDRAULIC NOTES

- GENERAL NOTES:
- THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ARCHITECTURAL DRAWINGS, PROJECT CONTRACT AND SPECIFICATIONS. STANDARDS REFERENCES ARE THE MOST RECENT VERSION.
 - SEWER, STORMWATER AND WATER SERVICES SHALL BE IN ACCORDANCE WITH THE NCC VOL 3 (PCA), ASS3500, WSAA CODES, TASWATER AND TO LOCAL AUTHORITY APPROVAL.
 - IT IS ASSUMED THAT ADJACENT TO THE DEVELOPMENT SITE IS ADEQUATE INFRASTRUCTURE PROVIDED BY THE LOCAL AUTHORITY AND OTHER STATUTORY AUTHORITIES TO SUPPLY ROAD ACCESS, WATER AND POWER AS REQUIRED BY THIS DESIGN, AND THERE IS ADEQUATE INFRASTRUCTURE OR ENVIRONMENTAL CAPACITY TO RECEIVE STORMWATER AND SEWERAGE DRAINAGE. PARTICULAR ASSUMPTIONS ARE DESCRIBED IN THE FOLLOWING SECTIONS.
 - THE LOCATION OF EXISTING SERVICES AND CONNECTION POINTS WHERE SHOWN ON PLANS ARE APPROXIMATE ONLY AND SHALL BE CONFIRMED ON SITE.
 - FOLLOWING AGREEMENT WITH THE SUPERINTENDANT, TERMINATE AND ABANDON REDUNDANT EXISTING SERVICES DISCOVERED DURING CONSTRUCTION AND MAKE A NOTE ON AS-CONSTRUCTED DRAWING.
 - LOCATE ALL EXISTING GAS, ELECTRICAL, TELECOMMUNICATIONS, WATER MAINS, SEWER MAINS AND STORMWATER MAINS ETC. PRIOR TO THE COMMENCEMENT OF CONSTRUCTION AND ADVISE THE SUPERINTENDANT OF ANYTHING THAT APPEARS NOT TO HAVE BEEN CONSIDERED IN THE DESIGN.
 - CONFIRM ALL LEVELS ON SITE PRIOR TO THE COMMENCEMENT OF WORKS.
 - HYDRAULIC LAYOUT TO BE COORDINATED WITH OTHER SERVICES. HYDRAULIC LAYOUT AS SHOWN IS NOTIONAL, LAYOUT TO BE CONFIRMED ON SITE.
 - THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT A VALID BUILDING AND PLUMBING PERMIT AND START WORKS NOTICE IS IN PLACE FOR THE WORK AND THAT THE BUILDING SURVEYOR IS NOTIFIED OF ALL SITE INSPECTION REQUESTS.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGES CAUSED BY HIS SUB-CONTRACTORS, ANY SERVICE DAMAGED IS TO BE REINSTATED IMMEDIATELY.
 - ON COMPLETION OF WORKS PROVIDE THREE SETS OF AS-CONSTRUCTED DRAWINGS AND SERVICE MANUALS ALONG WITH ELECTRONIC DRAWING FILES IN PDF AND DWG FORMATS SUITABLE FOR READING WITH A RECENT VERSION OF ADOBE/AUTOCAD TO THE SUPERINTENDANT.
 - THE CONTRACTOR IS RESPONSIBLE FOR ORGANISING ALL SITE INSPECTIONS AND OBSERVING ALL HOLD POINTS NOMINATED WITHIN THE CONTRACT, BY THE BUILDING SURVEYOR OR PLUMBING SURVEYOR.
 - NOMINAL DIAMETERS FOR PIPES (DN) REFER TO THE INSIDE DIAMETER (ID BORE).
 - CONCEAL ALL PIPEWORK IN CRAWLING SPACE, DUCTS, CAVITIES, WALL CHASES, CUPBOARDS ETC. UNLESS OTHERWISE APPROVED.
 - THE CONTRACTOR SHALL ALLOW TO COORDINATE WITH MECHANICAL AND REFRIGERATION SERVICES AND PROVIDE TUNISHES CONNECTED TO SEWER OR STORMWATER AS APPROPRIATE TO ALL CONDENSATE DRAINAGE AND RELIEF VALVES. ALLOW TO PROVIDE AND INSTALL MAG-IN-WALL TUNISHES WITH STAINLESS STEEL COVER WINDOW (SUPPLIED BY MA GRIFTHY) OR EQUAL APPROVED TYPE.
 - TRENCHING FOR FLEXIBLE PIPEWORK SHALL BE IN ACCORDANCE WITH AS2566 AND AS3500.
 - ALL PIPEWORK UNDER TRAFFICABLE AREAS, SLABS OR PAVEMENTS IS TO BE FULLY BACKFILLED WITH COMPACTED FCR.

- STORMWATER NOTES:
- STORMWATER PIPE INFRASTRUCTURE HAS BEEN DESIGNED TO CONVEY A 20 YEAR AVERAGE RECURRENCE INTERVAL (ARI) AT A 5 MINUTE STORM DURATION, WITH OVERLAND FLOW PATHS PROVIDED FOR 1:100 ARI. IT IS ASSUMED THAT THE DOWNSTREAM INFRASTRUCTURE AND/OR ENVIRONMENT CAN SAFELY RECEIVE THE 1:20 ARI EVENT WITH A 5 MINUTE STORM DURATION.
 - ALL MATERIALS AND WORK IS TO BE CARRIED OUT IN ACCORDANCE WITH ASS3500, NCCA, PCA, COUNCIL STANDARD DRAWINGS AND SPECIFICATION AND TO THE SATISFACTION OF COUNCIL'S DEVELOPMENT ENGINEER.
 - ALL PIPEWORK SHALL BE MINIMUM DN100 UPVC S/N4 AT 1:100 GRADE (1.00%) UNLESS NOMINATED OTHERWISE ON PLANS.
 - MINIMUM GRADE OF PAVED AREAS AND PIPEWORK SHALL BE 1 IN 100 UNLESS NOTED OTHERWISE.
 - INSTALL ALL AG DRAINS TO THE REQUIREMENTS OF AS3500 AND PART 3.1.2 OF THE BCA.
 - PROVIDE INSPECTION OPENINGS TO ALL DRAINAGE PIPEWORK IN ACCORDANCE WITH ASS3500 REQUIREMENTS EVEN IF NOT SHOWN IN DRAWINGS.
 - PIPE AND CHANNEL INFRASTRUCTURE HAS BEEN DESIGNED TO CONVEY 20 YEAR AVERAGE RECURRENCE INTERVAL (ARI) STORMS, WITH OVERLAND FLOW PATHS PROVIDED FOR 100 YEAR ARI STORMS. IT IS ASSUMED THAT WATER FLOWING ONTO THE DEVELOPMENT SITE IS CONTAINED WITHIN LOCAL AUTHORITY INFRASTRUCTURE FOR 20 YEAR ARI STORMS AND THE ROAD RESERVE FOR 100 YEAR ARI STORMS.
 - ALL MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE LOCAL AUTHORITY'S BY-LAWS AND AS/NZS3500.
 - STORMWATER TRENCHES, PIPE BEDDING AND BACK FILLING TO COMPLY WITH THE CONCRETE PIPE ASSOCIATION OF AUSTRALIA INSTALLATION REQUIREMENTS FOR TYPE H2S2 SUPPORT.
 - BELOW GROUND PIPEWORK AND FITTINGS TO BE UPVC SHHD, JOINTS SHALL BE OF SOLVENT CEMENT TYPE OR FLEXIBLE JOINTS MADE WITH APPROVED RUBBER RINGS.
 - PIPEWORK SHALL BE LAID IN POSITION AND AT THE GRADES SHOWN.
 - MINIMUM GRADE OF PIPEWORK SHALL BE 1 IN 100 UNLESS NOTED OTHERWISE (U.N.O.).
 - MINIMUM SIZE OF PIPEWORK SHALL BE DN100.
 - SURFACE WATER DRAINS, CATCHPITS/GATED PITS, AND JUNCTION BOXES SHALL BE CONSTRUCTED AS DETAILED OR AS SPECIFIED BY THE MANUFACTURER.
 - INSTALL ALL AGRICULTURAL DRAINS TO THE REQUIREMENTS OF AS/NZS3500 AND PART 3.1.2. OF THE BCA.
 - ALL MANHOLES TO BE LOCATED CLEAR OF FUTURE FENCIBLES.

- SEWER NOTES:
- ALL MATERIALS AND WORK IS TO BE CARRIED OUT IN ACCORDANCE WITH ASS3500, NCC VOL 3 (PCA), TASMANIAN APPENDIX OF THE NCC VOL 3 (PCA), COUNCIL STANDARD DRAWINGS AND SPECIFICATION AND TO THE SATISFACTION OF COUNCIL'S DEVELOPMENT ENGINEER.
 - CONFIRM THE LOCATION AND LEVEL OF THE NOMINATED OUTLET PRIOR TO TRENCH EXCAVATION OR LAYING OF ANY DRAINS. ASCERTAIN FROM TASWATER ALL NECESSARY CONNECTION REQUIREMENTS AND INSTALL ALL WORK FOR CONNECTION IN ACCORDANCE WITH THESE REQUIREMENTS.
 - SEWER TRENCHES, PIPE BEDDING AND BACK FILLING TO COMPLY WITH AS2566.
 - ALL PIPEWORK SHALL BE ADEQUATELY SUPPORTED TO AS3500.
 - PIPEWORK SHALL BE CONSTRUCTED OF UNPLASTICISED POLYVINYL CHLORIDE (UPVC), U.N.O. PIPEWORK RECEIVING HOT DISCHARGES SHALL BE CONSTRUCTED OF HIGH DENSITY POLYETHYLENE (HDPE) OR COPPER TYPE 'B'.
 - PIPEWORK SHALL HAVE BE MINIMUM CLASS SN4 UNLESS NOMINATED OTHERWISE ON PLANS.
 - PIPEWORK SHALL BE PRESSURE TESTED PROGRESSIVELY TO ENSURE NO LEAKS.
 - ALL PIPEWORK SHALL BE CONCEALED IN WALLS, VOID SPACE OR DUCTS UNLESS NOTED OTHERWISE.
 - MINIMUM GRADE OF PIPEWORK SHALL BE 1:40 FOR BRANCHES AND 1 IN 80 FOR DRAINS UNLESS NOTED OTHERWISE.
 - MINIMUM SIZE OF BRANCH DN65 AND MINIMUM SIZE OF DRAINS SHALL BE DN100.
 - WHERE FLOOR WASTE GULLIES ARE INDICATED, THE FLOORS SHALL BE GRADED TOWARDS THE OUTLET, FLOOR WASTE GULLIES CONNECTED TO LAUNDRY FIXTURES SHALL BE ANTI-FORM TYPE.
 - ALL FITTINGS TO BE ISOLATED BY AN APPROVED TRAP PRIOR TO CONNECTION TO THE SEWER LINE.
 - PROVIDE AIR ADMITTANCE VALVES AND ATMOSPHERIC VENTS IN ACCORDANCE WITH ASS3500 REQUIREMENTS.
 - INSPECTION OPENINGS SHALL BE PROVIDED IN ACCORDANCE WITH ASS3500.
 - ONE OVERFLOW RELIEF GULLY SHALL BE PROVIDED FOR THE SITE WHICH SHALL BE PRIMED BY AN EXTERNAL WATER SOURCE.
 - WHERE PIPEWORK PENETRATES FIRE RATED WALLS OR FLOORS, A FIRE STOP COLLAR SHALL BE INSTALLED. ALL WORK SHALL BE STRICTLY INSTALLED TO THE MANUFACTURERS RECOMMENDATIONS.
 - NO SEWER CONNECTIONS SHALL BE MADE WITHIN RESTRICTED ZONES OF STACKS AS PER ASS3500. INSTALL LONG RADIUS BENDS AT THE BASE OF ALL STACKS AS PER ASS3500 AND INCLUDE ALL BRACKETS AND SUPPORTS.

- TRADE WASTE:
- ALL TASWATER TRADE WASTE INSTALLATIONS FOR COMMERCIAL KITCHENS SHALL HAVE NON BYPASSABLE DRY BASKET ARRESTORS FITTED TO ALL SINKS & FLOOR WASTES.
 - DEPARTMENT OF EDUCATION WORKS AND HOME ECONOMIC CLASSROOMS SHALL HAVE NON BYPASSABLE DRY BASKET ARRESTORS FITTED TO ALL SINKS & FLOOR WASTES.
 - ALL SINKS IN GENERAL LEARNING CLASSROOMS SHALL BE FITTED WITH NON BYPASSABLE DRY BASKET ARRESTORS.
 - ALL TRADE WASTE INSTALLATIONS SHALL BE INSTALLED TO ADHERE TO THE NCC VOL 3 (PCA) TASMANIAN APPENDIX.

- BUILDING HYDRAULICS:
- ALL MATERIALS AND WORKMANSHIP TO BE DONE IN ACCORDANCE WITH ASS3500, NCC VOL 3 (PCA), TASMANIAN APPENDIX OF THE NCC VOL 3 (PCA) AND LOCAL AUTHORITY REQUIREMENTS.
 - ALL DRAINAGE PIPEWORK SHALL BE UPVC CLASS SN6 U.N.O., ALL WASTE AND VENT SHALL BE DWV CLASS PIPE.
 - DURING CONSTRUCTION TEMPORARILY SEAL ALL OPEN ENDS OF PIPES AND VALVES TO PREVENT ENTRY OF FOREIGN MATTER, DO NOT USE RAGS, PAPER OR WOODEN PLUGS.
 - SUPPLY AND INSTALL ALL FIXTURES, VALVES, TAPWARE AND SUNDRY ITEMS AS SCHEDULED WITHIN THE SPECIFICATION.
 - PROVIDE FIRE STOPS AS REQUIRED.
 - CONTRACT DRAWINGS ARE DIAGRAMMATIC AND AS SUCH SHOW THE INTENT OF DESIGN, INSTALLATION TO BE AS PER AS/NZS3500. ALLOW FOR ALL ENDS, OFFSETS AND OTHER MEASURES AS NECESSARY TO AVOID INTERFERENCE WITH THE STRUCTURE AND/OR OTHER BUILDING SERVICES.
 - REFER TO ARCHITECTS DEMOLITION PLAN FOR REMOVAL OF EXISTING FIXTURES AND FITTINGS. THE REMOVAL OF EXISTING PLUMBING FIXTURES SHALL INCLUDE ALL ASSOCIATED WASTE AND VENT PIPES, FLOOR DRAINS, WATER SERVICE PIPEWORK BRACKETS, SUPPORTS, ETC AND SEAL OFF EXISTING SERVICES. SEAL OFF AND MAKE GOOD ALL FLOOR, WALL AND ROOF PENETRATIONS.
 - THE LOCATION OF EXISTING SERVICES WHERE SHOWN ARE APPROXIMATE ONLY AND SHALL BE CONFIRMED ON SITE. WHERE POSSIBLE, DETERMINE LOCATION OF EXISTING POWER, TEL/STRA, WATER AND DRAINAGE SERVICES PRIOR TO COMMENCING NEW WORK.
 - ALL PENETRATIONS THROUGH EXISTING SUSPENDED FLOOR SLABS SHALL BE DRILLED TO LOCATIONS APPROVED BY THE STRUCTURAL ENGINEER. DRILL PILOT HOLE PRIOR TO CORE DRILLING TO ENSURE CLEARANCE OF BEAMS AND OTHER SERVICES IN SLAB. ALL PENETRATIONS SHALL BE CORE DRILLED TO SUIT PIPE SIZE. ALLOWANCE FOR 10 MM CLEARANCES SHALL BE MADE FOR FIRE PROOFING.
 - REFER TO ARCHITECTURAL DRAWINGS FOR LOCATION OF FIRE AND SMOKE STOP WALLS. ALL PIPE PENETRATIONS SHALL BE SEALED WITH TWO HOUR FIRE STOP SEALANT. INSTALL FIRE STOP COLLARS TO PVC-U PIPEWORK PASSING THROUGH FLOORS AND FIRE WALLS IN ACCORDANCE WITH THE MANUFACTURERS WRITTEN INSTRUCTIONS.
 - PROVIDE SERVICE IDENTIFICATION AND DIRECTION OF FLOW MARKERS TO PIPEWORK IN ACCORDANCE WITH AS1345.
 - MAKE GOOD ALL DISTURBED SURFACES TO MATCH EXISTING.
 - MAINTAIN SERVICES TO EXISTING FIXTURES AT ALL TIMES. WHERE CHANGEOVER IS REQUIRED, LIAISE WITH THE ARCHITECT PRIOR TO THE SHUTTING DOWN OF ANY SERVICE.
 - CONTRACTOR TO PROVIDE ALL DOCUMENTS, APPROVALS, CERTIFICATES, WARRANTIES, LOG BOOKS, ETC. UPON COMPLETION OF WORKS TO THE ARCHITECT. ALL FEES AND INSPECTIONS TO BE INCLUDED AND ARRANGED BY THE CONTRACTOR.
 - REFER TO THE ARCHITECTS DRAWINGS FOR SANITARY FIXTURE AND TAP SELECTIONS, SUPPLY AND FIX ACCESSORIES NECESSARY FOR THE CORRECT INSTALLATION OF THE FIXTURES AND EQUIPMENT.

- WATER NOTES:
- WATER SERVICES TO BE CONSTRUCTED IN ACCORDANCE WITH ASS3500 PARTS 1 AND 4 AND TO THE SATISFACTION OF COUNCILS (OR TAS WATER FOR EXTERNAL) DEVELOPMENT ENGINEER.
 - ALL CONNECTIONS TO EXISTING MAINS TO BE CARRIED OUT BY TAS WATER AT CONTRACTORS COST UNLESS NOMINATED OTHERWISE ON PLANS.
 - GENERAL MATERIALS, INSTALLATION & TESTING SHALL COMPLY WITH ASS3500 PARTS 1 AND 4.
 - ALL COPPER PIPEWORK SHALL BE HARD DRAWN TUBING TYPE 'B' CONFORMING TO AS 1432.
 - AS AN ALTERNATIVE TO SILVER SOLDERED JOINTS, PRESS FITTED JOINTS MAY BE USED. ALLOW TO USE THE VIEGA PROGRESS SYSTEM WITH INSTALLATION IN ACCORDANCE WITH MANUFACTURERS INSTRUCTIONS AND SPECIFICATIONS.
 - ALL PIPEWORK SHALL BE CONCEALED WHERE POSSIBLE. WHERE PIPEWORK IS EXPOSED IT SHALL BE CHROME PLATED.
 - WHERE PIPEWORK IS IN CONTACT WITH DISSIMILAR METALS, THE METALS SHALL BE INSULATED AGAINST BI-METAL CORROSION.
 - MINIMUM COVER TO BE 750mm UNDER TRAFFICABLE AREAS, 600mm ELSEWHERE UNLESS NOMINATED OTHERWISE ON PLANS.
 - PROVIDE STOP VALVES AT ALL BRANCH OFFTAKES.
 - ALL TRENCHES UNDER TRAFFICABLE AREAS, INCLUDING DRIVEWAYS, TO BE BACKFILLED WITH COMPACTED FCR.
 - ELECTROMAGNETIC TRACKING TAPE TO BE PLACED OVER ALL TRENCHES CONTAINING WATER PIPES 50/2 OR GREATER ABOVE HAUNCHING.
 - ISOLATION VALVES SHALL BE POSITIONED IN APPROVED ACCESSIBLE LOCATIONS. VALVES LOCATED IN DUCTS OR WALLS SHALL BE POSITIONED BEHIND APPROVED TYPE ACCESS COVERS.
 - ALL SCREWED STOP VALVES SHALL HAVE UNION COUPLINGS AND BE ACCESSIBLE. GROUP VALVES WHEREVER POSSIBLE.
 - ALL COPPER PIPEWORK SHALL BE HARD DRAWN TUBING TYPE 'B' CONFORMING TO AS 1432.
 - ALL POLYETHYLENE PIPEWORK SHALL BE PN16 PE100 CONFORMING TO AS A432.
 - THRUST BLOCKS SHALL BE INSTALLED AS REQUIRED BY WSAA AND ASS300.
 - HOT WATER TO BE STORED AT MINIMUM 60°C WITH TEMPERING DEVICE INSTALLED TO LIMIT OUTLET TEMPERATURE TO: 50°C TO ABLUTION AREAS, 60°C TO KITCHEN SINK, CLEANERS SINK AND LAUNDRY TROUGH AND TEMPERED TO 45°C IN DISABLED, CHILD CARE AND AGED CARE FACILITIES.
 - TEMPERED, HOT WATER PIPEWORK AND VALVES SHALL BE LAGGED AS PER AS/NZS 3500 4.2003 SECTION 8 FOR CLIMATE REGION C. HOT WATER CIRCULATING LINE TO BE LAGGED WITH SECTIONAL ROCKWOOL, WITH FOIL OUTER COVER. EXTERNAL LAGGINS TO BE UV PROTECTED, AND LAGGING EXPOSED TO MOISTURE NEEDS TO BE MOISTURE PROTECTED. SOLAR FLOW AND RETURN LAGGING SHOULD BE RATED FOR TEMPERATURES UP TO 150°C, OTHER LAGGING RATED TO 105°C. ALL LAGGING SHOULD BE FIRE RATED TO BCA REQUIREMENTS, PVC FREE, ZERO OZONE DEPLETING POTENTIAL, LOW VOLATILE ORGANIC COMPOUNDS.
 - ONE PRESSURE RELIEF VALVE SET TO 500 KPA SHALL BE PROVIDED TO ALL WATER PIPES AT THE POINT OF ENTRY INTO A BUILDING.
 - HOSE BIB COCKS SHALL BE 600MM ABOVE FINISHED SURFACE LEVEL AND SHALL BE 20MM IN SIZE, U.N.O., AND FITTED WITH APPROVED VACUUM BREAKERS. THE PLUMBER SHALL ARRANGE FOR ALL INSPECTIONS AND TESTING OF SERVICES REQUIRED BY THE LOCAL AUTHORITY PRIOR TO CONCEALMENT. PRESSURE TEST HOT AND COLD WATER SERVICES TO 1.5 TIMES NORMAL WORKING PRESSURE AND FIRE SERVICES TO 1700 KPA MINIMUM PRESSURE PRIOR TO CONNECTION TO EXISTING SERVICES. PUMP EQUIPMENT SHALL BE REMOVED WHILST TESTING IS CARRIED OUT.
 - ALL TEMPERING AND THERMOSTATIC MIXING VALVES SHALL BE EASILY LOCATED FOR SAFE OHAS ACCESS.
 - FOLLOWING COMPLETION OF THE WORKS, FLUSH ALL PIPING SYSTEMS AND LEAVE FREE OF FOREIGN MATTER, CLEAN OUT AERATORS, STRAINERS, FILTERS, ETC., FLOW AND PRESSURE TEST ALL HYDRANTS AND HOSE REELS.

- FIRE NOTES:
- INSTALLATION OF FIRE SERVICE WATER SUPPLY INCLUDING HYDRANTS, BOOSTER CONNECTIONS, FIRE HOSE REELS AND COMMISSIONING SHALL BE TO THE REQUIREMENTS AND APPROVAL OF THE BUILDING SURVEYOR, TASMANIAN FIRE BRIGADE, BUILDING CODE OF AUSTRALIA, AS 2419.1, AS 1221, AS3441 AND SOUTHERN WATER.
 - FIRE HOSE REELS SHALL BE INSTALLED AND PLACED IN WORKING ORDER AS SOON AS BUILDING WORKS PERMITS.
 - ALL BELOW GROUND FIRE SERVICE PIPEWORK SHALL BE HARD DRAWN COPPER TUBE TYPE 'B' UNLESS NOTED OTHERWISE. ALL ABOVE GROUND FIRE SERVICE PIPEWORK SHALL BE MEDIUM-DUTY HOT-DIPPED GALVANISED STEEL TUBE WITH 60 MINUTES FIRE RATED SUPPORTS, UNLESS NOTED OTHERWISE.
 - ALL FIRE ISOLATION VALVES SHALL BE SECURED IN THE OPEN POSITION BY A PADLOCKED GALV. METAL STRAP OR CHAIN. PROVIDE AND INSTALL ENGRAVED NON-FERROUS METAL TAGS WITH 8MM UPPER CASE WORDING: "FIRE SERVICES ISOLATING VALVE - TO BE PADLOCKED IN THE OPEN POSITION". LOCKING DEVICES SHALL BE 225 CONTRACT SERIES PADLOCKS SERIAL NUMBER 225401191003.
 - INSTALL ISOLATION VALVES TO ALL FIRE HOSE REEL PIPEWORK AT THE POINTS OF CONNECTION TO FIRE HYDRANT SYSTEM IN ACCORDANCE WITH THE BCA (BUILDING CODE OF AUSTRALIA).
 - CONCRETE ANCHOR BLOCKS OR ENGINEERED MECHANICAL RESTRAINTS SHALL BE PROVIDED AT ALL SUDDEN CHANGES OF DIRECTION, BOTH VERTICALLY AND HORIZONTALLY AT TEES AND END OF LINES.
 - UPON COMPLETION OF THE FIRE INSTALLATION, PROVIDE A COMPLIANCE REPORT AS REQUIRED BY THE CONTROLLING AUTHORITY THAT THE INSTALLATION COMPLIES WITH THE REGULATIONS AND SUBMIT COPIES OF THE REPORT TO THE SUPERINTENDENT.
 - ALL FIRE SERVICES IN BASEMENT OR NOT LOCATED WITHIN FIRE ISOLATED STAIRS/DOCT SHALL BE PROVIDED WITH 120/120/120 FIRE RATED SUPPORTS UNLESS PROTECTED BY A FIRE SPRINKLER SYSTEM.
 - FIRE COLLARS TO BE PROVIDED AT ALL SLAB PENETRATIONS.

WORKPLACE HEALTH AND SAFETY NOTES

- GENERAL:
- THE FOLLOWING RISK MITIGATION NOTES HAVE BEEN PREPARED TO ADVISE THE PERSON CONDUCTING A BUSINESS OR UNDERTAKING (PCBU) ON THE HEALTH AND SAFETY ASPECTS OF THE DESIGN IN ACCORDANCE WITH THE WORK HEALTH AND SAFETY ACT 2011 AND ARE PERTINENT TO ANY TIME WHEN THE BUILDING OPERATES AS A WORKPLACE.
 - THESE NOTES MAY NOT NECESSARILY ACCOUNT FOR ALL CONSTRUCTION, OPERATION, MAINTENANCE AND DEMOLITION PRACTICES AND SAFETY RISKS. INCLUSION OR EXCLUSION OF ANY ITEM DOES NOT ABSOLVE THE OWNER, CONTRACTOR, USER, MAINTAINER OR DEMOLISHER OF THEIR OBLIGATIONS TO UNDERTAKE APPROPRIATE RISK MANAGEMENT ACTIVITIES AND IT IS NOT AN ADMISION THAT ANY ITEM BELOW IS THE RESPONSIBILITY OF ALDANMARK.
 - ADDITIONAL GUIDANCE ON WORKPLACE HEALTH AND SAFETY IS PROVIDED IN THE FOLLOWING CODES OF PRACTICE, WHICH THE CONTRACTOR IS TO COMPLY WITH AS APPLICABLE:
 - "CONSTRUCTION WORK" (CP104);
 - "HOW TO MANAGE WORK HEALTH AND SAFETY RISKS" (CP112);
 - "MANAGING THE WORK ENVIRONMENT AND FACILITIES" (CP124);
 - "SAFE DESIGN OF STRUCTURES" (CP127).
 - FURTHER ADDITIONAL AND UPDATED CODES OF PRACTICE AND OTHER GUIDANCE MATERIALS FOR THE MINIMISATION OF RISKS TO WORKPLACE HEALTH AND SAFETY ARE MADE AVAILABLE REGULARLY FROM WORKSAFE TASMANIA AT WWW.WORKSAFE.TAS.GOV.AU AND SAFE WORK AUSTRALIA AT WWW.SAFEWORKAUSTRALIA.GOV.AU AND SHOULD BE CONSULTED PRIOR TO WORKS COMMENCING ON SITE.
 - WHERE APPLICABLE, THE SPECIFIC RISKS ASSOCIATED WITH THIS PROJECT HAVE BEEN ASSESSED AND ARE SUMMARISED IN THE ATTACHED RISK ASSESSMENT / HAZARD IDENTIFICATION REPORT.
 - IT IS THE CONTRACTOR'S RESPONSIBILITY TO IDENTIFY ALL ASSOCIATED RISKS OF THE CONSTRUCTION PROCESS AND TO PREPARE ADEQUATE SAFE WORK METHOD STATEMENTS AND JOB SAFETY ANALYSIS.
 - TEMPORARY STRUCTURES AND CONTRACTOR ERECTION PROCEDURES ARE ONLY INDICATED WHERE APPROPRIATE SERVICE, APPROPRIATE EXCAVATION PRACTICE SHOULD BE USED AND, WHERE NECESSARY, DETAILED PROCEDURES MUST BE SOUGHT PRIOR TO WORKS COMMENCING. FOR ALL ASSOCIATED TEMPORARY STRUCTURE OR ERECTION DESIGN AND CERTIFICATION THE CONTRACTOR IS TO ENGAGE A THIRD PARTY TO ASSIST, CERTIFY AND OVERSEE THE ERECTION OF THE WORKS.

