

Application for Planning Approval

Land Use Planning and Approvals Act 1993

APPLICATION NO.

DA2024/201

LOCATION OF AFFECTED AREA

43 FOUCHE AVENUE & 39 FOUCHE AVENUE, OLD BEACH

DESCRIPTION OF DEVELOPMENT PROPOSAL

MULTIPLE DWELLINGS X 2 AND BOUNDARY ADJUSTMENT

A COPY OF THE DEVELOPMENT APPLICATION MAY BE VIEWED AT www.brighton.tas.gov.au AND AT THE COUNCIL OFFICES, 1 TIVOLI ROAD, OLD BEACH, BETWEEN 8:15 A.M. AND 4:45 P.M, MONDAY TO FRIDAY OR VIA THE QR CODE BELOW. ANY PERSON MAY MAKE WRITTEN REPRESENTATIONS IN ACCORDANCE WITH S.57(5) OF THE LAND USE PLANNING AND APPROVALS ACT 1993 CONCERNING THIS APPLICATION UNTIL 4:45 P.M. ON 23/12/2024. ADDRESSED TO THE CHIEF EXECUTIVE OFFICER AT 1 TIVOLI ROAD, OLD BEACH, 7017 OR BY EMAIL AT development@brighton.tas.gov.au. REPRESENTATIONS SHOULD INCLUDE A DAYTIME TELEPHONE NUMBER TO ALLOW COUNCIL OFFICERS TO DISCUSS, IF NECESSARY, ANY MATTERS RAISED.

JAMES DRYBURGH Chief Executive Officer





PINNACLE







43 (39A & 39B) Fouche Avenue, Old Beach, 7017

Owner(s) or Clients	Amarillo Developments				
Building Classification 1a x 2	units				
Designer	Jason Nickerson CC6073Y				
Total Floor Area (Combined)	306.26m ² Patio 35.11m ²				
Alpine Area	N/A				
Other Hazards	N/A				
(e.g High wind, earthquake, flooding, landslip,					
dispersive soils, sand dunes, mine subsidence,					

landfill, snow & ice, or other relevant factors)

Title Reference	1775	34/14
Zoning	Gene	ral Residential
Land Size		641+9.74m ²
Design Wind Speed		TBA
Soil Classification		TBA
Climate Zone	7	
Corrosion Environment		Medium
Bushfire Attack Level (BAL)		TBA

ID	Sheet Name	lssue		
A0.01	Site Plan	DA - 05		
A1.01	U1 - Floor Plan	DA - 05		
A1.02	U1 - Elevations	DA - 05		
A1.03	U1 - Elevations	DA - 05		
A1.04	U1 - Roof Plan	DA - 05		
A1.05	U1 - Electrical Plan	DA - 05		
A2.01	U2 - Floor Plan	DA - 05		
A2.02	U2 - Elevations	DA - 05		
A2.03	U2 - Elevations	DA - 05		
A2.04	U2 - Roof Plan	DA - 05		
A2.05	U2 - Electrical Plan	DA - 05		
C.01	Civil Plan	DA - 05		
C.02	Parking	DA - 05		
C.03	U2 Parking	DA - 05		
C.04	Turning 1 (ENTRY)	DA - 05		
C.05	Turning 1 (EXIT)	DA - 05		
C.06	Turning 2 (ENTRY)	DA - 05		
C.07	Turning 2 (EXIT)	DA - 05		
C.08	Turning 3 (ENTRY)	DA - 05		
C.09	Turning 3 (EXIT)	DA - 05		
C.10	Turning 4 (ENTRY)	DA - 05		
C.11	Turning 4 (EXIT)	DA - 05		
C.12	Turning 5 (ENTRY)	DA - 05		
C.13	Turning 5 (EXIT)	DA - 05		
L.01	Landscaping Plan	DA - 05		
L.02	Planting Schedule & Details	DA - 05		
P.01	Sewer & Water Plan	DA - 05		

Note: The images provided are artistic representations only and should not be used as references for final colours, finishes, or external/internal features.

<u>Legend</u>

- Electrical Connection -
- Electrical Turret
- S - Sewer Connection
- Stormwater Connection
- - Telstra Connection
- Telstra Pit
- (MM) Water Meter
- Water Stop Valve Τ
- Fire Hydrant
- \bigcirc - Solar Bollard Light
- \mathbf{V} - Spotlight with sensor

Surface Water Drainage

Ground to fall away from building in all directions in compliance with AS2870 & N.C.C 2022 3.3.3.

Surface water must be diverted away from a Class 1 building as follows:

- (a)Slab-on-ground finished ground level adjacent to a building: the external finished surface surrounding the slab must be drained to move surface water away from the building and graded to give a slope of not less than (i)25mm over the first 1m from the building
- (A)in low rainfall intensity areas for surfaces that are reasonably impermeable (such as concrete or
- claypaving); or (B)for any reasonably impermeable surface that forms part of an access path or ramp
- provided for the purposes of Clauses 1.1 (2) or (4)(c) of the ABCB Standard for Livable Housing Design; or (ii) 50 mm over the first 1 m from the building in
- any other case.
- (b)Slab-on-ground finished slab heights: the height of the slab-on-ground above external
- finished surfaces mustbe not less than (i)100 mm above the finished ground level in low rainfall intensity areas or sandy, welldrained areas; or
- (ii)50 mm above impermeable (paved or concrete) areas that slope away from the building in accordance with(a); or
- (iii) 150 mm in any other case. (c)The ground beneath suspended floors must be graded so that the area beneath the building is
- above the adjacent external finished ground level and surface water is prevented from ponding under the building.

Subsoil Drainage is to comply with AS2870, AS3500 & N.C.C 2022

Where a subsoil drainage system is installed to divert subsurface water away from the area beneath a building, the subsoil drain must-(a) be graded with a uniform fall of not less than 1:300: and

- (b) discharge into an external silt pit or sump with-
- (i) the level of discharge from the silt pit or sump into an impervious drainage line not less than 50 mm below the invert level of the inlet; and provision for cleaning and maintenance.

Note

3.3.4.

All driveway pits and grate drains to be Class B.

Stormwater pits are indicative. Location may vary depending on site conditions.

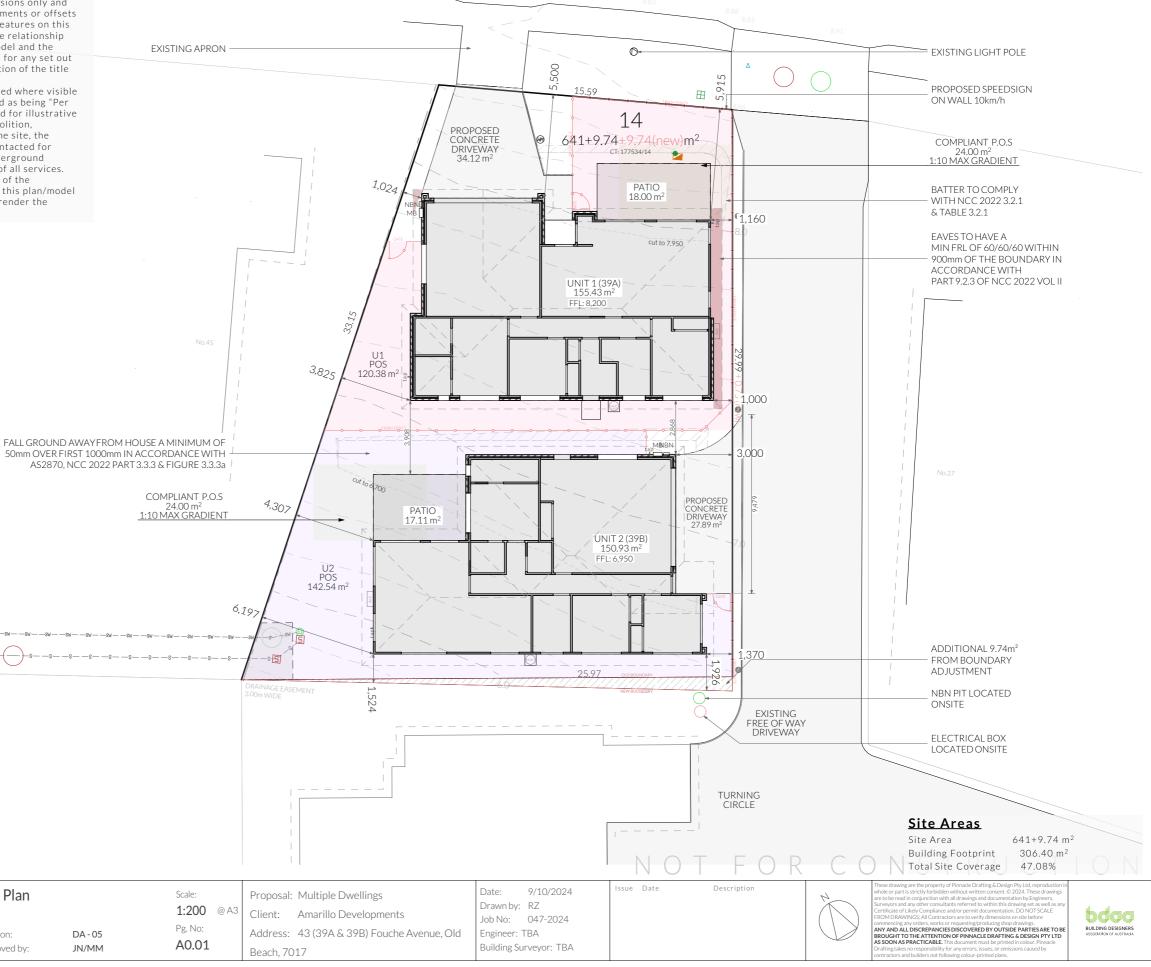
PINNACLE	PINNACLE DRAFTING & DESIGN	Cito Dian		Scale:	Deserved Multiple Doublings	Date: 9/10/2024	Issue Date	Description
	PINNACLE DRAFTING & DESIGN 7/3 Abernant Way, Cambridge 7170	Site Plan			Proposal: Multiple Dwellings	Drawn by: RZ		
	03 6248 4218			1:200 @ A3	Client: Amarillo Developments	Job No: 047-2024		
	admin@pinnacledrafting.com.au	Devision		Pg. No:	Address: 43 (39A & 39B) Fouche Avenue, Old			
	www.pinnacledrafting.com.au	Revision:	DA - 05	A0.01	Addiess. 43 (37A & 37B) Fouche Avenue, Old			
	Licence: CC6073Y	Approved by:	JN/MM	70.01	Beach, 7017	Building Surveyor: TBA		

Survey Notes from Surveyor

This plan and associated digital model is prepared for Amarillo Developments from a combination of field survey and existing records for the purpose of designing new constructions on the land and should not be used for any

other purpose. The title boundaries as shown on this plan were not marked at the time of the survey and have been determined by plan dimensions only and not by field survey. No measurements or offsets are to be derived between the features on this plan and the boundary layer. The relationship between the features in this model and the boundary layers cannot be used for any set out purposes or to confirm the position of the title boundaries on site. Services shown have been located where visible by field survey. Services denoted as being "Per DBYD only" are approximate and for illustrative

purposes only. Prior to any demolition, excavation or construction on the site, the relevant authority should be contacted for possible location of further underground services and detailed locations of all services. This note forms an integral part of the Plan/Data. Any reproduction of this plan/model without this note attached will render the information shown invalid.



FOUCHE AVENUE

- Access Panel A
- Articulation Joint
- (SA) Smoke Alarm

Construction of sanitary

compartments 10.4.2 of NCC 2022

The door to a fully enclosed sanitary compartment must -

- open outwards; or
- slide; or

be readily removable from the outside of the compartment.

unless there is a clear space of at least 1.2 m, measured in accordance with Figure 10.4.2 of NCC 2022 Vol II, between the closet pan within the sanitary compartment and the doorway.

1,590

340

12,540

1,840

25077

000

4,110

4,610

Note: Safe Movement & Egress

Openable windows greater than 4m above the surface below are to be fitted with a device to limit opening or a suitable screen so a 125mm sphere cannot pass through. Except for Bedrooms, where the requirement is for heights above 2m. Refer to clauses 11.3.7 and 11.3.8 of NCC 2022 for further information on suitable protective devices.

Note: Paved Areas

All paths and patios to fall away from dwelling.

Note: Stair Construction

All stairs to be constructed in accordance with NCC Vol II 2022 Part 11.2.2: Riser: Min 115mm - Max 190mm Going: Min 240mm - Max 355mm Slope (2R+G): Max 550 - Min 700 For stairways serving non-habitable room used infrequently, refer to table 11.2.2(b).

Landings to comply with Clause 11.2.5 and be a minimum of 750mm deep measured 500mm from the inside edge of the landing.

Slip resistance of treads, nosings and ramps to comply with Clause 11.2.4.

