



# Application for Planning Approval

## ***Land Use Planning and Approvals Act 1993***

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APPLICATION NO.

**DA2024/200**

LOCATION OF AFFECTED AREA

**45 TOTTENHAM ROAD, GAGEBROOK**

DESCRIPTION OF DEVELOPMENT PROPOSAL

**MULTIPLE DWELLINGS (2 UNITS)**

A COPY OF THE DEVELOPMENT APPLICATION MAY BE VIEWED AT [www.brighton.tas.gov.au](http://www.brighton.tas.gov.au) AND AT THE COUNCIL OFFICES, 1 TIVOLI ROAD, OLD BEACH, BETWEEN 8:15 A.M. AND 4:45 P.M, MONDAY TO FRIDAY OR VIA THE QR CODE BELOW. ANY PERSON MAY MAKE WRITTEN REPRESENTATIONS IN ACCORDANCE WITH S.57(5) OF THE LAND USE PLANNING AND APPROVALS ACT 1993 CONCERNING THIS APPLICATION UNTIL 4:45 P.M. ON **18/02/2025**. ADDRESSED TO THE CHIEF EXECUTIVE OFFICER AT 1 TIVOLI ROAD, OLD BEACH, 7017 OR BY EMAIL AT [development@brighton.tas.gov.au](mailto:development@brighton.tas.gov.au). REPRESENTATIONS SHOULD INCLUDE A DAYTIME TELEPHONE NUMBER TO ALLOW COUNCIL OFFICERS TO DISCUSS, IF NECESSARY, ANY MATTERS RAISED.

**JAMES DRYBURGH**  
**Chief Executive Officer**



**Brighton**  
*going places*

# 136 - Proposed Unit Development, BRYDEN HOMES AT 45 TOTTENHAM ROAD, GAGEBROOK

<i>Architectural Drawing No.</i>	<i>Description</i>
01	Site Plan
02	Drainage Plan
03	Unit 1 Floor Plan
04	Unit 1 Elevations
05	Unit 2 Floor plan
06	Unit 2 Elevations

Climate Zone - 7  
C.T. No. 18017/1243  
Wind Speed - N? (tbc)  
Soil Classification - ? (tbc)  
U1 Floor Area = 88.4m<sup>2</sup>  
= 9.5 sq  
U2 Floor Area = 88.4m<sup>2</sup>  
= 9.5 sq

### PROTECTIVE COATINGS FOR STEELWORK

ENVIRONMENT	LOCATION	MINIMUM PROTECTIVE COATING	
		General structural steel members	Lintels in masonry
MODERATE  More than 1 km from breaking surf or more than 100m from salt water not subject to breaking surf or non-heavy industrial areas	INTERNAL	No protection required	
	EXTERNAL	<b>Option 1</b> 2 coats alkyd primer; or <b>Option 2</b> 2 coats alkyd gloss <b>Option 3</b> Hot dip galvanise 300 g/m <sup>2</sup> min. <b>Option 4</b> Hot dip galvanise 100 g/m <sup>2</sup> min. plus - (a) 1 coat solvent based vinyl primer; or (b) 1 coat vinyl gloss or alkyd	

- NOTES:
1. Heavy industrial areas means industrial environments around major industrial complexes. There are only a few such regions in Australia, examples of which occur around Port Pirie and Newcastle.
  2. The outer leaf and cavity of an external masonry wall of a building, including walls under open carports are considered to be external environments. A part of an internal leaf of an external masonry wall which is located in the roof space is considered to be in an internal environment.
  3. Where a paint finish is applied the surface of the steel work must be hand or power tool cleaned to remove any rust immediately prior to painting.
  4. All zinc coatings (including Inorganic zinc) require a barrier coat to stop conventional domestic enamels from peeling.
  5. Refer to the paint manufacturer where decorative finishes are required on top of the minimum coating specified in the table for protection of the steel against corrosion.
  6. Internal locations subject to moisture, such as in close proximity to kitchen or bathroom exhaust fans are not considered to be in a permanently dry location and protection as specified for external locations is required.
  7. For applications outside the scope of this table, seek specialist advice.

REVISION	DATE	SHEETS	DESCRIPTION

5 AUGUST 2024

● Preliminary drawings

○ Preliminary construction drawings  
Engineer not to sign this copy, only provide notes, additions & amendments

○ Approved by Engineer

4 OCTOBER 2024

● Development application drawings (DA)

○ Final construction drawings (BA)

○ Approved by Building Surveyor

**NOT BUSHFIRE PRONE**

As shown in the Tasmanian Planning Scheme overlay

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DRAWING: COVER SHEET  
DATE: 04/10/24  
FILE NAME: 136 DA 220724.dgn  
DRAWN BY: PC

DWG No: **COVER SHEET**

C.T. No. 18017/1243  
820m<sup>2</sup>

EXPLANATORY NOTES:  
TASMANIAN PLANNING SCHEME GENERAL RESIDENTIAL

8.4.1 - Residential density for multiple dwellings:

A1	(a)	SITE DENSITY: Min. 325m <sup>2</sup> per unit 820m <sup>2</sup> / 2 (units) = 410m <sup>2</sup> provided
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8.4.3 - Site coverage and private open space for dwellings:

A1	(a)	SITE COVERAGE: Max. 50% of site = 410m <sup>2</sup> Proposed site coverage: 176.8m <sup>2</sup> (21.5%)
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	(b)	IMPERVIOUS SURFACES: Min. 25% of site to be free of impervious surfaces = 205m <sup>2</sup> Proposed impervious area = 439.5m <sup>2</sup> Proposed area free of impervious surfaces: 380.5m <sup>2</sup> (46.4%)
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IMPORTANT NOTE:

All works are to be in accordance with the Water Supply Code of Australia WSA 03-2011-3.1 Version 3.1 MRWA Edition V2.0, Sewerage Code of Australia Melbourne Retail Water Agencies Code WSA 02-2014-3.1 MRWA Version 2 and TasWater's supplements to these codes

NOTES:

While all reasonable effort has been made to locate all visible above ground services, there may be other services which were not located during the field survey.