- SITE:
- RUPTURE OF SERVICES DURING EXCAVATION FOR OTHER ACTIVITY CREATES A VARIETY OF RISKS INCLUDING RELEASE OF HAZARDOUS MATERIAL. EXISTING SERVICES MAY BE LOCATED ON OR AROUND THE BUILDING WHERE KNOWN, THESE ARE IDENTIFIED ON THE DRAWINGS; HOWEVER THE EXACT LOCATION AND EXTENT OF SERVICES MAY VARY FROM THAT INDICATED. SERVICES SHOULD BE LOCATED USING AN APPROPRIATE SERVICE, APPROPRIATE EXCAVATION PRACTICE SHOULD BE USED AND, WHERE NECESSARY, SPECIALIST CONTRACTORS SHOULD BE ENGAGED.

- SITE ACCESS / TRAFFIC MANAGEMENT:
- THE CONTRACTOR IS TO CONDUCT WORKS IN ACCORDANCE WITH THE CODE OF PRACTICE: "TRAFFIC MANAGEMENT IN WORKPLACES" STANDARD CONTROL.
 - ESPECIALLY FOR BUILDINGS ON A MAJOR, NARROW, OR STEEPLY INCLINED ROAD, PARKING OF VEHICLES OR LOADING / UNLOADING OF VEHICLES ON THE ROADWAY MAY CAUSE A TRAFFIC HAZARD. DURING CONSTRUCTION, MAINTENANCE OR DEMOLITION OF THE BUILDING, DESIGNATED PARKING FOR WORKERS AND LOADING AREAS SHOULD BE PROVIDED. FOR ALL BUILDINGS, A TRAFFIC MANAGEMENT PLAN SUPERVISED BY TRAINED TRAFFIC MANAGEMENT PERSONNEL SHOULD BE IMPLEMENTED FOR THE WORK SITE.
 - PUBLIC ACCESS TO CONSTRUCTION AND DEMOLITION SITES AND TO AREAS UNDER MAINTENANCE CAUSES RISK TO WORKERS AND THE PUBLIC. WARNING SIGNS AND SECURE BARRIERS TO UNAUTHORISED ACCESS SHOULD BE PROVIDED, WHERE ELECTRICAL, INSTALLATIONS, EXCAVATIONS, PLANT OR LOOSE MATERIALS ARE PRESENT, THEY SHOULD BE SECURED WHEN NOT FULLY SUPERVISED.
 - BUILDING OWNERS AND OCCUPIERS SHOULD MONITOR THE PEDESTRIAN ACCESS WAYS AND, IN PARTICULAR, ACCESS TO AREAS WHERE MAINTENANCE IS ROUTINELY CARRIED OUT, TO ENSURE THAT SURFACES HAVE NOT MOVED OR CRACKED SUCH THAT THEY BECOME UNEVEN AND PRESENT A TRIP HAZARD, SPILLS, LOOSE MATERIAL, STRAY OBJECTS OR ANY OTHER MATTER THAT MAY CAUSE A SLIP OR TRIP HAZARD SHOULD BE CLEANED OR REMOVED FROM ACCESS WAYS.
 - CONTRACTORS SHOULD BE REQUIRED TO MAINTAIN A TIDY WORK SITE DURING CONSTRUCTION, MAINTENANCE OR DEMOLITION TO REDUCE RISK OF TRIPS AND FALLS IN THE WORKPLACE. MATERIALS FOR CONSTRUCTION OR MAINTENANCE SHOULD BE STORED IN DESIGNATED AREAS AWAY FROM ACCESS WAYS AND WORK AREAS.
 - CONSTRUCTION OF BUILDING ELEMENTS THAT ARE NECESSARY TO CONTRIBUTE TO SAFE ACCESS TO THE BUILDING, SUCH AS HANDRAILS, SCAFFOLDING, ACCESS STAIRS, FALL ARREST SYSTEMS ETC., MUST TAKE PLACE PRIOR TO PROGRESSING WITH ANY OTHER WORKS FOR WHICH THOSE ELEMENTS WILL BE REQUIRED.

- WATER:
- IF THE BUILDING SITE IS ADJACENT TO ANY BODY OF WATER ADEQUATE PROTECTION AND ACCESS PREVENTION SHALL BE PROVIDED. THE CONTRACTOR IS TO PREPARE A SAFE WORK METHOD STATEMENT FOR ANY WORKS REQUIRED TO BE UNDERTAKEN OVER WATER, LIGHTING AND VENTILATION.
 - THE CONTRACTOR IS TO PROVIDE ADEQUATE LIGHTING AND VENTILATION TO ALL AREAS REQUIRED TO BE OCCUPIED BY WORKERS DURING CONSTRUCTION. PRIOR TO THE COMMISSIONING OF THE BUILDING, FINAL FIRE PROTECTION EQUIPMENT SHALL BE PROVIDED IN ACCORDANCE WITH THE REQUIREMENTS OF THE N.C.C.A.

- FIRE AND EMERGENCY:
- ADEQUATE SITE SPECIFIC FIRE EQUIPMENT AND EMERGENCY EVACUATION PROCEDURES ARE TO BE PROVIDED.
 - AND MAINTAINED BY THE CONTRACTOR DURING WORKS ON SITE ACCORDING TO A SAFE WORK METHOD STATEMENT TO BE PREPARED BY THE CONTRACTOR PRIOR TO WORKS COMMENCING ON SITE. PRIOR TO THE COMMISSIONING OF THE BUILDING, FINAL FIRE PROTECTION EQUIPMENT SHALL BE PROVIDED IN ACCORDANCE WITH THE REQUIREMENTS OF THE N.C.C.A.

- ELECTRICAL:
- THE CONTRACTOR IS TO CONDUCT WORKS IN ACCORDANCE WITH THE CODES OF PRACTICE: "WORKING IN THE VICINITY OF OVERHEAD AND UNDERGROUND ELECTRIC LINES" AND "MANAGING ELECTRICAL RISKS IN THE WORKPLACE" (CP117) AND AS 3012 STANDARD CONTROLS.
 - UNDERGROUND POWER LINES MAY BE LOCATED IN OR AROUND THE SITE. ALL UNDERGROUND POWER LINES MUST BE ACCURATELY LOCATED AND EITHER DISCONNECTED OR ADEQUATE EXCLUSION ZONES DELINEATED PRIOR TO ANY CONSTRUCTION, MAINTENANCE OR DEMOLITION WORK COMMENCING.
 - OVERHEAD POWER LINES MAY BE LOCATED ON OR NEAR THE SITE. THESE POSE A SIGNIFICANT RISK IF STRUCK OR APPROACHED BY LIFTING DEVICES OR OTHER PLANT AND PERSONS WORKING ABOVE GROUND LEVEL. WHERE THERE IS A DANGER OF THIS OCCURRING, POWER LINES SHOULD BE WHERE PRACTICAL, DISCONNECTED OR RELOCATED. WHERE THIS IS NOT PRACTICAL, CLEARLY IDENTIFIED EXCLUSION ZONES AND APPROACH DIRECTIONS SHALL BE ESTABLISHED AND MAINTAINED.

EXCAVATION

- THE CONTRACTOR IS TO CONDUCT WORKS IN ACCORDANCE WITH THE CODE OF PRACTICE: "EXCAVATION WORK" (CP107) STANDARD CONTROL.
- CONSTRUCTION OF THE BUILDING AND SOME MAINTENANCE ON THE BUILDING MAY REQUIRE EXCAVATION AND INSTALLATION OF ITEMS WITHIN THE EXCAVATION. WHERE PRACTICAL, INSTALLATION SHOULD BE CARRIED OUT USING MEANS THAT DO NOT REQUIRE WORKERS TO ENTER THE EXCAVATION. WHERE THIS IS NOT PRACTICAL, ADEQUATE SUPPORT FOR THE EXCAVATED AREA SHALL BE PROVIDED TO PREVENT COLLAPSE. WARNING SIGNS AND BARRIERS TO PREVENT ACCIDENTAL OR UNAUTHORISED ACCESS TO ALL EXCAVATIONS SHALL BE PROVIDED.
- ANY AUSTERING PROCEDURES MAY CAUSE A RISK OF FALLING INTO OPEN BORES. ALL BORES THEREFORE ARE TO BE CONCRETE FILLED AS SOON AS POSSIBLE. IN THE MEANTIME, ADEQUATE PROTECTION AND ACCESS PREVENTION SHALL BE PROVIDED.
- THE CONTRACTOR IS TO CONSULT ANY SITE INVESTIGATION REPORTS ETC. BEFORE CONDUCTING ANY EXCAVATION WORKS. IN THE CASE OF ANY AREAS BEING IDENTIFIED AS HAVING GROUND CONTAMINATION PRESENT, A QUALIFIED SPECIALIST CONSULTANT SHALL BE ENGAGED TO PROVIDE REMEDIAL WORKS DESIGN AND RISK MITIGATION STRATEGIES.

CONSTRUCTION

- FORMWORK:
- THE CONTRACTOR IS TO CONDUCT WORKS IN ACCORDANCE WITH THE CODE OF PRACTICE: "FORMWORK AND FALSEWORK" STANDARD CONTROL.
 - ALL FORMWORK AND SUPPORTING SCAFFOLD STRUCTURES MUST BE DESIGNED TO CARRY THE CONSTRUCTION LOADING SPECIFIED WITH THIS SET OF DOCUMENTATION.
 - INSITU FORMWORK (EG. BONDUR / CONDECK MUST BE INSTALLED TO MANUFACTURES INSTRUCTIONS AND SUPPORTED DURING CONSTRUCTION AS RECOMMENDED. TEMPORARY SUPPORTS ARE NOT PROVIDED AS PART OF THIS DOCUMENTATION.
 - SLABS THAT SUPPORT CONTINUED TEMPORARY STRUCTURE MUST BE BACK PROPPED. BACK PROPPING MUST BE CHECKED AND APPROVED PRIOR TO ANY ADDITIONAL CONSTRUCTION LOADING.
 - VERTICALLY, STRUCTURAL FORMWORK MUST BE CHECKED AND DESIGNED FOR POTENTIAL HYDROSTATIC LOADING DURING CONCRETE PLACEMENT.

- PRECAST PANEL ERECTION:
- THE CONTRACTOR IS TO CONDUCT WORKS IN ACCORDANCE WITH THE CODE OF PRACTICE: "PRECAST TILT-UP AND CONCRETE ELEMENTS IN BUILDING CONSTRUCTION" AND AS 380 STANDARD CONTROLS.
 - CONTRACTOR IS TO ENSURE THAT CRANE SIZE AND LOCATION IS ADEQUATELY ASSESSED FOR CAPACITY BEFORE PANELS ARE ERECTED. THIS IS TO INCLUDE BUT IS NOT LIMITED TO CRANE SUPPORT BEARINGS, LOCATION OF UNDERGROUND SERVICES, OVERTURNING, LIFTING CAPACITY, OVERHEAD OBSTRUCTIONS AND TRAFFIC HAZARDS.
 - CHAIN AND SLING SETUP FOR PANELS IS TO BE CHECKED AGAINST APPROVED PANEL LIFTING POINTS. WHERE APPROPRIATE AN APPROVED SPREADER BEAM IS TO BE USED.
 - PATHWAYS OF OVERHEAD TRAVEL OF PANELS ARE TO BE CLEARLY MARKED AND ACCESS TO THESE RESTRICTED DURING LIFTING.
 - PANEL BEARING AND LOCATING PLATES AND DOWELS ARE TO BE CHECKED FOR FINAL LOCATION.
 - PANEL PROPPING AND TEMPORARY SUPPORT MUST BE LOCATED WITH APPROVED ANCHORS AND APPROPRIATE CHECKS AND DESIGNS FOR CAPACITY AND CONFIGURATION OF PROPS IS TO BE CONDUCTED PRIOR TO ERECTION. TEMPORARY SUPPORTING STRUCTURE DURING CONSTRUCTION IS NOT PROVIDED AS PART OF THESE DESIGN DOCUMENTS AND MUST BE OBTAINED PRIOR TO ERECTION.

- STRUCTURAL STEEL ERECTION:
- THE CONTRACTOR IS TO CONDUCT WORKS IN ACCORDANCE WITH THE CODES OF PRACTICE: "WELDING PROCESSES" (CP134), "ABRASIVE BLASTING" (CP101) AND "SPRAY PAINTING AND POWDER COATINGS" (CP131 STANDARD CONTROLS.
 - CONTRACTOR IS TO ENSURE THAT CRANE SIZE AND LOCATION IS ADEQUATELY ASSESSED FOR CAPACITY BEFORE THE FRAME IS ERECTED. THIS IS TO INCLUDE BUT IS NOT LIMITED TO CRANE SUPPORT BEARINGS, LOCATION OF UNDERGROUND SERVICES, OVERTURNING, LIFTING CAPACITY, OVERHEAD OBSTRUCTIONS AND TRAFFIC HAZARDS.
 - CHAIN AND SLING SETUP FOR FRAMING MEMBERS IS TO BE CHECKED AGAINST APPROVED LIFTING POINTS. WHERE APPROPRIATE AN APPROVED SPREADER BEAM IS TO BE USED.
 - PATHWAYS OF OVERHEAD TRAVEL OF FRAMING MEMBERS ARE TO BE CLEARLY MARKED AND ACCESS TO THESE RESTRICTED DURING LIFTING.
 - TEMPORARY PROPPING WORK IS TO BE PROVIDED TO ENSURE STABILITY OF THE FRAMES DURING ERECTION.
 - ALL STEEL FRAMES ARE TO BE TEMPORARY BRACED, UNTIL STRUCTURE IS FULLY ERECTED AND ALL CONNECTIONS BOLTED OR WELDED TOGETHER AS REQUIRED. TEMPORARY SUPPORTING STRUCTURE DURING CONSTRUCTION IS NOT PROVIDED AS PART OF THESE DESIGN DOCUMENTS AND MUST OBTAINED PRIOR TO ERECTION.
 - SITE BASED TREATMENTS OF STEEL FRAMING MEMBERS (EG. CUTTING, WELDING, GRIT BLASTING, SPRAY PAINTING, ETC.) IS TO BE MINIMISED WHEREVER POSSIBLE. IF SITE BASED TREATMENT IS UNAVOIDABLE, ADEQUATE PROTECTION, SCREENING AND VENTILATION TO MINIMISE HAZARDS TO PERSONNEL IS TO BE PROVIDED.
 - AVOID SITE BASE HOT WORKS WHERE POSSIBLE. IF UNAVOIDABLE, SITE SPECIFIC PROCEDURES FOR HOT WORKS PERMITS ETC. ARE TO BE FOLLOWED.

- WORKING AT HEIGHTS:
- THE CONTRACTOR IS TO CONDUCT WORKS IN ACCORDANCE WITH THE CODES OF PRACTICE: "MANAGING THE RISK OF FALLS AT WORKPLACES" (CP122), "PREVENTING FALLS IN HOUSING CONSTRUCTION" (CP127), "SCAFFOLDING AND SCAFFOLDING WORK" AND AS 1657 STANDARD CONTROLS.
 - SCAFFOLDING MUST BE SECURED AND BRACED TO RESIST OVERTURNING. SINGLE PROPS MUST NOT BE USED UNLESS A DESIGN CHECK ON STABILITY IS MADE AND THEY ARE FIXED TO A STABLE BASE AT MIDPOINTS.
 - CONTRACTOR IS TO USE PASSIVE FALL PREVENTION DEVICE IF POSSIBLE (IE. FIXED PLATFORM, CHERRY PICKERS ETC.).

- CONCRETE STRESSING:
- CONTRACTOR IS TO ENSURE THAT CONCRETE STRENGTH MEETS REQUIRED CAPACITY AT TIME OF STRESSING.
 - RESTRICTED STRESSING AREAS ARE TO BE PROVIDED TO ALL AREAS WHERE STRESSING IS TAKING PLACE BOTH AT LIVE AND DEAD ENDS OF STRESSING DUCTS.
 - CONTRACTOR MUST ENSURE THAT AT ALL TIMES DURING STRESSING ONLY QUALIFIED AND APPROVED PERSONNEL HAVE ACCESS TO DESIGNATED STRESSING AREAS.
 - SLABS THAT SUPPORT CONTINUED TEMPORARY STRUCTURE MUST BE BACK PROPPED. BACK PROPPING MUS BE CHECKED AND APPROVED PRIOR TO ANY ADDITIONAL CONSTRUCTION LOADING.

- CRANES AND OTHER MECHANICAL PLANT:
- THE CONTRACTOR IS TO CONDUCT WORKS IN ACCORDANCE WITH THE CODES OF PRACTICE: "CRANES" "MANAGING THE RISKS OF PLANT IN THE WORKPLACE" (CP123), "INDUSTRIAL LIFT TRUCKS" AND AS 2550 STANDARD CONTROLS.
 - MECHANICAL LIFTING OF MATERIALS AND COMPONENTS DURING CONSTRUCTION, MAINTENANCE OR DEMOLITION PRESENTS A RISK OF FALLING OBJECTS. CONTRACTORS SHOULD ENSURE THAT APPROPRIATE LIFTING DEVICES ARE USED, THAT LOADS ARE PROPERLY SECURED, AND THAT ACCESS TO AREAS BELOW THE LOAD IS PREVENTED OR RESTRICTED.
 - CONTRACTOR IS TO ENSURE THAT CRANE SIZE AND LOCATION IS ADEQUATELY ASSESSED FOR CAPACITY BEFORE ANY LIFT. THIS IS TO INCLUDE BUT IS NOT LIMITED TO CRANE SUPPORT BEARINGS, LOCATION OF UNDERGROUND SERVICES, OVERTURNING, LIFTING CAPACITY, OVERHEAD OBSTRUCTIONS AND TRAFFIC HAZARDS.
 -

EXISTING BUILDINGS

- DEMOLITION:
- THE CONTRACTOR IS TO CONDUCT WORKS IN ACCORDANCE WITH THE CODE OF PRACTICE: "DEMOLITION WORK" (CP106) STANDARD CONTROL.
 - LOCATIONS OF EXISTING EMBEDDED LIVE SERVICES ARE TO BE ACCURATELY ESTABLISHED PRIOR TO ANY PENETRATION OF EXISTING STRUCTURE.
 - DO NOT CUT OR REMOVE ANY STRUCTURAL MEMBER PRIOR TO INSPECTION BY A SUITABLY QUALIFIED STRUCTURAL ENGINEER.
 - SEEK ADVICE FROM A SUITABLY QUALIFIED STRUCTURAL ENGINEER PRIOR TO CORING, CHASING, CUTTING OR REMOVAL OF EXISTING CONCRETE AND REINFORCEMENT.
 - EXISTING STRUCTURAL ADEQUACY.
 - WHERE EXISTING STRUCTURAL ELEMENTS ARE DAMAGED OR EXHIBIT SIGNIFICANT SECTION LOSS, A SUITABLY QUALIFIED STRUCTURAL ENGINEER SHALL BE ENGAGED TO DESIGN A SYSTEM FOR STABILISING / SUPPORTING THE EXISTING STRUCTURE, SUCH THAT ALL WORK AREAS WILL BE ADEQUATELY SAFE FOR BUILDING WORKS TO COMMENCE. ANY SIGNIFICANT SECTION LOSS OR PENETRATION OF EXISTING STRUCTURAL ELEMENTS SHALL BE REPORTED TO THE ENGINEER PRIOR TO PROCEEDING WITH WORKS.
 - ANY EXISTING RETAINING STRUCTURES PRESENT ON THE SITE SHALL BE INSPECTED BY A SUITABLY QUALIFIED STRUCTURAL ENGINEER TO ASCERTAIN THE EXTENT OF ANY EXCLUSION ZONES REQUIRED, ESPECIALLY WITH REGARD TO ANY EXCAVATION, THE OPERATION OF HEAVY SURFACE PLANT AND EQUIPMENT, OR STOCKPILING MATERIAL ADJACENT TO EXISTING RETAINING STRUCTURES.
 - NO EXCAVATION SHALL BE PERFORMED ADJACENT TO ANY EXISTING STRUCTURE, ESPECIALLY BELOW THE 45° LINE FROM THE UNDERSIDE OF AN EXISTING FOOTING WITHOUT THE EXPRESS PERMISSION OF THE STRUCTURAL ENGINEER.

- ASBESTOS:
- THE CONTRACTOR IS TO CONDUCT WORKS IN ACCORDANCE WITH THE CODES OF PRACTICE: "HOW TO MANAGE AND CONTROL ASBESTOS IN THE WORKPLACE" (CP111) AND "HOW TO SAFELY REMOVE ASBESTOS" (CP115) STANDARD CONTROLS.
 - FOR ALTERATIONS TO OR DEMOLITION OF A BUILDING CONSTRUCTED PRIOR TO 1980, IF THE BUILDING WAS CONSTRUCTED PRIOR TO:
 - 1980 - IT MAY CONTAIN ASBESTOS.
 - 1986 - IT IS LIKELY TO CONTAIN ASBESTOS, EITHER IN CLADDING MATERIAL OR IN FIRE-RETARDANT INSULATION MATERIAL. IN EITHER CASE, THE BUILDER SHOULD INSPECT AND, IF NECESSARY, HAVE ANY ASBESTOS REMOVED BY A SUITABLE QUALIFIED PERSON BEFORE DEMOLISHING, CUTTING, SANDING, DRILLING OR OTHERWISE DISTURBING THE EXISTING STRUCTURE.

- EXISTING COATINGS:
- PRIOR TO ANY WORKS COMMENCING AN APPROPRIATE METHOD OF PAINT REMOVAL AND DISPOSAL IS TO BE DETERMINED. PARTICULARLY ON HISTORIC STRUCTURES, COATINGS CONTAINING COAL TAR EPOXIES, BITUMEN AND ASPHALTS, ZINC CHROMATE AND LEAD AMONG OTHERS PRESENT A HEALTH RISK. ADEQUATE SCREENING IS TO BE PROVIDED TO THE PUBLIC AND THE SURROUNDING ENVIRONMENT DURING PAINT REMOVAL AND CLEANING OPERATIONS. ENVIRONMENTALLY APPROPRIATE METHODS ARE TO BE EMPLOYED DURING MAINTENANCE AND REPAIR WORK.

HAZARDOUS SUBSTANCES

- THE CONTRACTOR IS TO CONDUCT WORKS IN ACCORDANCE WITH THE CODE OF PRACTICE: "MANAGING RISKS OF HAZARDOUS CHEMICALS IN THE WORKPLACE" (CP120) STANDARD CONTROL.
- POWDERED MATERIALS:
 - MANY MATERIALS USED IN CONSTRUCTION CAN CAUSE HARM IF INHALED IN POWDERED FORM. PERSONS WORKING ON OR IN THE BUILDING DURING CONSTRUCTION, OPERATIONAL MAINTENANCE OR DEMOLITION SHOULD ENSURE GOOD VENTILATION AND WEAR PERSONAL PROTECTIVE EQUIPMENT, INCLUDING PROTECTION AGAINST INHALATION WHILE USING POWDERED MATERIAL OR WHEN SANDING, DRILLING, CUTTING OR OTHERWISE DISTURBING OR CREATING POWDERED MATERIAL.

- TREATED TIMBER:
- THE DESIGN OF THE BUILDING MAY INCLUDE PROVISION FOR INCLUSION OF TREATED TIMBER WITHIN THE STRUCTURE. DUST OR FUMES FROM THIS MATERIAL CAN BE HARMFUL. PERSONS WORKING ON OR IN THE BUILDING DURING CONSTRUCTION, OPERATIONAL MAINTENANCE OR DEMOLITION SHOULD ENSURE GOOD VENTILATION AND WEAR PERSONAL PROTECTIVE EQUIPMENT INCLUDING PROTECTION AGAINST INHALATION OF HARMFUL MATERIAL WHEN SANDING, DRILLING, CUTTING OR USING TREATED TIMBER IN ANY WAY THAT MAY CAUSE HARMFUL MATERIAL TO BE RELEASED. DO NOT BURN TREATED TIMBER.

- VOLATILE ORGANIC COMPOUNDS:
- MANY TYPES OF GLUES, SOLVENTS, SPRAY PACKS, PAINTS, VARNISHES AND SOME CLEANING MATERIALS AND DISINFECTANTS HAVE DANGEROUS EMISSIONS. AREAS WHERE THESE ARE USED SHOULD BE KEPT WELL VENTILATED WHILE THE MATERIAL IS BEING USED AND FOR A PERIOD AFTER INSTALLATION. PERSONAL PROTECTIVE EQUIPMENT MAY ALSO BE REQUIRED. THE MANUFACTURERS' RECOMMENDATIONS FOR USE MUST BE CAREFULLY FOLLOWED AT ALL TIMES.

- SYNTHETIC MINERAL FIBRE:
- GLASS FIBRE, ROCK WOOL, CERAMIC AND OTHER MATERIAL USED FOR THERMAL OR ACOUSTIC INSULATION MAY CONTAIN SYNTHETIC MINERAL FIBRE WHICH MAY BE HARMFUL, IF INHALED, OR IF IT COMES INTO CONTACT WITH THE SKIN, EYES OR OTHER SENSITIVE PARTS OF THE BODY. PERSONAL PROTECTIVE EQUIPMENT, INCLUDING PROTECTION AGAINST INHALATION OF HARMFUL MATERIAL SHOULD BE USED WHEN INSTALLING, REMOVING OR WORKING NEAR BULK INSULATION MATERIAL.

HAZARDOUS MANUAL TASKS

- THE CONTRACTOR IS TO CONDUCT WORKS IN ACCORDANCE WITH THE CODE OF PRACTICE: "HAZARDOUS MANUAL TASKS" (CP110) STANDARD CONTROL.
- COMPONENTS WITHIN THIS DESIGN WITH A MASS IN EXCESS OF 25 KG SHOULD BE LIFTED BY TWO OR MORE WORKERS OR BY A MECHANICAL LIFTING DEVICE. ALL MATERIAL PACKAGING, BUILDING AND MAINTENANCE COMPONENTS SHOULD CLEARLY SHOW THE TOTAL MASS OF PACKAGES AND WHERE PRACTICAL ALL ITEMS SHOULD BE STORED ON SITE IN A WAY THAT MINIMISES BENDING BEFORE LIFTING. ADVICE SHOULD BE PROVIDED ON SAFE LIFTING METHODS IN ALL AREAS WHERE LIFTING MAY OCCUR.

CONFINED SPACES

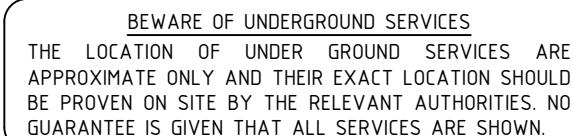
- THE CONTRACTOR IS TO CONDUCT WORKS IN ACCORDANCE WITH THE CODE OF PRACTICE: "CONFINED SPACES" (CP103) AND AS 2865 STANDARD CONTROLS.
- ENCLOSED SPACES WITHIN THE BUILDING MAY PRESENT A RISK TO PERSONS ENTERING FOR CONSTRUCTION, MAINTENANCE OR OTHER PURPOSE. WHERE WORKERS ARE REQUIRED TO ENTER ENCLOSED SPACES, AIR TESTING EQUIPMENT AND PERSONAL PROTECTIVE EQUIPMENT SHALL BE PROVIDED. ONLY TRAINED PERSONNEL ARE TO ENTER A CONFINED SPACE AND THE CONTRACTOR IS TO PREPARE A WORK METHOD STATEMENT ADDRESSING MITIGATION OF RISKS FOR ANY SUCH WORKS. ADEQUATE SIGNAGE IS TO BE PROVIDED TO ALL TEMPORARY AND PERMANENT CONFINED SPACES IN ACCORDANCE WITH AS 2865.