Heights of rooms & other spaces

<u>10.3.1 of NCC 2022</u>

Heights of rooms and other spaces must not be less than;

(a)in a habitable room excluding a kitchen - 2.4 m; and (b)in a kitchen - 2.1 m; and

(c)in a corridor, passageway or the like - 2.1 m; and (d)in a bathroom, shower room, laundry, sanitary compartment, airlock, pantry, storeroom, garage, car parking area or the like - 2.1 m; and (e)in a room or space with a sloping ceiling or

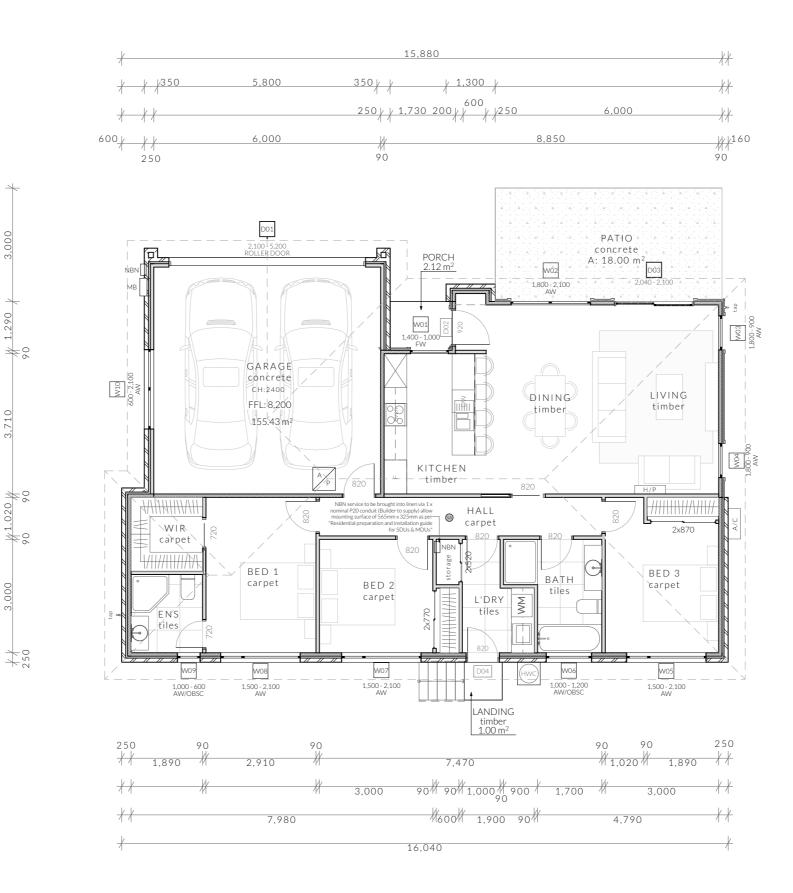
projections below the ceiling line within- See NCC directly for these items (f)in a stairway, ramp, *landing*, or the like - 2.0 m

measured vertically above the nosing line of stairway treads or the floor surface of a ramp, landing or the like.

If required onsite, the builder may work within the tolerances of the above as specified within the NCC 2022 Vol II. Builder to contact Pinnacle before undertaking works.

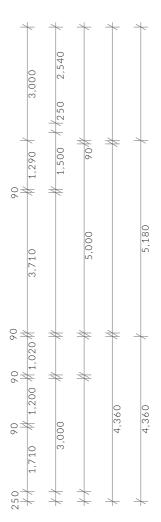
Floor Areas

Total Floor Area <u>155.47m²</u> Deck 18m²



PINNACLE admin@	innacledrafting.com.au	evision:	DA - 05 JN/MM	1:100 @ A3	Client: Amarillo Developments Address: 43 (39A & 39B) Fouche Avenue, Old	Date: 9/10/2024 Drawn by: RZ Job No: 047-2024 Engineer: TBA Building Surveyor: TBA	Issue Date	Description
Licence:	e: CC6073Y	pproved by.	514/141141		Beach, /01/	Building our veyor. TBX		

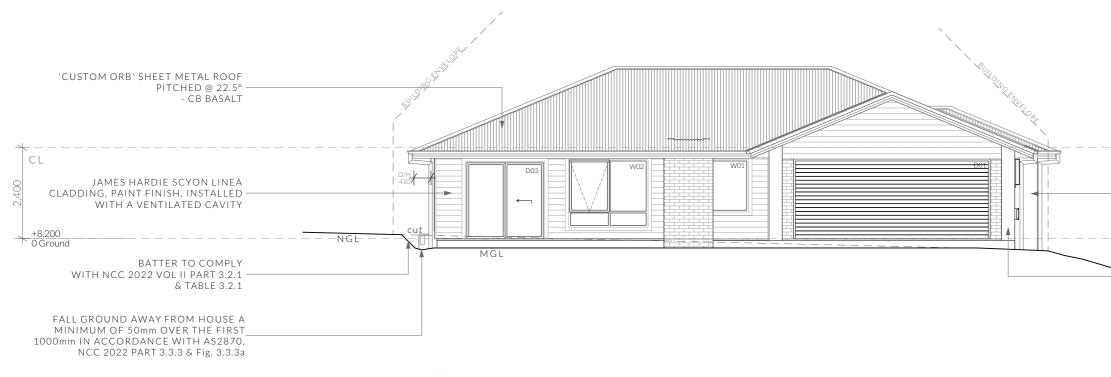
- BATTS TO WALL - SOUND INSULATION



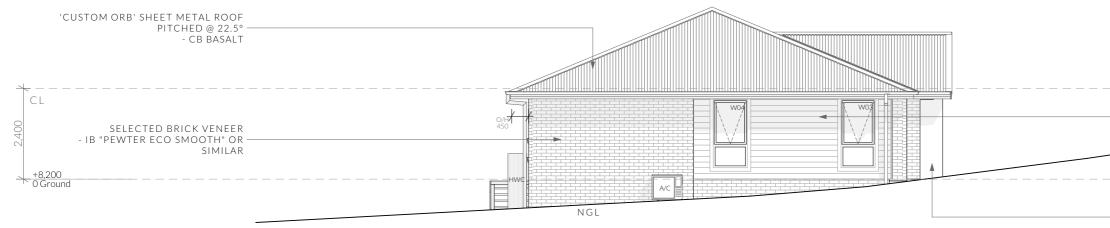


bdaa BUILDING DESIGNER

fting takes no re



U1 - North Elevation



NOTE

joints.

Clearances between cladding and ground shall comply with Clause 7.5.7 of the NCC 2022 and shall be a minimum clearance of:

100mm in low rainfall intensity areas or sandy, well-drained areas; or 50mm above impermeable areas that slope away from the building; or 150mm in any other case.

Wall cladding must extend a minimum of 50 mm below the bearer or lowest horizontal part of the suspended floor framing.

U1 - East Elevation U.N.O in builders specifications or located in saline environments or if using a glazed finish brick, brickwork is to be installed in stretcher bond pattern with raked

As per NCC parts 11.3.7 and 11.3.8,

Openable windows greater than 4m above ground level are to be fitted with a device to limit the opening or a suitable screen so a 125mm sphere cannot pass through, and withstand a force of 250N. Except for bedrooms, where the requirement is for heights above 2m.

All stairs to be constructed in accordance with NCC 2022 Vol II Part 11.2.2

NOI - () Slope (2R+G): Max 550 - Min 700 Riser: Min 115mm - Max 190mm Going: Min 240mm - Max 355mm PINNACLE DRAFTING & DESIGN ssue Date Descriptio Date: 9/10/2024 U1 - Elevations Scale: Proposal: Multiple Dwellings 7/3 Abernant Way, Cambridge 7170 Drawn by: RZ 1:100 @ A3 PINNACLE 03 6248 4218 Client: Amarillo Developments Job No: 047-2024 admin@pinnacledrafting.com.au Pg. No: Address: 43 (39A & 39B) Fouche Avenue, Old Engineer: TBA DA - 05 Revision: www.pinnacledrafting.com.au A1.02 JN/MM Building Surveyor: TBA Approved by: Beach, 7017 Licence: CC6073Y

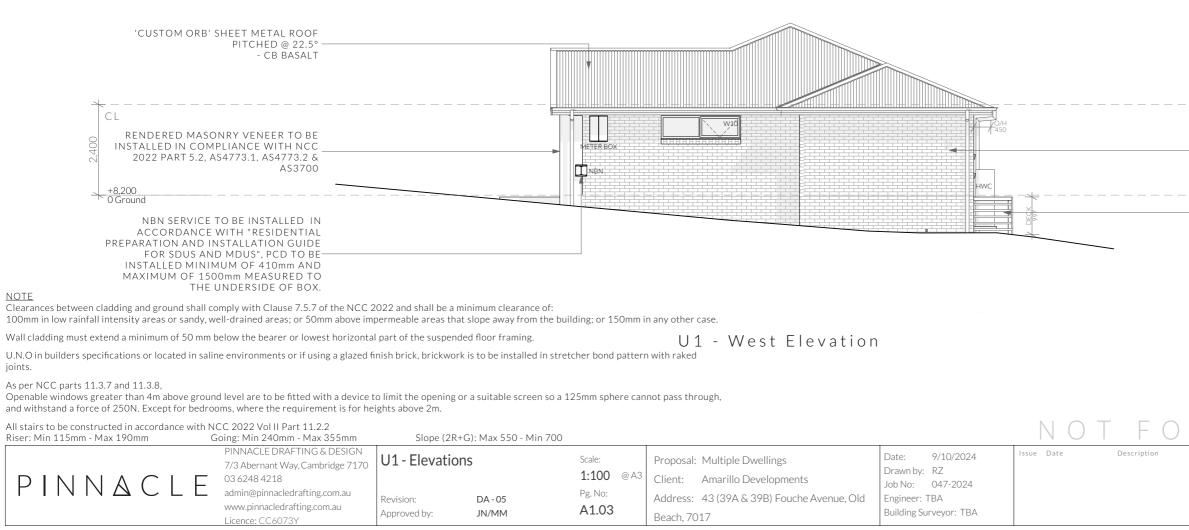
 SELECTED BRICK VENEER IB "PEWTER ECO SMOOTH" OR SIMILAR
RENDERED MASONRY VENEER TO BE INSTALLED IN COMPLIANCE WITH NCC 2022 PART 5.2, AS4773.1, AS4773.2 & AS3700

1:100

	JAMES HARDIE SCYON LINEA – CLADDING, PAINT FINISH, INSTAL WITH A VENTILATED CAVITY	
	RENDERED MASONRY VENEER TC INSTALLED IN COMPLIANCE WITH 2022 PART 5.2, AS4773.1, AS4773.2 AS3700	INCC
		1:100
whole are to Surve FROM Certif FROM ROM BROM BROM Draft	A drawing are the property of Pinnacle Drafting & Design Pty Ltd, reproduction in or part is strictly forbidden without written consent. © 2024. These drawings beread in conjunction with all drawings and documentation by Engineers, syors and any other consultants referred to within this drawings et as well as any beread in a conjunction within all avaings and documentation by Engineers. A DRAWINGS: All Contractors are to verify dimensions on site before revening any order: works or requesting/producing bod drawings. AND ALL DISCREPANCIES DISCOVERED BY OUTSIDE PARTIESARE TO BE OUTTO THE ATTENTION OF PINACLE DRAFTING & DESIGN PT VI DD DON AS PRACTICABLE. This documents be printed in colour. Pinnade Ing takes no repossibility for any errors, Suese, or omissions caused by	



U1 - South Elevation



SELECTED BRICK VENEER -- IB "PEWTER ECO SMOOTH" OR SIMILAR

STAIRS TO NGL

1:100

SELECTED BRICK VENEER -- IB "PEWTER ECO SMOOTH" OR SIMILAR

- STAIRS TO NGL

1:100

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Ventilation of roof spaces NCC 2022 Part 10.8.3

A roof must have a roof space that-

(a)is located-(i)immediately above the primary insulation layer;

or (ii)immediately above sarking with a vapour permeance of not less than 1.14 µg/N.s, which is immediately above the primary insulation layer; or

(iii)immediately above ceiling insulation; and (b)has a height of not less than 20 mm; and (c)is either-

(i)ventilated to outdoor air through evenly distributed openings in accordance with Table 10.8.3; or

(ii)located immediately underneath the roof tiles of an unsarked tiled roof.

Stormwater Notes

All gutters, downpipes and rain heads to be designed and installed in compliance with AS3500.3 & NCC 2022 Volume II Part 7.4.

Roofing Cladding

Roof cladding, flashings, cappings, roof sheeting and fixings are to be installed in accordance with NCC 2022 Volume II Part 7.2 for sheet roofing and Part 7.3 for tiled and shingle roofing.

Eaves & Soffit Linings

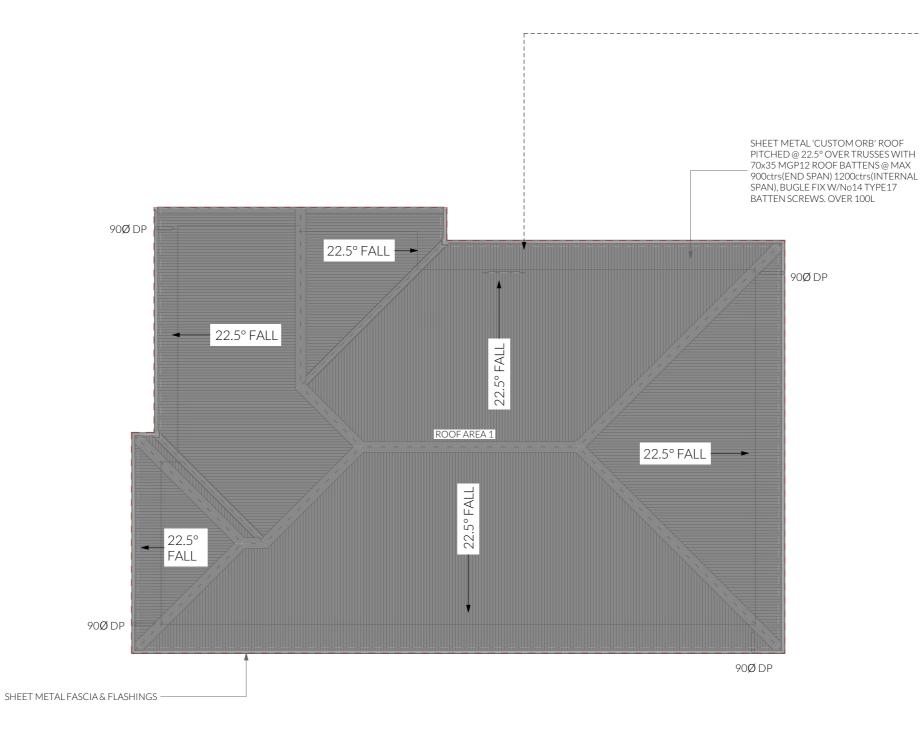
To comply with NCC 2022 Vol II Part 7.5.5 and where provided, external fibre-cement sheets and linings used as eaves and soffit linings must-(a)comply with AS/NZS 2908.2 or ISO 8336; and (b)be fixed in accordance with Table 7.5.5 and Figure 7.5.5 using-

(i) 2.8 × 30 mm fibre-cement nails; or (ii) No. 8 wafer head screws (for 4.5 mm and 6 mm

sheets only); or (iii) No. 8 self embedding head screws (for 6 mm

sheets only).

