



Application for Planning Approval

Land Use Planning and Approvals Act 1993

APPLICATION NO.

DA2024/202

LOCATION OF AFFECTED AREA

14 ETHAN COURT, BRIGHTON

DESCRIPTION OF DEVELOPMENT PROPOSAL

OUTBUILDING

A COPY OF THE DEVELOPMENT APPLICATION MAY BE VIEWED AT www.brighton.tas.gov.au AND AT THE COUNCIL OFFICES, 1 TIVOLI ROAD, OLD BEACH, BETWEEN 8:15 A.M. AND 4:45 P.M, MONDAY TO FRIDAY OR VIA THE QR CODE BELOW. ANY PERSON MAY MAKE WRITTEN REPRESENTATIONS IN ACCORDANCE WITH S.57(5) OF THE LAND USE PLANNING AND APPROVALS ACT 1993 CONCERNING THIS APPLICATION UNTIL 4:45 P.M. ON **13/01/2025**. ADDRESSED TO THE CHIEF EXECUTIVE OFFICER AT 1 TIVOLI ROAD, OLD BEACH, 7017 OR BY EMAIL AT development@brighton.tas.gov.au. REPRESENTATIONS SHOULD INCLUDE A DAYTIME TELEPHONE NUMBER TO ALLOW COUNCIL OFFICERS TO DISCUSS, IF NECESSARY, ANY MATTERS RAISED.

JAMES DRYBURGH
Chief Executive Officer



Brighton
going places

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Project Information

Land Title Reference: Volume 143750 Folio 10
 PID: 2610240
 Lot area: 9269m²

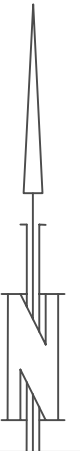
Total floor areas:

- Existing Dwelling 200m² +-
- Existing Outbuildings 140m² +-
- Existing to be Demolished 54m²
- Proposed Outbuilding 228m²

Planning Scheme - Tasmanian Planning Scheme
 Zone - Rural Living

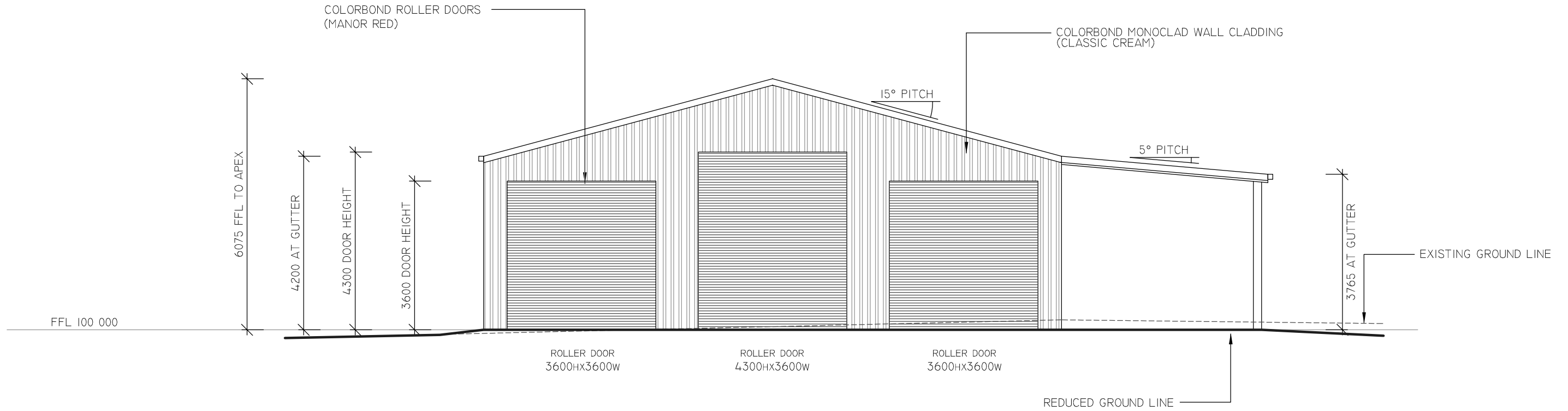
Design Wind Speed: N3 (Assumed)
 Soil Classification: Class M (Assumed)
 Climate Zone: 7
 Bushfire-Prone Area
 BAL rating: NA
 Rock Type:

INTENDED USE
 VEHICLE AND EQUIPMENT STORAGE.