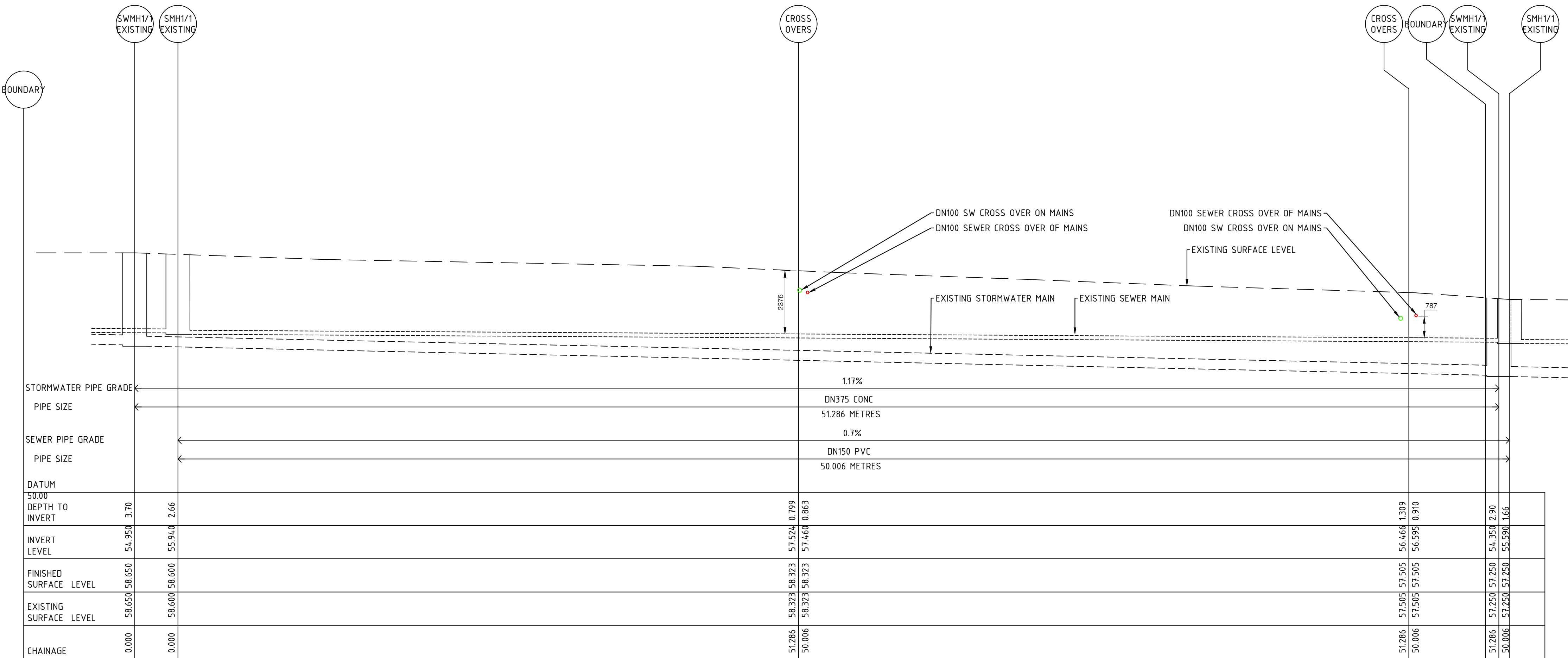
NOISE

- THE CONTRACTOR IS TO CONDUCT WORKS IN ACCORDANCE WITH THE CODE OF PRACTICE: "MANAGING NOISE AND PREVENTING HEARING LOSS AT WORK" (CP118) STANDARD CONTROL.

OPERATIONAL USE OF BUILDING

- RESIDENTIAL BUILDINGS:
- THIS BUILDING HAS BEEN DESIGNATED AS A RESIDENTIAL BUILDING. IF THE BUILDING, AT A LATER DATE, IS USED OR INTENDED FOR USE AS A WORKPLACE, THE PROVISIONS OF THE WORK HEALTH AND SAFETY ACT 2011 OR SUBSEQUENT REPLACEMENT LEGISLATION SHOULD BE APPLIED TO THE NEW USE.
- NON-RESIDENTIAL BUILDINGS:
- NON-RESIDENTIAL BUILDINGS WHERE THE END-USE HAS NOT BEEN IDENTIFIED:
 - THE BUILDING HAS BEEN DESIGNED TO REQUIREMENTS OF THE CLASSIFICATION IDENTIFIED ON THE DRAWINGS.
 - THE SPECIFIC USE OF THE BUILDING IS NOT KNOWN AT THE TIME OF THE DESIGN AND A FURTHER ASSESSMENT OF THE WORKPLACE HEALTH AND SAFETY ISSUES SHOULD BE UNDERTAKEN AT THE TIME OF FIT-OUT FOR THE END USER.
 - NON-RESIDENTIAL BUILDINGS WHERE THE END-USE IS KNOWN:
 - THE BUILDING HAS BEEN DESIGNED FOR THE SPECIFIC USE AS IDENTIFIED ON THE DRAWINGS, WHERE A CHANGE OF USE OCCURS AT A LATER DATE, A FURTHER ASSESSMENT OF THE WORKPLACE HEALTH AND SAFETY





EXISTING SEWER AND STORMWATER
LONG SECTION WITH CROSS OVERS

DRAINAGE SCHEDULE	
—S—	SEWER LINE DN100 SM4 DWV AT MIN. 1.65% U.N.O.
—EXS—	SEWER LINE - EXISTING
—SW—	STORMWATER LINE DN100 SM4 PVC AT MIN. 1.0% U.N.O.
—EXSW—	STORMWATER LINE - EXISTING
—TW—	TRADE WASTE DN100 HDPE AT MIN 1.65% U.N.O
—EXTW—	TRADE WASTE - EXISTING
—>>>>—	AG DRAIN (DN80 SLOTTED PVC) U.N.O
—>>>>—	AG DRAIN - EXISTING
✕	AIR ADMITTANCE VALVE
●	DN100 SEWER STACK/DROPPER
●	SEWER FIXTURE
●	(DN80) STORMWATER DOWNPIPE U.N.O
○	VENT (DN50) U.N.O
✓	TUNDRUGH
BTH	BATH (DN40)
B	BASIN (DN40)
FWG	FLOOR WASTE GULLY (DN50-DN100)
IO	INSPECTION OPENING
ORG	OVERFLOW RELIEF GULLY (DN100)
SHR	SHOWER (DN50)
S	SINK (DN50)
SL	SLOP HOPPER (DN50)
TR	TROUGH (DN50)
WC	WATER CLOSET (DN100)

WATER SERVICES SCHEDULE	
—W—	COLD WATER MIN DN20 ID U.N.O.
—FS—	FIRE SERVICE DN100 GLAV ROLL GROOVE U.N.O
—HW—	TEMPERED HOT WATER
—HWF—	HOT WATER FEED
—HWR—	HOT WATER RETURN
●	COLD WATER RISER
●	HOT WATER RISER
○	TEMPERING VALVE RMC Heat Guard MIX 15-20 (50deg) or approved eq.
○	HW BALANCING VALVE - Aquastrom V1 or approved eq.
✕	STOP VALVE
✕	THERMOSTATIC MIXING VALVE Caleffi S213 TM(45deg) or approved eq.
□	WATER METER
BTH	BATH
SHR	SHOWER
S	SINK
TR	TROUGH
UR	URINAL
WC	WATER CLOSET
T	TAP

INSTALL INSPECTION OPENINGS AT ALL MAJOR BENDS FOR STORMWATER AND ALL LOW POINTS OF DOWNPIPES

ALL PLUMBING AND DRAINAGE TO BE IN ACCORDANCE WITH COUNCIL REQUIREMENTS

ALL LOCATION OF EXISTING PIPES AND INVERTS TO BE DETERMINED BEFORE PERFORMING WORKS ON SITE

PAVED AND CONCRETE AREAS TO FALL TOWARDS PITS AT MIN 1%.

DRAINAGE MUST COMPLY WITH:
-PLUMBING CODE OF AUSTRALIA PART D1
-AS/NZS 3500.3
-BCA VOLUME 2 PARTS 3.1.2 AND 3.5.2 (DEEMED TO SATISFY PROVISIONS)

SWIVEL AND EXPANSION JOINTS TO BE USED WHEN INSTALLING DRAINS IN HIGH REACTIVE SOILS.

PLUMBING AND DRAINAGE UNDER SLAB SHALL BE AVOIDED WHERE PRACTICAL

INSULATION SCHEDULE

HEATED WATER PIPES
TYPE SIZE RANGE INSULATION
CIRCULATING LINE 25mm ROCKWOOL WITH FOIL WRAP
BRANCH LINE 20-25 19mm FR BRADFLEX
OFFTAKE 18 13mm FR BRADFLEX

COLD WATER PIPES EXPOSED
TYPE SIZE RANGE INSULATION
ALL >20 19mm ZERO-4
OTHER COLD WATER PIPES
TYPE SIZE RANGE INSULATION
ALL ALL NOT REQUIRED

NOTE: WATER PIPES ASSOCIATED DIRECTLY WITH PLANT EQUIPMENT SHALL BE INSULATED IN ACCORDANCE WITH THE MANUFACTURERS RECOMMENDATIONS FOR A TYPICAL INSTALLATION

HOT AND COLD WATER NOMINAL DIAMETERS

BRANCH OFF TAKES MIN. DN20
MAX OFF TAKE LENGTH 6m DN18
MAX OFF TAKE LENGTH 3m DN15
MAX OFF TAKE LENGTH 1m DN10

COPPER PIPES TO AS1432 (HOT AND COLD)
PE-X PIPES TO AS3492 (HOT AND COLD)
HDPE PIPES TO AS/NZS4130 (COLD ONLY)

THESE DRAWINGS MUST BE APPROVED BY
COUNCIL & TASWATER PRIOR TO CONSTRUCTION

A	DEVELOPMENT APPROVAL	29/03/2021			
REV.	DESCRIPTION	DATE	REV.	DESCRIPTION	DATE



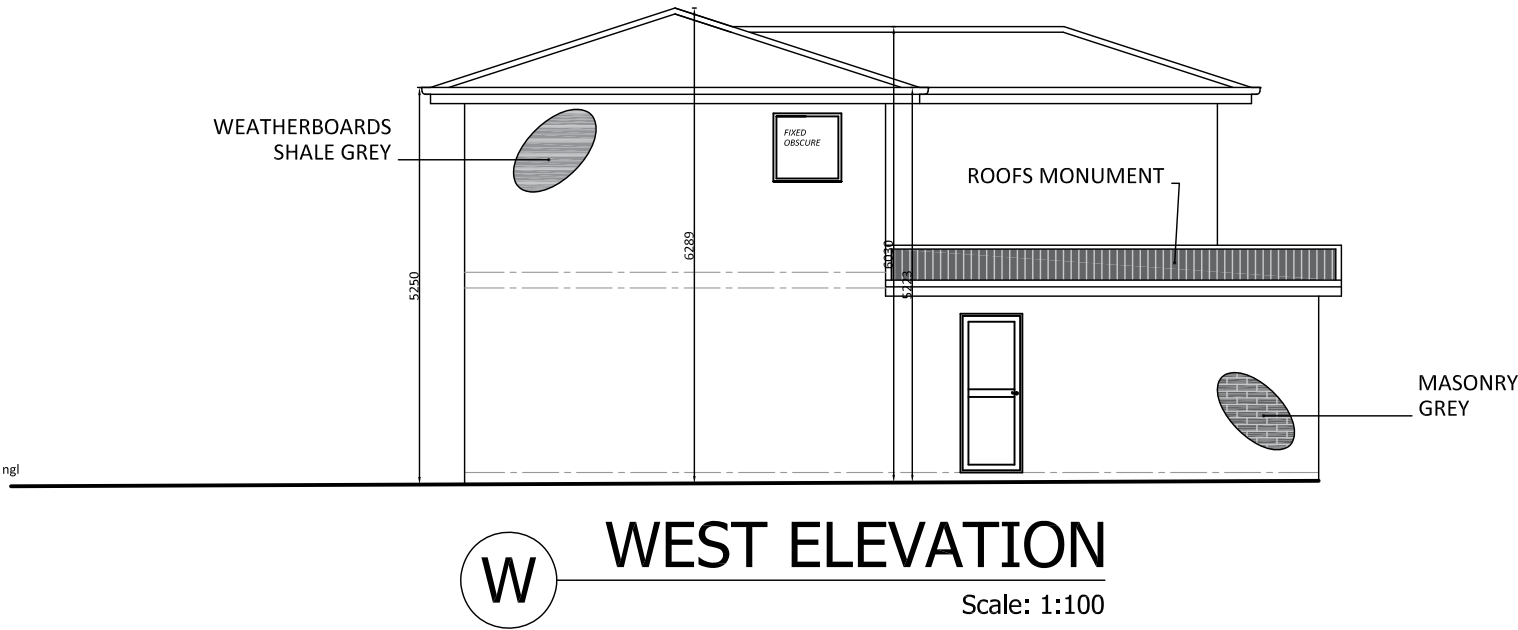
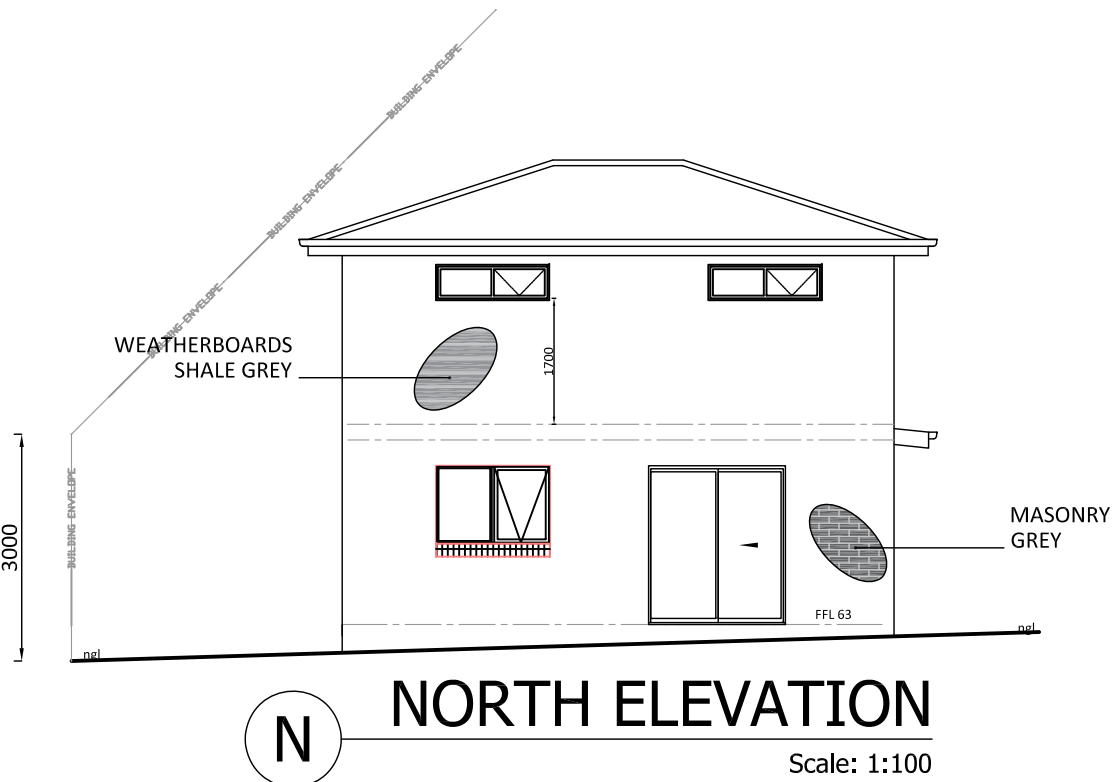
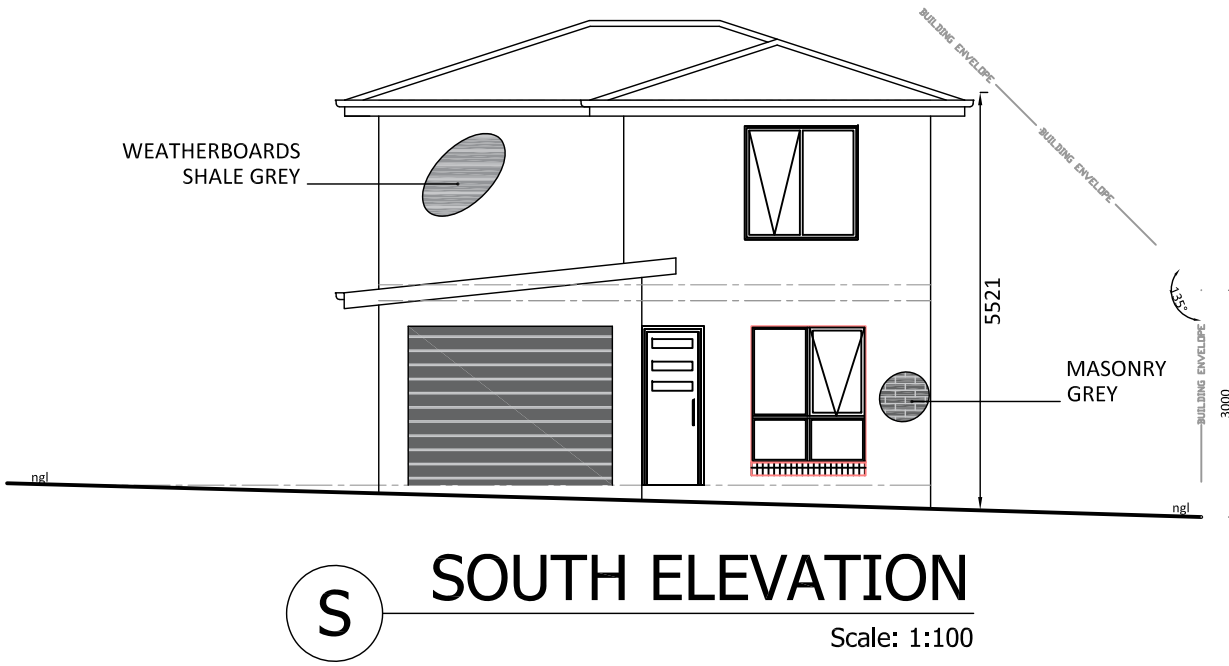
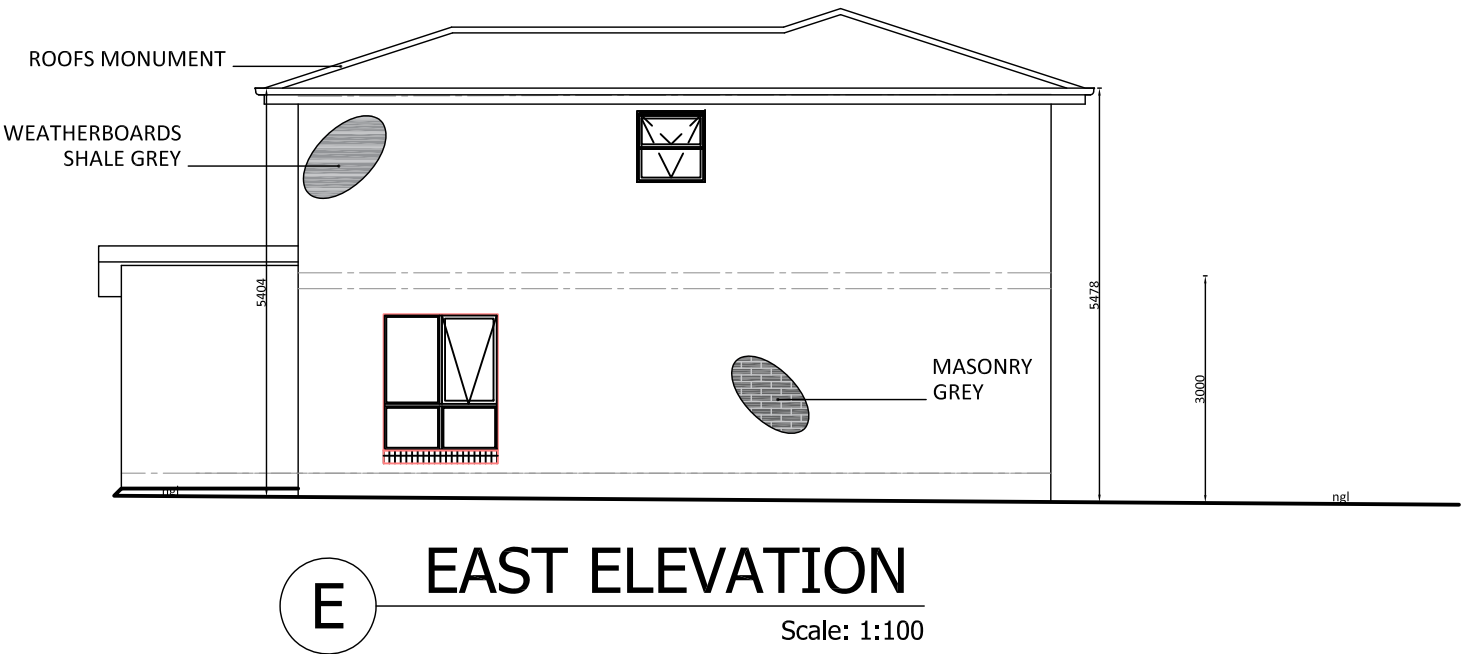
CLIENT:	CASERN INVESTMENTS PTY LTD	SHEET:	SERVICES CROSS OVER LONG SECTION	DRAWN:	SL	DESIGNED:	SL	VERIFIED:	DM	DATE:	29/03/2021
ADDRESS:	18 HASKELL ROAD BRIGHTON TAS 7030	PROJECT:	MULTI UNIT DEVELOPMENT	SCALE:	1:100	SIZE:	A1	TOTAL SHEETS:	-		
ISSUE:	DEVELOPMENT APPROVAL	PROJECT No.	21E99-14	SHEET No.	H1.02	REV No.	A				

HALF SCALE PRINT

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BEWARE OF UNDERGROUND SERVICES

THE LOCATION OF UNDERGROUND SERVICES ARE APPROXIMATE ONLY AND THEIR EXACT LOCATION SHOULD BE PROVEN ON SITE BY THE RELEVANT AUTHORITIES. NO GUARANTEE IS GIVEN THAT ALL SERVICES ARE SHOWN.



DIMENSION NOTE:
Use written dimensions only. Do not scale from drawings. All figured dimensions are to be used as a guide only. It is imperative that all dimensions, setbacks and levels be confirmed on site by the Builder/Surveyor or sub-contractor prior to the commencement of work, manufacture and installation. It is imperative that the Builder/sub-contractor and/or manufacturer ensures a full set of plans are on hand and reference has been made to the general notes.

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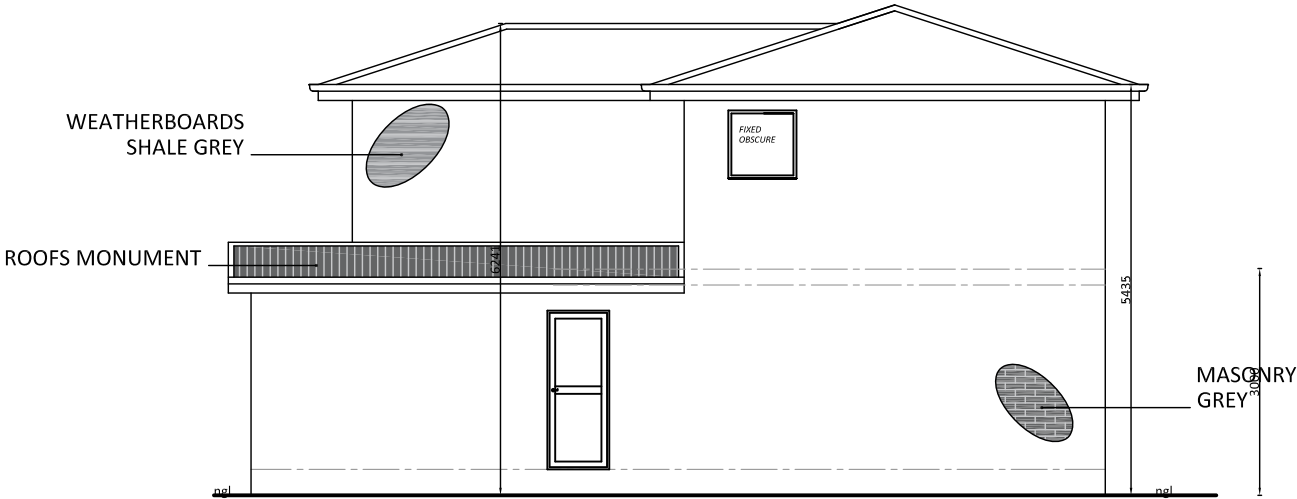


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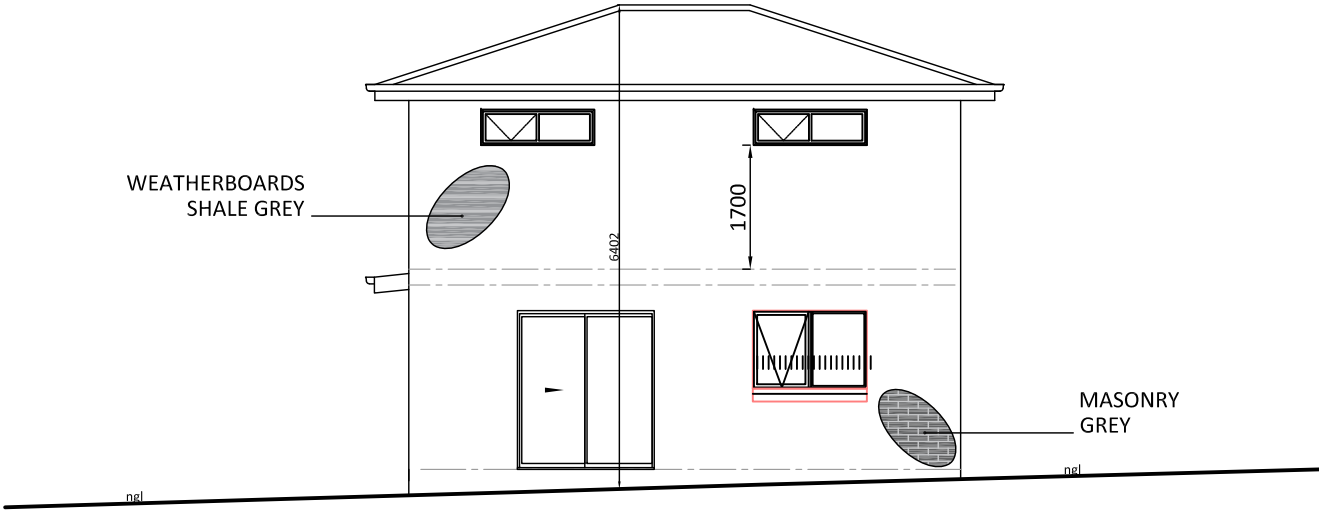
CLIENT NAME:
CASERN INVESTMENTS PTY LTD
PROJECT ADDRESS:
18 HASKELL RD & 14 BESIER COURT, BRIGHTON TAS 7030
PROJECT:
MULTIPLE DWELLINGS

DRAWING TITLE:
UNIT 3 ELEVATIONS

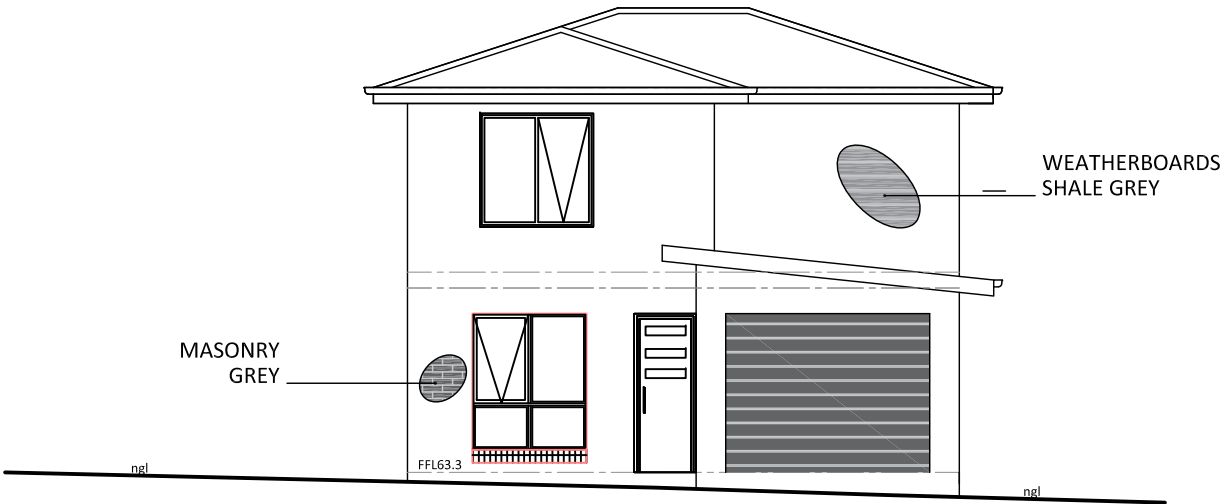
DATE: 15/03/2021	SCALE: 1:100	DRAWN BY: PK
REVISION No: R:2	SHEET SIZE: A3	SHEET No: P05.1