Refer to table 7.5.5 for trimmer and fastener spacings.



	PINNACLE DRAFTING & DESIGN 7/3 Abernant Way, Cambridge 7170 03 6248 4218	U1 - Roof Plar	ı	Scale: 1:100 @ A3	Proposal: Multiple Dwellings Client: Amarillo Developments	Date: 9/10/2024 Drawn by: RZ	Issue Date	Description
PINNACLE	admin@pinnacledrafting.com.au www.pinnacledrafting.com.au Licence: CC6073Y	Revision: Approved by:	DA - 05 JN/MM	Pg. No: A1.04	Address: 43 (39A & 39B) Fouche Avenue, Old Beach, 7017	Job No: 047-2024 Engineer: TBA Building Surveyor: TBA		



(1)Ventilation openings are specified as a minimum free open area per metre length of the longest horizontal dimension of the roof. (2)For the purposes of this Table, high level openings are openings provided at the ridge or not more than 900 mm below the ridge or highest point of the roof space, measured vertically.

<75°	7,000 mm2/m provided at the eaves and 5,000 mm2/m at high level, plus an additional 18,000 mm2/m at the eaves if the roof has a cathedral ceiling
<u>TCH</u>	VENTILATION OF OPENINGS (TABLE 10.8.3)

REQUIRED NUMBER OF ROOF VENTS:

ROOF PITCH >15° and <75° HIP/GABLE ROOF

REQUIRED VENT AREA Low Vents = 0.41m² ^(58.15m × 7,000mm2) High Vents = $0.06m^{2} (11.04m \times 5,000mm^{2})$

EAVE VENTS BUILDERS EDGE EAVE VENT (EV4020) 10x 400X200mm(0.042m²) VENTS EVENLY SPACED OR 25mm CONTINUOUS VENT

RIDGE VENT SYSTEM RIDGE CAP (Continuous 5mm gap in sarking)



ELECTRICAL LEGEND - UNIT 1

Symbol	Description	Allowance	Quantity
∇	DATA- CAT 6 (RJ45) - 1 GANG		2
Ų™	DATA-TV CONNECTION		1
B	FAN - 3 IN 1 (2 LAMP)	10W (LIGHT)	1
$\overline{\pm}$	FAN - 3 IN 1 (4 LAMP)	10W (LIGHT)	1
0	FAN - CEILING - EXHAUST		3
\vdash	GPO - (1) SINGLE		5
2/L	GPO - (2) DOUBLE		26
2/050	GPO - (2) DOUBLE (WITH COOKTOP ISOLATOR SWITCH)		1
W/PROOF	GPO - WEATHER PROOF DOUBLE		1
\bigotimes_{R}	LIGHT - CEILING - DOWNLIGHT RECESSED	10W	26
	LIGHT - CEILING - LED BATTEN	20W	4
``	LIGHT - CEILING - PENDANT - LED STRIP 2000L	20W (LM)	1
$\overline{\otimes}_{W1}$	LIGHT - WALL MOUNTED - TYPE 1	10W	4
64	SERVICE - SMOKE ALARM		1
Ь	SWITCH - LIGHT 1 GANG		12
2₫	SWITCH - LIGHT 2 GANG		2
4 년	SWITCH - LIGHT 4 GANG		2

Smoke Alarms Part 9.5 of NCC 2022

Smoke alarms must-(a)be located in-

(i) a Class 1a building in accordance with 9.5.2 and 9.5.4; and (ii) a Class 1b building in accordance with 9.5.3 and 9.5.4; and

(b)comply with AS 3786, except that in a Class 10a private garage where the use of the area is likely to result in smoke alarms causing spurious signals, any other alarm deemed suitable in accordance with AS 1670.1 may be installed provided that smoke alarms complying with AS 3786 are installed elsewhere in the Class 1 building; and

(c)be powered from the consumer mains source where a consumer mains source is supplied to the building; and be interconnected where there is more than one alarm.

In a Class 1a building, smoke alarms must be located in-

(a) any storey containing bedrooms, every corridor or hallway associated with a bedroom, or if there is no corridor or hallway, in an area between the

bedrooms and the remainder of the building; and

(b) each other storey not containing bedrooms.

Smoke alarms required by 9.5.2 and 9.5.3 must be installed on or near the ceiling, in accordance with the following:

(a)Where a smoke alarm is located on the ceiling it must be-

(i)a minimum of 300 mm away from the corner junction of the wall and ceiling; and

(ii)between 500 mm and 1500 mm away from the high point and apexes of the ceiling, if the room has a sloping ceiling. (b)Where (a) is not possible, the smoke alarm may be installed on the wall, and

located a minimum of 300 mm and a maximum of 500 mm off the ceiling at the junction with the wall.

Should the solar design be required for future installation, 2/25mm solarflex (or similar) conduits marked "solar" are to be installed from the meter box to the roof space - See electrical plan.

Note: Lighting

Lighting layout may change, owner to confirm with builder prior to purchase/installation of exact quantity and location of electrical services provided that installation is compliant with AS3000 and artificial lighting allowances do not exceed:

5W/m² in class 1a dwellings

4W/m² to veranda, balcony or the like 3W/m² in a class 10a dwelling associated with the class 1a dwelling

U.N.O - All downlights are to be Insulation Contact (IC) rated.

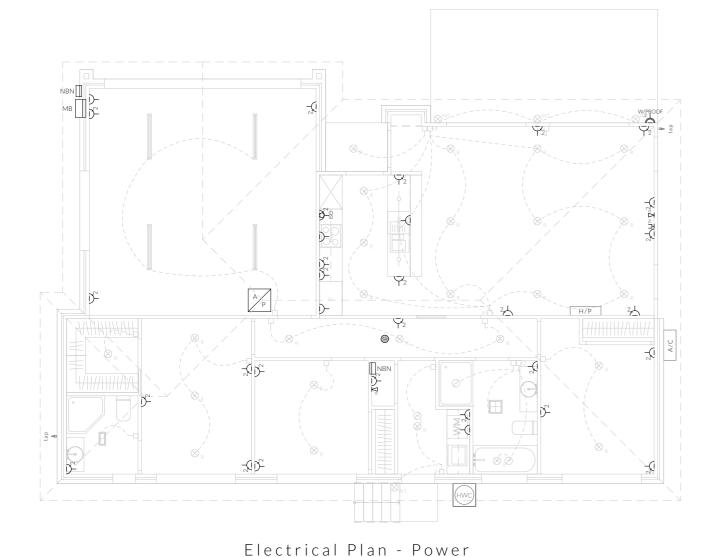
have: -An exhaust system installed in a kitchen, bathroom, sanitary compartment or laundry must have a minimum flow rate of-(a)25 L/s for a bathroom or sanitary compartment; and (b)40 L/s for a kitchen or laundry. -Exhaust from a kitchen, kitchen range hood, bathroom, sanitary compartment or laundry must discharge directly or via a shaft or duct to outdoor air.

directly or via a shaft or duct to outdoor air. -An exhaust system that is not run continuously and is serving a bathroom or sanitary compartment that is not ventilated in accordance with 10.6.2(a) must-

Note: Exhaust Fans

(b)include a run-on timer so that the exhaust system continues to operate for 10 minutes after the light

switch is turned off.



F \otimes

Electrical Plan - Light/Reflected Ceiling

							NOT FOR	CONSTRUCTION
PINNACLE	PINNACLE DRAFTING & DESIGN 7/3 Abernant Way, Cambridge 7170 03 6248 4218 admin@pinnacledrafting.com.au www.pinnacledrafting.com.au Licence: CC6073Y	U1 - Electrica Revision: Approved by:	DA - 05 JN/MM	Scale: @ A3 Pg. No: A1.05	Proposal: Multiple Dwellings Client: Amarillo Developments Address: 43 (39A & 39B) Fouche Avenue, Old Beach, 7017	Date: 9/10/2024 Drawn by: RZ Job No: 047-2024 Engineer: TBA Building Surveyor: TBA	Issue Date Description	These drawing are the property of Pinnacle Drafting 5 Design Pty Ltd. reproduction in whole or part is strictly fordiden without written consent. 22 2024. These drawings are to be read in conjunction with all drawings and documentation by Engineers. Surveyors and any other consultants refered to within this drawing set as well as any Certificate of Likely Compliance and/or permit documentation. DO NOT SCALE FROM DRAWINGS, All Contractors are to verify dimensions on site before commencing any orders, works or requesting/producing shop drawings. ANY AND ALL DISCREPARCIES DISCOVERED BY OUTSIDE PARTIES ARE TO BE BROUGHT TO THE ATTENTION OF PINNACLE DRAFTING & DESIGN PTY LTD AS SOON AS PRACTLABLE. This document must be printed in cloud. Printacide Drafting takes no responsibility for any errors, issues, or omissions caused by centra tors and builders and following councy printed plane.

Preparation for future Solar Installation:

Exhaust fans to comply with NCC 2022 Vol 2 Part 10.8.2 and

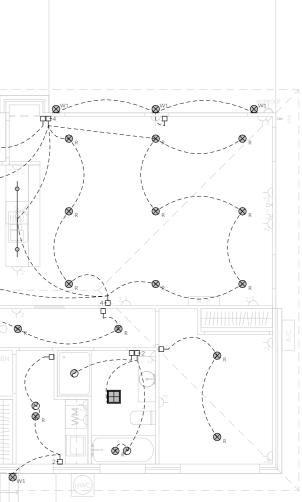
-Where a venting clothes dryer is installed, it must discharge

(a)be interlocked with the room's light switch; and

<u>Notes</u>

U.N.O ceilings are to be plasterboard.

D	- ▶ Dimmable Circuit
T	- ד Timer Circuit(as fan note)
РB	- Plasterboard
CS	- Cement Sheet Eaves
PW	- Plywood Ceiling
ТВ	-Timber Batten Ceiling





- Articulation Joint
- (SA) Smoke Alarm

Construction of sanitary

compartments 10.4.2 of NCC 2022 The door to a fully enclosed sanitary compartment

must open outwards; or

slide; or .

be readily removable from the outside of the compartment.

unless there is a clear space of at least 1.2 m, measured in accordance with Figure 10.4.2 of NCC 2022 Vol II, between the closet pan within the sanitary compartment and the doorway.

Note: Safe Movement & Egress

Openable windows greater than 4m above the surface below are to be fitted with a device to limit opening or a suitable screen so a 125mm sphere cannot pass through. Except for Bedrooms, where the requirement is for heights above 2m. Refer to clauses 11.3.7 and 11.3.8 of NCC 2022 for further information on suitable protective devices.

Note: Paved Areas

All paths and patios to fall away from dwelling.

Note: Stair Construction

All stairs to be constructed in accordance with NCC Vol II 2022 Part 11.2.2: Riser: Min 115mm - Max 190mm Going: Min 240mm - Max 355mm Slope (2R+G): Max 550 - Min 700 For stairways serving non-habitable room used infrequently, refer to table 11.2.2(b).

Landings to comply with Clause 11.2.5 and be a minimum of 750mm deep measured 500mm from the inside edge of the landing.

Slip resistance of treads, nosings and ramps to comply with Clause 11.2.4.

Heights of rooms & other spaces

<u>10.3.1 of NCC 2022</u>

Heights of rooms and other spaces must not be less than;

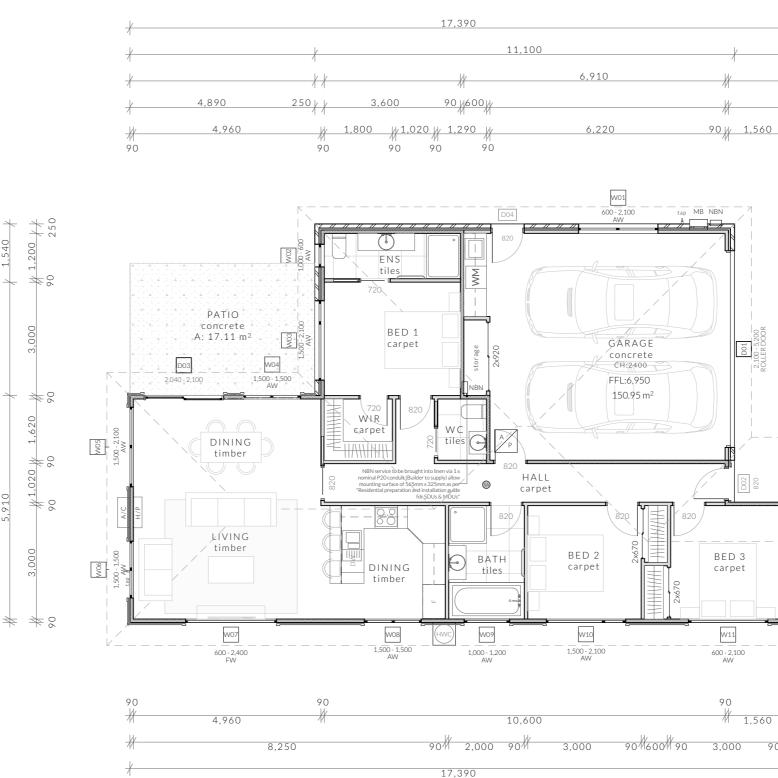
(a)in a habitable room excluding a kitchen - 2.4 m; and (b)in a kitchen - 2.1 m; and

(c)in a corridor, passageway or the like - 2.1 m; and (d)in a bathroom, shower room, laundry, sanitary compartment, airlock, pantry, storeroom, garage, car parking area or the like - 2.1 m; and (e)in a room or space with a sloping ceiling or

projections below the ceiling line within- See NCC directly for these items (f)in a stairway, ramp, *landing*, or the like - 2.0 m

measured vertically above the nosing line of stairway treads or the floor surface of a ramp, landing or the like.