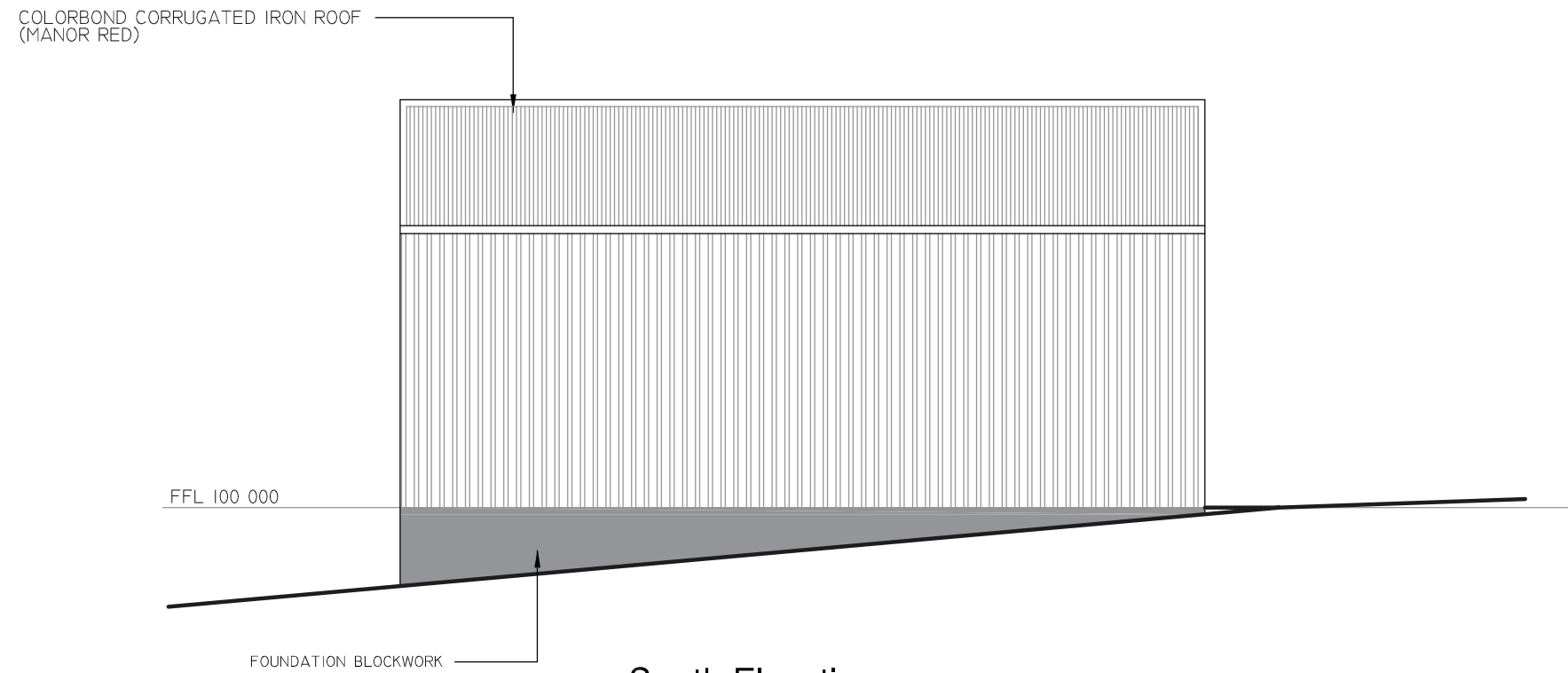


Site Plan 1:500


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|----------------------------|------------------------|---|-----------------------------|--|--|--------|--------------------|
| Date 18th December 2024 | Page size A3 | Client G & T Pitt | Proposal New Outbuilding | Darryn White - Building Design and Consulting. P O Box 381 Rosny Park Tasmania 7018 P: 0409 659 358 E: dwbdac@gmail.com W: www.everythingbuilding.com.au ABN: 56130097060 ACCREDITATION NO: CC1623W | | © 2024 | Page No 01 / 06 |
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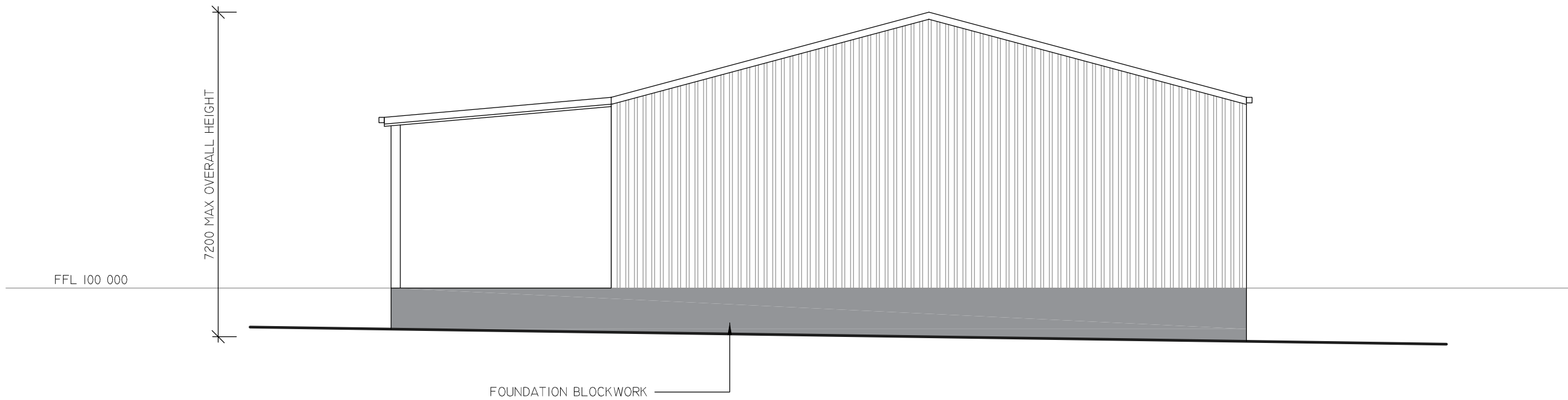


East Elevation



South Elevation


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West Elevation



North Elevation

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CONSTRUCTION GENERALLY:

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH CURRENT BUILDING REGULATIONS, NATIONAL CONSTRUCTION CODE (NCC), RELEVANT AUSTRALIAN STANDARDS AND LOCAL AUTHORITY REQUIREMENTS.