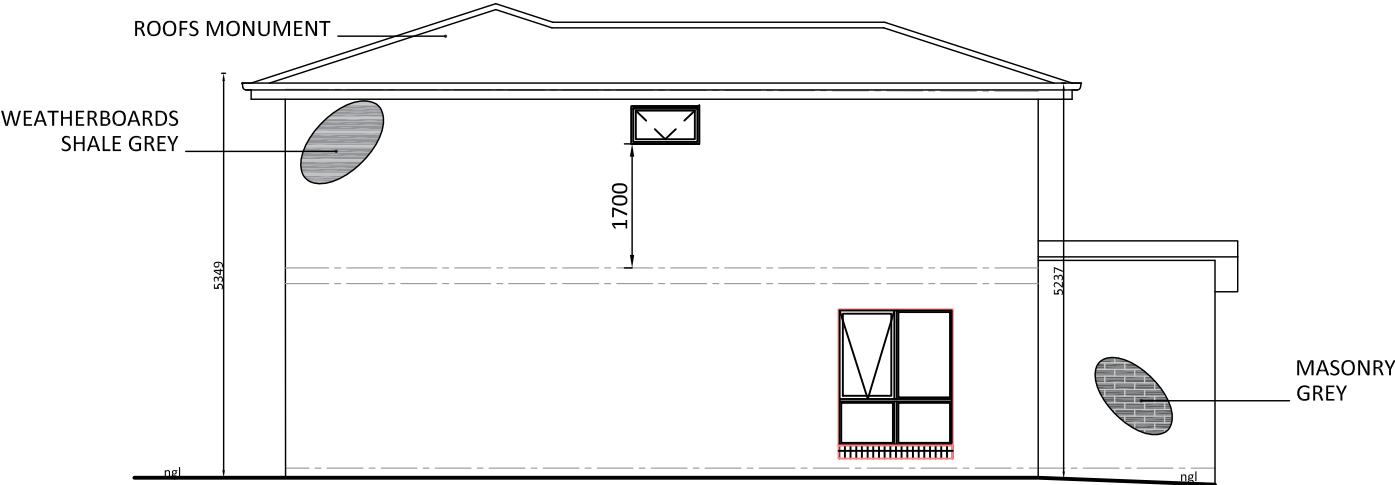
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Scale: 1:100



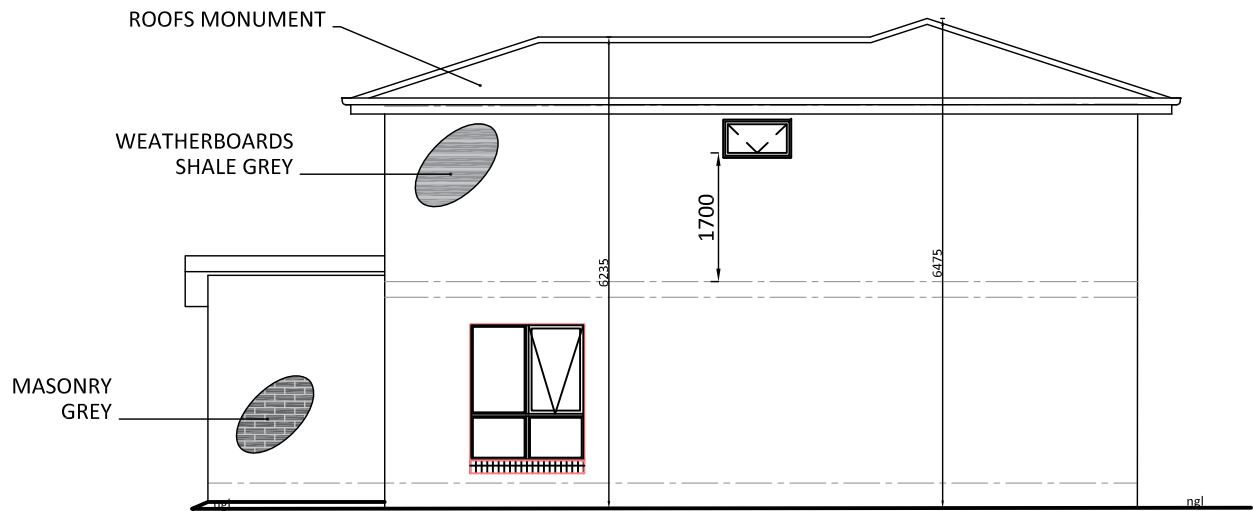
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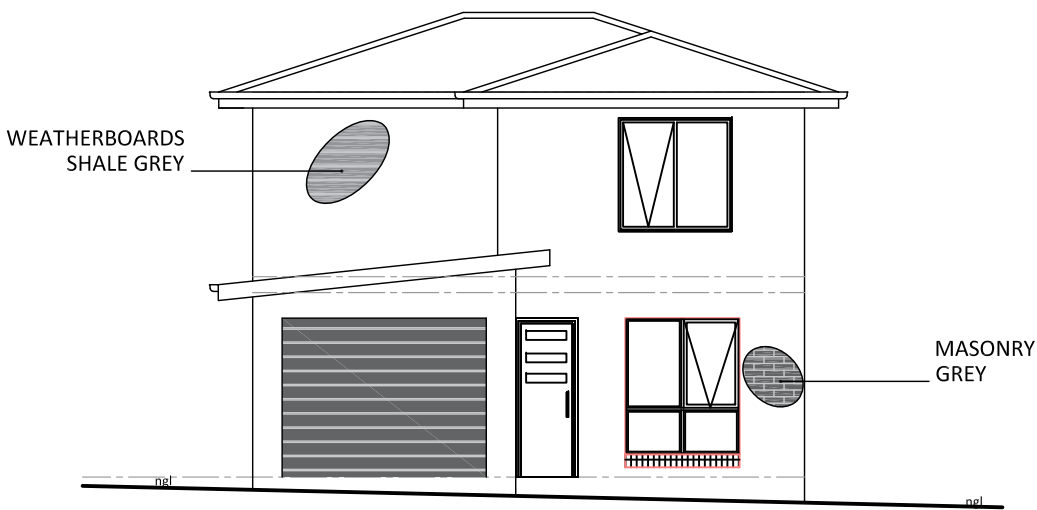
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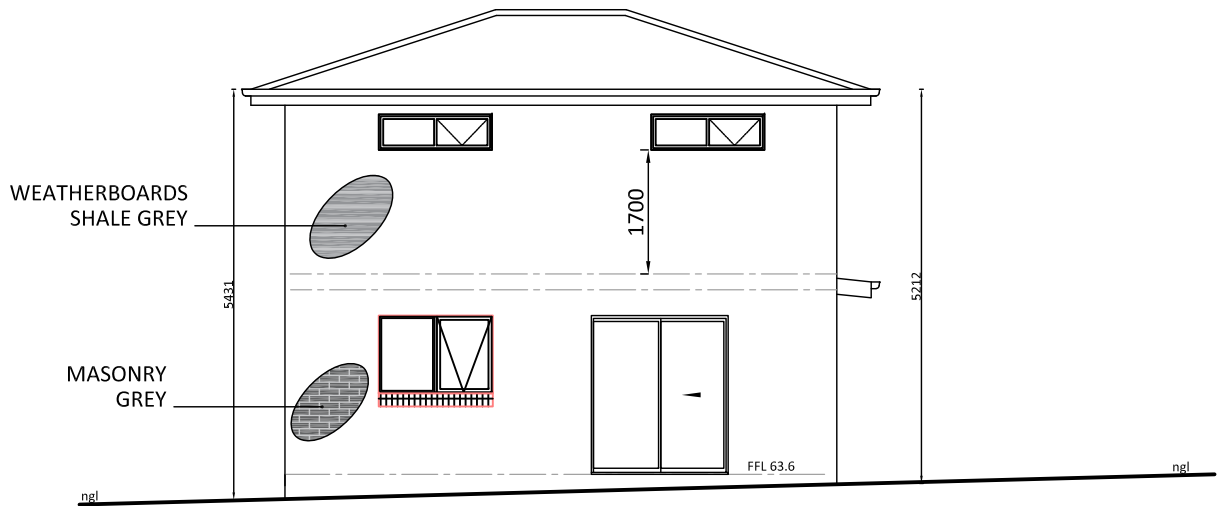
W WEST ELEVATION
Scale: 1:100



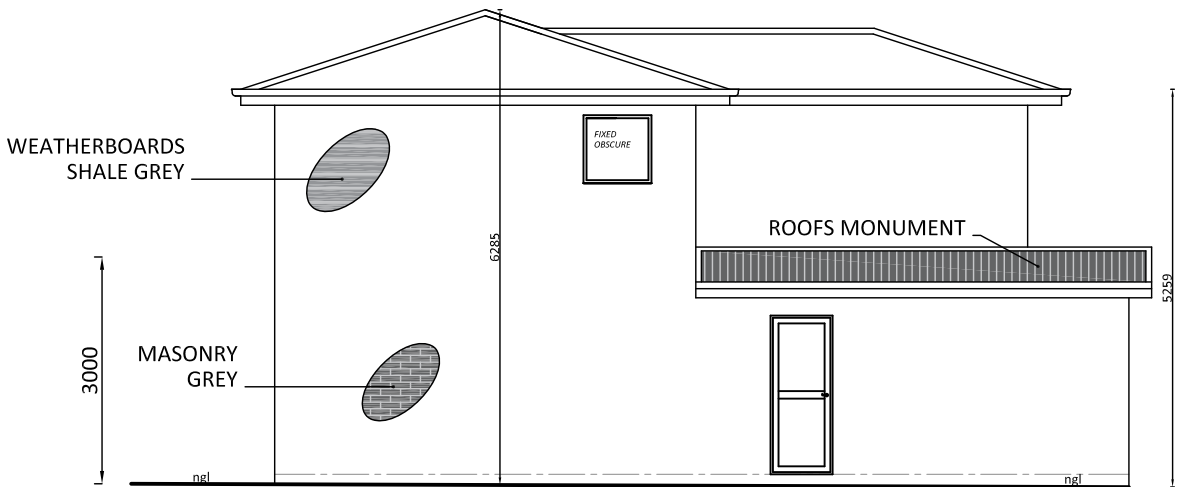
E EAST ELEVATION
Scale: 1:100



S SOUTH ELEVATION
Scale: 1:100



N NORTH ELEVATION
Scale: 1:100



W WEST ELEVATION
Scale: 1:100

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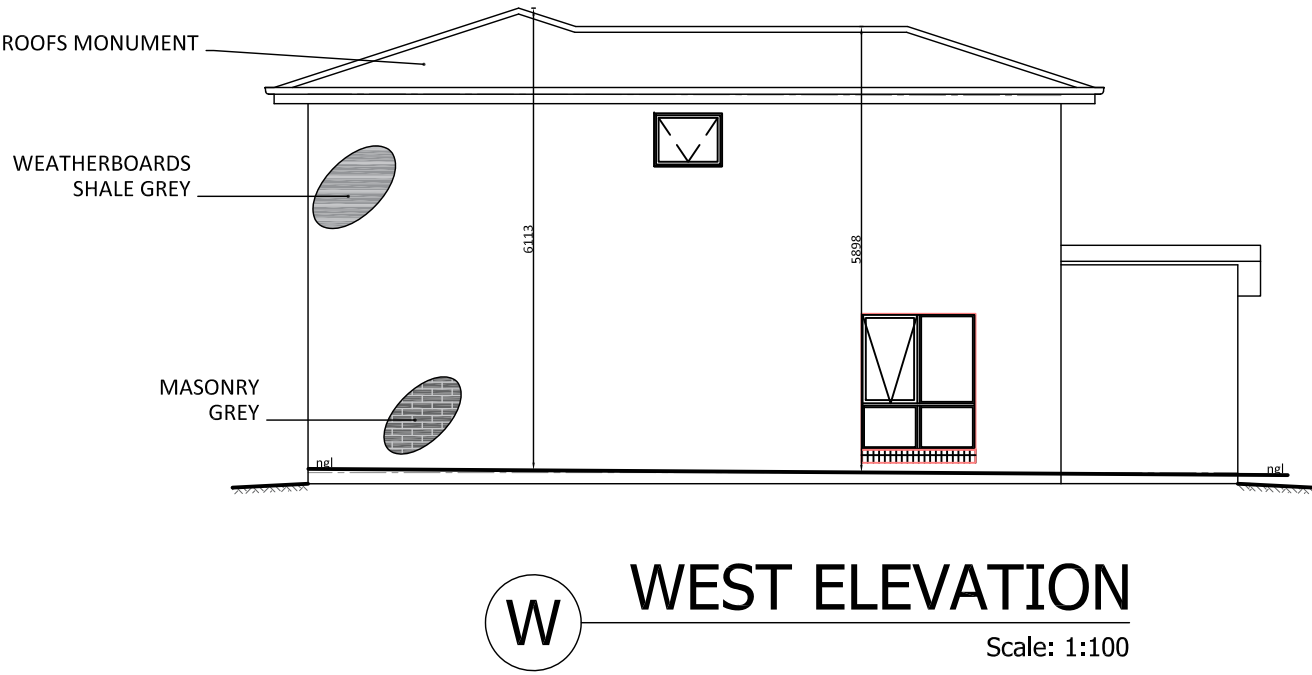
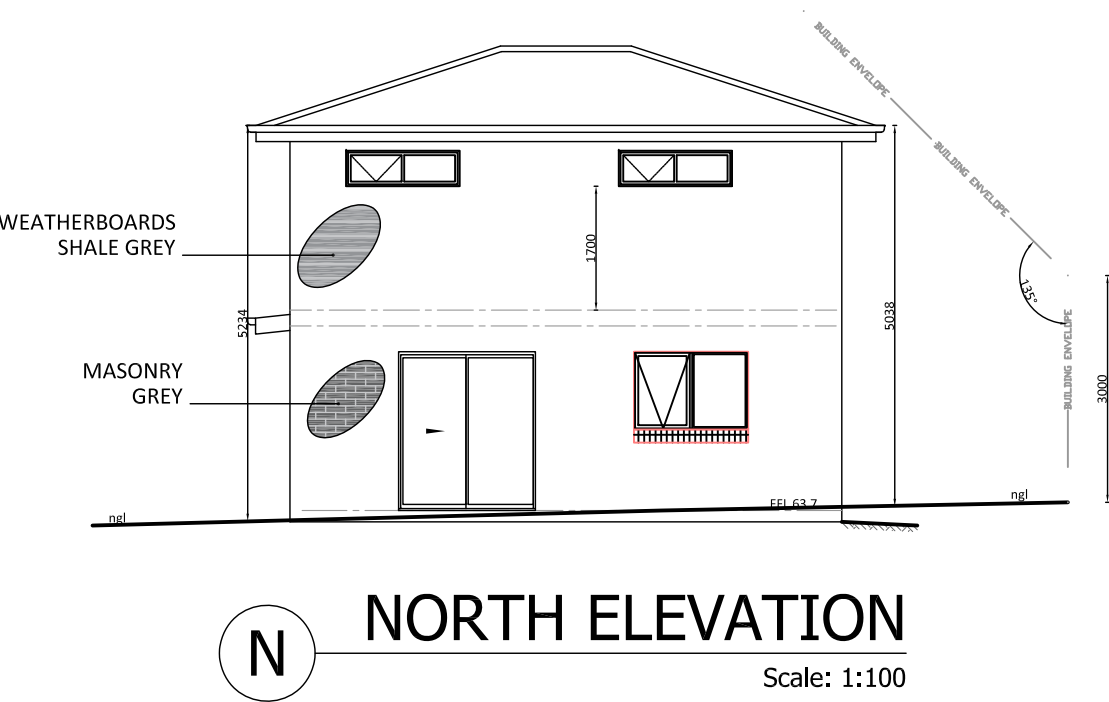
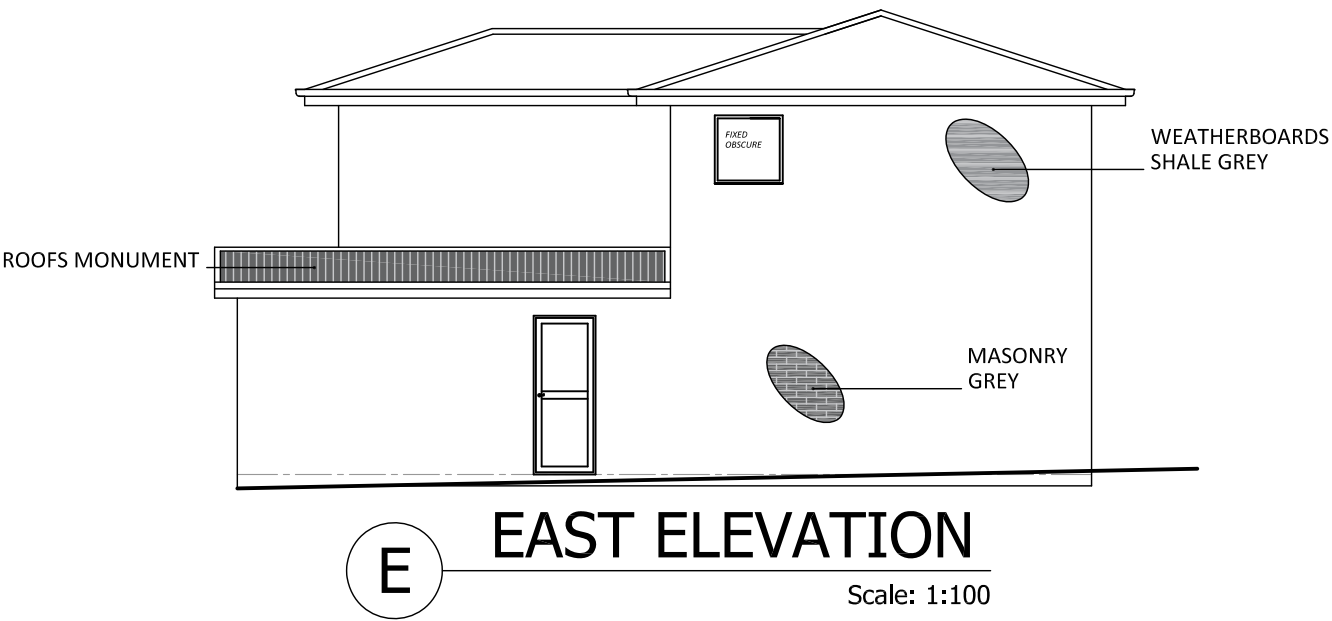


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CLIENT NAME:
CASERN INVESTMENTS PTY LTD
PROJECT ADDRESS:
18 HASKELL RD & 14 BESIER COURT, BRIGHTON TAS 7030
PROJECT:
MULTIPLE DWELLINGS

DRAWING TITLE:
UNIT 5 ELEVATIONS

DATE: 15/03/2021	SCALE: 1:100	DRAWN BY: PK
REVISION No: R:2 RFI	SHEET SIZE: A3	JOB No: 20-116
		SHEET No: P07.1



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CLIENT NAME:
CASERN INVESTMENTS PTY LTD
PROJECT ADDRESS:
18 HASKELL RD & 14 BESIER COURT, BRIGHTON TAS 7030
PROJECT:
MULTIPLE DWELLINGS

DRAWING TITLE:
UNIT 6 ELEVATIONS

DATE: 15/03/2021	SCALE: 1:100	DRAWN BY: PK
REVISION No: R:2 RFI	SHEET SIZE: A3	SHEET No: P08.1

ENGINEERING REPORT

DA#:	DA2020/311
Applicant:	Longview Design (Phil Krause)
Proposal:	Adhesion of two lots and development
Address:	18 Haskell Rd & 14 Besier Crt Brighton
Zone:	General Residential
Report completed:	Mark Simpson 30 April 2021

Brief Description	
Development Proposal	The application proposes to adhere the two adjoining lots and construct 8 two storey dwelling units. Dwellings are all similar in design and do not share any common walls. The existing lots are vacant, fully fenced, classified as flat with less than 1m of fall across and without trees or structures.
Parking and access (existing and proposed)	<p>The site fronts Haskell Road and Besier Court Place which are Council suburban roads still under Developer maintenance. Both are constructed to a sealed suburban standard with semi mountable concrete kerb & channel, concrete footpaths at property boundary, concrete driveway aprons throughout and grassed reserves at kerb edge.</p> <p>Access to 18 Haskell is via a 7m wide access strip between 14 & 20 Haskell Rd and access to 14 Besier Crt is via a 7m wide access strip between 12 & 16 Besier Crt.</p> <p>The design proposes the Haskell Rd access to be the only vehicle entry and egress corridor. The Besier access will be constructed as a pedestrian only thoroughfare and landscaped accordingly. A detailed landscaping plan has been submitted to support this undertaking. Parking proposed will consist of 8 garages, 8 allocated external spaces and 3 visitor parking spaces. Access and parking will be via concrete sealed surfaces throughout.</p> <p>A traffic Impact Assessment has not been provided with the application or requested as additional information</p>
Stormwater (existing and proposed)	Stormwater drainage is available for the estate. Proposed is to collect roof and hardstand stormwater, pipe this to two 5676 litre holding tanks for controlled release into the available gravity system.
Sewer and Water (existing and proposed)	<p>Sewer and water reticulation is available for the estate.</p> <p>The application has been submitted to TasWater who have imposed conditions.</p> <p>The proposal is considered acceptable to TasWater.</p>
Additional Comments	<p>Power supply is underground. NBN (FTTN) is available to the area.</p> <p>Services will be extended to the lot proper, or provision (such as conduits) be made for their extension. These services will need to be contained within acceptable corridors.</p>

Representations
<p>Two representations were received, both from direct neighbours to the development. These are as summarized as follows,</p> <ol style="list-style-type: none"> 1. Representor 1 Representor 1 claiming insufficient information and objecting to the following, <ol style="list-style-type: none"> a. Northern shared boundary fencing objectives. b. Fencing materials, height, and consistency. c. Fencing by other neighbours impacting on the overall visual appearance. d. Security concerns during construction. e. Shared costs that the development may impose.

- f. Impact of proposed landscaping on the fence structure and maintenance obligations.

2. Representor 2

Representor 2 objecting to the following,

- a. Traffic volumes from the single entry/exit and the corridor being located next to the representor's property.
- b. Location of rubbish/recycle bins neighboring the representors private open space, generation of odor, introduction of green waste bins and availability of street space for all bins on collection day.
- c. Character created from the introduction of two-story dwellings throughout and loss of privacy from raised level viewing.
- d. Property value decreases from infill development being next door.

Engineering assessment reviewed the following applicable from the above,

- 1. Fencing, security, and requirements in general.
- 2. Traffic volumes and impacts
- 3. Location of rubbish/recycling bins proposed, bin management on collection day and odor generation.

Fencing

The site is currently framed with a 1.8m high gap & lap timber paling fencing to the internal neighboring boundaries. To the rear is a 2.4m high commercial standard chainmesh fence topped with three strands of barbed wire.

This commercial diversion was most likely adopted pre-sub-division development as the neighboring properties are rural and the fence type satisfied the Developers need for construction site security and ongoing amenity.

Apart from internal unit fence partitioning, all fencing is complete. The proposal makes no application to alter or change fencing as it is presently on site.

The landscaping plan provided proposes the planting of "callistemon kings park special" at 4m centers along the chainmesh fence bordering 8 Linda Ave. This native flowering evergreen species will grow up to 4m high x 3m wide providing adequate privacy as well as attracting birds. This species is classified as noninvasive.

In response to the representors claims.

There is sufficient information within the application to assess the application.

Council has already endorsed the existing fences as they currently stand from neighboring approvals.

All fencing considered in keeping with the estate standard created, all are compliant and within height requirements.

The Developer has made no application to alter the existing fence materials, openings, or heights.

Landscape planting of along the chainmesh fence creates screening exceeding 75% on maturity.

Security

The site is presently partitioned by the development of neighbours providing fencing throughout.

In response to the representors claims.

Not for Council to consider within the application, however,

Construction activities would not require removal of fences or any fence section, maintaining separation and security.

Security objectives would place a high priority in maintaining the integrity of the existing chainmesh fence.

The fencing would satisfy the requirements of *Work Health & Safety Codes of practice*.

Fencing Cost Sharing

The matter of cost sharing of shared fences.

In response to the representors claims.

Not a matter for Council to consider as it is a private matter between neighbours.

Traffic Volumes Impacts

The design proposes a single point of entry and exit at Haskell Rd. The access width between existing fences is 7.0m and 24m long. The fences taper at street end for greater visibility by motorists and pedestrians.

The driveway access corridor has for its full length a 6.0m wide (approx.) apron.

In response to the representors claims.

The design is in accordance with the planning scheme.

Rubbish/Recycle/Greenwaste Bins

Concern has been raised as to the number of bins the site will accumulate with 8 dwelling units and the location of bins on collection day.

Currently this development would in total accumulate 16 mobile garbage bins (8 rubbish/8 recycling).

Concern for the number of bins accumulated if Brighton introduce a greenwaste bin.

Concern as to the available amount of street space for bins placed on the street on collection day.

Proposed is for the allocation of a designated storage area for bins on collection day only to allow for the safe speedy pick up of rubbish/recycling.

In response to the representors claims.

The developer has shown the storage of individual mobile rubbish/recycle bins for each unit within the rear curtilage of each unit. This disperses the bins evenly within the site and no bin is closer to 14 Haskell than that of any other neighbour.

The proposed bin day collection point is in the driveway as close to the street as possible. This meets industry best practice requirements for villas and townhouses, vehicle entry/exit dynamics and safety considerations.

Bins correctly stored and not overfilled will not present a litter, foraging animal or odor opportunity in either location as the opportunity is no greater in the proposal than elsewhere within the street.

Conditioning of the permit will ensure the collection day pick up area is not used for long term storage and good bin management practices are reinforced by the permit and strata rules.

Property Values

Loss of value to 18 Haskell Rd due to unit development behind.

In response to the representors claims.

Not an issue of Council or within its authority.

Mark discretionary clauses red

Mark clauses waiting on further info blue

Engineer to double check mark yellow

Parking & Sustainable Transport Code	Clause:	Proposed	Complies			PC Assessment/Comments
USE STANDARDS						
Number of Spaces	C2.5.1 A1	19	Yes ☒	No ☐	N/A ☐	8x2=16+3=19
Bicycle parking	C2.5.2 A1		Yes ☐	No ☐	N/A ☒	
Motorcycle parking	C2.5.3 A1		Yes ☐	No ☐	N/A ☒	

Loading bays	C2.5.4 A1		Yes <input type="checkbox"/>	No <input type="checkbox"/>	N/A <input checked="" type="checkbox"/>	
Parking spaces in GRZ & IRZ	C2.5.5 A1		Yes <input type="checkbox"/>	No <input type="checkbox"/>	N/A <input checked="" type="checkbox"/>	
DEVELOPMENT STANDARDS						
Construction of parking areas	C2.6.1 A1		Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	N/A <input type="checkbox"/>	Concrete fully drained throughout
Design & Layout (manoeuvring, etc.)	C2.6.2 A1.1		Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	N/A <input type="checkbox"/>	Subject to a parking design plan
Design & Layout (Disabled)	C2.6.2 A1.2		Yes <input type="checkbox"/>	No <input type="checkbox"/>	N/A <input type="checkbox"/>	Available
Number of accesses	C2.6.3 A1	1	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	N/A <input type="checkbox"/>	Access 6m wide x 27m long with side clearance
Lighting in GBZ	C2.6.4 A1		Yes <input type="checkbox"/>	No <input type="checkbox"/>	N/A <input checked="" type="checkbox"/>	
Pedestrian access (10 or more spaces)	C2.6.5 A1.1		Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	N/A <input type="checkbox"/>	Access off Besier St
Pedestrian (disability)	C2.6.5 A1.2		Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	N/A <input type="checkbox"/>	Besier St access
Loading bays (dimensions)	C2.6.6 A1		Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	N/A <input type="checkbox"/>	
Loading bays (entry & exit)	C2.6.6 A2		Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	N/A <input type="checkbox"/>	Subject to a parking design plan
Bike parking in GBZ (>5 bike spaces)	C2.6.7 A1		Yes <input type="checkbox"/>	No <input type="checkbox"/>	N/A <input checked="" type="checkbox"/>	
Bike parking in GBZ (dimensions)	C2.6.7 A2		Yes <input type="checkbox"/>	No <input type="checkbox"/>	N/A <input checked="" type="checkbox"/>	
Siting of parking	C2.6.8 A1		Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	N/A <input type="checkbox"/>	
Precinct Parking plan	C2.7.1		Yes <input type="checkbox"/>	No <input type="checkbox"/>	N/A <input checked="" type="checkbox"/>	

Road and Railway Assets	Clause:	Proposed	Complies	PC Assessment/Comments
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USE STANDARDS						
Traffic generation	C3.5.1 A1.1		Yes <input type="checkbox"/>	No <input type="checkbox"/>	N/A <input checked="" type="checkbox"/>	
	C3.5.1 A1.2		Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	N/A <input type="checkbox"/>	
	C3.5.1 A1.3		Yes <input type="checkbox"/>	No <input type="checkbox"/>	N/A <input checked="" type="checkbox"/>	
	C3.5.1 A1.4	Increase in vehicle movement s	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	N/A <input type="checkbox"/>	Meets Performance Criteria
	C3.5.1 A1.5		Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	N/A <input type="checkbox"/>	
DEVELOPMENT STANDARDS						
Habitable buildings	C3.6.1 A1		Yes <input type="checkbox"/>	No <input type="checkbox"/>	N/A <input checked="" type="checkbox"/>	
SUBDIVISION STANDARDS						
Subdivision within attenuation area	C3.7.1 A1		Yes <input type="checkbox"/>	No <input type="checkbox"/>	N/A <input checked="" type="checkbox"/>	

Stormwater comments
Hydraulic design provided by Aldanmark

Recommended Conditions

General

1. The use or development must be carried out substantially in accordance with the application for planning approval, the endorsed drawings and with the conditions of this permit and must not be altered or extended without the further written approval of Council.