If required onsite, the builder may work within the tolerances of the above as specified within the NCC 2022 Vol II. Builder to contact Pinnacle before undertaking works.



DRAFTING & DESIGN ant Way, Cambridge 7170	2 - Floor Plan		I	FTOposal. Multiple Dwellings	Date: 9/10/2024 Drawn by: RZ	Issue Date	Description
nacledrafting.com.au cledrafting.com.au		DA - 05	De Nei	Address: 43 (39A & 39B) Fouche Avenue, Old	Job No: 047-2024 Engineer: TBA Building Surveyor: TBA		

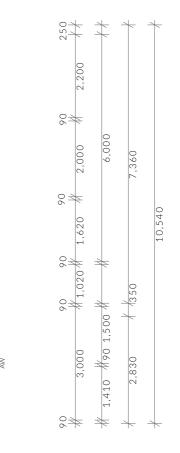
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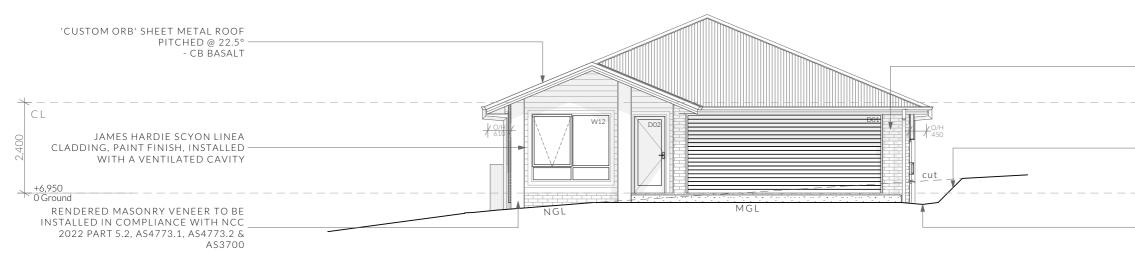
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- BATTS TO WALL - SOUND INSULATION







NOTE

joints.

Clearances between cladding and ground shall comply with Clause 7.5.7 of the NCC 2022 and shall be a minimum clearance of: 100mm in low rainfall intensity areas or sandy, well-drained areas; or 50mm above impermeable areas that slope away from the building; or 150mm in any other case.

Wall cladding must extend a minimum of 50 mm below the bearer or lowest horizontal part of the suspended floor framing.

U.N.O in builders specifications or located in saline environments or if using a glazed finish brick, brickwork is to be installed in stretcher bond pattern with raked

U2 - East Elevation

As per NCC parts 11.3.7 and 11.3.8,

Openable windows greater than 4m above ground level are to be fitted with a device to limit the opening or a suitable screen so a 125mm sphere cannot pass through, and withstand a force of 250N. Except for bedrooms, where the requirement is for heights above 2m.

All stairs to be constructed in accordance with NCC 2022 Vol II Part 11.2.2

NOT Riser: Min 115mm - Max 190mm Going: Min 240mm - Max 355mm Slope (2R+G): Max 550 - Min 700 PINNACLE DRAFTING & DESIGN ssue Date Descriptio Date: 9/10/2024 U2 - Elevations Scale: Proposal: Multiple Dwellings 7/3 Abernant Way, Cambridge 7170 Drawn by: RZ 1:100 @ A3 PINNACLE 03 6248 4218 Client: Amarillo Developments Job No: 047-2024 admin@pinnacledrafting.com.au Pg. No: Address: 43 (39A & 39B) Fouche Avenue, Old Engineer: TBA Revision: DA - 05 www.pinnacledrafting.com.au A2.02 Building Surveyor: TBA Approved by: JN/MM Beach, 7017 Licence: CC6073Y

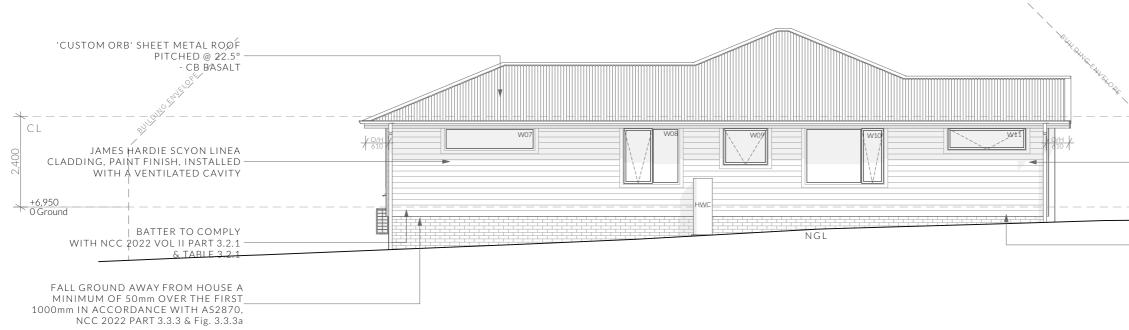
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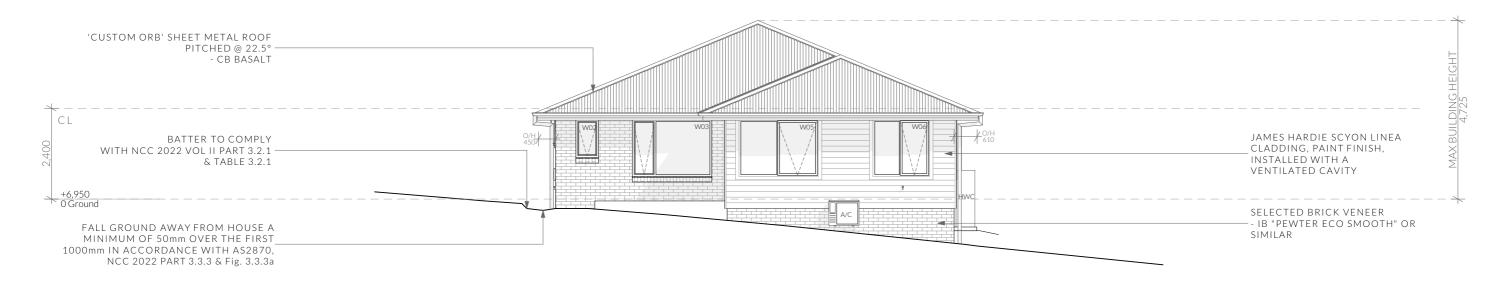
BUILDING DESIGNER



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U2 - South Elevation



NOTE

joints.

Clearances between cladding and ground shall comply with Clause 7.5.7 of the NCC 2022 and shall be a minimum clearance of:

100mm in low rainfall intensity areas or sandy, well-drained areas; or 50mm above impermeable areas that slope away from the building; or 150mm in any other case.

Wall cladding must extend a minimum of 50 mm below the bearer or lowest horizontal part of the suspended floor framing.

U2 - West Elevation U.N.O in builders specifications or located in saline environments or if using a glazed finish brick, brickwork is to be installed in stretcher bond pattern with raked

As per NCC parts 11.3.7 and 11.3.8,

Openable windows greater than 4m above ground level are to be fitted with a device to limit the opening or a suitable screen so a 125mm sphere cannot pass through, and withstand a force of 250N. Except for bedrooms, where the requirement is for heights above 2m.

All stairs to be constructed in accordance with NCC 2022 Vol II Part 11.2.2

NOT FO Slope (2R+G): Max 550 - Min 700 Riser: Min 115mm - Max 190mm Going: Min 240mm - Max 355mm PINNACLE DRAFTING & DESIGN sue Date Date: 9/10/2024 U2 - Elevations Scale: Proposal: Multiple Dwellings 7/3 Abernant Way, Cambridge 7170 Drawn by: RZ PINNACLE 1:100 @ A3 03 6248 4218 Client: Amarillo Developments Job No: 047-2024 admin@pinnacledrafting.com.au Pg. No: Address: 43 (39A & 39B) Fouche Avenue, Old Engineer: TBA DA - 05 Revision: www.pinnacledrafting.com.au A2.03 JN/MM Building Surveyor: TBA Approved by: Beach, 7017 Licence: CC6073Y

SELECTED BRICK VENEER - IB "PEWTER ECO SMOOTH" OR SIMILAR
RENDERED MASONRY VENEER TO BE INSTALLED IN COMPLIANCE WITH NCC 2022 PART 5.2, AS4773.1, AS4773.2 & AS3700

1:100

1:100

R	С	ΟΝ	SΤ	r u	С	\top		Ν
		whole or part is are to be read i Surveyors and 2 Certificate of Li FROM DRAWI commencing an ANY AND ALL BROUGHT TO AS SOON AS P Drafting takes 1	strictly forbidden with conjunction with all my other consultants kely Compliance and, NGS; All Contractors y orders, works or re DISCREPANCIES DI THE ATTENTION O RACTICABLE. This do to responsibility for al	nnacle Drafting & Desi hout written consent. drawings and documen referred to within this for permit documentat are to verify dimension questing/producing sh SCOVERED BY OUTS F PINNACLE DRAFTI focument must be prin ny errors, issues, or orn g colour-printed plans	© 2024. These htation by Engir drawing set as ion. DO NOT SO to no site befori- op drawings. SIDE PARTIESJ MG & DESIGN ted in colour. Pi- hissions caused	drawings neers, well as any CALE e ARE TO BE PTY LTD innacle	BUILDING DE ASSOCIATION OF	

Ventilation of roof spaces NCC 2022 Part 10.8.3

A roof must have a roof space that-

(a)is located-(i)immediately above the primary insulation layer; or

(ii)immediately above sarking with a vapour permeance of not less than 1.14 µg/N.s, which is immediately above the primary insulation layer; or

(iii)immediately above ceiling insulation; and (b)has a height of not less than 20 mm; and (c)is either-

- (i)ventilated to outdoor air through evenly distributed openings in accordance with Table 10.8.3; or
- (ii)located immediately underneath the roof tiles of an unsarked tiled roof.

Stormwater Notes

All gutters, downpipes and rain heads to be designed and installed in compliance with AS3500.3 & NCC 2022 Volume II Part 7.4.

Roofing Cladding

Roof cladding, flashings, cappings, roof sheeting and fixings are to be installed in accordance with NCC 2022 Volume II Part 7.2 for sheet roofing and Part 7.3 for tiled and shingle roofing.

Eaves & Soffit Linings

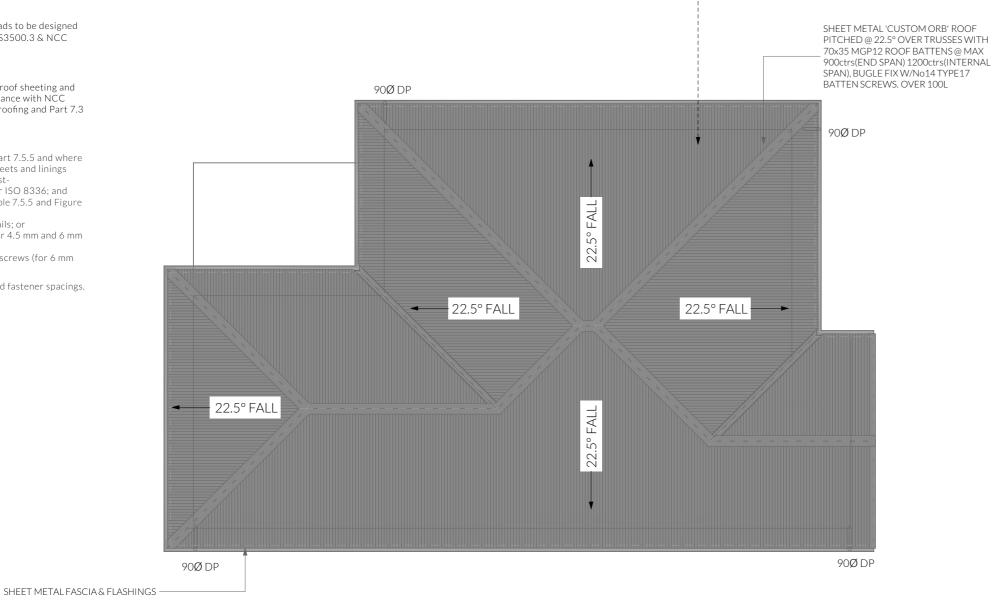
To comply with NCC 2022 Vol II Part 7.5.5 and where provided, external fibre-cement sheets and linings used as eaves and soffit linings must-(a)comply with AS/NZS 2908.2 or ISO 8336; and (b)be fixed in accordance with Table 7.5.5 and Figure

7.5.5 using-

(i) 2.8 × 30 mm fibre-cement nails; or (ii) No. 8 wafer head screws (for 4.5 mm and 6 mm

sheets only); or (iii) No. 8 self embedding head screws (for 6 mm sheets only).

Refer to table 7.5.5 for trimmer and fastener spacings.