SITE PREPARATION, EXCAVATION AND EARTHWORKS TO COUNCIL REQUIREMENTS AND IN ACCORDANCE WITH PART 3.1.1 OF NCC.

CONCRETE FOOTINGS / SLAB TO AS 2870.1 AND ENGINEER SPECIFICATIONS. UNLESS OTHERWISE SPECIFIED, FOOTINGS 20MPA / SLAB 25MPA.

OUTBUILDING STRUCTURAL; DETAILS AND CERTIFICATION AS PER MANUFACTURER'S DOCUMENTATION.

BUILDER TO VERIFY ALL DIMENSIONS AND DETAILS ON THIS SET OF PLANS PRIOR TO COMMENCEMENT OF WORK ON SITE.

USE WRITTEN DIMENSIONS IN PREFERENCE TO MEASURING OFF THE PLAN.

COUNCIL / CONTRACTOR TO CONTACT DARRYN WHITE BUILDING DESIGN AND CONSULTING IF NECESSARY INFORMATION IS NOT PROVIDED ON THIS SET OF PLANS.

REFER TO MANUFACTURER ENGINEER DRAWINGS FOR ALL MEMBER AND MATERIAL DETAILS AS WELL AS FOOTING DESIGN AND SPECIFICATIONS.

NOTE: MINIMUM FOUNDATION DEPTH SHOULD BE 100MM INTO NATURAL GROUND. IF FILL IS TO BE USED UNDER SLAB COMPACT IN 150MM LAYERS TO A MAXIMUM DEPTH OF 900MM.