Services

2. The developer must pay the cost of any alterations and/or reinstatement to existing services, Council infrastructure or private property incurred as a result of the development. Any work required is to be specified or undertaken by the authority concerned.

Parking and Access

3. At least **nineteen (19)** car parking spaces must be provided on the land at all times for the use of the development, including at least two (2) car parking spaces per dwelling and at least **three (3)** designated for visitor parking, in accordance with Australian Standard AS 2890.1- Parking Facilities Part 1: Off Street Car Parking.
4. Unless approved otherwise by Council's Municipal Engineer all parking, access ways, manoeuvring and circulation spaces must be provided in accordance the endorsed drawings, Australian Standard AS 2890 - Parking facilities, Parts 1-6 and include all of the following;
 - a) be constructed with a durable all weather pavement;
 - b) be drained to the public stormwater system, or contain stormwater on the site; and
 - c) be surfaced by a spray seal, asphalt, concrete, pavers or equivalent material to restrict abrasion from traffic and minimise entry of water to the pavement.
 - d) have a gradient in accordance with Australian Standard AS 2890 - Parking facilities, Parts 1-6;
 - e) provide for vehicles to enter and exit the site in a forward direction;
 - f) have an access width not less than **5.5m**;
 - g) have car parking space dimensions not less than 3.0m x 5.4m;
 - h) have car parking spaces delineated by line marking or other clear physical means.
5. A parking plan prepared and certified by a qualified civil engineer or other person approved by Council's Municipal Engineer must be submitted to Council prior to or in conjunction with lodgement of Building Application. The parking plan is to include:
 - pavement details,
 - pavement and concrete details in trafficable areas to accommodate a 22.5 tonne truck,
 - design surface levels and gradients,
 - drainage,
 - turning and travel paths (where required to demonstrate compliance with AS 2890.1) including medium rigid service vehicle requirements for waste removal,
 - dimensions,
 - line marking,
 - signage,
 - pedestrian access,

and shall form part of the permit once accepted.
6. The completed parking and associated turning areas and access must be certified by a practicing civil engineer to the effect that they have been constructed in accordance with the endorsed drawings and specifications approved by Council before the use commences.

7. All areas set-aside for parking and associated turning, and access must be completed before the use commences and must continue to be maintained to the satisfaction of the Council's Municipal Engineer.

Access to Public Road

ADVICE: No works on or affecting any Council road reservation is to be commenced until the Brighton Council has issued a WORKS IN ROAD RESERVATION PERMIT. Application for the issue of the necessary works permit is to be made to the Brighton Council's Asset Services department prior to the proposed date of commencement of any works.

Stormwater

8. Stormwater from the proposed development must drain to the piped public stormwater system to the satisfaction of Council's Municipal Engineer and in accordance with the Building Act 2016.
9. The Developer is to incorporate Water Sensitive Urban Design Principles into the development for the treatment and disposal of stormwater. These Principles will be in accordance with the Water Sensitive Urban Design Procedures for Stormwater Management in Southern Tasmania and to the satisfaction of the Council's Municipal Engineer.

Alternatively;

The developer may make a financial contribution to Brighton Council for the provision of stormwater treatment in accordance with Council Policy *Water Sensitive Urban Design Contributions Policy - Tasmanian Planning Scheme*.

Advice: A copy of Policy 6.1 Interim Water Sensitive Urban Design Contributions can be obtained from Council's Asset Services Department.

10. Where stormwater treatment is provided, the stormwater treatment system must continue to be maintained to ensure the quality targets in accordance with the State Stormwater Strategy 2010 are maintained and water is conveyed so as not to create any nuisance to adjacent properties.
11. The driveway must be drained to minimise surface runoff over adjoining land in accordance with the requirements of the Municipal Engineer and in accordance with the Building Act 2016.

Soil and Water Management

12. Before any work commences a soil and water management plan (SWMP) prepared in accordance with the guidelines *Soil and Water Management on Building and Construction Sites*, by the Derwent Estuary Programme and NRM South, must be approved by Council's General Manager before development of the land commences. The SWMP shall form part of this permit when approved.

13. Before any work commences install temporary run-off, erosion and sediment controls in accordance with the recommendations of the approved SWMP and maintain these controls at full operational capacity until the land is effectively rehabilitated and stabilised after completion of the development in accordance with the guidelines Soil and Water Management on Building and Construction Sites, by the Derwent Estuary Programme and NRM South and to the satisfaction of Council's General Manager.

Construction amenity

14. The road frontage of the development site including road, kerb and channel, footpath and nature strip, must be,
 - (a) Surveyed prior to construction, photographed, documented and any damage or defects be noted in a dilapidation survey to be provided to Council's Asset Services Department prior to construction.
 - (b) Be protected from damage, heavy equipment impact, surface scratching or scraping and be cleaned on completion.
 - (c) In the event a dilapidation report is not provided to Council prior to commencement, any damage on completion will be deemed a result of construction activity requiring replacement prior to approval.
15. All works associated with the development of the land shall be carried out in such a manner so as not to unreasonably cause injury to, or prejudice or affect the amenity, function and safety of any adjoining or adjacent land, and of any person therein or in the vicinity thereof, by reason of:
16. Public roadways or footpaths must not be used for the storage of any construction materials or wastes, for the loading/unloading of any vehicle or equipment; or for the carrying out of any work, process or tasks associated with the project during the construction period.
17. The developer must make good and/or clean any footpath, road surface or other element damaged or soiled by the development to the satisfaction of the Council's Municipal Engineer.

Possible Subdivision Conditions

Easements

1. Easements must be created over all drains, pipelines, wayleaves, and services in accordance with the requirements of the Council's Municipal Engineer. The cost of locating and creating the easements shall be at the subdivider's full cost.

Final plan

2. A final approved plan of survey and schedule of easements as necessary, together with two (2) copies, must be submitted to Council for sealing. The final approved plan of survey must be substantially the same as the endorsed plan of subdivision and must be prepared in accordance with the requirements of the Recorder of Titles.
3. The subdivider must pay any Titles Office lodgment fees direct to the Recorder of Titles.

Property Services

4. Any redundant property connections are to be capped and sealed or removed to the satisfaction of the Council's Municipal Engineer and the responsible authority.

Vehicular Access

5. Unless approved otherwise by Council's Municipal Engineer the redundant driveway apron off Besier Court is to be removed and the nature strip reinstated.

SHEET DRAWING TITLE

01: (H) SITE PLAN

o1a: (G) DRAINAGE PLAN

o1b: (G) LANDSCAPE PLAN

02: (G) UNIT 1 GROUND FLOOR PLAN

o2a: (G) UNIT 1 FIRST FLOOR PLAN

03: (G) UNIT 1 ELEVATIONS

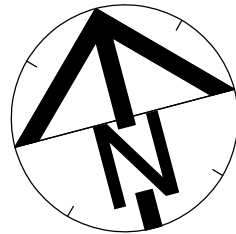
04: (G) UNIT 2 GROUND FLOOR PLAN

o4a: (G) UNIT 2 FIRST FLOOR PLAN

05: (G) UNIT 2 ELEVATIONS

H	Relocate Unit 2 POS from deck to eastern side of dwelling.	01	23 March 2021	RJ	LH
G	Rotate Unit 2 and relocate both units to fit within building envelope, adjust driveway to match, relocate Unit 2 deck, increase Garage door size to 2700 wide, remove screens from decks. Update all relevant plans.	01 - 05 & Electrical plans	8 January 2021	ST	RJ
F	COUNCIL RFI: Extend decks to be 12m² for P.O.S both units.	01 & 01b-05 & Electrical plans	29 May 2020	RJ	MM
E	COUNCIL AMENDMENT: Provide building envelopes to unit 2 north and south elevations. Provide section demonstrating unit 2 private space compliance with planning scheme	05 & 05a	17 March 2020	MM	JM
D	Change from timber floor to slabs, update plans accordingly.	01, 01a, 01b, 02, 03 & 05	15 January 2020	SS	CK
C	COUNCIL AMENDMENT: Provide building envelopes to U2, relocate U2 (now has a 3m side setback), relocate U1 (now has a 1.5m side setback), show 5.5m wide x 6m long passing bay at entry, add landscape plan	01, 01a, 01b, 03 & 05	19 December 2019	SS	MM
B	Drainage changes as per client request	01a	31 July 2019	RJ	CK
DA	DA Plan Set.	01 - 05	27 June 2019	JM	MM

						Designer:	Client / Project info:	TITLE REFERENCE: CT140155/9 FLOOR AREAS: Refer to Floor Plan PORCH/DECK AREAS: Refer to Floor Plan WIND SPEED: TBC SOIL CLASSIFICATION: TBC CLIMATE ZONE: 7 ALPINE AREA: N/A CORROSION ENVIRONMENT: Moderate CERTIFIED B.A.L: TBC DESIGNED B.A.L: TBC (REFER TO STANDARD NOTES FOR EXPLANATIONS)	COVER SHEET		
A	Reduce size of units and mirror dwelling position to reduce overshadowing to neighbouring building.	-	27 June 2019	JM	-	ANOTHER PERSPECTIVE PTY LTD PO BOX 21 NEW TOWN LIC. NO. CC2204H (A. Strugnell) Ph: (03) 6231 4122 Fx: (03) 6231 4166 Email: info@anotherperspective.com.au	PROPOSED FRENDO RESIDENCE 62 Jetty Road, OLD BEACH		Drawn	AP2018-1548	
PR	PRELIM DA Plan Set.	01 - 03	12 February 2019	JM	-				Date	27 June 2019	Sheet
									Scale	N/A	oo/o5
No.	Amendment	Sheet	Date	Drawn	Check						



PROPOSED NEW RESIDENCE

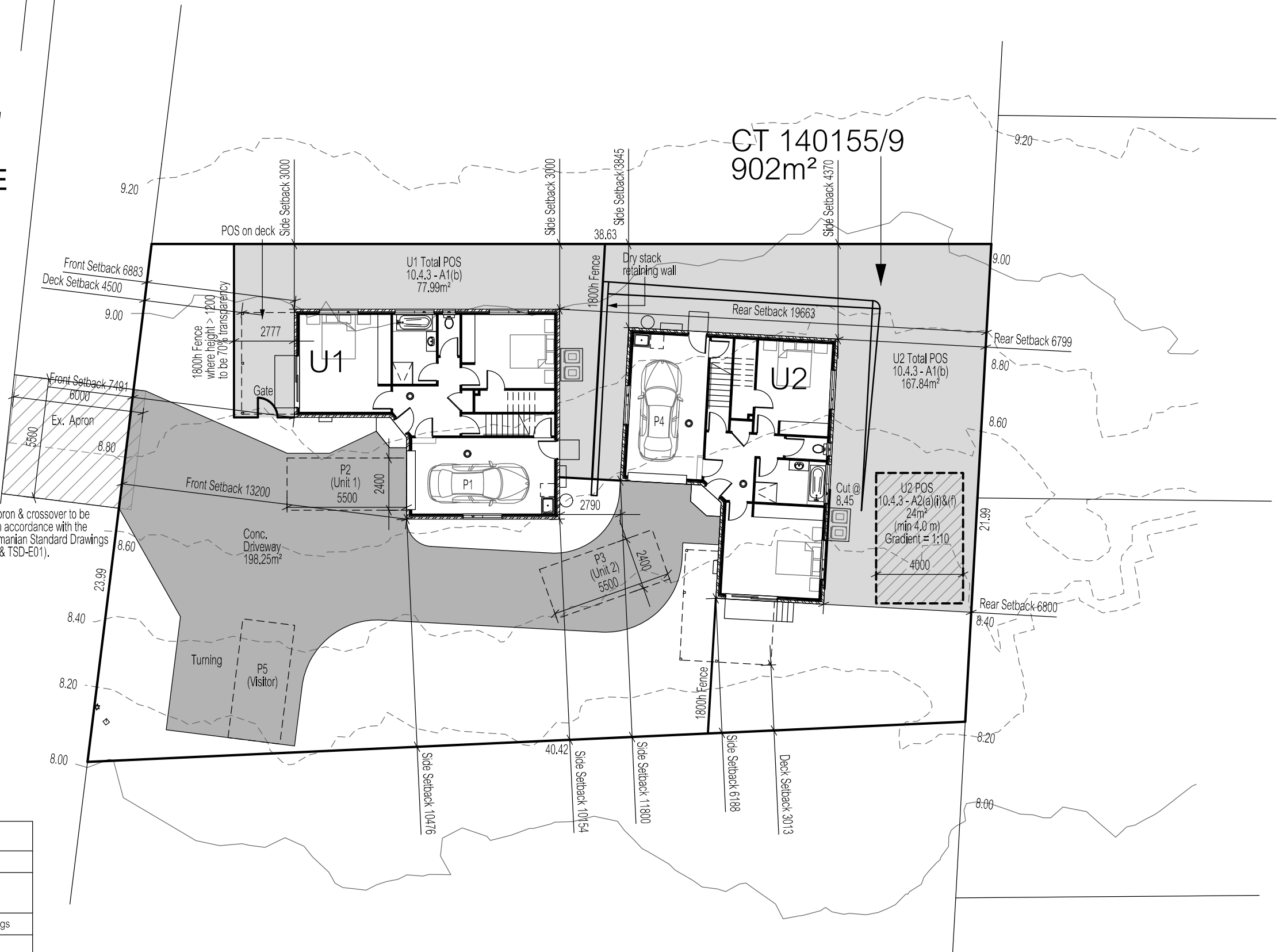
UNIT 1 GARAGE FLOOR FFL: 8.80
UNIT 1 GROUND FLOOR FFL: 9.15
UNIT 1 FIRST FLOOR FFL: 11.91

UNIT 2 GARAGE GROUND FFL: 8.60
UNIT 2 GROUND FLOOR FFL: 8.95
UNIT 2 FIRST FLOOR FFL: 11.71

JETTY ROAD

Waste Storage
10.4.8 A1
Min 1.5m² per unit (2 units)
3.00m² provided

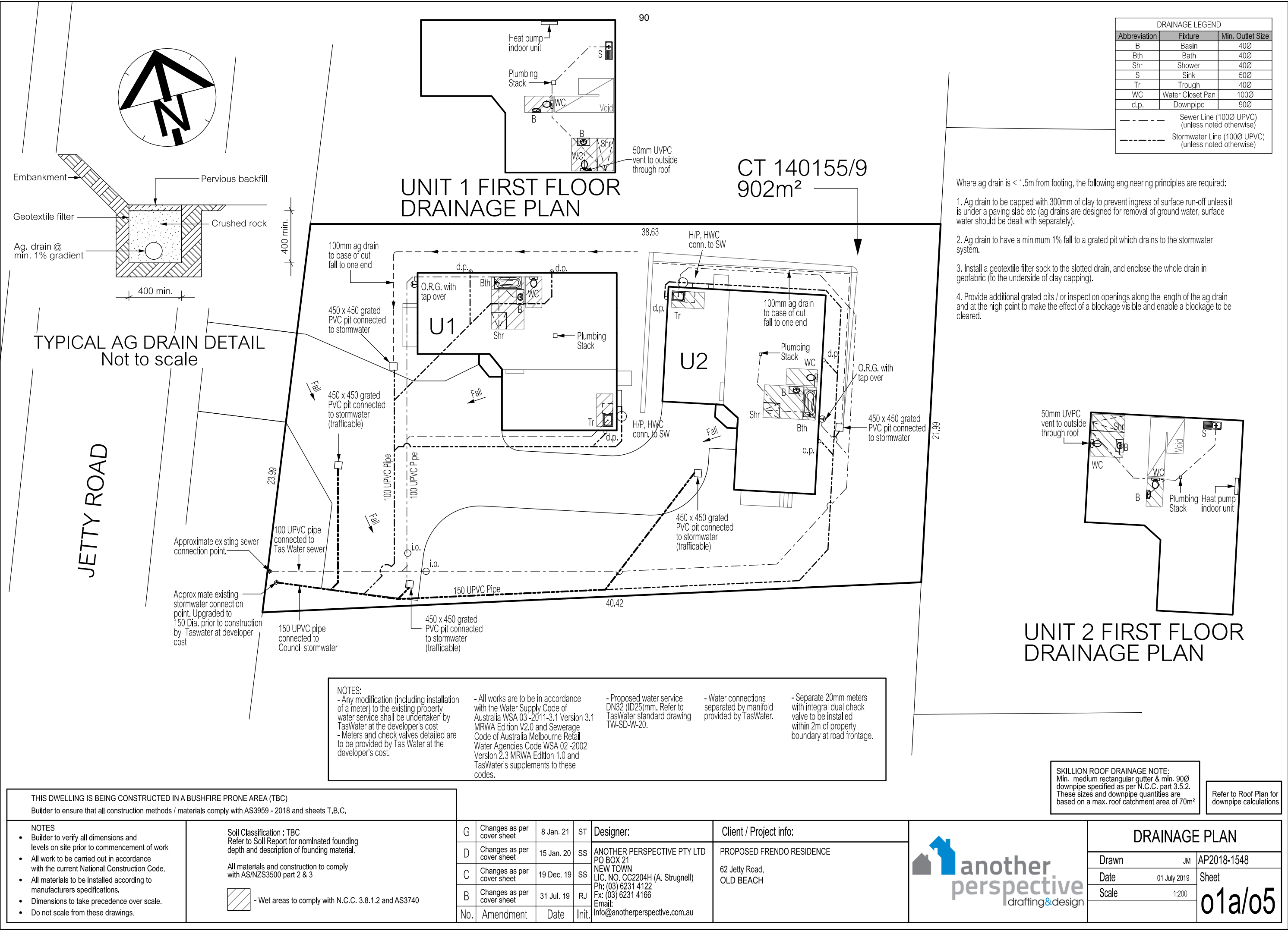
Existing apron & crossover to be widened in accordance with the LGAT Tasmanian Standard Drawings (TSD-R09 & TSD-E01).



EXPLANATORY NOTES: BRIGHTON COUNCIL INTERIM PLANNING SCHEME			
10.4.1- Residential density for multiple dwellings			
A1	(a)	Site Density:	Min. 325m ² per unit 902m ² / 2 (units) = 451m ² provided
10.4.3 - Site coverage and private open space for all dwellings			
A1	(a)	Site Coverage:	Max. 50% of Site = 451,00m ² Proposed site coverage: 182,74m ² (20.26%)

THIS DWELLING IS BEING CONSTRUCTED IN A BUSHFIRE PRONE AREA (TBC)
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NOTES • Builder to verify all dimensions and levels on site prior to commencement of work • All work to be carried out in accordance with the current National Construction Code. • All materials to be installed according to manufacturers specifications. • Dimensions to take precedence over scale. • Do not scale from these drawings.					G	Changes as per cover sheet	8 Jan. 21	ST	Designer:	Client / Project info:		SITE PLAN	
					F	Changes as per cover sheet	29 May 20	RJ	ANOTHER PERSPECTIVE PTY LTD PO BOX 21 NEW TOWN LIC. NO. CC2204H (A. Strugnell) Ph: (03) 6231 4122 Fx: (03) 6231 4166 Email: info@anotherperspective.com.au	PROPOSED FRENDO RESIDENCE		Drawn	JM AP2018-1548
					D	Changes as per cover sheet	15 Jan. 20	SS		62 Jetty Road, OLD BEACH		Date	20 March 2019 Sheet
					C	Changes as per cover sheet	19 Dec. 19	SS				Scale	1:200
	No.	Amendment	Date	Init.	No.	Amendment	Date	Init.				01/05	



DRAINAGE LEGEND		
Abbreviation	Fixture	Min. Outlet Size
B	Basin	40Ø
Bth	Bath	40Ø
Shr	Shower	40Ø
S	Sink	50Ø
Tr	Trough	40Ø
WC	Water Closet Pan	100Ø
d.p.	Downpipe	90Ø
----- Sewer Line (100Ø UPVC) (unless noted otherwise)		
----- Stormwater Line (100Ø UPVC) (unless noted otherwise)		

Where ag drain is < 1.5m from footing, the following engineering principles are required:

1. Ag drain to be capped with 300mm of clay to prevent ingress of surface run-off unless it is under a paving slab etc (ag drains are designed for removal of ground water, surface water should be dealt with separately).
2. Ag drain to have a minimum 1% fall to a grated pit which drains to the stormwater system.
3. Install a geotextile filter sock to the slotted drain, and enclose the whole drain in geofabric (to the underside of clay capping).
4. Provide additional grated pits / or inspection openings along the length of the ag drain and at the high point to make the effect of a blockage visible and enable a blockage to be cleared.

UNIT 2 FIRST FLOOR DRAINAGE PLAN

SKILLION ROOF DRAINAGE NOTE:
Min. medium rectangular gutter & min. 90Ø downpipe specified as per N.C.C. part 3.5.2. These sizes and downpipe quantities are based on a max. roof catchment area of 70m²

Refer to Roof Plan for downpipe calculations

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Soil Classification : TBC
Refer to Soil Report for nominated founding depth and description of founding material.

All materials and construction to comply with AS/NZS3500 part 2 & 3

- Wet areas to comply with N.C.C. 3.8.1.2 and AS3740

G	Changes as per cover sheet	8 Jan. 21	ST	Designer:
D	Changes as per cover sheet	15 Jan. 20	SS	ANOTHER PERSPECTIVE PTY LTD PO BOX 21 NEW TOWN LIC. NO. CC2204H (A. Strugnell) Ph: (03) 6231 4122 Fx: (03) 6231 4166 Email: info@anotherperspective.com.au
C	Changes as per cover sheet	19 Dec. 19	SS	
B	Changes as per cover sheet	31 Jul. 19	RJ	
No.	Amendment	Date	Init.	

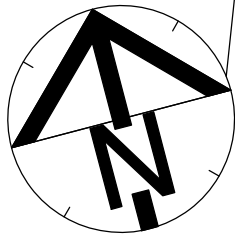
Client / Project info:

PROPOSED FREND0 RESIDENCE

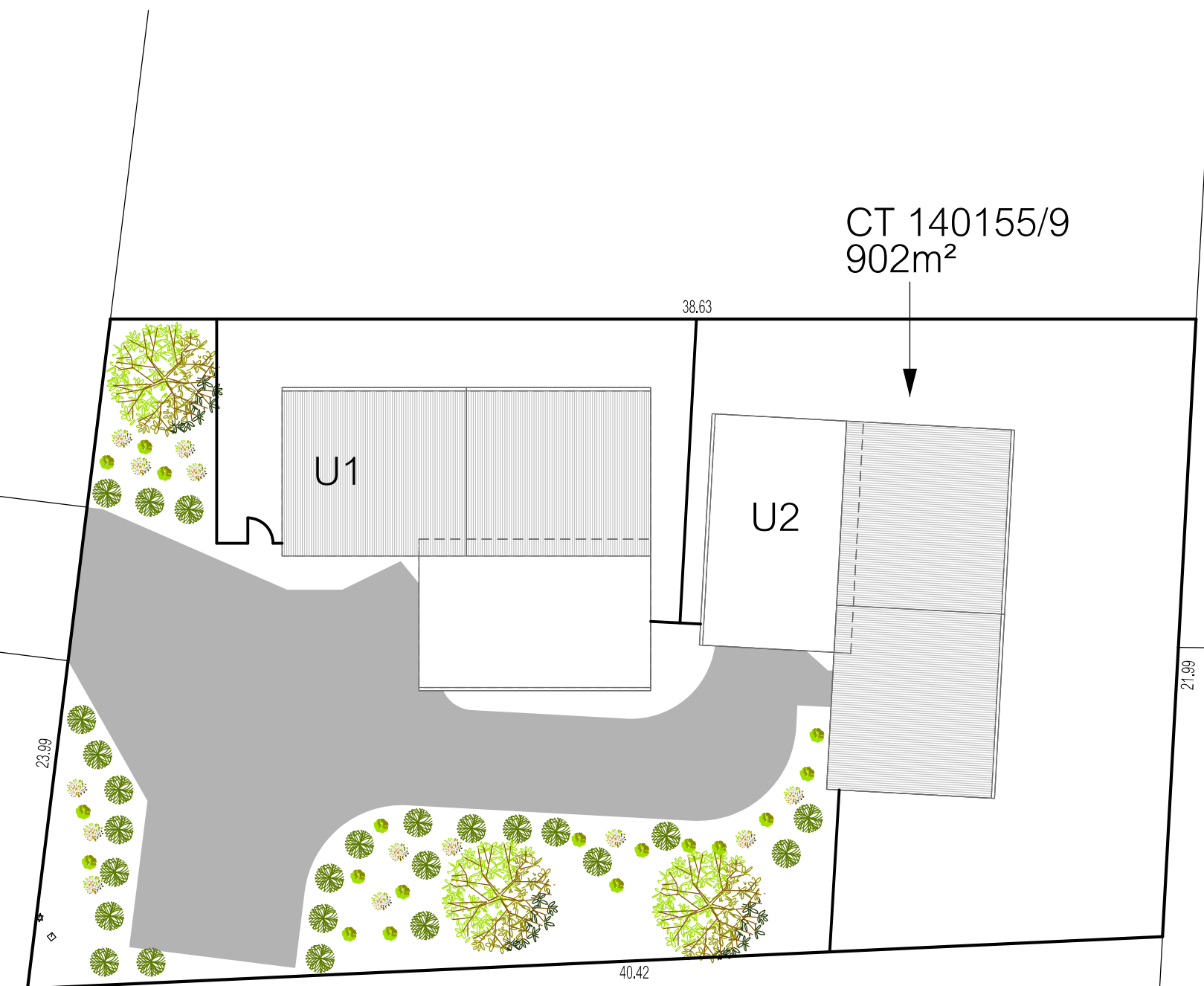
62 Jetty Road,
OLD BEACH







DRAINAGE PLAN		
Drawn	JM	AP2018-1548
Date	01 July 2019	Sheet
Scale	1:200	
01a/o5		



JETTY ROAD



CT 140155/9
902m²

SPECIES	SIZE	No.
MEDIUM SIZED TREE/BUSH		
 Eucalyptus Leucoxydon (Euky Dwarf)	15.0m H x 8.0m W	3
SMALL - MEDIUM SIZED PLANT		
 Lomandra	0.6m H x 1.0m W	25
 Diplarrena Moraea	0.8m H x 0.6m W	13
 Dianella	0.5m H x 0.5m W	18
NOTE - Pine bark to planted garden beds		

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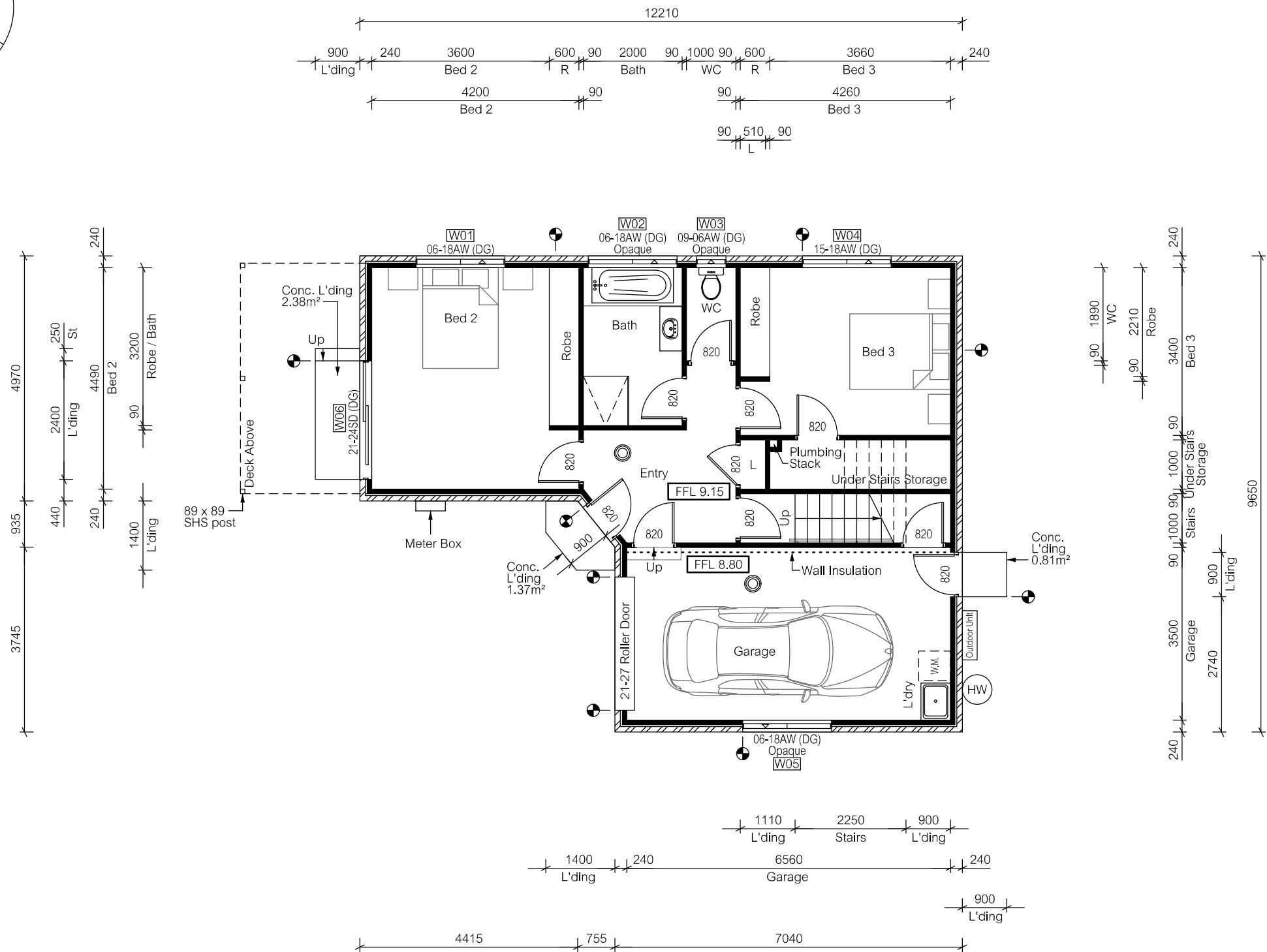
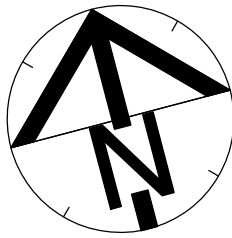
G	Changes as per cover sheet	8 Jan. 21	ST	Designer:
F	Changes as per cover sheet	29 May 20	RJ	ANOTHER PERSPECTIVE PTY LTD PO BOX 21 NEW TOWN LIC. NO. CC2204H (A. Strugnelli) Ph: (03) 6231 4122 Fx: (03) 6231 4166 Email: info@anotherperspective.com.au
D	Changes as per cover sheet	15 Jan. 20	SS	
C	Changes as per cover sheet	19 Dec. 19	SS	
No.	Amendment	Date	Init.	