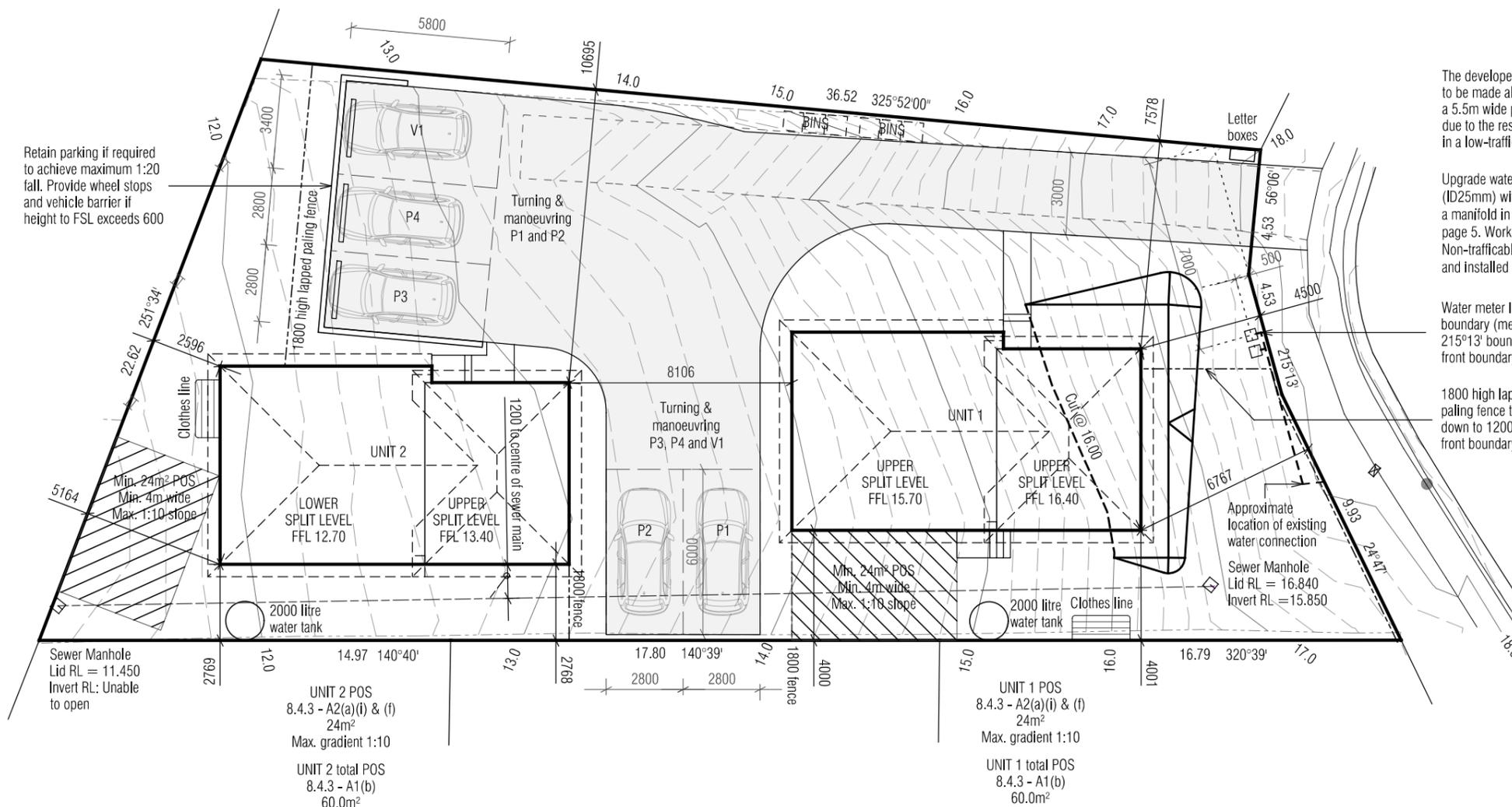
The title boundaries as shown on this plan were not marked at the time of the survey and have been determined by existing title dimensions and occupation (where available) only and not by field survey, and as a result are considered approximate only. This plan should not be used for building to boundary, or to prescribed set-backs, without further survey.

Prior to any demolition, excavation, final design or construction on this site, a full site inspection should be completed by the relevant engineers.

All survey data is 3D. The level (z-value) of any specific feature can be interrogated with a suitable CAD package. Spot heights of all features, including pipe inverts, are included in the model space but are not displayed on the PDF. Spot heights are organised into appropriate layers, and can be displayed as required.

DATUM - Vertical : AHD per SPM8222 with reputed AHD level of 7.582 from SURCOM on 16/07/2024

Date of Survey : 16/07/2024



The developer would like a concession to be made allowing for the omission of a 5.5m wide passing for the driveway due to the residences being located in a low-traffic-flow cul-de-sac.

Upgrade water connection to DN32mm (ID25mm) with 2 x ID 20mm meters on a manifold in accordance with TWS-W-0002, page 5. Work by TasWater at applicants cost. Non-trafficable meter boxes to be supplied and installed by TasWater at applicants cost.

Water meter location is 7000 from side boundary (measured parallel to 4.53 / 215°13' boundary) and 500 from the front boundary to centre of the first meter.