	PINNACLE DRAFTING & DESIGN	U2 - Roof Plar		Coolor	Deserved, Multiple Durallines	Date: 9/10/2024	Issue Date	Description
	7/3 Abernant Way, Cambridge 7170	UZ - ROOI Plar	1	Scale:	Proposal: Multiple Dwellings	Drawn by: RZ		
PINNACIE	03 6248 4218			1:100 @ A3	Client: Amarillo Developments	Job No: 047-2024		
	admin@pinnacledrafting.com.au	Revision:	DA - 05	Pg. No:	Address: 43 (39A & 39B) Fouche Avenue, Old	Engineer: TBA		
	www.pinnacledrafting.com.au Licence: CC6073Y	Approved by:	JN/MM	A2.04	Beach, 7017	Building Surveyor: TBA		





ГСН	VENTILATION OF OPENINGS (TABLE 10.8.3)
<75°	7,000 mm2/m provided at the eaves and 5,000 mm2/m at high level, plus an additional 18,000 mm2/m at the eaves if the roof has a cathedral ceiling

(1)Ventilation openings are specified as a minimum free open area per metre length of the longest horizontal dimension of the roof. (2)For the purposes of this Table, high level openings are openings provided at the ridge or not more than 900 mm below the ridge or highest point of the roof space, measured vertically.

REQUIRED NUMBER OF ROOF VENTS:

ROOF PITCH >15° and <75° HIP/GABLE ROOF

REQUIRED VENT AREA Low Vents = 0.43m² (61.11m x 7,000mm2) High Vents = 0.05m² (9.77m x 5,000mm2)

EAVE VENTS BUILDERS EDGE EAVE VENT (EV4020) 11x 400X200mm(0.042m²) VENTS EVENLY SPACED OR 25mm CONTINUOUS VENT

RIDGE VENT SYSTEM RIDGE CAP (Continuous 5mm gap in sarking)



fting takes no re

ELECTRICAL LEGEND - UNIT 2

Symbol	Description	Allowance	Quantity
$\nabla^{\scriptscriptstyle D}$	DATA-CAT6 (RJ45) - 1 GANG		2
Ļ™	DATA-TV CONNECTION		1
Β	FAN - 3 IN 1 (2 LAMP)	10W (LIGHT)	2
	FAN - 3 IN 1 (4 LAMP)	10W (LIGHT)	1
0	FAN - CEILING - EXHAUST		3
\vdash	GPO - (1) SINGLE		5
2 Å	GPO - (2) DOUBLE		24
W/PROOF	GPO - WEATHER PROOF DOUBLE		1
$\bigotimes_{\mathbf{R}}$	LIGHT - CEILING - DOWNLIGHT RECESSED	10W	23
	LIGHT - CEILING - LED BATTEN	20W	4
~~	LIGHT - CEILING - PENDANT - LED STRIP 1200L	20W (LM)	1
${}_{\rm W1}\!$	LIGHT - WALL MOUNTED - TYPE 1	10W	4
0	SERVICE - SMOKE ALARM		1
Ь	SWITCH - LIGHT 1 GANG		10
2	SWITCH - LIGHT 2 GANG		3
4 f	SWITCH - LIGHT 4 GANG		1

Smoke Alarms Part 9.5 of NCC 2022

Smoke alarms must-(a)be located in-

(i) a Class 1a building in accordance with 9.5.2 and 9.5.4; and (ii) a Class 1b building in accordance with 9.5.3 and 9.5.4; and

(b)comply with AS 3786, except that in a Class 10a private garage where the use of the area is likely to result in smoke alarms causing spurious signals, any other alarm deemed suitable in accordance with AS 1670.1 may be installed provided that smoke alarms complying with AS 3786 are installed elsewhere in the Class 1 building; and

(c)be powered from the consumer mains source where a consumer mains source is supplied to the building; and be interconnected where there is more than one alarm.

In a Class 1a building, smoke alarms must be located in-

(a) any storey containing bedrooms, every corridor or hallway associated with a bedroom, or if there is no corridor or hallway, in an area between the

bedrooms and the remainder of the building; and

(b) each other storey not containing bedrooms.

Smoke alarms required by 9.5.2 and 9.5.3 must be installed on or near the ceiling, in accordance with the following:

(a)Where a smoke alarm is located on the ceiling it must be-

(i)a minimum of 300 mm away from the corner junction of the wall and ceiling; and

(ii)between 500 mm and 1500 mm away from the high point and apexes of the ceiling, if the room has a sloping ceiling. (b)Where (a) is not possible, the smoke alarm may be installed on the wall, and

located a minimum of 300 mm and a maximum of 500 mm off the ceiling at the junction with the wall.

Preparation for future Solar Installation:

Should the solar design be required for future installation, 2/25mm solarflex (or similar) conduits marked "solar" are to be installed from the meter box to the roof space - See electrical plan.

Note: Lighting

Lighting layout may change, owner to confirm with builder prior to purchase/installation of exact quantity and location of electrical services provided that installation is compliant with AS3000 and artificial lighting allowances do not exceed:

5W/m² in class 1a dwellings

4W/m² to veranda, balcony or the like 3W/m² in a class 10a dwelling associated with the class 1a dwelling

U.N.O - All downlights are to be Insulation Contact (IC) rated.

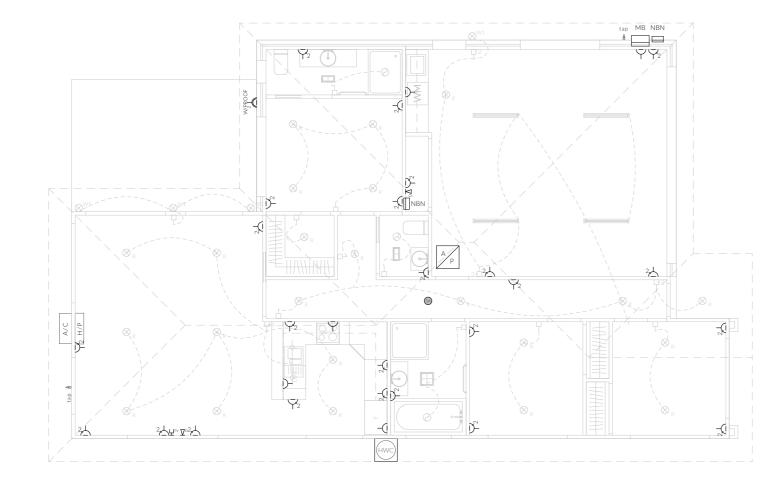
have: -An exhaust system installed in a kitchen, bathroom, sanitary compartment or laundry must have a minimum flow rate of-(a)25 L/s for a bathroom or sanitary compartment; and (b)40 L/s for a kitchen or laundry. -Exhaust from a kitchen, kitchen range hood, bathroom, sanitary compartment or laundry must discharge directly or via a shaft or duct to outdoor air.

Note: Exhaust Fans

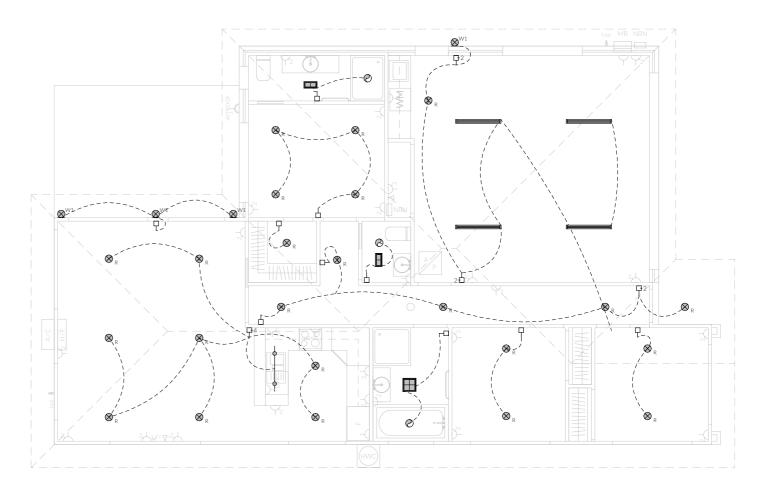
-Where a venting clothes dryer is installed, it must discharge directly or via a shaft or duct to outdoor air. -An exhaust system that is not run continuously and is serving a bathroom or sanitary compartment that is not ventilated in accordance with 10.6.2(a) must-

(a)be interlocked with the room's light switch; and (b)include a run-on timer so that the exhaust system

switch is turned off.



Electrical Plan - Power



Electrical Plan - Light/Reflected Ceiling

	PINNACLE DRAFTING & DESIGN 7/3 Abernant Way, Cambridge 7170	U2 - Electrica	l Plan	Scale:	Proposal: Multiple Dwellings	Date: Drawn by:	9/10/2024	Issue Date	Description
PINNACLE	03 6248 4218 admin@pinnacledrafting.com.au www.pinnacledrafting.com.au Licence: CC6073Y	Revision: Approved by:	DA - 05 JN/MM	@ A3 Pg. No: A2.05	Client: Amarillo Developments Address: 43 (39A & 39B) Fouche Avenue, Old Beach, 7017	Job No: Engineer:	047-2024		

Exhaust fans to comply with NCC 2022 Vol 2 Part 10.8.2 and

- continues to operate for 10 minutes after the light

<u>Notes</u>

U.N.O ceilings are to be plasterboard.

D	▶ Dimmable Circuit
T	· ∓ Timer Circuit(as fan note)
РB	- Plasterboard
CS	- Cement Sheet Eaves
PW	- Plywood Ceiling
ТВ	-Timber Batten Ceiling



Surface Water Drainage

Ground to fall away from building in all directions in compliance with AS2870 & N.C.C 2022 3.3.3.

Surface water must be diverted away from a Class 1 building as follows:

- (a)Slab-on-ground finished ground level adjacent to a building: the external finished surface surrounding the slab must be drained to move surface water away from the building and graded to give a slope of not less than
- (i)25mm over the first 1m from the building (A)in low rainfall intensity areas for surfaces that are reasonably impermeable (such as concrete or
 - claypaving); or (B)for any reasonably impermeable surface that forms part of an access path or ramp
- provided for the purposes of Clauses 1.1 (2) or (4)(c) of the ABCB Standard for Livable Housing Design; or

(ii)50 mm over the first 1 m from the building in any other case.

(b)Slab-on-ground - finished slab heights: the height of the slab-on-ground above external

finished surfaces mustbe not less than (i) 100 mm above the finished ground level in low rainfall intensity areas or sandy, welldrained areas; or

(ii)50 mm above impermeable (paved or concrete) areas that slope away from the building in accordance with(a); or (iii)150 mm in any other case.

(c)The ground beneath suspended floors must be graded so that the area beneath the building is above the adjacent external finished ground level and surface water is prevented from ponding under the building.

<u>Subsoil Drainage</u>

is to comply with AS2870, AS3500 & N.C.C 2022 3.3.4.

Where a subsoil drainage system is installed to divert subsurface water away from the area beneath a building, the subsoil drain must-

- (a) be graded with a uniform fall of not less than 1:300: and
- (b) discharge into an external silt pit or sump with
- (i) the level of discharge from the silt pit or sump into an impervious drainage line not less than 50 mm below the invert level of the inlet: and provision for cleaning and maintenance.

<u>Note</u>

All driveway pits and grate drains to be Class B.

Stormwater pits are indicative. Location may vary depending on site conditions.

TYPICAL PAVEMENT DETAIL

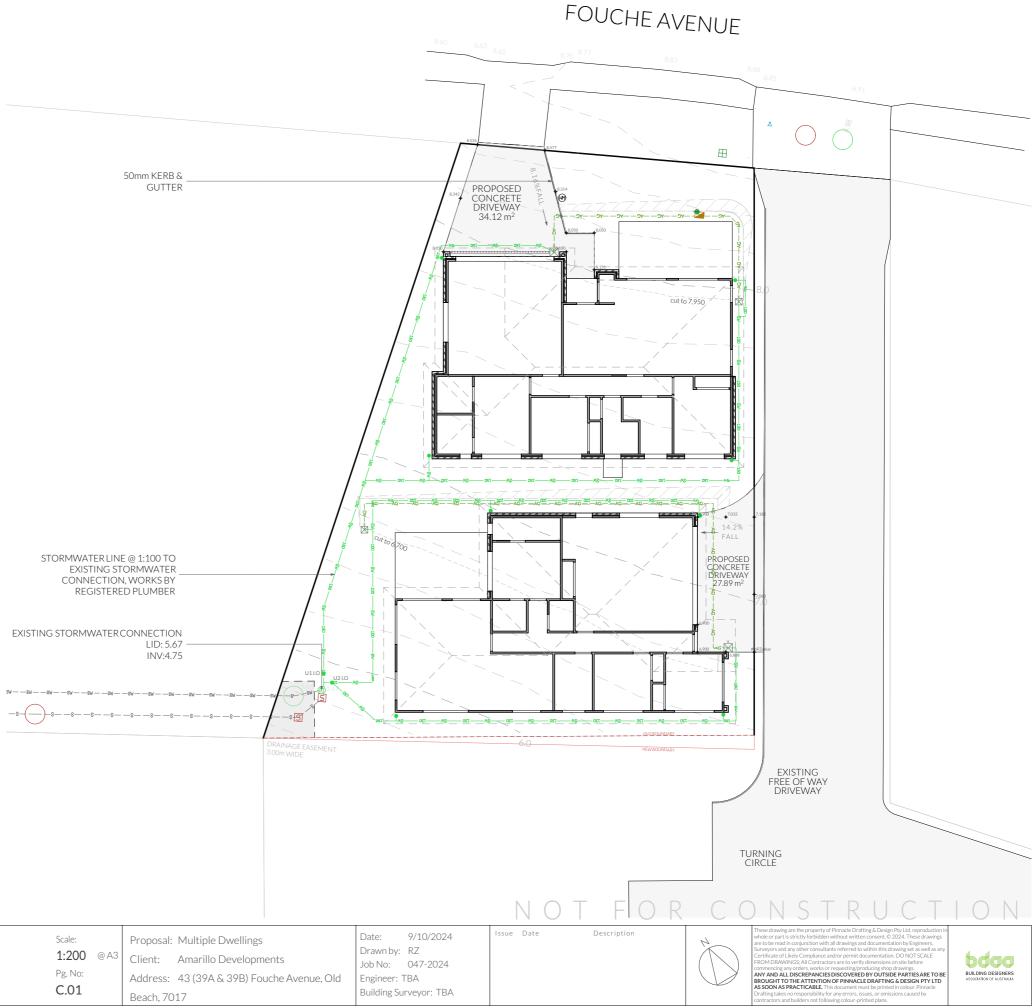
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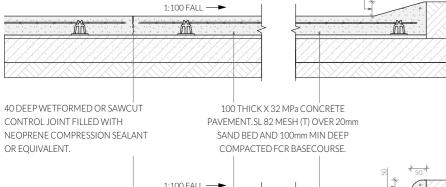