ALL EARTHWORKS & EXCAVATION TO BE IN ACCORDANCE WITH PART 3.1.1 CURRENT NCC.

COLOUR'S (COLORBOND®):

- ROOF - MANOR RED
- EXT. WALLS - CLASSIC CREAM
- ROLLER DOORS - MANOR RED
- P.A DOOR - CLASSIC CREAM
- GUTTER - MANOR RED
- BARGE FLASHING - MANOR RED
- CORNER FLASH - CLASSIC CREAM
- OPENING FLASH - MANOR RED

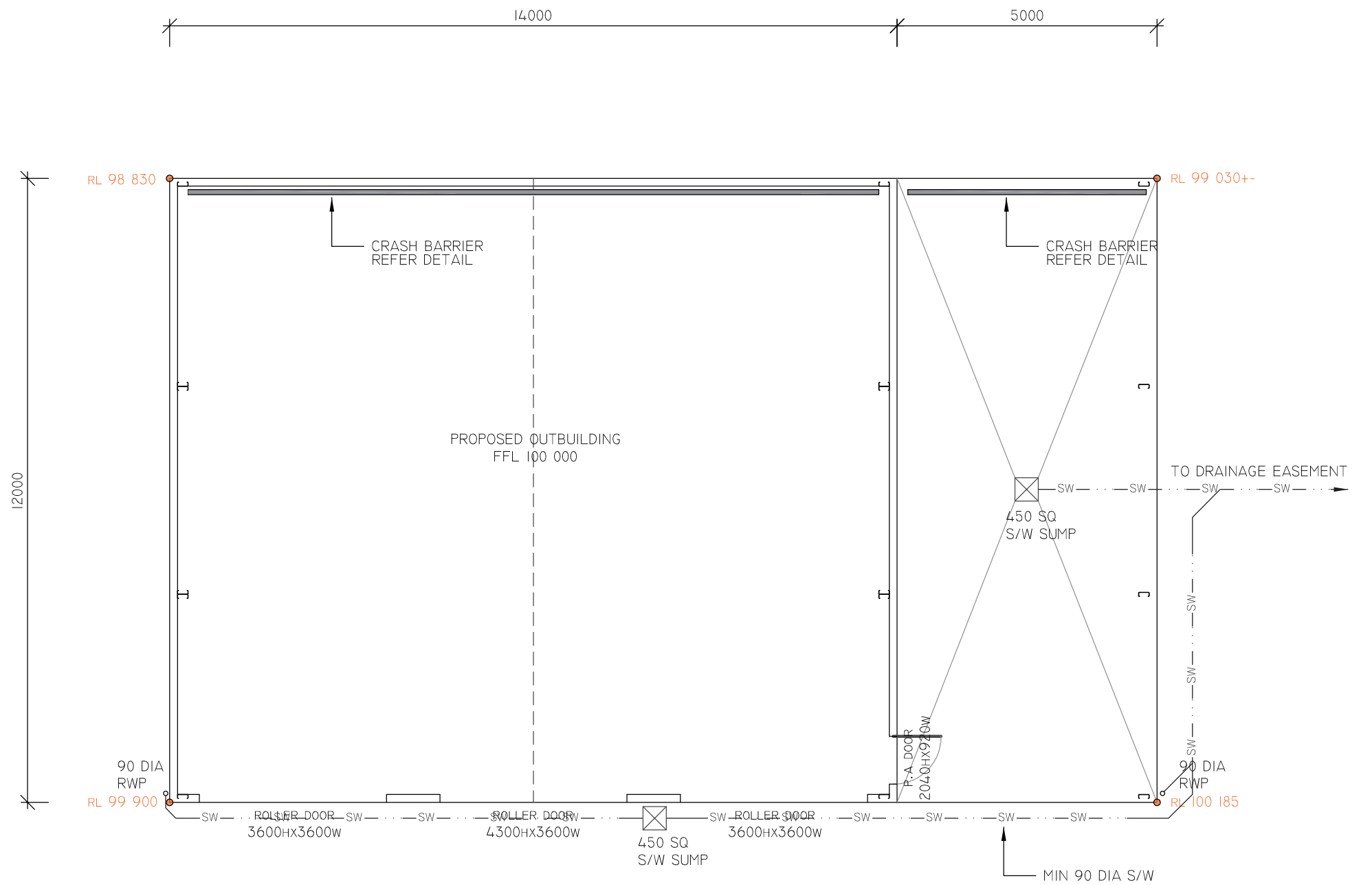
PLUMBING GENERALLY:

ALL PLUMBING TO BE IN ACCORDANCE WITH AS 3500. TAS PLUMBING CODE AND LOCAL AUTHORITY REQUIREMENTS.


MIN 90DIA PVC STORM WATER TO DRAINAGE EASEMENT.

PLUMBER TO VERIFY CONNECTION LOCATION ON SITE.

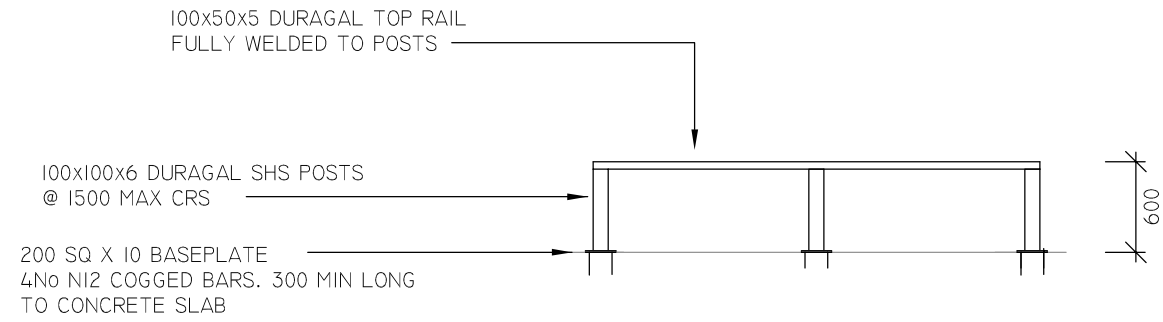
FIRST INSPECTION OPENING TO BE RAISED TO FINISHED GROUND LEVEL.



Floor / Drainage Plan 1:100

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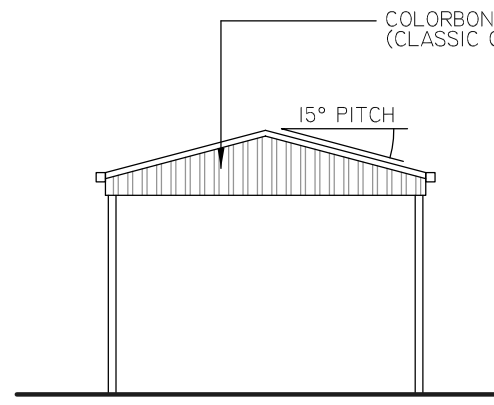