1800 high lapped paling fence tapering down to 1200 high at front boundary

TOTTENHAM ROAD

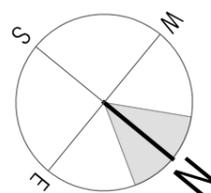
NOT BUSHFIRE PRONE  
As shown in the Tasmanian Planning Scheme Overlay

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DRAWING: SITE PLAN  
DATE: 03/10/21  
FILE NAME: 136 DA 220724.dgn  
DRAWN BY: PC

DWG No:

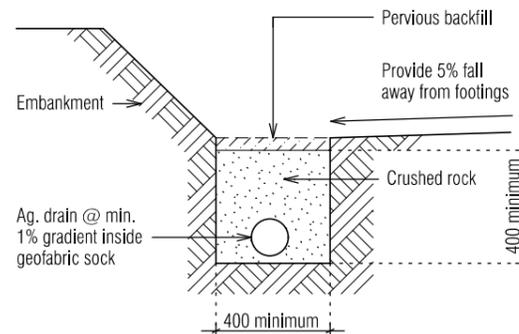
PROPOSED UNIT DEVELOPMENT FOR BRYDEN HOMES  
AT 45 TOTTENHAM ROAD, GAGEBROOK



Scale 1:200

### DRAINAGE LEGEND

1	WC	100 dia
2	HANDBASIN	40 dia
3	SHOWER	50 dia
4	BATH	40 dia
5	LAUNDRY TROUGH	50 dia
6	KITCHEN SINK	50 dia
7	VENT	50 dia
8	TAP CHARGED ORG min. 150mm below FFL	
9	DOWNPIPE	90 dia
10	TAP	
11	INSPECTION OPENING TO GROUND LEVEL	
f/w	FLOOR WASTE	



All materials and construction to comply with AS/NZS3500, 2015 and to be inspected and approved by a qualified engineer.

- LOT BOUNDARY
- BITUMEN EDGE
- KERB INVERT
- KERB BACK
- FOOTPATH
- DRIVEWAY
- - - FENCE
- - - SEWER UNDERGROUND
- NAIL
- ☒ TELSTRA PIT
- ☐ SEWER MANHOLE
- ⊥ FENCE POST

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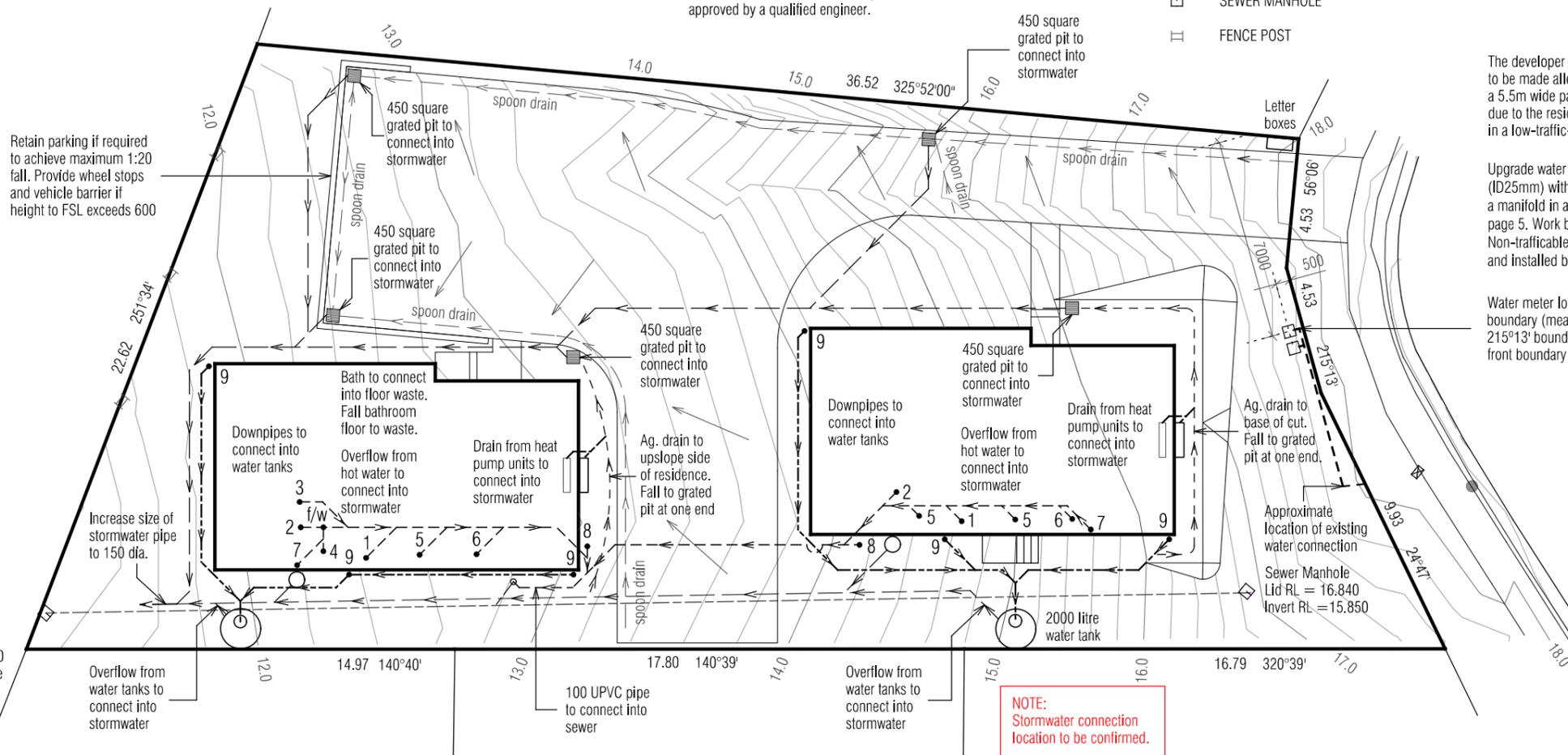
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DATUM - Vertical: AHD per SPM8222 with reputed AHD level of 7.582 from SURCOM on 16/07/2024

Date of Survey: 16/07/2024



Sewer Manhole  
 Lid RL = 11.450  
 Invert RL: Unable to open



The developer would like a concession to be made allowing for the omission of a 5.5m wide passing for the driveway due to the residences being located in a low-traffic-flow cul-de-sac.