- — AG Ag Drain
- Stormwater Connection
- Â Class A 300mm Stormwater Pit
- Ň Class B 450mm Stormwater Pit
- 100mm wide trafficable grate drain

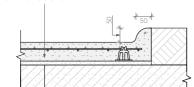
General Notes

- Remove all topsoil and organic matter from 1. beneath concrete driveway areas and provide 100m deep compacted FCR basecourse layer.
- Concrete strength shall be 32 mpa min. 2. Provide control joints at 6.0 m centres-3. refer detail.
- 4 Compact concrete using mechanical vibrators.
- Cure all exposed concrete surfaces by 5. keeping moist for 7 days. i.e cover with plastic sheets.
- Connect new service connections into 6. existing. Liaise with council's plumbing surveyor for location of existing connections.
- 7 All new and/or altered service connections shall be undertaken by council at the developer's expense.
- 8. Provide 100ø agricultural drains at base of cut and connect to stormwater at lowest point
 - Driveway to be min 100mm thick 32mpa concrete with sl82 @ 40mm cover over 100mm compacted FCR. Provide deep tooled joints or sawcut joints @ max. 4m crs.
- Driveway to be sloped to integrated kerb 10. and gutter system on low side of driveway
- Rainwater pipes to be PVC or Colorbond 11. finish metal.
- 12. Driveway sawcuts to be installed at approx. 4m centres with expansion joints at 8-12m centres.





9



Civil Plan

DA - 05

JN/MM

Revision:

Approved by:

1PRESSION SEALA		ID BED AND 100m MPACTED FCR BA	
	1:100 FALL		 8 * 50 *

PINNACLE DRAFTING & DESIGN

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admin@pinnacledrafting.com.au

www.pinnacledrafting.com.au

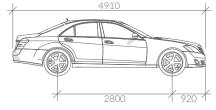
03 6248 4218

Licence: CC6073Y

- Movement templates demonstrate the ability of vehicles to enter intersection in a forwards direction and leave in a forwards direction.

- The base dimensions of the vehicle template represent the B85 (85th Percentile) Vehicle

- The swept path of the vehicle represent the outer extents of the vehicle.



B85 Vehicle Dimensions

Width: Track:	1870 1770
L-L Time:	6.0
Turning Radius:	5800

Parking Space requirements As defined by the Parking and Sustainable Transport Code - Table C2.3

Parking Dimensions - 90°

Width:	2600	2800	3000	3200
Length:	5400	5400	5400	5400
Aisle Width:	6400	5800	5200	4800

Parking Dimensions - 45°

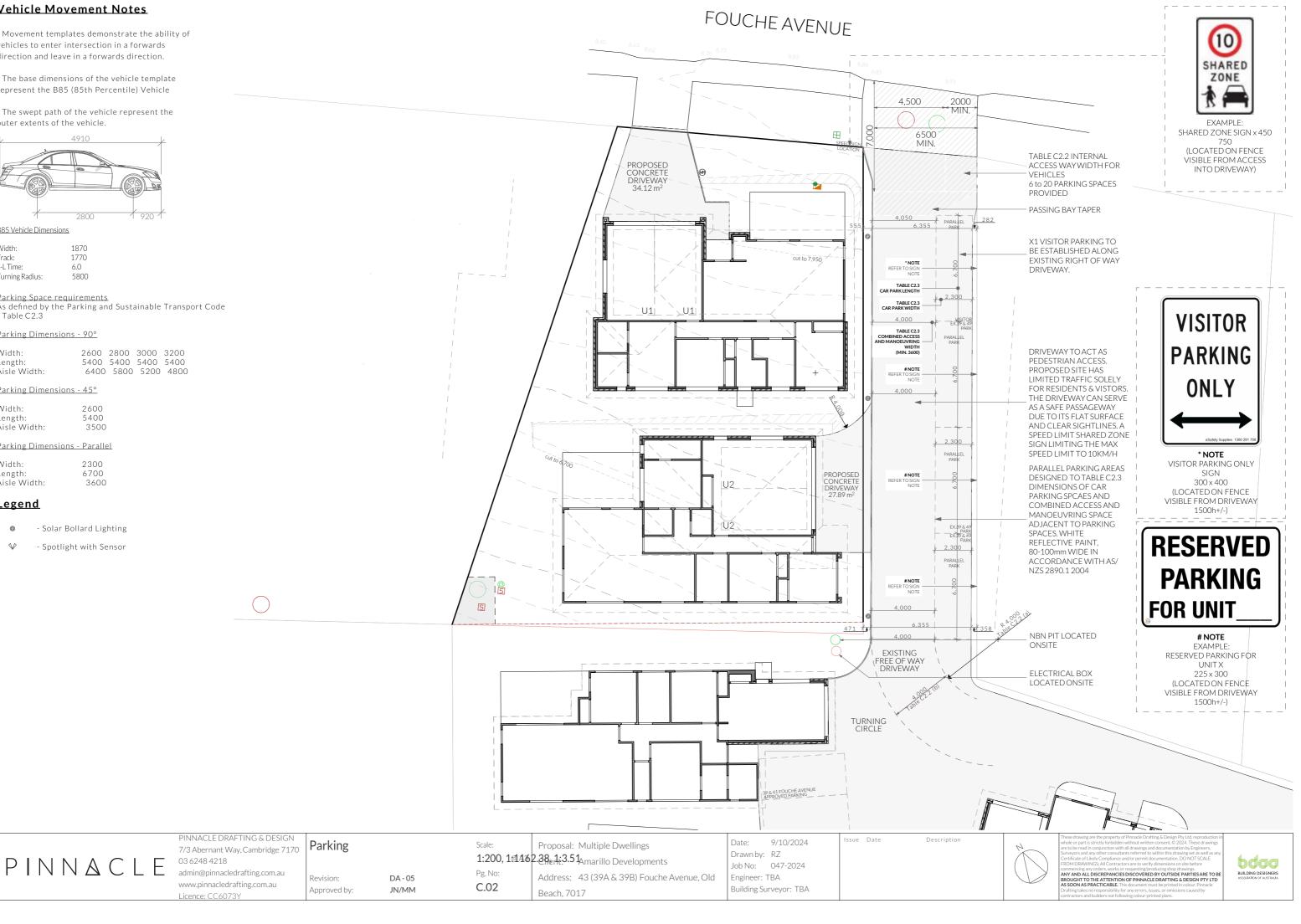
Width: Length: Aisle Width: 5400 3500

Parking Dimensions - Parallel

Width: 2300 Length: 6700 Aisle Width: 3600

<u>Legend</u>

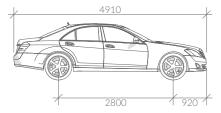
- 0 - Solar Bollard Lighting
- N/ - Spotlight with Sensor



- Movement templates demonstrate the ability of vehicles to enter intersection in a forwards direction and leave in a forwards direction.

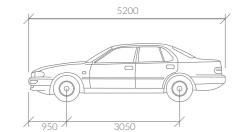
- The base dimensions of the vehicle template represent the B85 (85th Percentile) Vehicle

- The swept path of the vehicle represent the outer extents of the vehicle.



B85 Vehicle Dimensions

Width:	1870
Track:	1770
L-LTime:	6.0
Turning Radius:	5800



B99 Vehicle Dimensions

Width:	1940
Track:	1840
L-LTime:	6.0
Turning Radius:	3390

Parking Space requirements As defined by the Parking and Sustainable Transport Code - Table C2.3

Parking Dimensions - 90°

Width:	2600	2800	3000	3200
Length:	5400	5400	5400	5400
Aisle Width:	6400	5800	5200	4800

Parking Dimensions - 45°

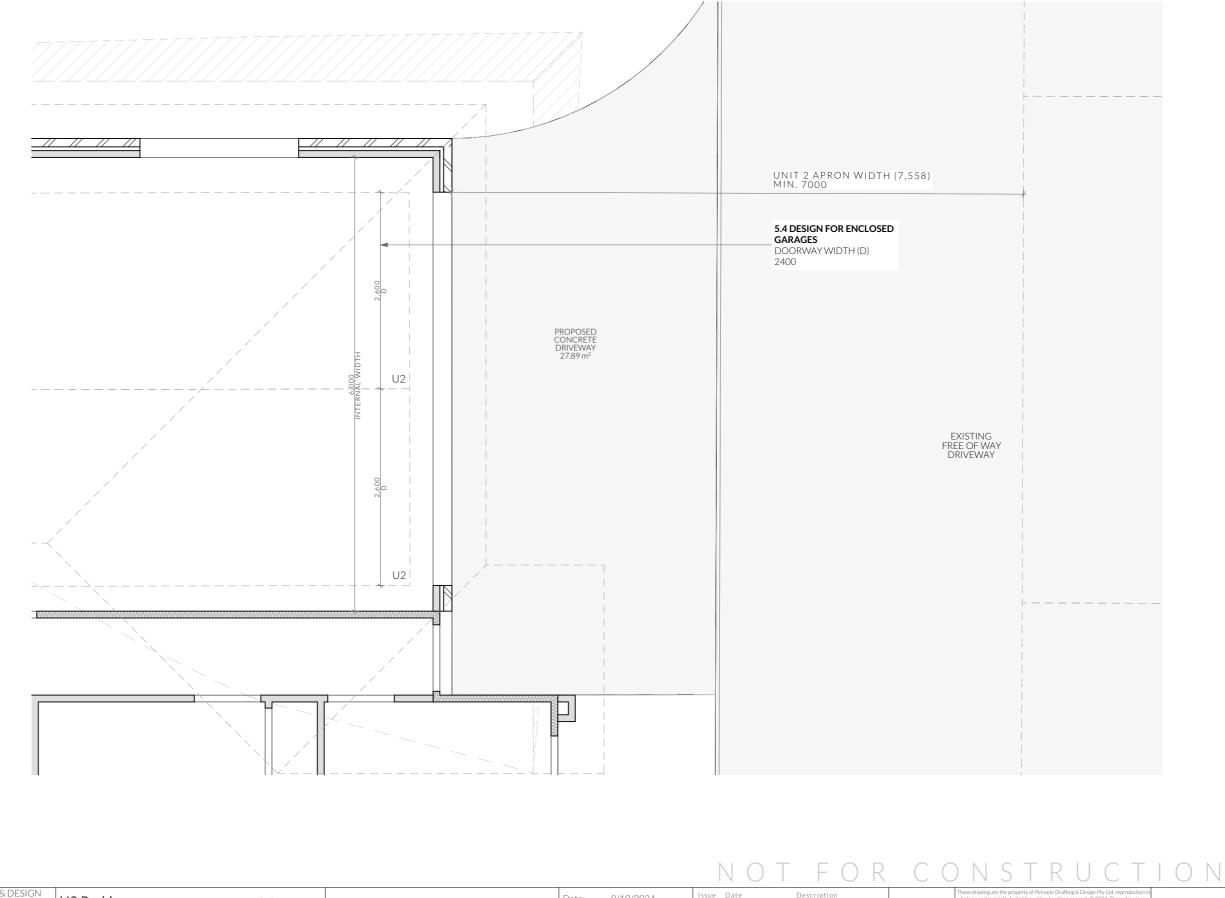
Width:	2600
Length:	5400
Aisle Width:	3500

Parking Dimensions - Parallel

Width:	2300
Length:	6700
Aisle Width:	3600

Legend

- Solar Bollard Lighting 0
- \checkmark - Spotlight with Sensor



	PINNACLE DRAFTING & DESIGN	110 Daulina		Cooler		Date: 9/10/2024	Issue Date	Description
	7/3 Abernant Way, Cambridge 7170	02 Parking		Scale:	Proposal: Multiple Dwellings	Drawn by: RZ		
PINNACIE	03 6248 4218			@ A3	Client: Amarillo Developments	Job No: 047-2024		
FINNACLE	admin@pinnacledrafting.com.au	Revision:	DA - 05	Pg. No:	Address: 43 (39A & 39B) Fouche Avenue, Old			
	www.pinnacledrafting.com.au Licence: CC6073Y	Approved by:	JN/MM	C.03	Beach, 7017	Building Surveyor: TBA		

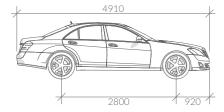
BUILDING DESIGNERS ASSOCIATION OF AUSTRALIA

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- Movement templates demonstrate the ability of vehicles to enter intersection in a forwards direction and leave in a forwards direction.

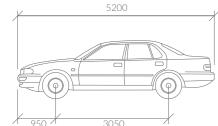
- The base dimensions of the vehicle template represent the B85 (85th Percentile) Vehicle

- The swept path of the vehicle represent the outer extents of the vehicle.