Client / Project info:
PROPOSED FRENDO RESIDENCE 62 Jetty Road, OLD BEACH



LANDSCAPE PLAN		
Drawn	SS	AP2018-1548
Date	19 December 2019	Sheet
Scale	1:200	o1b/o5

NOTE: For lightweight cladding, dimensioning is to external edge of studwork NOT to cladding.



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FLOOR AREA = 93.98 sqm

- Articulation joints
- Smoke Alarm (interconnected where more than 1)

ALL window sizes to be checked and/or confirmed on site prior to ordering glazing units.

				Designer:	Client / Project info:
G	Changes as per cover sheet	8 Jan. 21	ST	ANOTHER PERSPECTIVE PTY LTD PO BOX 21 NEW TOWN LIC. NO. CC2204H (A. Strugnell) Ph: (03) 6231 4122 Fx: (03) 6231 4166 Email: info@anotherperspective.com.au	PROPOSED FRENDO RESIDENCE
F	Changes as per cover sheet	29 May 20	RJ		
D	Changes as per cover sheet	15 Jan. 20	SS		
No.	Amendment	Date	Init.		

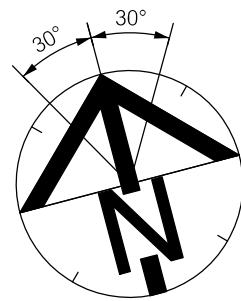


UNIT 1 GROUND FLOOR PLAN

Drawn	JM	AP2018-1548
Date	27 June 2019	Sheet
Scale	1:100	

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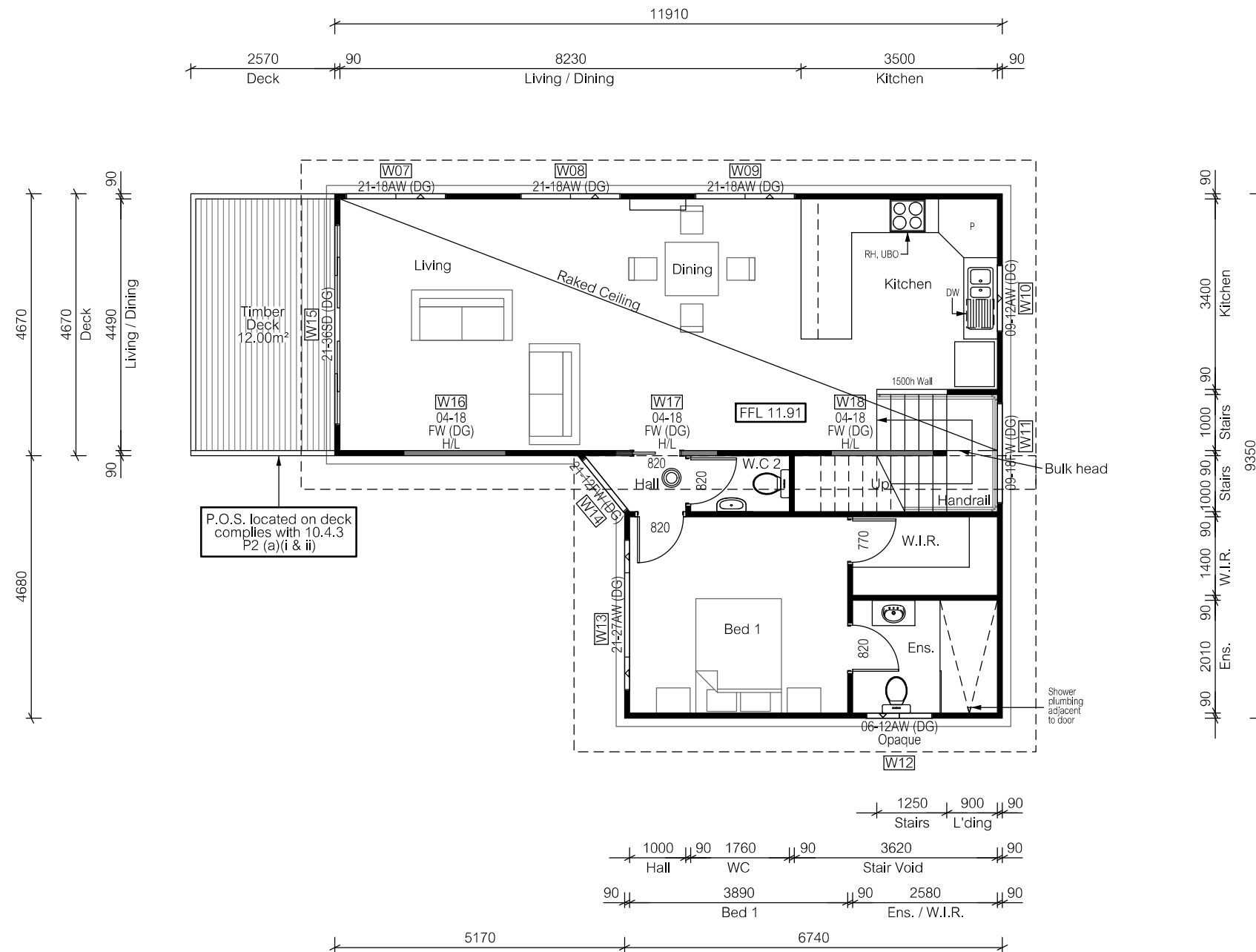
02/05



PD4.1 clause 10.4.4
W07 - W09 satisfy A1.

93

NOTE: For lightweight
cladding, dimensioning is to
external edge of studwork
NOT to cladding.



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FLOOR AREA = 87.59 sqm

- Articulation joints
- Smoke Alarm (interconnected where more than 1)

ALL window sizes to be
checked and/or confirmed
on site prior to ordering
glazing units.

				Designer:	Client / Project info:
				ANOTHER PERSPECTIVE PTY LTD PO BOX 21 NEW TOWN LIC. NO. CC2204H (A. Strugnell) Ph: (03) 6231 4122 Fx: (03) 6231 4166 Email: info@anotherperspective.com.au	PROPOSED FREND0 RESIDENCE 62 Jetty Road, OLD BEACH
G	Changes as per cover sheet	8 Jan. 21	ST		
F	Changes as per cover sheet	29 May 20	RJ		
No.	Amendment	Date	Init.		

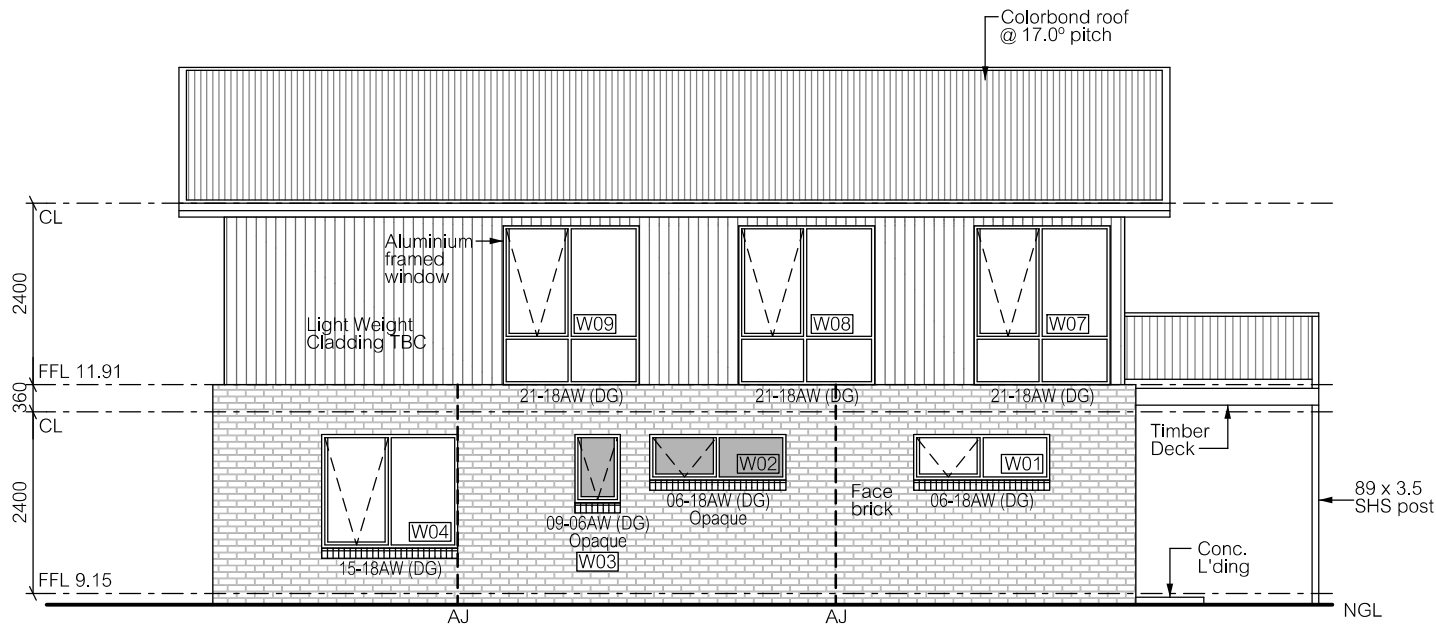


UNIT 1 FIRST FLOOR PLAN

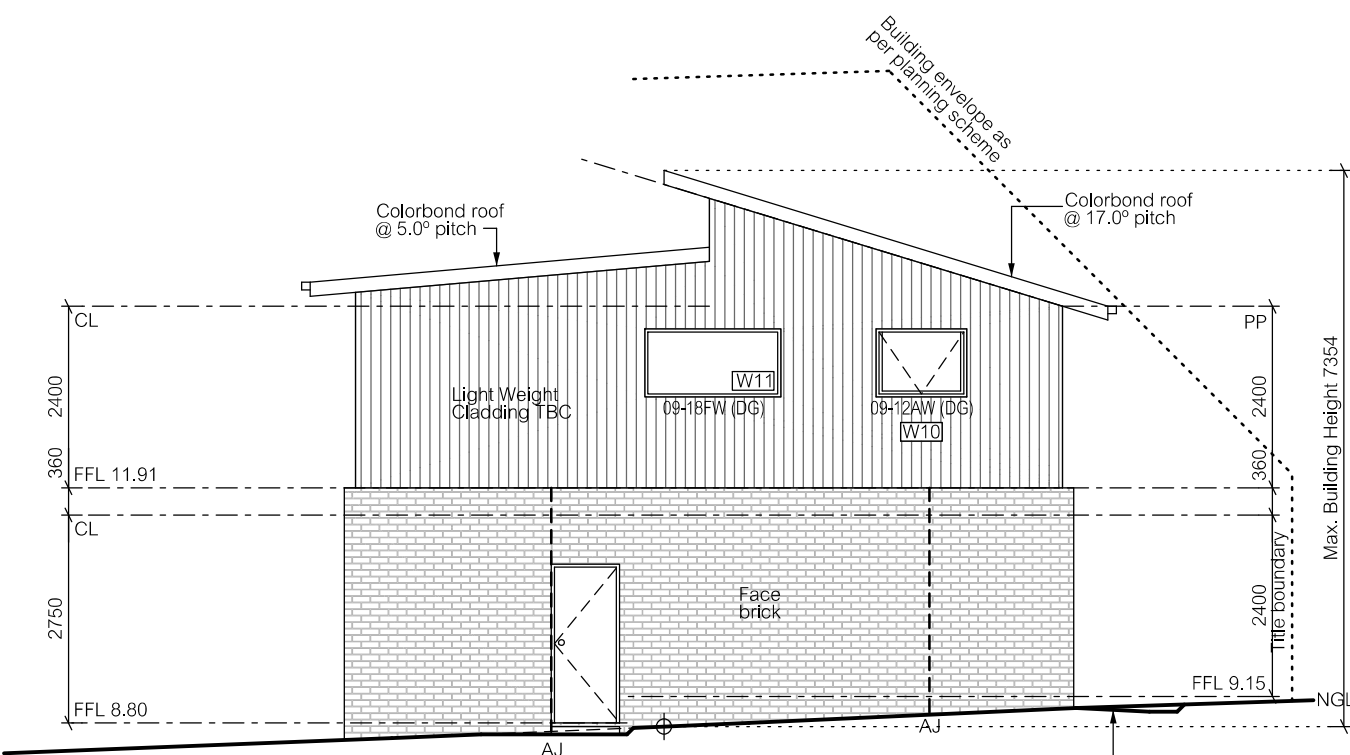
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Date	27 June 2019	Sheet
Scale	1:100	

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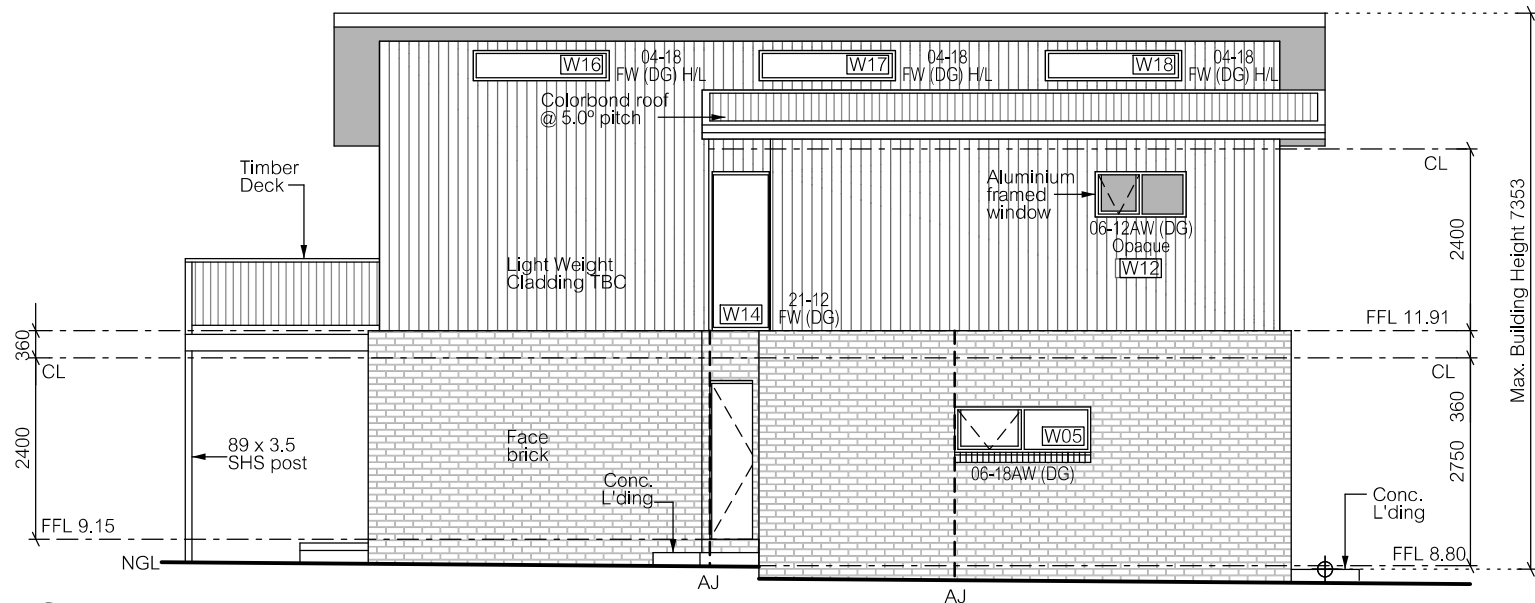
o2a/o5



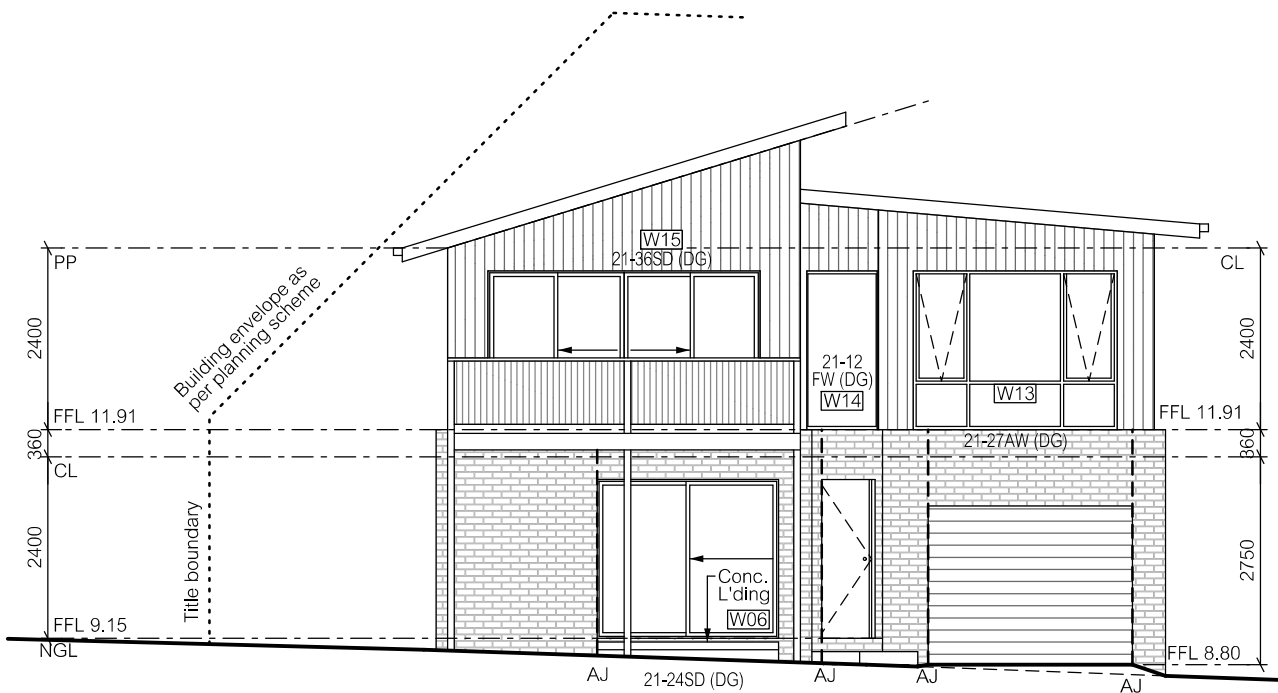
North Elevation




East Elevation



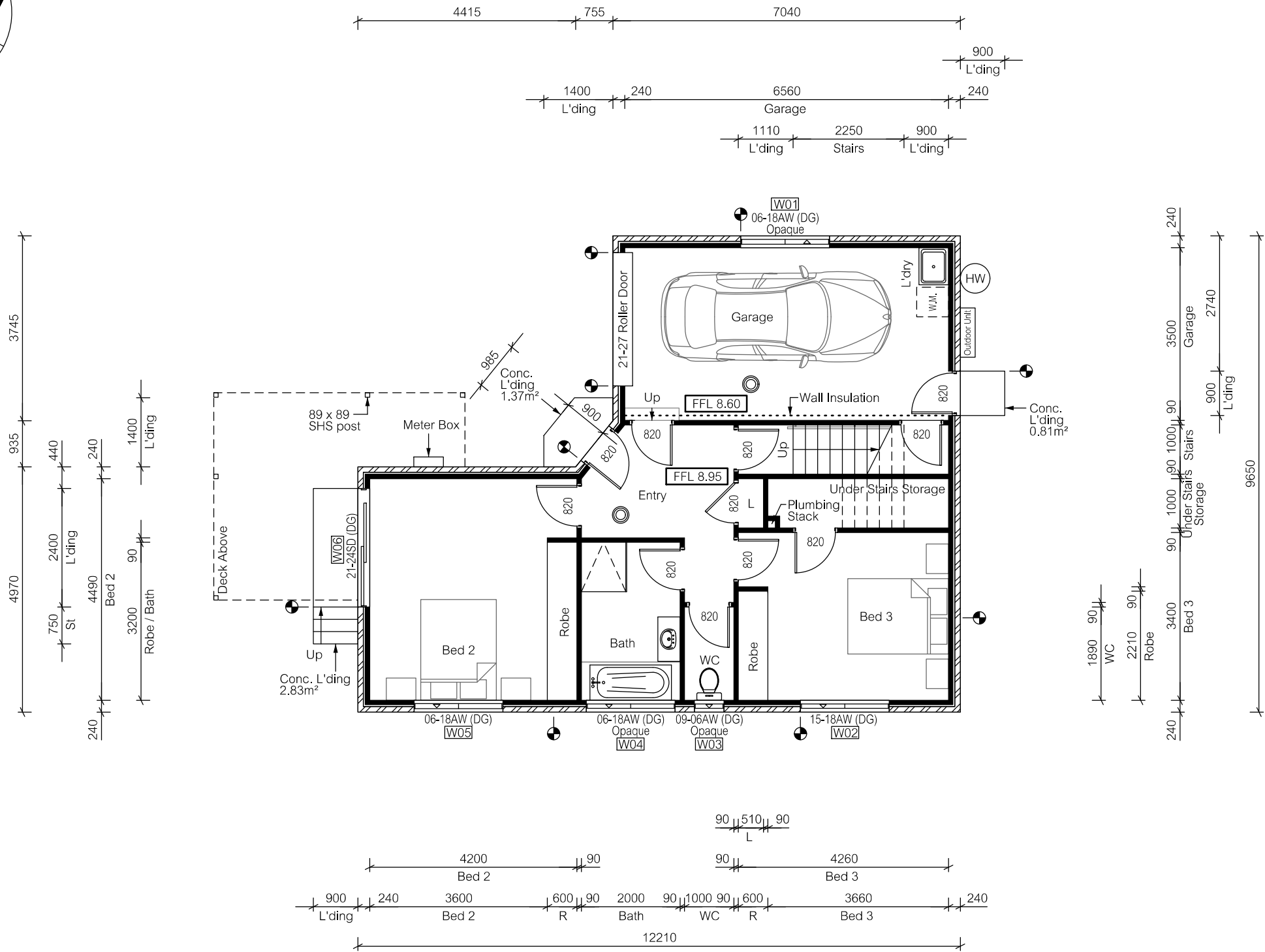
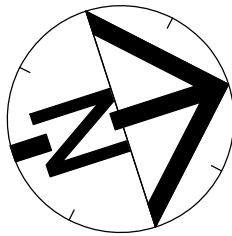
South Elevation



West Elevation

THIS DWELLING IS BEING CONSTRUCTED IN A BUSHFIRE PRONE AREA (TBC) Builder to ensure that all construction methods / materials comply with AS3959 - 2018 and sheets T.B.C.												
<div>NOTES</div> <ul style="list-style-type: none">• Builder to verify all dimensions and levels on site prior to commencement of work• All work to be carried out in accordance with the current National Construction Code.• All materials to be installed according to manufacturers specifications.• Dimensions to take precedence over scale.• Do not scale from these drawings.	<div>ALL window sizes to be checked and/or confirmed on site prior to ordering glazing units.</div>	G	Changes as per cover sheet	8 Jan. 21	ST	Designer:	Client / Project info:	<div></div>	UNIT 1 ELEVATIONS			
		F	Changes as per cover sheet	29 May 20	RJ	ANOTHER PERSPECTIVE PTY LTD PO BOX 21 NEW TOWN LIC. NO. CC2204H (A. Strugnell) Ph: (03) 6231 4122 Fx: (03) 6231 4166 Email: info@anotherperspective.com.au	PROPOSED FRENDO RESIDENCE 62 Jetty Road, OLD BEACH		Drawn	JM	AP2018-1548	
		D	Changes as per cover sheet	15 Jan. 20	SS				Date	27 June 2019	Sheet	
		C	Changes as per cover sheet	19 Dec. 19	SS				Scale	1:100	03/05	
		No.	Amendment	Date	Init.				© Copyright 2018			

NOTE: For lightweight cladding, dimensioning is to external edge of studwork NOT to cladding.



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FLOOR AREA = 93.98 sqm

- Articulation joints
- Smoke Alarm (interconnected where more than 1)

ALL window sizes to be checked and/or confirmed on site prior to ordering glazing units.