Upgrade water connection to DN32mm (ID25mm) with 2 x ID 20mm meters on a manifold in accordance with TWS-W-0002, page 5. Work by TasWater at applicants cost. Non-trafficable meter boxes to be supplied and installed by TasWater at applicants cost.

Water meter location is 7000 from side boundary (measured parallel to 4.53 / 215'13' boundary) and 500 from the front boundary to centre of the first meter.

TOTTENHAM  
 ROAD

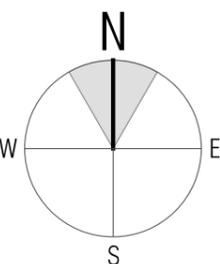
**NOTE:**  
 Stormwater connection location to be confirmed.

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DRAWING: DRAINAGE PLAN  
 DATE: 04/10/21  
 FILE NAME: 136 DA 220724.dgn  
 DRAWN BY: PC

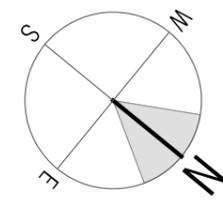
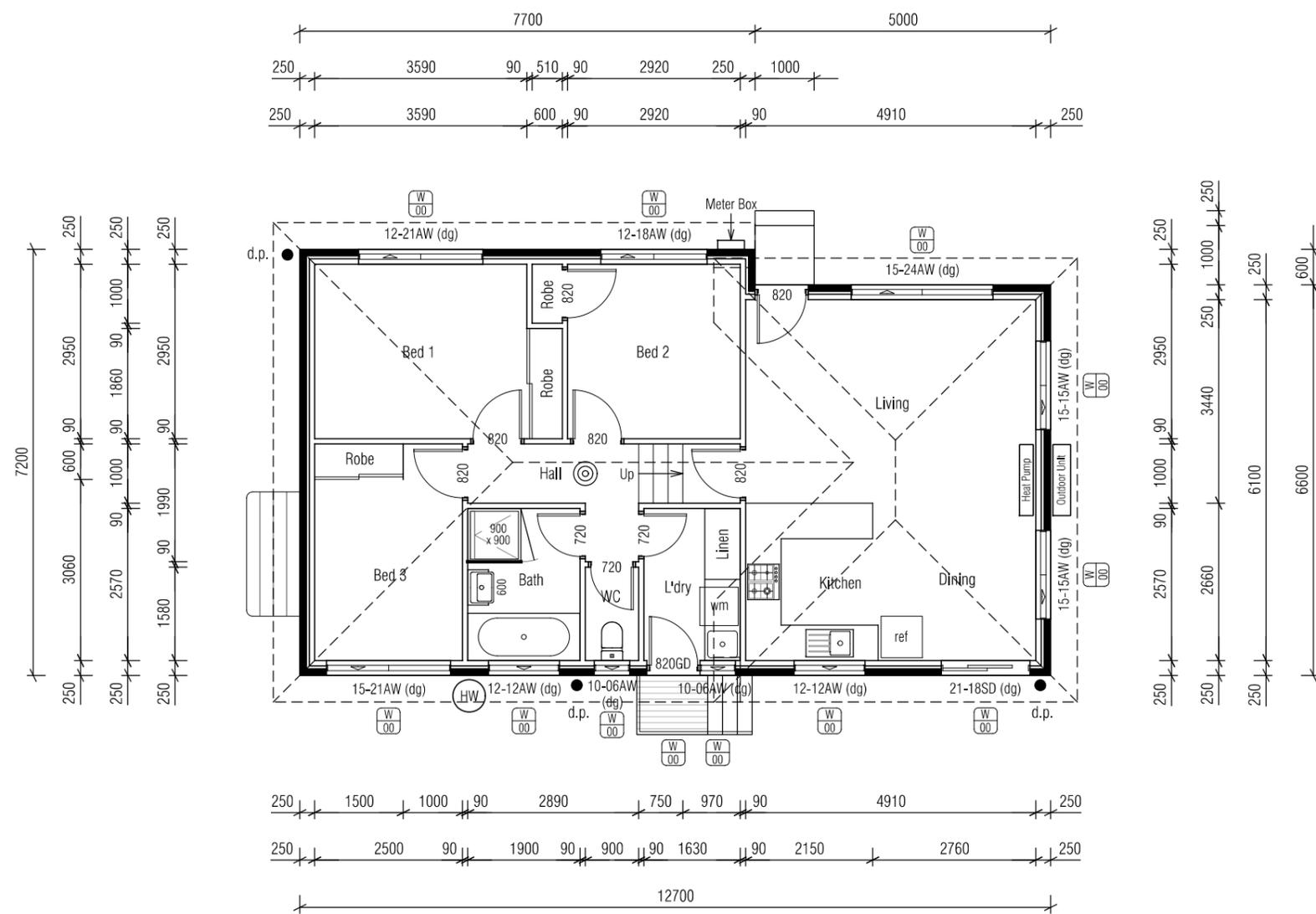
DWG No:



Scale 1:200

## PROPOSED UNIT DEVELOPMENT FOR BRYDEN HOMES AT 45 TOTTENHAM ROAD, GAGEBROOK

Floor Area = 88.4m<sup>2</sup>  
 Porch Area = 1.3m<sup>2</sup>  
 Landing & Steps Area = 2.0m<sup>2</sup>