B85 Vehicle Dimensions

Width:	1870
Track:	1770
L-LTime:	6.0
Turning Radius:	5800



B99 Vehicle Dimensions

Width:	1940
Track:	1840
L-LTime:	6.0
Turning Radius:	3390

Parking Space requirements As defined by the Parking and Sustainable Transport Code - Table C2.3

Parking Dimensions - 90°

2600 2800 3000 3200 5400 5400 5400 5400 Width: Length: Aisle Width: 6400 5800 5200 4800

Parking Dimensions - 45°

2600 Width: 5400 Length: Aisle Width: 3500

Parking Dimensions - Parallel

2300 6700 Width: Length: Aisle Width: 3600

<u>Legend</u>

- Solar Bollard Lighting 0

 \checkmark - Spotlight with Sensor

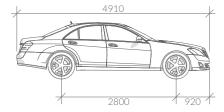


	TABLE C2.2 INTERNAL ACCESS WAY WIDTH FOR	
	VEHICLES 6 to 20 PARKING SPACES	
	PROVIDED	
282	PASSING BAY TAPER	
<u>_</u>		
1	DRIVEWAY TO ACT AS	
	PEDESTRIAN ACCESS. PROPOSED SITE HAS	
1	LIMITED TRAFFIC SOLELY FOR RESIDENTS & VISTORS.	
	THE DRIVEWAY CAN SERVE AS A SAFE PASSAGEWAY	
	DUE TO ITS FLAT SURFACE AND CLEAR SIGHTLINES. A	
1	SPEED LIMIT SHARED ZONE SIGN LIMITING THE MAX	
	SPEED LIMIT TO 10KM/H	
1	PARALLEL PARKING AREAS DESIGNED TO TABLE C2.3	
	DIMENSIONS OF CAR PARKING SPCAES AND	
	COMBINED ACCESS AND MANOEUVRING SPACE	
	ADJACENT TO PARKING SPACES. WHITE	
I	REFLECTIVE PAINT, 80-100mm WIDE IN	
	ACCORDANCE WITH AS/ NZS 2890.1 2004	
1		
1	0. è	
- <u>358</u> R ^{A,O} J ³ DEC	22	
\nearrow	NBN PIT LOCATED ONSITE	
	ELECTRICAL BOX LOCATED ONSITE	
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	_	
D		
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- Movement templates demonstrate the ability of vehicles to enter intersection in a forwards direction and leave in a forwards direction.

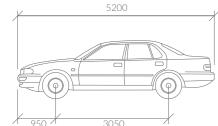
- The base dimensions of the vehicle template represent the B85 (85th Percentile) Vehicle

- The swept path of the vehicle represent the outer extents of the vehicle.



B85 Vehicle Dimensions

Width:	1870
Track:	1770
L-LTime:	6.0
Turning Radius:	5800



B99 Vehicle Dimensions

Width:	1940
Track:	1840
L-LTime:	6.0
Turning Radius:	3390

Parking Space requirements As defined by the Parking and Sustainable Transport Code - Table C2.3

Parking Dimensions - 90°

Width:	2600	2800	3000	3200
Length:	5400	5400	5400	5400
Aisle Width:	6400	5800	5200	4800

Parking Dimensions - 45°

Width: 2600 5400 Length: Aisle Width: 3500

Parking Dimensions - Parallel

2300 6700 3600 Width: Length: Aisle Width:

<u>Legend</u>

- Solar Bollard Lighting 0

 \checkmark - Spotlight with Sensor

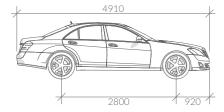


	TABLE C2.2 INTERNAL ACCESS WAYWIDTH FOR	
	VEHICLES 6 to 20 PARKING SPACES PROVIDED	
	PASSING BAY TAPER	
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	DRIVEWAY TO ACT AS PEDESTRIAN ACCESS. PROPOSED SITE HAS LIMITED TRAFFIC SOLELY FOR RESIDENTS & VISTORS. THE DRIVEWAY CAN SERVE AS A SAFE PASSAGEWAY DUE TO ITS FLAT SURFACE AND CLEAR SIGHTLINES. A SPEED LIMIT SHARED ZONE SIGN LIMITING THE MAX SPEED LIMIT TO 10KM/H	
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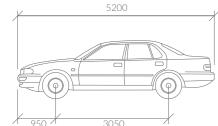
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B85 Vehicle Dimensions

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Track:	1770
L-LTime:	6.0
Turning Radius:	5800



B99 Vehicle Dimensions

Width:	1940
Track:	1840
L-LTime:	6.0
Turning Radius:	3390

Parking Space requirements As defined by the Parking and Sustainable Transport Code - Table C2.3

Parking Dimensions - 90°

2600 2800 3000 3200 5400 5400 5400 5400 Width: Length: Aisle Width: 6400 5800 5200 4800

Parking Dimensions - 45°

2600 Width: 5400 Length: Aisle Width: 3500

Parking Dimensions - Parallel

2300 6700 Width: Length: Aisle Width: 3600

<u>Legend</u>

- Solar Bollard Lighting 0

 \checkmark - Spotlight with Sensor

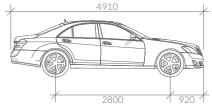


	TABLE C2.2 INTERNAL - ACCESS WAY WIDTH FOR - VEHICLES	
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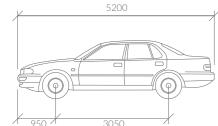
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B85 Vehicle Dimensions

Width:	1870
Track:	1770
L-LTime:	6.0
Turning Radius:	5800



B99 Vehicle Dimensions

Width: Track:	1940 1840
L-L Time:	6.0
Turning Radius:	3390

Parking Space requirements As defined by the Parking and Sustainable Transport Code - Table C2.3

Parking Dimensions - 90°

2600 2800 3000 3200 5400 5400 5400 5400 Width: Length: Aisle Width: 6400 5800 5200 4800

Parking Dimensions - 45°

2600 Width: 5400 Length: Aisle Width: 3500

Parking Dimensions - Parallel

2300 6700 Width: Length: Aisle Width: 3600

<u>Legend</u>

- Solar Bollard Lighting 0

 \checkmark - Spotlight with Sensor

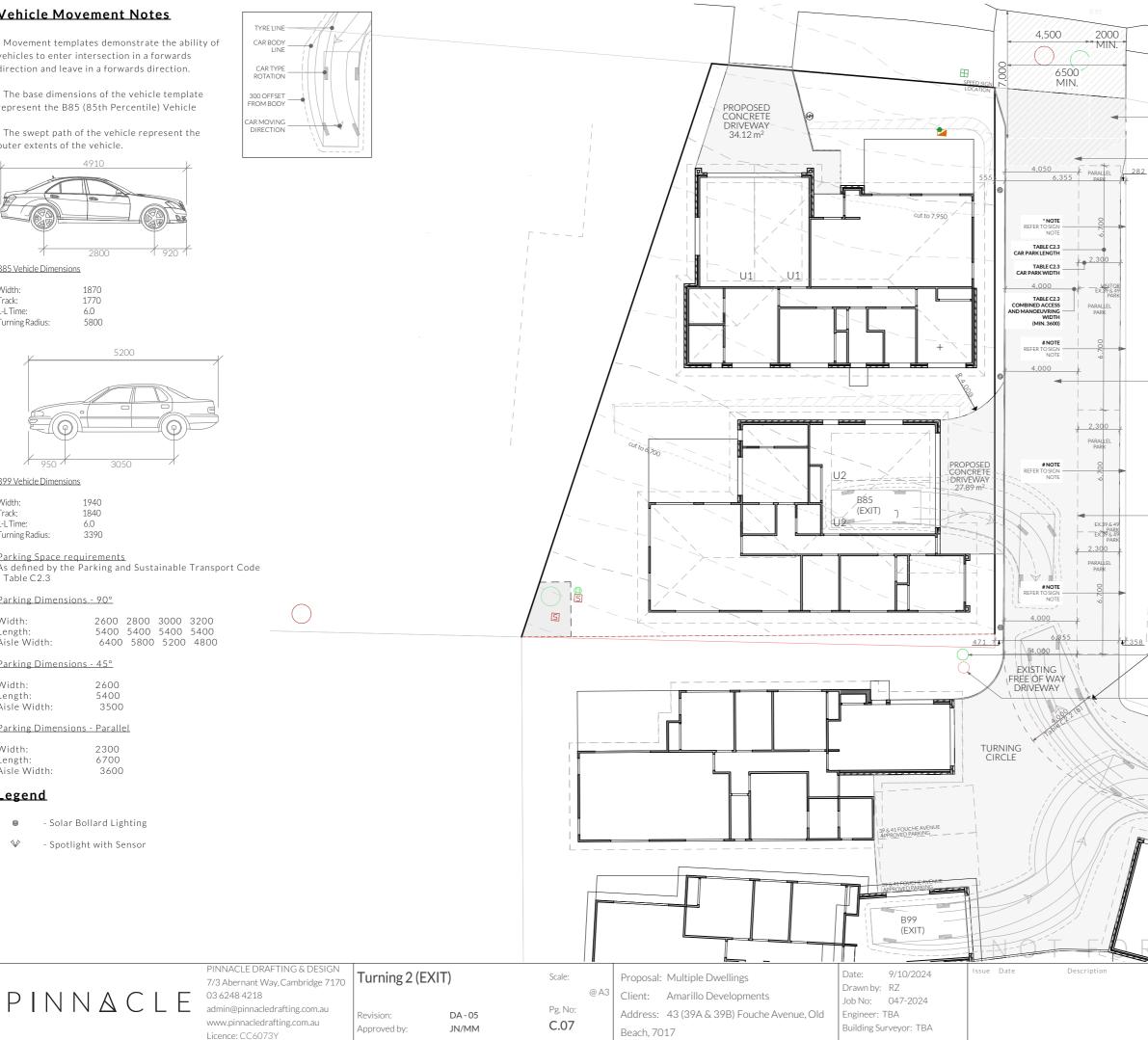
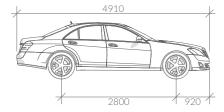


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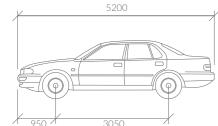
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Track:	1770
L-LTime:	6.0
Turning Radius:	5800



B99 Vehicle Dimensions

Width:	1940
Track:	1840
L-LTime:	6.0
Turning Radius:	3390

Parking Space requirements As defined by the Parking and Sustainable Transport Code - Table C2.3

Parking Dimensions - 90°

2600 2800 3000 3200 5400 5400 5400 5400 Width: Length: Aisle Width: 6400 5800 5200 4800

Parking Dimensions - 45°

2600 Width: 5400 Length: Aisle Width: 3500

Parking Dimensions - Parallel

2300 6700 3600 Width: Length: Aisle Width:

<u>Legend</u>

- Solar Bollard Lighting 0

 \checkmark - Spotlight with Sensor

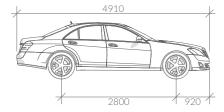


	TABLE C2.2 INTERNAL	
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	ADJACENT TO PARKING SPACES. WHITE	
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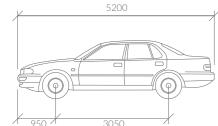
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L-LTime:	6.0
Turning Radius:	5800



B99 Vehicle Dimensions

Width: Track:	1940 1840
L-L Time:	6.0
Turning Radius:	3390

Parking Space requirements As defined by the Parking and Sustainable Transport Code - Table C2.3

Parking Dimensions - 90°

2600 2800 3000 3200 5400 5400 5400 5400 Width: Length: Aisle Width: 6400 5800 5200 4800

Parking Dimensions - 45°

2600 Width: 5400 Length: Aisle Width: 3500

Parking Dimensions - Parallel

2300 6700 3600 Width: Length: Aisle Width:

<u>Legend</u>

- Solar Bollard Lighting 0

 \checkmark - Spotlight with Sensor

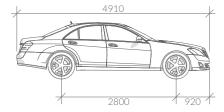


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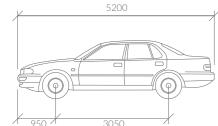
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B85 Vehicle Dimensions

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L-LTime:	6.0
Turning Radius:	5800



B99 Vehicle Dimensions

Width: Track:	1940 1840
L-L Time:	6.0
Turning Radius:	3390

Parking Space requirements As defined by the Parking and Sustainable Transport Code - Table C2.3

Parking Dimensions - 90°

2600 2800 3000 3200 5400 5400 5400 5400 Width: Length: Aisle Width: 6400 5800 5200 4800

Parking Dimensions - 45°

2600 Width: 5400 Length: Aisle Width: 3500

Parking Dimensions - Parallel

2300 6700 3600 Width: Length: Aisle Width:

<u>Legend</u>

- Solar Bollard Lighting 0

 \checkmark - Spotlight with Sensor

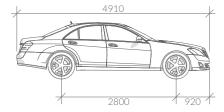


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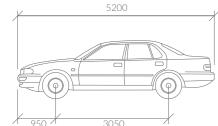
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2600 2800 3000 3200 5400 5400 5400 5400 Width: Length: Aisle Width: 6400 5800 5200 4800

Parking Dimensions - 45°

2600 Width: 5400 Length: Aisle Width: 3500

Parking Dimensions - Parallel

2300 6700 3600 Width: Length: Aisle Width:

<u>Legend</u>

- Solar Bollard Lighting 0

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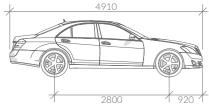


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	ELECTRICAL BOX LOCATED ONSITE	
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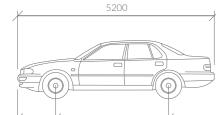
- The base dimensions of the vehicle template represent the B85 (85th Percentile) Vehicle

- The swept path of the vehicle represent the outer extents of the vehicle.