Vehicle Crash Barrier Detail 1:50

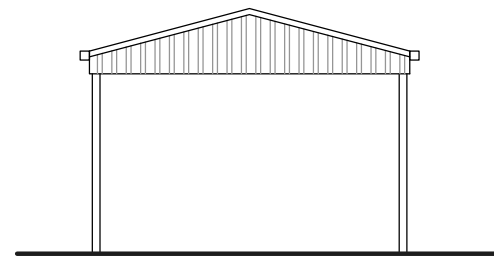


Vehicle Crash Barrier Fixing Plan 1:50

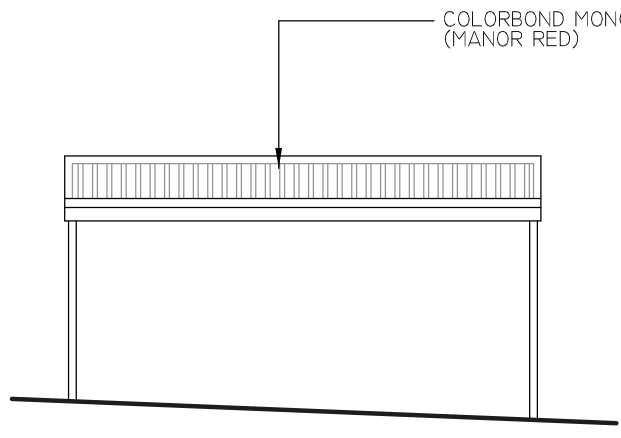
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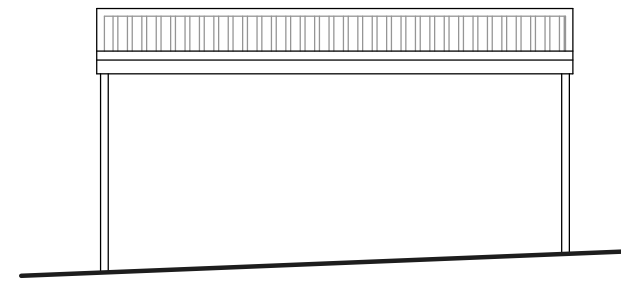
East Elevation



West Elevation

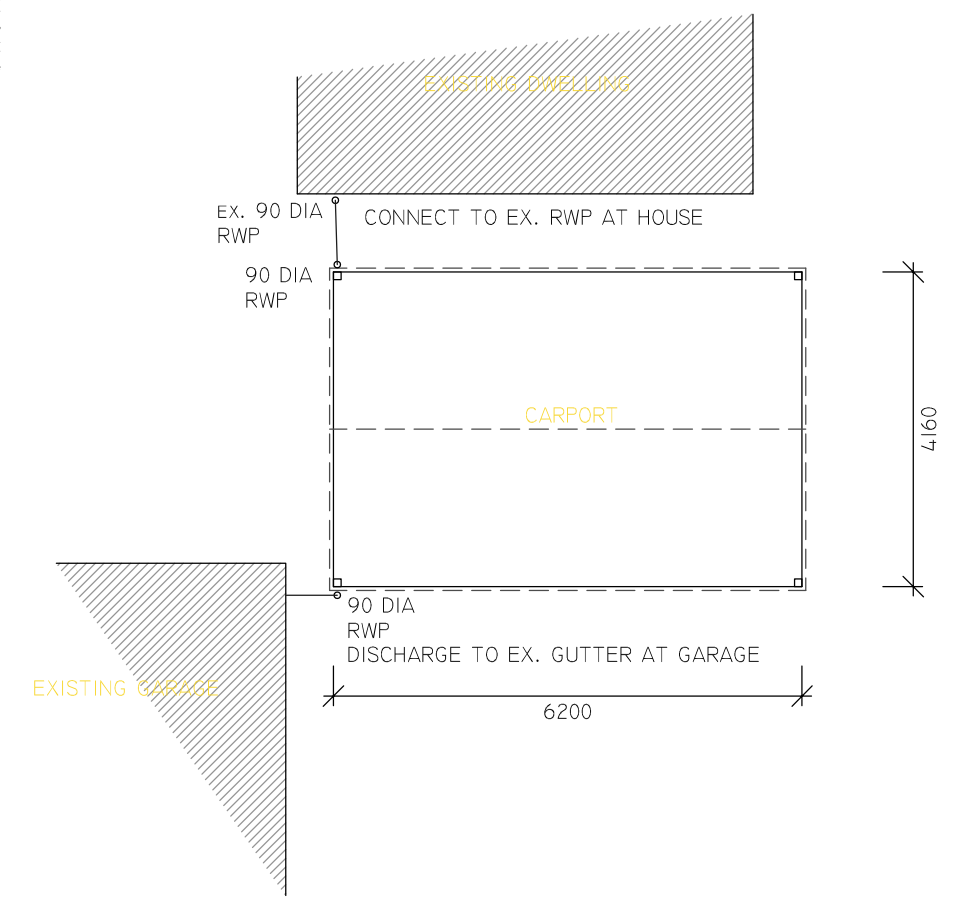


South Elevation



North Elevation

3490 MAX OVERALL HEIGHT



Floor / Drainage Plan 1:100

As Constructed Carport

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