Scale 1:200

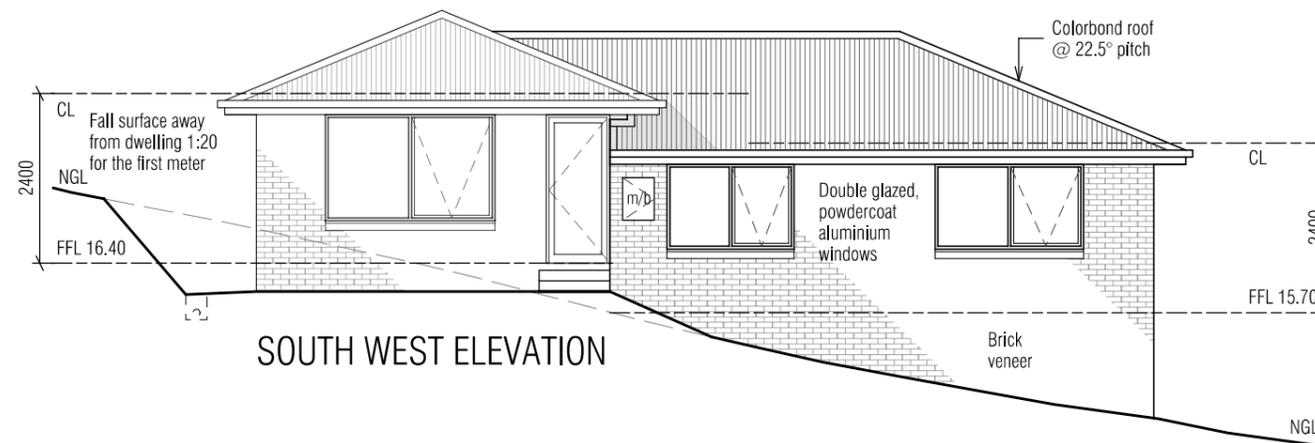
## PROPOSED UNIT DEVELOPMENT FOR BRYDEN HOMES AT 45 TOTTENHAM ROAD, GAGEBROOK

**NOT BUSHFIRE PRONE**  
 As shown in the Tasmanian  
 Planning Scheme Overlay

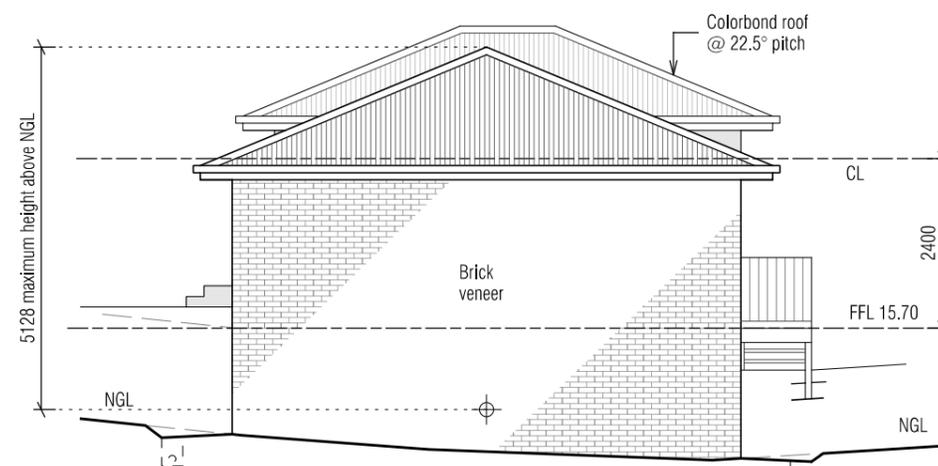
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DRAWING: UNIT 1 FLOOR PLAN  
 DATE: 03/10/21  
 FILE NAME: 136 DA 220724.dgn  
 DRAWN BY: PC

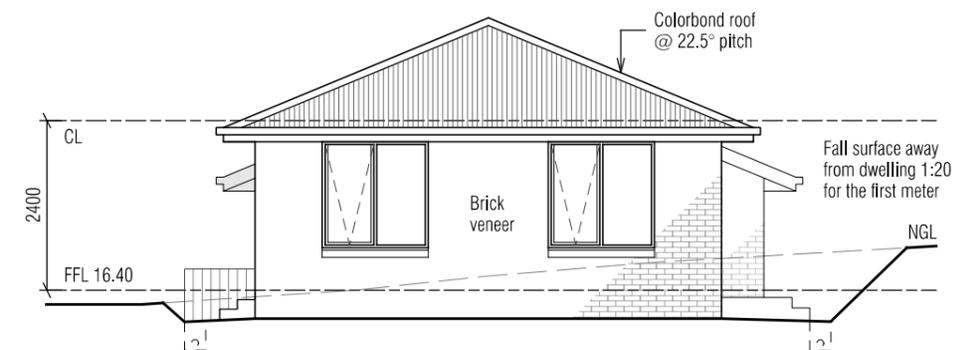
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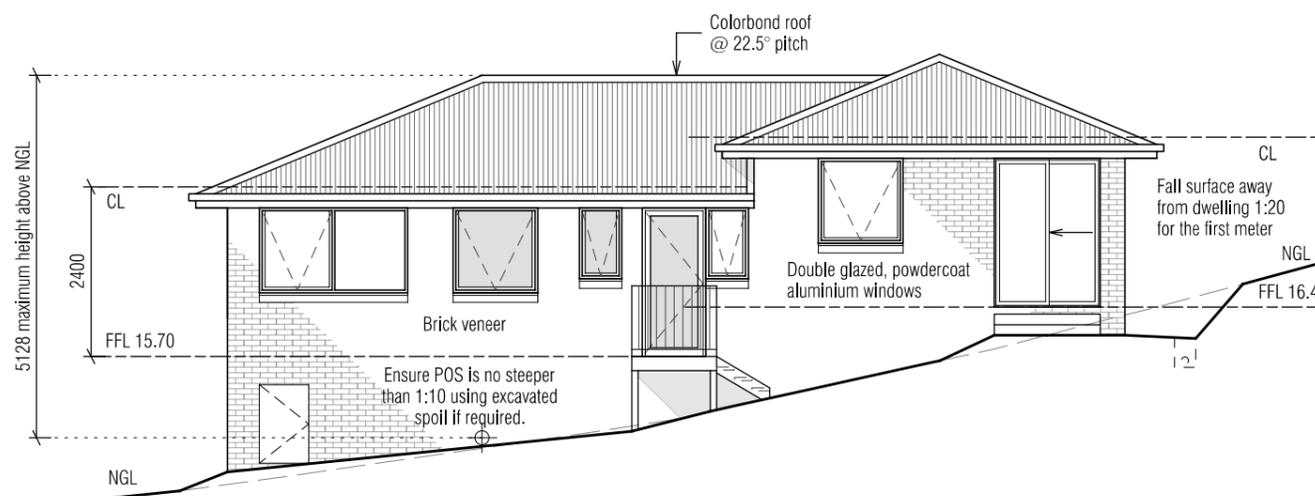
SOUTH WEST ELEVATION