No.	Amendment	Date	Init.	Designer:
G	Changes as per cover sheet	8 Jan. 21	ST	ANOTHER PERSPECTIVE PTY LTD PO BOX 21 NEW TOWN LIC. NO. CC2204H (A. Strugnell) Ph: (03) 6231 4122 Fx: (03) 6231 4166 Email: info@anotherperspective.com.au
F	Changes as per cover sheet	29 May 20	RJ	

Client / Project info:
PROPOSED FREND0 RESIDENCE
62 Jetty Road,
OLD BEACH



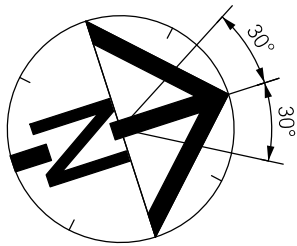
UNIT 2 GROUND FLOOR PLAN

Drawn	JM	AP2018-1548
Date	27 June 2019	Sheet
Scale	1:100	

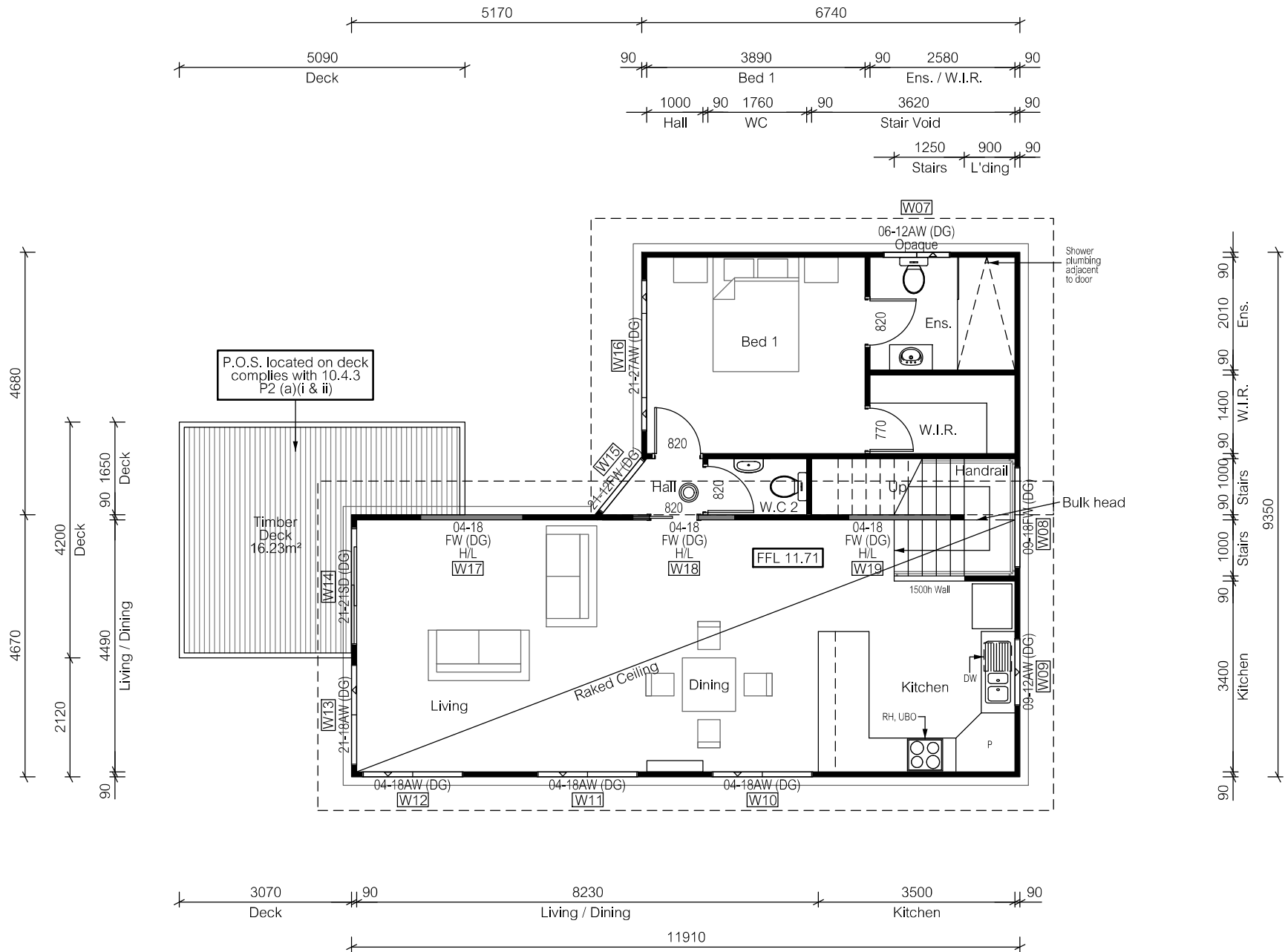
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04/05

NOTE: For lightweight cladding, dimensioning is to external edge of studwork NOT to cladding.



PD4.1 clause 10.4.4
W08 - W09 satisfy A1.



THIS DWELLING IS BEING CONSTRUCTED IN A BUSHFIRE PRONE AREA (TBC)
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FLOOR AREA = 87.59 sqm

- Articulation joints
- Smoke Alarm (interconnected where more than 1)

ALL window sizes to be checked and/or confirmed on site prior to ordering glazing units.

				Designer:	Client / Project info:
				ANOTHER PERSPECTIVE PTY LTD PO BOX 21 NEW TOWN LIC. NO. CC2204H (A. Strugnell) Ph: (03) 6231 4122 Fx: (03) 6231 4166 Email: info@anotherperspective.com.au	PROPOSED FREND0 RESIDENCE 62 Jetty Road, OLD BEACH
G	Changes as per cover sheet	8 Jan. 21	ST		
F	Changes as per cover sheet	29 May 20	RJ		
No.	Amendment	Date	Init.		



UNIT 2 FIRST FLOOR PLAN

Drawn JM AP2018-1548

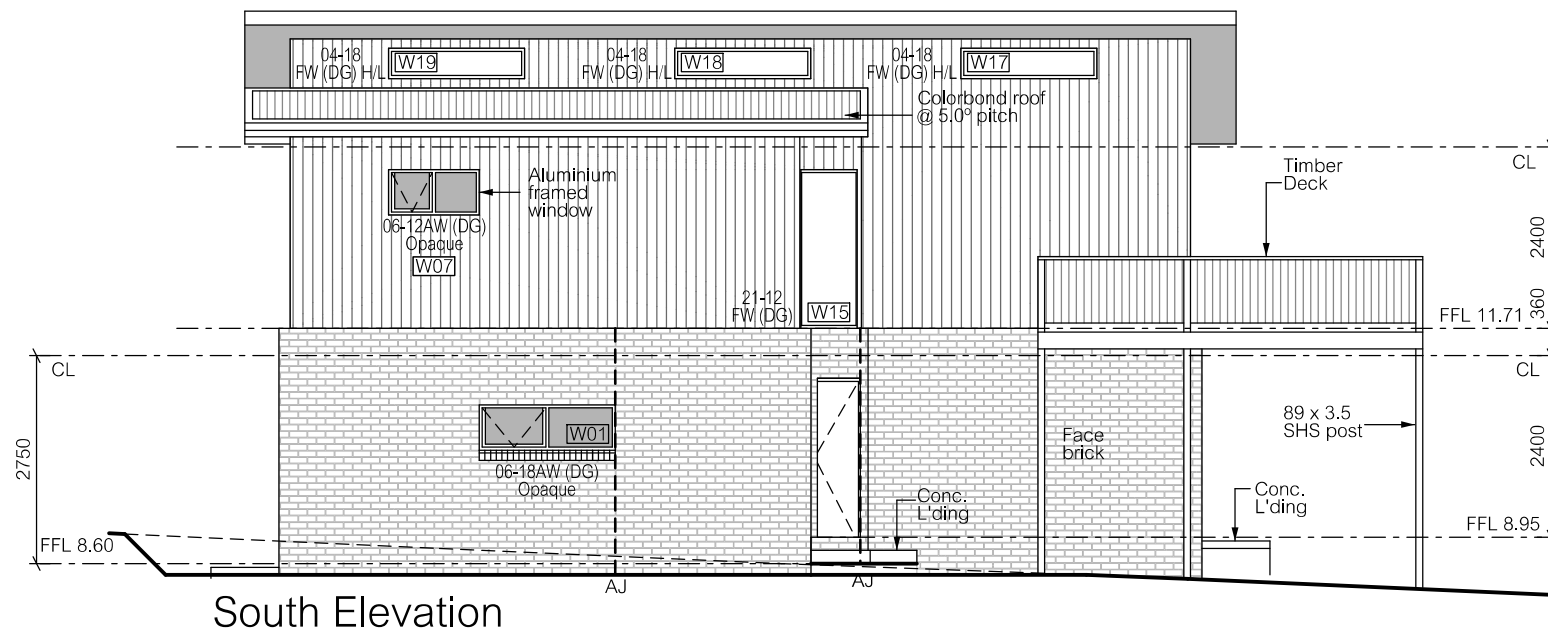
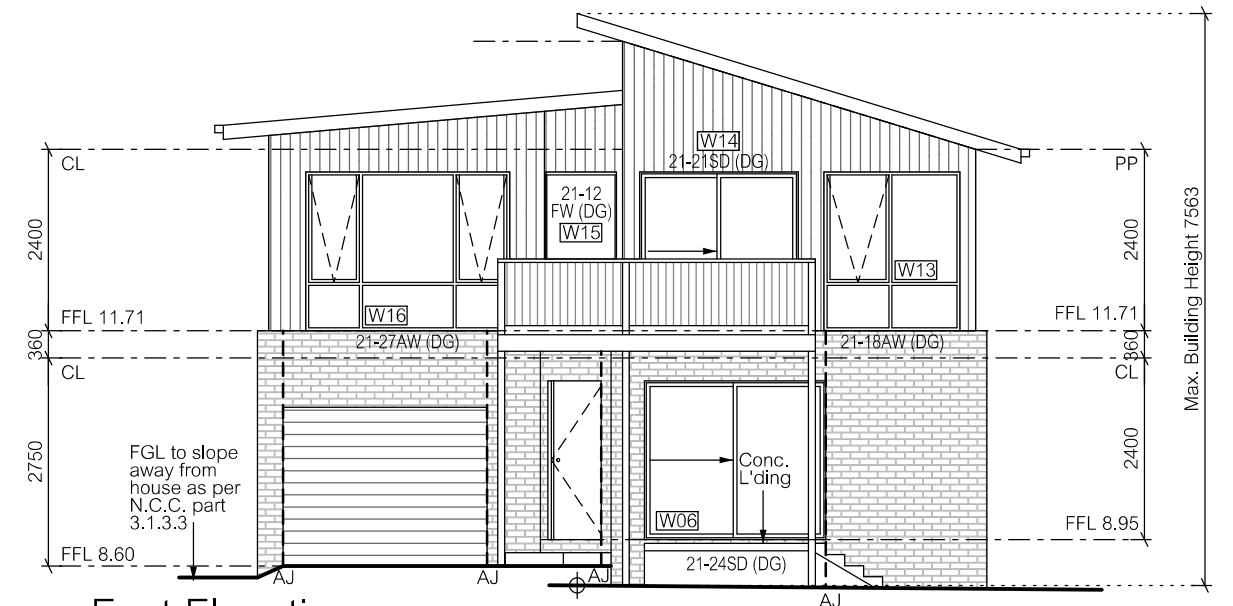
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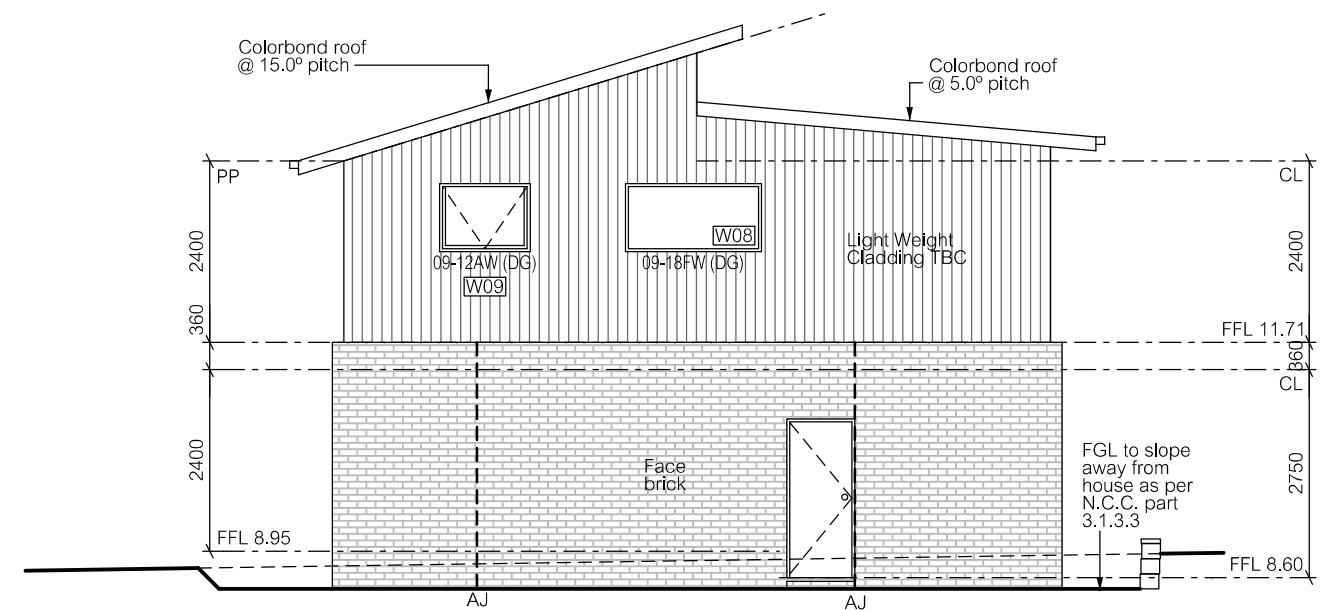
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04a/o5

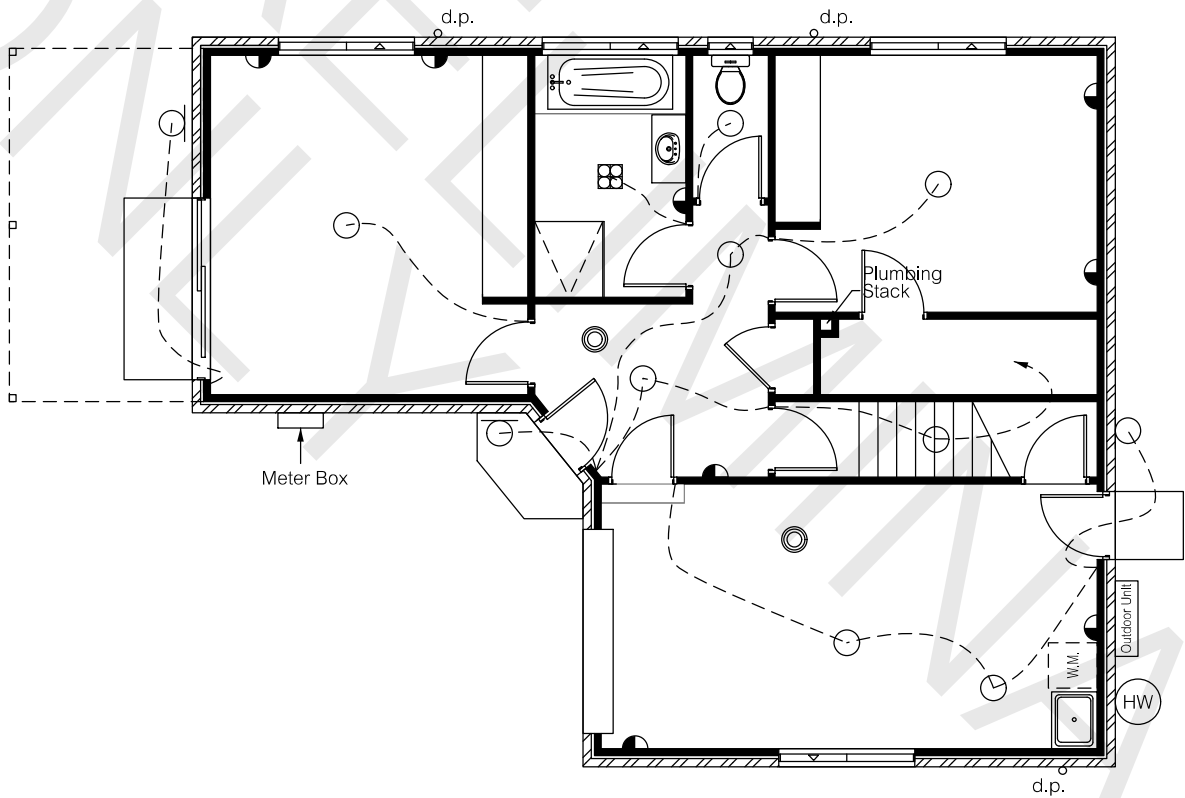
East Elevation



North Elevation

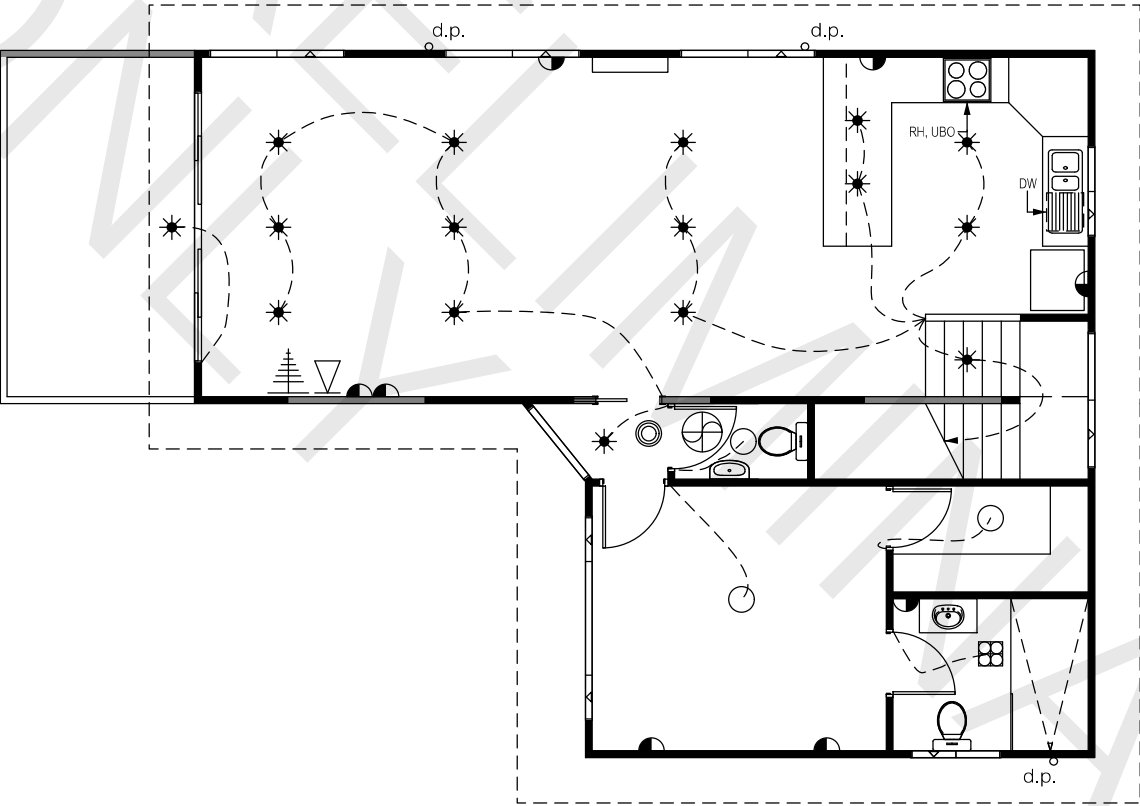


05/05




- LEGEND (W = Wattage e.g. 35W = 35 Watts.)
- STANDARD CEILING LIGHT POINT (30W)
 - DOWNLIGHT POINT (UNVENTED) (35W)
 - ☼ LED DOWNLIGHT POINT (10W) (SUITABLE FOR & FITTED WITH INSULATION OVER)
 - WALL LIGHT POINT (30W)
 - 2 x 900 MM FLUORESCENT LIGHT POINT (36W)
 - 2 x SLIM T5 900 MM FLUORESCENT LIGHT POINT (28W)
 - ✕ LIGHT SWITCH
 - ◐ SINGLE POWER POINT
 - ◑ DOUBLE POWER POINT
 - ◒ WATER PROOF POWER POINT
 - ◎ SMOKE ALARM (INTERCONNECTED WHERE MORE THAN 1)
 - ⊞ FAN / HEATER / LIGHT (50W)
 - ⌚ TV CONNECTION POINT
 - ▽ TELEPHONE CONNECTION POINT
 - ⚡ SENSOR LIGHT
 - ⊕ EXHAUST FAN (VENTED TO OUTSIDE)
 - ⦶ FLOOD LIGHT
 - ⌚ CAT 6 CONNECTION POINT
 - ▶ TREAD LIGHTS (2W)
 - ◼ DUCTED VACUUM POINT
 - ⊞ SECURITY SYSTEM KEYPAD
 - ⚡ SECURITY SYSTEM SENSOR

THIS DWELLING IS BEING CONSTRUCTED IN A BUSHFIRE PRONE AREA (TBC) Builder to ensure that all construction methods / materials comply with AS3959 - 2018 and sheets T.B.C.											
<div>NOTES</div> <ul style="list-style-type: none">Builder to verify all dimensions and levels on site prior to commencement of workAll work to be carried out in accordance with the current National Construction Code.All materials to be installed according to manufacturers specifications.Dimensions to take precedence over scale.Do not scale from these drawings.					Designer:	Client / Project info:	<div></div>	UNIT 1 GROUND FLOOR ELECTRICAL PLAN			
		G	Changes as per cover sheet	8 Jan. 21	ST	ANOTHER PERSPECTIVE PTY LTD PO BOX 21 NEW TOWN LIC. NO. CC2204H (A. Strugnelli) Ph: (03) 6231 4122 Fx: (03) 6231 4166 Email: info@anotherperspective.com.au	PROPOSED FREND0 RESIDENCE	Drawn	JM	AP2018-1548	Sheet <div>---/---</div>
		F	Changes as per cover sheet	29 May 20	RJ		62 Jetty Road, OLD BEACH	Date	27 June 2019		
		D	Changes as per cover sheet	15 Jan. 20	SS			Scale	1:100		
		No.	Amendment	Date	Init.						



- LEGEND (W = Wattage e.g. 35W = 35 Watts.)
- STANDARD CEILING LIGHT POINT (30W)
 - DOWNLIGHT POINT (UNVENTED) (35W)
 - ✱ LED DOWNLIGHT POINT (10W) (SUITABLE FOR & FITTED WITH INSULATION OVER)
 - WALL LIGHT POINT (30W)
 - 2 x 900 MM FLUORESCENT LIGHT POINT (36W)
 - 2 x SLIM T5 900 MM FLUORESCENT LIGHT POINT (28W)
 - ✕ LIGHT SWITCH
 - ◐ SINGLE POWER POINT
 - ◑ DOUBLE POWER POINT
 - ◒ WATER PROOF POWER POINT
 - ⊙ SMOKE ALARM (INTERCONNECTED WHERE MORE THAN 1)
 - ⊞ FAN / HEATER / LIGHT (50W)
 - ⌚ TV CONNECTION POINT
 - ▽ TELEPHONE CONNECTION POINT
 - ⚡ SENSOR LIGHT
 - ⊕ EXHAUST FAN (VENTED TO OUTSIDE)
 - ⊖ FLOOD LIGHT
 - ⌚ CAT 6 CONNECTION POINT
 - ▶ TREAD LIGHTS (2W)
 - ◑ DUCTED VACUUM POINT
 - ⊞ SECURITY SYSTEM KEYPAD
 - ⚡ SECURITY SYSTEM SENSOR

THIS DWELLING IS BEING CONSTRUCTED IN A BUSHFIRE PRONE AREA (TBC) Builder to ensure that all construction methods / materials comply with AS3959 - 2018 and sheets T.B.C.											
<div>NOTES</div> <ul style="list-style-type: none">Builder to verify all dimensions and levels on site prior to commencement of workAll work to be carried out in accordance with the current National Construction Code.All materials to be installed according to manufacturers specifications.Dimensions to take precedence over scale.Do not scale from these drawings.						Designer:	Client / Project info:		UNIT 1 FIRST FLOOR ELECTRICAL PLAN		
						ANOTHER PERSPECTIVE PTY LTD PO BOX 21 NEW TOWN LIC. NO. CC2204H (A. Strugnell) Ph: (03) 6231 4122 Fx: (03) 6231 4166 Email: info@anotherperspective.com.au	PROPOSED FREND0 RESIDENCE		Drawn	JM	AP2018-1548
		G	Changes as per cover sheet	8 Jan. 21	ST	62 Jetty Road, OLD BEACH			Date	27 June 2019	Sheet
		F	Changes as per cover sheet	29 May 20	RJ				Scale	1:100	
		No.	Amendment	Date	Init.						

Building name/description
Unit 1, 62 Jetty Road, OLD BEACH, Proposed Frendo Development

Classification
Class 1

Number of rows preferred in table below
15 (as currently displayed)

Advisory Note
Separate aggregate allowances are calculated for Class 1, 2 or 4 cases; for a verandah or balcony; or for a Class 10 building. The '% of Allowance Used' outcomes refer to these aggregate allowances.

INSULATION SCHEDULE	
Area	Insulation Details
Roof	Sarking OR R1.3 Anticon sarking
Ceiling	R4.1 bulk insulation (or equivalent) excluding GARAGE
Walls (external)	R2.0 bulk insulation (or equivalent) with 1 layer sisalation. Sisalation only to GARAGE
Walls (internal)	N/A or R2.0 bulk insulation (or equivalent) to internal walls adjacent to GARAGE / SUBFLOOR / ROOFSPACE
Floors	R2.0 bulk insulation (or equivalent) to all timber floors

NOTE:
Clearance is required for uncompressed installation of bulk insulation and timbers should be sized accordingly.
210mm for R4.1 Bulk Insulation
240mm for R5.0 Bulk Insulation
260mm for R6.0 Bulk Insulation
These dimensions are nominal and may vary depending on the type of insulation to be installed.
Where solar tubes are located, diffusers are to be installed.
Where skylights are located, ceiling insulation is to be installed to length of shaft.

ID	Description	Type of space	Floor area of the space	Design Lamp or Illumination Power Load	Location	Adjustment Factor One			Adjustment Factor Two (n/a for Class 1)			OVERALL DESIGN PASSES				
						Adjustment Factor One	Dimming Percentages		Design Lumen Depreciation Factor	Adjustment Factor Two	Dimming Percentages		Design Lumen Depreciation Factor	Lamp or Illumination Power Density		System Share of % of Aggregate Allowance Used
							% Area	% of full power			% Area	% of full power		System Allowance	System Design	
1	Bed 2	Bedroom	18.9 m²	30 W	Class 1 building								5.0 W/m²	1.6 W/m²	2% of 78%	
2	Bath	Bathroom	6.4 m²	50 W	Class 1 building								5.0 W/m²	7.8 W/m²	8% of 78%	
3	WC	Toilet	1.9 m²	30 W	Class 1 building								5.0 W/m²	15.8 W/m²	17% of 78%	
4	Bed 3	Bedroom	14.3 m²	30 W	Class 1 building								5.0 W/m²	2.1 W/m²	2% of 78%	
5	Entry	Corridor	7.9 m²	60 W	Class 1 building								5.0 W/m²	7.6 W/m²	8% of 78%	
6	Stairs	Corridor	6.5 m²	40 W	Class 1 building								5.0 W/m²	6.2 W/m²	7% of 78%	
7	Garage / L'dry	Other	23.0 m²	60 W	Class 10a building								3.0 W/m²	2.6 W/m²	100% of 87%	
8	Living	Living room	20.0 m²	60 W	Class 1 building								5.0 W/m²	3.0 W/m²	3% of 78%	
9	Dining	Living room	16.9 m²	30 W	Class 1 building								5.0 W/m²	1.8 W/m²	2% of 78%	
10	Kitchen	Kitchen	13.4 m²	40 W	Class 1 building								5.0 W/m²	3.0 W/m²	3% of 78%	
11	Hall	Corridor	1.4 m²	10 W	Class 1 building								5.0 W/m²	7.1 W/m²	8% of 78%	
12	Bed 1	Bedroom	13.6 m²	30 W	Class 1 building								5.0 W/m²	2.2 W/m²	2% of 78%	
13	W.I.R.	Other	3.6 m²	30 W	Class 1 building								5.0 W/m²	8.3 W/m²	9% of 78%	
14	Ens.	Bathroom	5.2 m²	50 W	Class 1 building								5.0 W/m²	9.6 W/m²	10% of 78%	
15	W.C 2	Toilet	1.8 m²	30 W	Class 1 building								5.0 W/m²	17.0 W/m²	18% of 78%	

154.8 m²

580 W

Class 1 building

5.0 W/m²

3.9 W/m²

Class 10a building (associated with a Class 1 building)

3.0 W/m²

2.6 W/m²

IMPORTANT NOTICE AND DISCLAIMER IN RESPECT OF THE LIGHTING CALCULATOR

The Lighting Calculator has been developed by the ABCB to assist in developing a better understanding of lighting energy efficiency parameters. While the ABCB believes that the Lighting Calculator, if used correctly, will produce accurate results, the calculator is provided "as is" and without any representation or warranty of any kind, including that it is fit for any purpose or of merchantable quality, or functions as intended or at all. Your use of the Lighting Calculator is entirely at your own risk and the ABCB accepts no liability of any kind.