SOUTH EAST ELEVATION



NORTH WEST ELEVATION



NORTH EAST ELEVATION

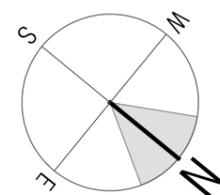
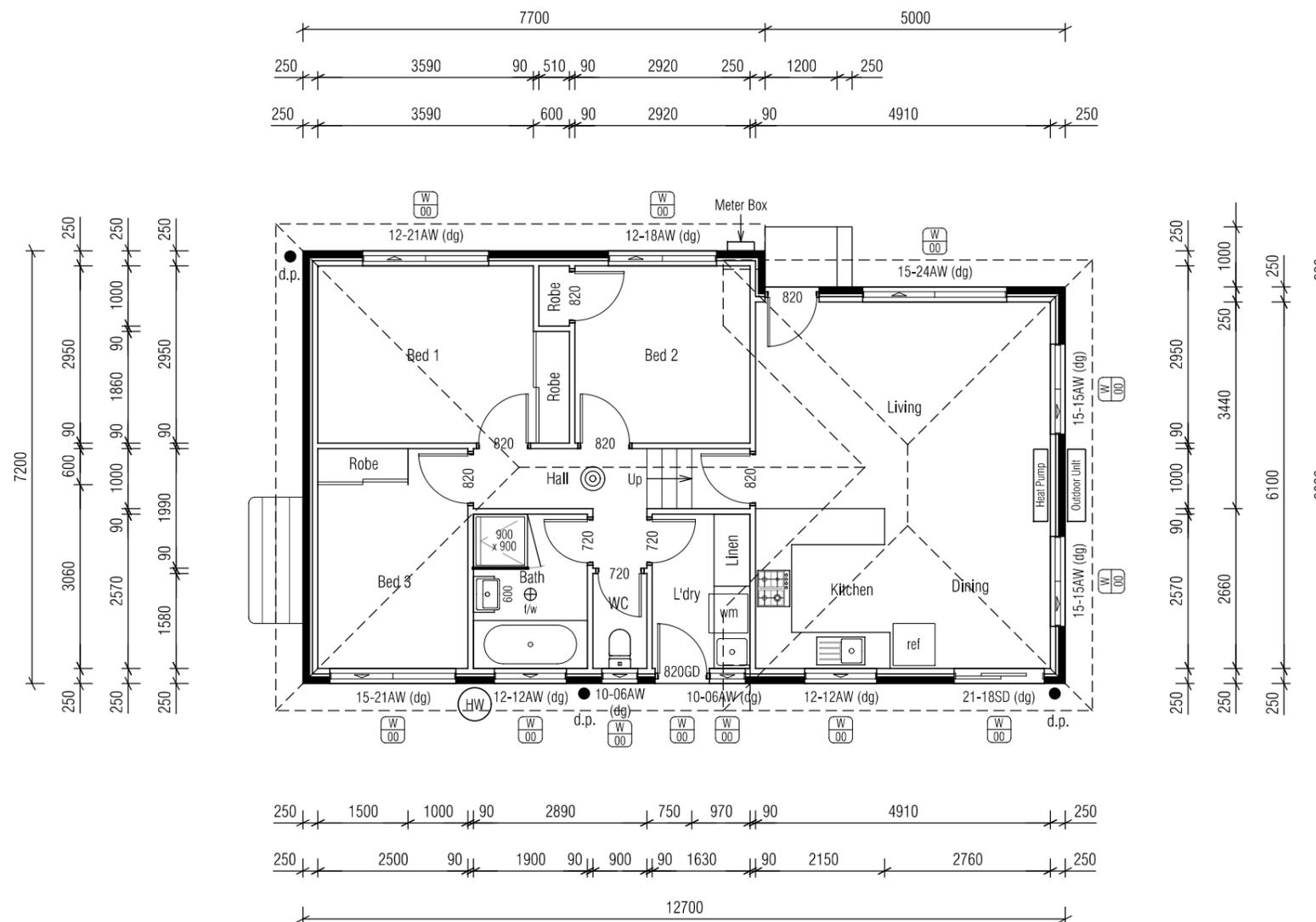
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DRAWN BY: PC

DWG No:

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Porch Area = 1.5m<sup>2</sup>



Scale 1:200

PROPOSED UNIT DEVELOPMENT FOR BRYDEN HOMES  
AT 45 TOTTENHAM ROAD, GAGEBROOK

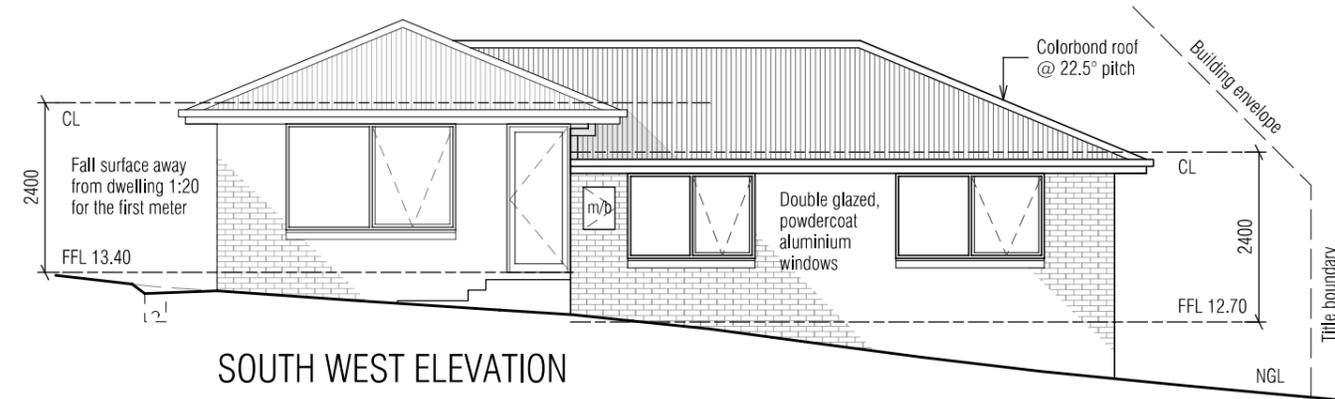
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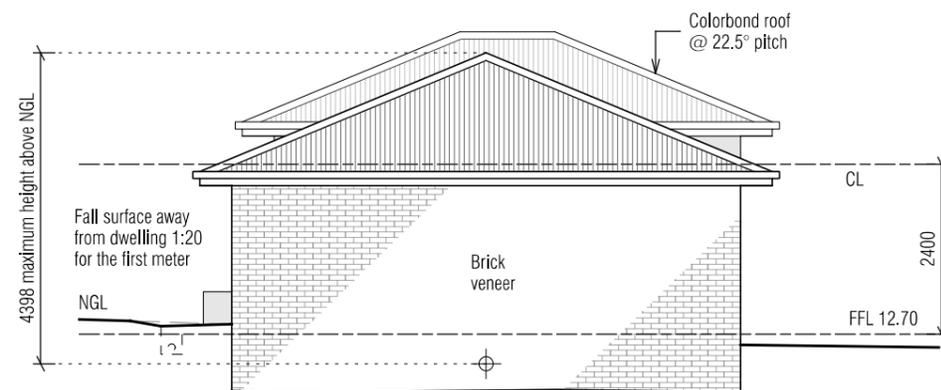
DRAWING: UNIT 2 FLOOR PLAN  
DATE: 03/10/21  
FILE NAME: 136 DA 220724.dgn  
DRAWN BY: PC

DWG No:

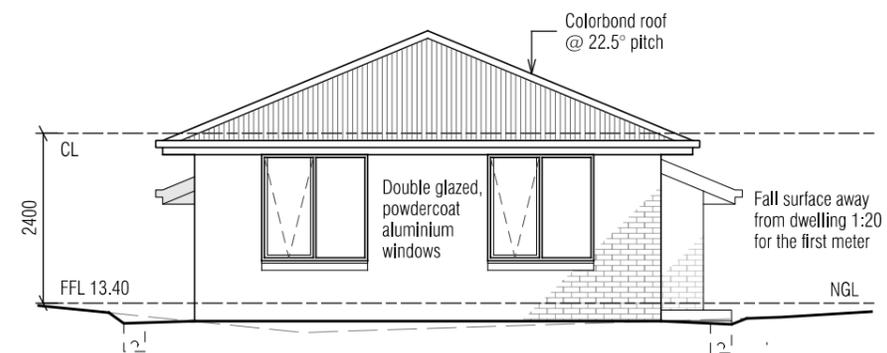
05



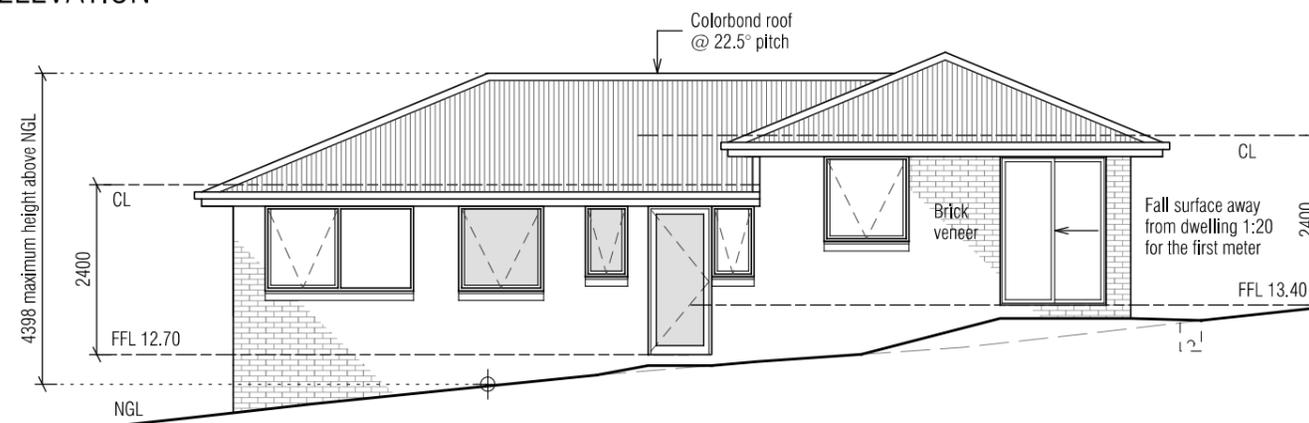
SOUTH WEST ELEVATION



SOUTH EAST ELEVATION



NORTH WEST ELEVATION



NORTH EAST ELEVATION

**NOT BUSHFIRE PRONE**  
As shown in the Tasmanian  
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DRAWING: UNIT 2 ELEVATIONS  
DATE: 03/10/21  
FILE NAME: 136 DA 220724.dgn  
DRAWN BY: PC