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if inputs are valid

WINDOW SCHEDULE							
WINDOW NUMBER	TYPE	ID	SIZE	GLASS	Uw	SHGC	RESTRICTED
W01	???	???	???	???	???	???	YES / NO
W02	???	???	???	???	???	???	YES / NO
W03	???	???	???	???	???	???	YES / NO
W04	???	???	???	???	???	???	YES / NO
W05	???	???	???	???	???	???	YES / NO
W06	???	???	???	???	???	???	YES / NO
W07	???	???	???	???	???	???	YES / NO
W08	???	???	???	???	???	???	YES / NO
W09	???	???	???	???	???	???	YES / NO
W10	???	???	???	???	???	???	YES / NO
W11	???	???	???	???	???	???	YES / NO
W12	???	???	???	???	???	???	YES / NO

LEGEND:
SW = Sliding window, AW = Awning window, SD = Sliding door, FW = Fixed window, GD = Glazed Door, FD = French door, BRPG = Bushfire Rated Privacy Glass

NOTE:
Windows supplied MUST HAVE Uw better and or equal to stated figures and SHGC within +/- 5% of stated figures.
Restricted windows (YES) to have their openability restricted as per N.C.C. 3.9.2.5.
* - Glass specification changed to comply with Bushfire requirements (Refer to sheet ??)

THIS DWELLING IS BEING CONSTRUCTED IN A BUSHFIRE PRONE AREA (TBC)
Builder to ensure that all construction methods / materials comply with AS3959 - 2018 and sheets T.B.C.

NOTES

Builder to verify all dimensions and levels on site prior to commencement of work

All work to be carried out in accordance with the current National Construction Code.

All materials to be installed according to manufacturers specifications.

Dimensions to take precedence over scale.

Do not scale from these drawings.

Designer:

ANOTHER PERSPECTIVE PTY LTD
PO BOX 21
NEW TOWN
LIC. NO. CC2204H (A. Strugnell)
Ph: (03) 6231 4122
Fx: (03) 6231 4166
Email:
info@anotherperspective.com.au

Client / Project info:

PROPOSED FRENDO RESIDENCE

62 Jetty Road,
OLD BEACH

another perspective
drafting&design

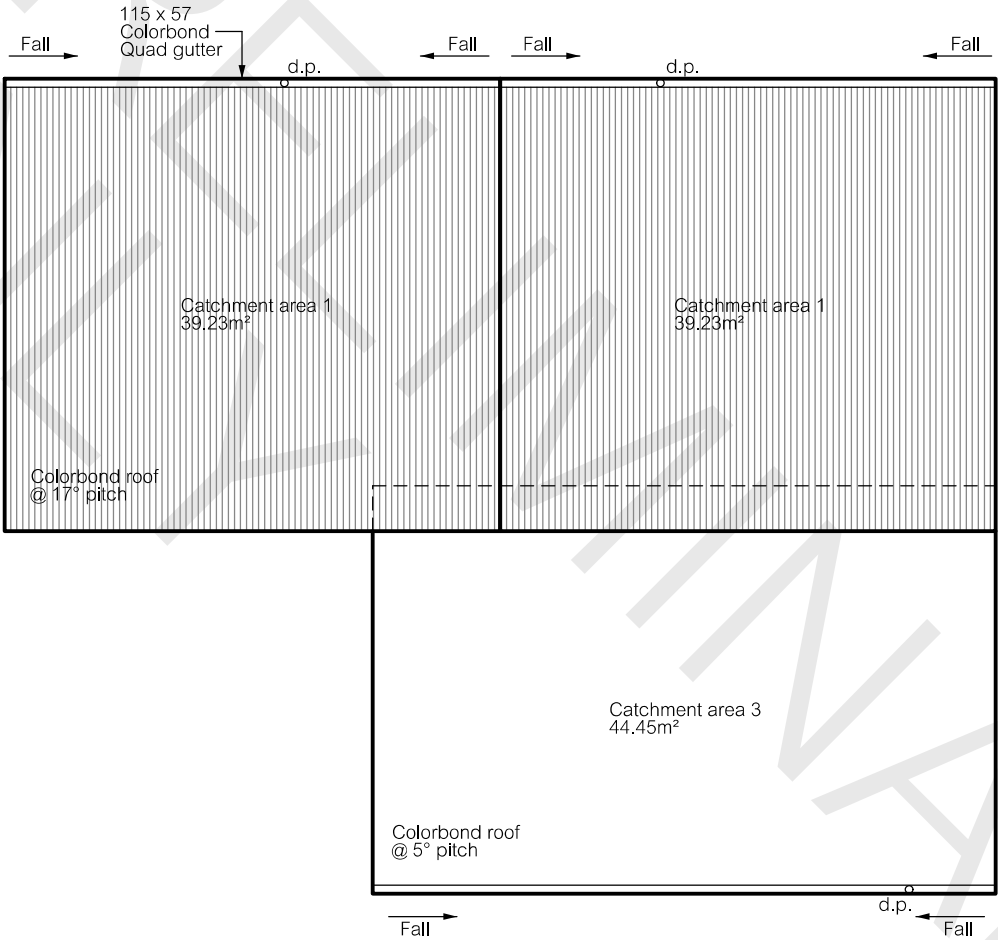
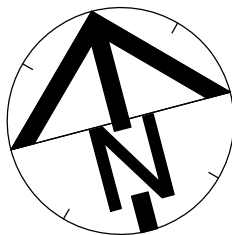
UNIT 1 CALCULATIONS & SCHEDULES

Drawn JM AP2018-1548

Date 27 June 2019 Sheet

Scale N/A

---/--



- GUTTER OVERFLOW REQUIREMENTS as per N.C.C. Table 3.5.2.4:
Controlled front bead height with the front bead of the gutter installed a minimum of 10 mm below the top of the fascia.
- Batten fixings:
100mm type 17, 14g bugle screws to comply with AS1684, or refer to AS1684 for alternatives
- Batten spacing:
75 x 38 F8 @ 900¢ nom.
- Colorbond fixings:
50mm M6 11 x 50 EPDM seal to comply with AS3566 or refer to AS3566 for alternatives.

Position and quantity of downpipes are not to be altered without consultation with designer

THIS DWELLING IS BEING CONSTRUCTED IN A BUSHFIRE PRONE AREA (TBC)
Builder to ensure that all construction methods / materials comply with AS3959 - 2018 and sheets T.B.C.

- NOTES
- Builder to verify all dimensions and levels on site prior to commencement of work
 - All work to be carried out in accordance with the current National Construction Code.
 - All materials to be installed according to manufacturers specifications.
 - Dimensions to take precedence over scale.
 - Do not scale from these drawings.

				Designer:
				ANOTHER PERSPECTIVE PTY LTD
				PO BOX 21
				NEW TOWN
				LIC. NO. CC2204H (A. Strugnell)
				Ph: (03) 6231 4122
				Fx: (03) 6231 4166
				Email:
No.	Amendment	Date	Init.	info@anotherperspective.com.au

Client / Project info:

PROPOSED FREND0 RESIDENCE

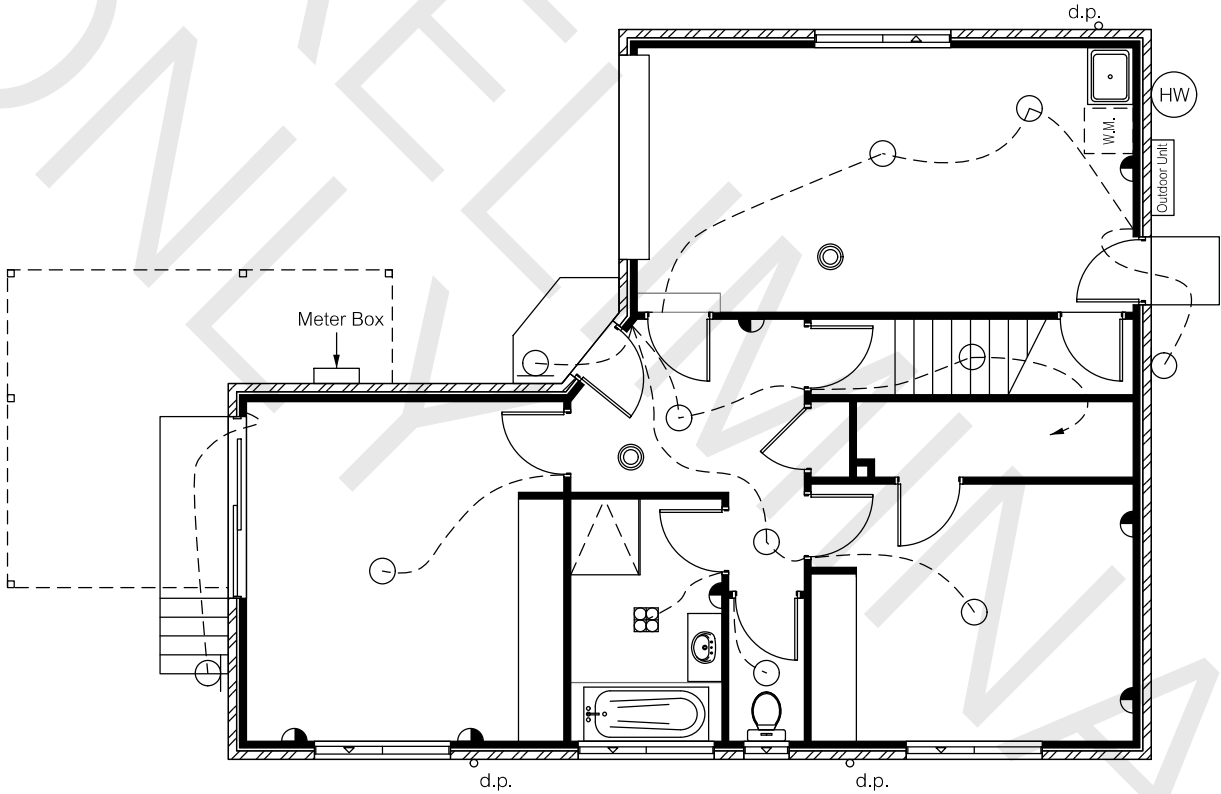
62 Jetty Road,
OLD BEACH




UNIT 1 ROOF PLAN

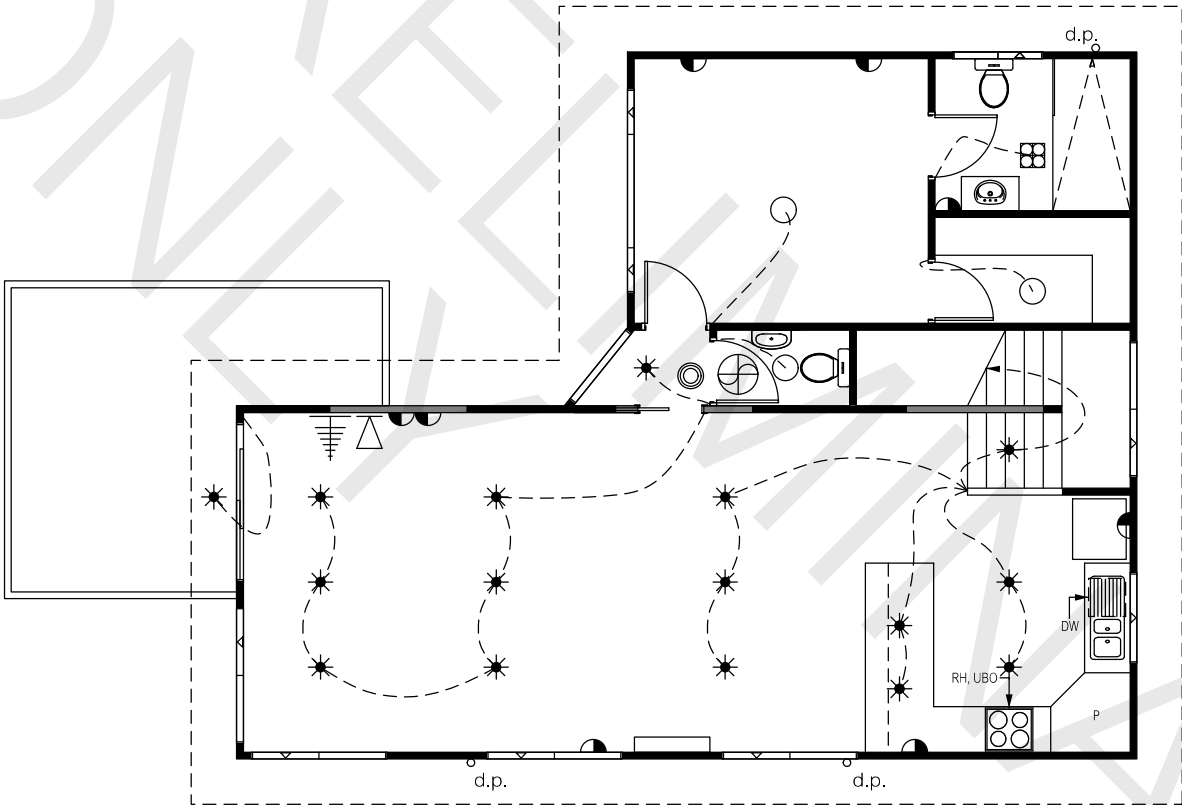
Drawn	JM	AP2018-1548
Date	01 July 2019	Sheet
Scale	1:100	

--/--




- LEGEND (W = Wattage e.g. 35W = 35 Watts.)
- STANDARD CEILING LIGHT POINT (30W)
 - DOWNLIGHT POINT (UNVENTED) (35W)
 - ☼ LED DOWNLIGHT POINT (10W) (SUITABLE FOR & FITTED WITH INSULATION OVER)
 - WALL LIGHT POINT (30W)
 - 2 x 900 MM FLUORESCENT LIGHT POINT (36W)
 - 2 x SLIM T5 900 MM FLUORESCENT LIGHT POINT (28W)
 - ✕ LIGHT SWITCH
 - ◐ SINGLE POWER POINT
 - ◑ DOUBLE POWER POINT
 - ◒ WATER PROOF POWER POINT
 - ⊙ SMOKE ALARM (INTERCONNECTED WHERE MORE THAN 1)
 - ⊞ FAN / HEATER / LIGHT (50W)
 - ⌚ TV CONNECTION POINT
 - ▽ TELEPHONE CONNECTION POINT
 - ⚡ SENSOR LIGHT
 - ⊕ EXHAUST FAN (VENTED TO OUTSIDE)
 - ⦶ FLOOD LIGHT
 - ⌚ CAT 6 CONNECTION POINT
 - ▶ TREAD LIGHTS (2W)
 - ◻ DUCTED VACUUM POINT
 - ⊞ SECURITY SYSTEM KEYPAD
 - ⚡ SECURITY SYSTEM SENSOR

THIS DWELLING IS BEING CONSTRUCTED IN A BUSHFIRE PRONE AREA (TBC) Builder to ensure that all construction methods / materials comply with AS3959 - 2018 and sheets T.B.C.											
<div>NOTES</div> <ul style="list-style-type: none">Builder to verify all dimensions and levels on site prior to commencement of workAll work to be carried out in accordance with the current National Construction Code.All materials to be installed according to manufacturers specifications.Dimensions to take precedence over scale.Do not scale from these drawings.						Designer:	Client / Project info:		UNIT 2 GROUND FLOOR ELECTRICAL PLAN		
						ANOTHER PERSPECTIVE PTY LTD PO BOX 21 NEW TOWN LIC. NO. CC2204H (A. Strugnelli) Ph: (03) 6231 4122 Fx: (03) 6231 4166 Email: info@anotherperspective.com.au	PROPOSED FREND0 RESIDENCE 62 Jetty Road, OLD BEACH		Drawn	JM	AP2018-1548
		G	Changes as per cover sheet	8 Jan. 21	ST				Date	27 June 2019	Sheet
		F	Changes as per cover sheet	29 May 20	RJ				Scale	1:100	
		No.	Amendment	Date	Init.						--/--



- LEGEND (W = Wattage e.g. 35W = 35 Watts.)
- STANDARD CEILING LIGHT POINT (30W)
 - DOWNLIGHT POINT (UNVENTED) (35W)
 - ✱ LED DOWNLIGHT POINT (10W) (SUITABLE FOR & FITTED WITH INSULATION OVER)
 - WALL LIGHT POINT (30W)
 - 2 x 900 MM FLUORESCENT LIGHT POINT (36W)
 - 2 x SLIM T5 900 MM FLUORESCENT LIGHT POINT (28W)
 - ✕ LIGHT SWITCH
 - ◐ SINGLE POWER POINT
 - ◑ DOUBLE POWER POINT
 - ◒ WATER PROOF POWER POINT
 - ⊙ SMOKE ALARM (INTERCONNECTED WHERE MORE THAN 1)
 - ⊞ FAN / HEATER / LIGHT (50W)
 - ⌚ TV CONNECTION POINT
 - ▽ TELEPHONE CONNECTION POINT
 - ⚡ SENSOR LIGHT
 - ⊕ EXHAUST FAN (VENTED TO OUTSIDE)
 - ⦶ FLOOD LIGHT
 - ⌚ CAT 6 CONNECTION POINT
 - ▶ TREAD LIGHTS (2W)
 - ◼ DUCTED VACUUM POINT
 - ⊞ SECURITY SYSTEM KEYPAD
 - ⚡ SECURITY SYSTEM SENSOR

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<div>NOTES</div> <ul style="list-style-type: none">Builder to verify all dimensions and levels on site prior to commencement of workAll work to be carried out in accordance with the current National Construction Code.All materials to be installed according to manufacturers specifications.Dimensions to take precedence over scale.Do not scale from these drawings.						Designer:	Client / Project info:		UNIT 2 FIRST FLOOR ELECTRICAL PLAN		
						ANOTHER PERSPECTIVE PTY LTD PO BOX 21 NEW TOWN LIC. NO. CC2204H (A. Strugnell) Ph: (03) 6231 4122 Fx: (03) 6231 4166 Email: info@anotherperspective.com.au	PROPOSED FREND0 RESIDENCE 62 Jetty Road, OLD BEACH		Drawn JM	AP2018-1548	
		G	Changes as per cover sheet	8 Jan. 21	ST				Date	27 June 2019	Sheet
		F	Changes as per cover sheet	29 May 20	RJ				Scale	1:100	--/--
		No.	Amendment	Date	Init.						

Building name/description

Unit 2, 62 Jetty Road, OLD BEACH, Proposed Frendo Development

Classification

Class 1

Number of rows preferred in table below

15

(as currently displayed)

Advisory Note

Separate aggregate allowances are calculated for Class 1, 2 or 4 cases; for a verandah or balcony; or for a Class 10 building. The '% of Allowance Used' outcomes refer to these aggregate allowances.

INSULATION SCHEDULE	
Area	Insulation Details
Roof	Sarking OR R1.3 Anticon sarking
Ceiling	R4.1 bulk insulation (or equivalent) excluding GARAGE
Walls (external)	R2.0 bulk insulation (or equivalent) with 1 layer sisalation. Sisalation only to GARAGE
Walls (internal)	N/A or R2.0 bulk insulation (or equivalent) to internal walls adjacent to GARAGE / SUBFLOOR / ROOFSPACE
Floors	R2.0 bulk insulation (or equivalent) to all timber floors

NOTE:
Clearance is required for uncompressed installation of bulk insulation and timbers should be sized accordingly.
210mm for R4.1 Bulk Insulation
240mm for R5.0 Bulk Insulation
260mm for R6.0 Bulk Insulation
These dimensions are nominal and may vary depending on the type of insulation to be installed.
Where solar tubes are located, diffusers are to be installed.
Where skylights are located, ceiling insulation is to be installed to length of shaft.

ID	Description	Type of space	Floor area of the space	Design Lamp or Illumination Power Load	Location	Adjustment Factor One				Adjustment Factor Two (n/a for Class 1)				OVERALL DESIGN PASSES		
						Adjustment Factor One	Dimming Percentages		Design Lumen Depreciation Factor	Adjustment Factor Two	Dimming Percentages		Design Lumen Depreciation Factor	Lamp or Illumination Power Density		System Share of % of Aggregate Allowance Used
							% Area	% of full power			% Area	% of full power		System Allowance	System Design	
1	Bed 2	Bedroom	18.9 m²	30 W	Class 1 building								5.0 W/m²	1.6 W/m²	2% of 78%	
2	Bath	Bathroom	6.4 m²	50 W	Class 1 building								5.0 W/m²	7.8 W/m²	8% of 78%	
3	WC	Toilet	1.9 m²	30 W	Class 1 building								5.0 W/m²	15.8 W/m²	17% of 78%	
4	Bed 3	Bedroom	14.3 m²	30 W	Class 1 building								5.0 W/m²	2.1 W/m²	2% of 78%	
5	Entry	Corridor	7.9 m²	60 W	Class 1 building								5.0 W/m²	7.6 W/m²	8% of 78%	
6	Stairs	Coridor	6.5 m²	40 W	Class 1 building								5.0 W/m²	6.2 W/m²	7% of 78%	
7	Garage / L'dry	Other	23.0 m²	60 W	Class 10a building								3.0 W/m²	2.6 W/m²	100% of 87%	
8	Living	Living room	20.0 m²	60 W	Class 1 building								5.0 W/m²	3.0 W/m²	3% of 78%	
9	Dining	Living room	16.9 m²	30 W	Class 1 building								5.0 W/m²	1.8 W/m²	2% of 78%	
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11	Hall	Corridor	1.4 m²	10 W	Class 1 building								5.0 W/m²	7.1 W/m²	8% of 78%	
12	Bed 1	Bedroom	13.6 m²	30 W	Class 1 building								5.0 W/m²	2.2 W/m²	2% of 78%	
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14	Ens.	Bathroom	5.2 m²	50 W	Class 1 building								5.0 W/m²	9.6 W/m²	10% of 78%	
15	W.C 2	Toilet	1.8 m²	30 W	Class 1 building								5.0 W/m²	17.0 W/m²	18% of 78%	

154.8 m²

580 W

Class 1 building

5.0 W/m²

3.9 W/m²

Class 10a building (associated with a Class 1 building)

3.0 W/m²

2.6 W/m²

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if inputs are valid

WINDOW SCHEDULE							
WINDOW NUMBER	TYPE	ID	SIZE	GLASS	Uw	SHGC	RESTRICTED
W01	???	???	???	???	???	???	YES / NO
W02	???	???	???	???	???	???	YES / NO
W03	???	???	???	???	???	???	YES / NO
W04	???	???	???	???	???	???	YES / NO
W05	???	???	???	???	???	???	YES / NO
W06	???	???	???	???	???	???	YES / NO
W07	???	???	???	???	???	???	YES / NO
W08	???	???	???	???	???	???	YES / NO
W09	???	???	???	???	???	???	YES / NO
W10	???	???	???	???	???	???	YES / NO
W11	???	???	???	???	???	???	YES / NO
W12	???	???	???	???	???	???	YES / NO

LEGEND:
SW = Sliding window, AW = Awning window, SD = Sliding door, FW = Fixed window, GD = Glazed Door, FD = French door, BRPG = Bushfire Rated Privacy Glass

NOTE:
Windows supplied MUST HAVE Uw better and or equal to stated figures and SHGC within +/- 5% of stated figures.
Restricted windows (YES) to have their openability restricted as per N.C.C. 3.9.2.5.
* - Glass specification changed to comply with Bushfire requirements (Refer to sheet ??)

THIS DWELLING IS BEING CONSTRUCTED IN A BUSHFIRE PRONE AREA (TBC)

Builder to ensure that all construction methods / materials comply with AS3959 - 2018 and sheets T.B.C.

NOTES

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- All materials to be installed according to manufacturers specifications.
- Dimensions to take precedence over scale.
- Do not scale from these drawings.

Designer:

ANOTHER PERSPECTIVE PTY LTD
PO BOX 21
NEW TOWN
LIC. NO. CC2204H (A. Strugnell)
Ph: (03) 6231 4122
Fx: (03) 6231 4166
Email:
info@anotherperspective.com.au

Client / Project info:

PROPOSED FREND0 RESIDENCE

62 Jetty Road,
OLD BEACH

another perspective

drafting&design

UNIT 2 CALCULATIONS & SCHEDULES

Drawn

27 June 2019

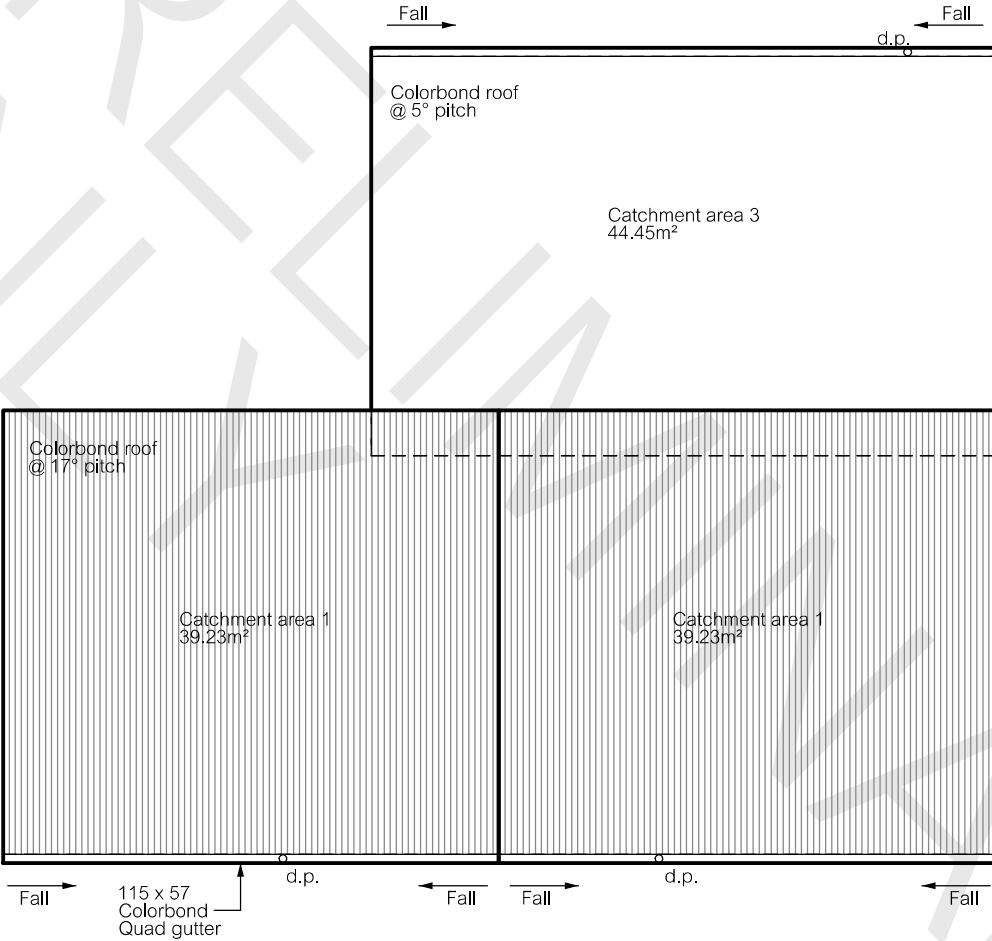
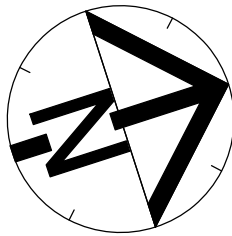
Scale

N/A

AP2018-1548

Sheet

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GUTTER OVERFLOW
REQUIREMENTS as per
N.C.C. Table 3.5.2.4:
Controlled front bead height
with the front bead of the
gutter installed a minimum of
10 mm below the top of the
fascia.

Batten fixings:
100mm type 17, 14g bugle
screws to comply with
AS1684, or refer to AS1684
for alternatives

Batten spacing:
75 x 38 F8
@ 900¢ nom.

Colorbond fixings:
50mm M6 11 x 50 EPDM
seal to comply with AS3566
or refer to AS3566 for
alternatives.

Position and quantity of downpipes
are not to be altered without
consultation with designer

THIS DWELLING IS BEING CONSTRUCTED IN A BUSHFIRE PRONE AREA (TBC)
Builder to ensure that all construction methods / materials comply with AS3959 - 2018 and sheets T.B.C.

<div>NOTES</div> <ul style="list-style-type: none">• Builder to verify all dimensions and levels on site prior to commencement of work• All work to be carried out in accordance with the current National Construction Code.• All materials to be installed according to manufacturers specifications.• Dimensions to take precedence over scale.• Do not scale from these drawings.					Designer:	Client / Project info:		UNIT 2 ROOF PLAN	
					ANOTHER PERSPECTIVE PTY LTD PO BOX 21 NEW TOWN LIC. NO. CC2204H (A. Strugnell) Ph: (03) 6231 4122 Fx: (03) 6231 4166 Email: info@anotherperspective.com.au	PROPOSED FREND0 RESIDENCE 62 Jetty Road, OLD BEACH		Drawn JM AP2018-1548	
								Date 01 July 2019 Sheet	
								Scale 1:100	
								--/--	
	No.	Amendment	Date	Init.					