DWG No:

Scale 1:100

PROPOSED UNIT DEVELOPMENT FOR BRYDEN HOMES  
AT 45 TOTTENHAM ROAD, GAGEBROOK

06

## Submission to Planning Authority Notice

### Application details

Council Planning Permit No.	DA 2024 / 00200
Council notice date	18/10/2024
TasWater Reference No.	TWDA 2024/01232-BTN
Date of response	23/10/2024
TasWater Contact	Phil Papps
Phone No.	0474 931 272

### Response issued to

Council name	BRIGHTON COUNCIL
Contact details	development@brighton.tas.gov.au

### Development details

Address	45 TOTTENHAM RD, GAGEBROOK
Property ID (PID)	5052766
Description of development	Multiple Dwellings x 2

### Schedule of drawings/documents

Prepared by	Drawing/document No.	Revision No.	Issue date
Bryden Homes	Site Plan / 01	--	03/10/2021

### Conditions

Pursuant to the *Water and Sewerage Industry Act 2008 (TAS)* Section 56P(1) TasWater imposes the following conditions on the permit for this application:

#### CONNECTIONS, METERING & BACKFLOW

1. A suitably sized water supply with metered connections and sewerage system and connections to the development must be designed and constructed to TasWater's satisfaction and be in accordance with any other conditions in this permit.  
**Advice:** *TasWater advises the existing 38mm water main (Asset A206285) servicing the lot is deemed to have sufficient spare capacity to service the additional 0.6 ET demand generated by the proposed development.*
2. Any removal/supply and installation of water meters and/or the removal of redundant and/or installation of new and modified property service connections must be carried out by TasWater at the developer's cost.

3. Prior to commencing use of the development, any water connection utilised for the development must have a backflow prevention device and water meter installed, to the satisfaction of TasWater.

#### **56W CONSENT**

4. Prior to the issue of the Certificate for Certifiable Work (Building) and/or (Plumbing) by TasWater the applicant or landowner as the case may be must make application to TasWater pursuant to section 56W of the Water and Sewerage Industry Act 2008 for its consent in respect of that part of the development which is built within two metres of TasWater infrastructure.

#### **DEVELOPER CHARGES**

5. Prior to TasWater issuing a Certificate(s) for Certifiable Work (Building) and/or (Plumbing), the applicant or landowner as the case may be, must pay a developer charge totalling \$1,054.20 to TasWater for water infrastructure for 0.6 additional Equivalent Tenements, indexed by the Consumer Price Index All groups (Hobart) from the date of this Submission to Planning Authority Notice until the date it is paid to TasWater.
6. Prior to TasWater issuing a Certificate(s) for Certifiable Work (Building) and/or (Plumbing), the applicant or landowner as the case may be, must pay a developer charge totalling \$1,757.00 to TasWater for sewerage infrastructure for 1.0 additional Equivalent Tenements, indexed by the Consumer Price Index All groups (Hobart) from the date of this Submission to Planning Authority Notice until the date it is paid to TasWater.

#### **DEVELOPMENT ASSESSMENT FEES**

7. The applicant or landowner as the case may be, must pay a development assessment fee of \$242.85 to TasWater, as approved by the Economic Regulator and the fee will be indexed, until the date paid to TasWater.

The payment is required within 30 days of the issue of an invoice by TasWater.

### **Advice**

#### **General**

For information on TasWater development standards, please visit

<https://www.taswater.com.au/building-and-development/technical-standards>

For application forms please visit

<https://www.taswater.com.au/building-and-development/development-application-form>

#### **Developer Charges**

For information on Developer Charges please visit the following webpage –

<https://www.taswater.com.au/building-and-development/developer-charges>

#### **Water Submetering**

As of July 1 2022, TasWater's Sub-Metering Policy no longer permits TasWater sub-meters to be installed for new developments. Please ensure plans submitted with the application for Certificate(s) for Certifiable Work (Building and/or Plumbing) reflect this. For clarity, TasWater does not object to private sub-metering arrangements. Further information is available on our website ([www.taswater.com.au](http://www.taswater.com.au)) within our Sub-Metering Policy and Water Metering Guidelines.

#### **Service Locations**

Please note that the developer is responsible for arranging to locate the existing TasWater infrastructure and clearly showing it on the drawings. Existing TasWater infrastructure may be located by a surveyor and/or a private contractor engaged at the developers cost to locate the infrastructure.

### **56W Consent**

The plans submitted with the application for the Certificate for Certifiable Work (Building) and/or (Plumbing) will need to show footings of proposed buildings located over or within 2.0m from TasWater pipes and will need to be designed by a suitably qualified person to adequately protect the integrity of TasWater's infrastructure, and to TasWater's satisfaction, be in accordance with AS3500 Part 2.2 Section 3.8 to ensure that no loads are transferred to TasWater's pipes. These plans will need to also include a cross sectional view through the footings which clearly shows;

- (a) Existing pipe depth and proposed finished surface levels over the pipe;
- (b) Footings must be no closer than 1.0m from the outside pipewall of TasWater's sewerage pipes;
- (c) The line of influence from the base of the footing must pass below the invert of the pipe and be clear of the pipe trench and;
- (d) A note on the plan indicating how the pipe location and depth were ascertained.
- (e) The location of the property service connection and sewer inspection opening (IO).

### **Declaration**

The drawings/documents and conditions stated above constitute TasWater's Submission to Planning Authority Notice.