B85 Vehicle Dimensions

Width:	1870
Track:	1770
L-LTime:	6.0
Turning Radius:	5800



3050

B99 Vehicle Dimensions

1940 Width: Track: L-L Time: 1840 6.0 Turning Radius: 3390

Parking Space requirements As defined by the Parking and Sustainable Transport Code - Table C2.3

Parking Dimensions - 90°

2600 2800 3000 3200 5400 5400 5400 5400 Width: Length: Aisle Width: 6400 5800 5200 4800

Parking Dimensions - 45°

2600 Width: 5400 Length: Aisle Width: 3500

Parking Dimensions - Parallel

2300 6700 Width: Length: Aisle Width: 3600

<u>Legend</u>

- Solar Bollard Lighting 0

 \checkmark - Spotlight with Sensor

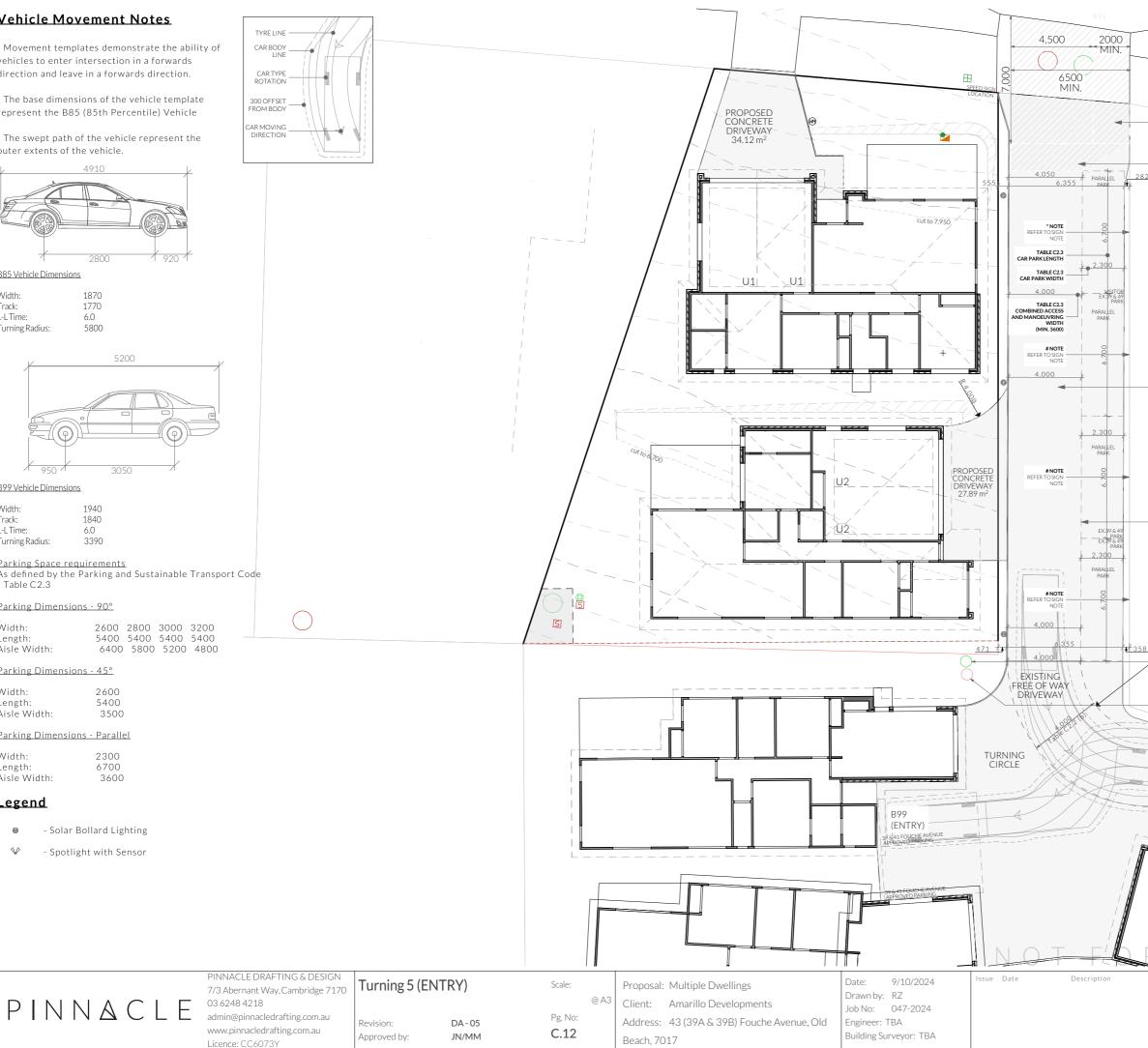
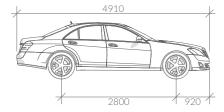


	TABLE C2.2 INTERNAL ACCESS WAY WIDTH FOR VEHICLES	
	6 to 20 PARKING SPACES PROVIDED	
	PASSING BAY TAPER	
282		
	DRIVEWAY TO ACT AS PEDESTRIAN ACCESS. PROPOSED SITE HAS LIMITED TRAFFIC SOLELY FOR RESIDENTS & VISTORS. THE DRIVEWAY CAN SERVE AS A SAFE PASSAGEWAY DUE TO ITS FLAT SURFACE AND CLEAR SIGHTLINES. A SPEED LIMIT SHARED ZONE	
	SIGN LIMITING THE MAX SPEED LIMIT TO 10KM/H PARALLEL PARKING AREAS DESIGNED TO TABLE C2.3 DIMENSIONS OF CAR PARKING SPCAES AND COMBINED ACCESS AND MANOEUVRING SPACE ADJACENT TO PARKING SPACES. WHITE REFLECTIVE PAINT, 80-100mm WIDE IN ACCORDANCE WITH AS/ NZS 2890.1 2004	
- <u>358</u> 8 ⁴ 000 1019 1019	NBN PIT LOCATED ONSITE	
	_ ELECTRICAL BOX LOCATED ONSITE	
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- Movement templates demonstrate the ability of vehicles to enter intersection in a forwards direction and leave in a forwards direction.

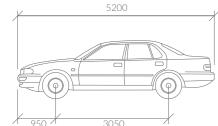
- The base dimensions of the vehicle template represent the B85 (85th Percentile) Vehicle

- The swept path of the vehicle represent the outer extents of the vehicle.



B85 Vehicle Dimensions

Width:	1870
Track:	1770
L-LTime:	6.0
Turning Radius:	5800



B99 Vehicle Dimensions

Width: Track:	1940 1840
L-L Time:	6.0
Turning Radius:	3390

Parking Space requirements As defined by the Parking and Sustainable Transport Code - Table C2.3

Parking Dimensions - 90°

2600 2800 3000 3200 5400 5400 5400 5400 Width: Length: Aisle Width: 6400 5800 5200 4800

Parking Dimensions - 45°

2600 Width: 5400 Length: Aisle Width: 3500

Parking Dimensions - Parallel

2300 6700 3600 Width: Length: Aisle Width:

<u>Legend</u>

- Solar Bollard Lighting 0

 \checkmark - Spotlight with Sensor



	TABLE C2.2 INTERNAL ACCESS WAYWIDTH FOR	
	VEHICLES 6 to 20 PARKING SPACES PROVIDED	
	PASSING BAY TAPER	
<u>282</u> ¥		
	DRIVEWAY TO ACT AS PEDESTRIAN ACCESS. PROPOSED SITE HAS LIMITED TRAFFIC SOLELY FOR RESIDENTS & VISTORS. THE DRIVEWAY CAN SERVE AS A SAFE PASSAGEWAY DUE TO ITS FLAT SURFACE AND CLEAR SIGHTLINES. A SPEED LIMIT SHARED ZONE SIGN LIMITING THE MAX SPEED LIMIT TO 10KM/H	
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K358 1 2 4 50 1	ACCORDANCE WITH AS/ NZS 2890.1 2004	
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Legend

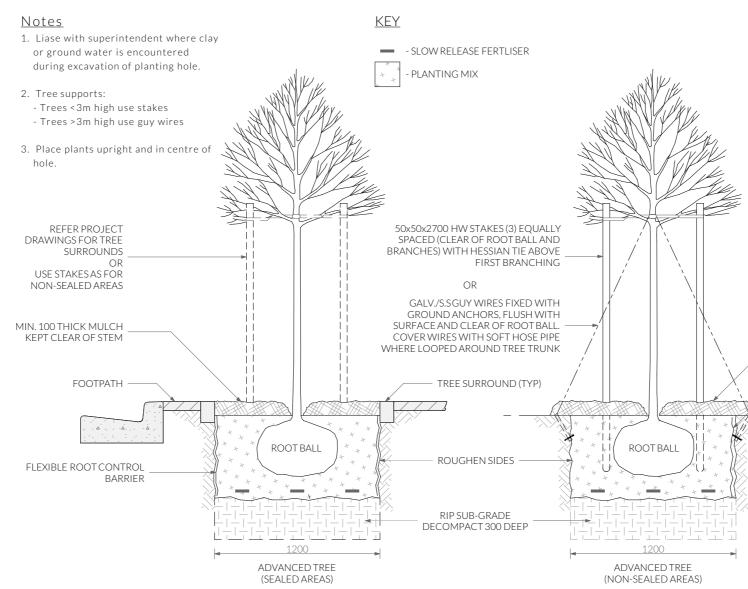


Planting Schedule

Symbol	Name	Qty	Pot Size	Height	Spread
A A A A A A A A A A A A A A A A A A A	Hebe sp. or similar	22	tubestock	1,000	1,000

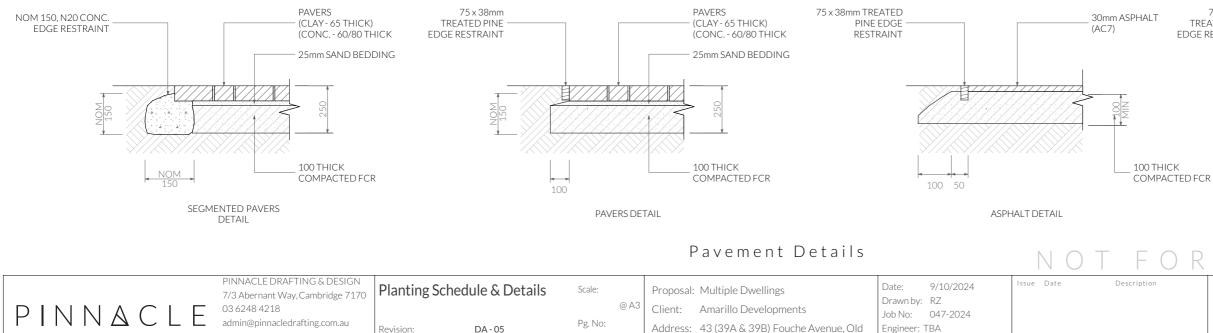
<u>Note</u>

Plants have been selected to be drought tolerant and low maintenance once established, it is recommended that a dripper system or similar be put into place until established. Plant locations are indicative and may be altered where suitable growing conditions cannot be met. Garden areas to be mulched with 75mm cover of selected mulch and plants are to fertilised 6 monthly or where required until established. Garden edges are to be timber, steel, or brick. Plantings that are unsuccessful will be replaced where required.



Tree and Shrub Planting

Building Surveyor: TBA



L.02

Beach, 7017

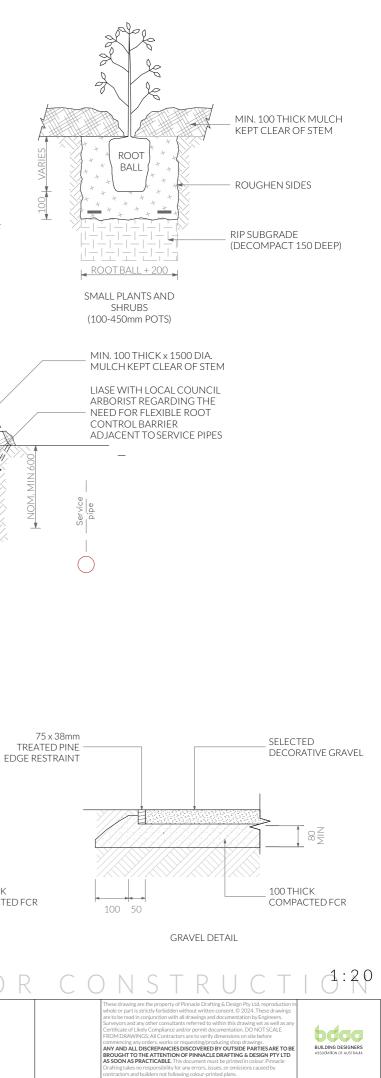
Revision:

Approved by:

JN/MM

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Plumbing Notes

All plumbing to be in accordance with AS3500, NCC Vol III, Tas Plumbing Code and local authority regulations.

Sewer and stormwater to mains connections, plumber to verify location on site. (refer to site plan.)

All works are to be in accordance with the water supply code of Australia WSA 03-2011-3.1 version 3.1 $\,$ MRWA edition v2.0 and Sewerage Code of Australia Melbourne Retail Water Agencies Code WSA 02-2014-3.1 MRWA version 2 and TasWater's supplements to these codes.

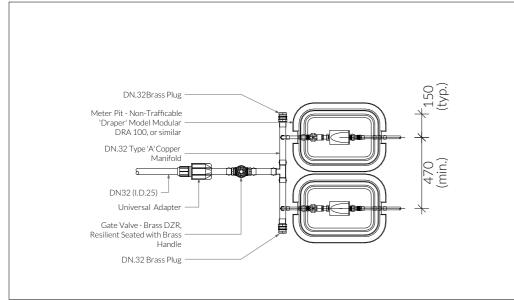
Minimum gradient on sewer pipes as per AS3500.2.2

·65ø	= 1:40 (2.5%)
·80ø, 100ø	= 1:60 (1.65%)
·125Ø	= 1:80 (1.25%)
·150Ø	= 1:100 (1.00%)

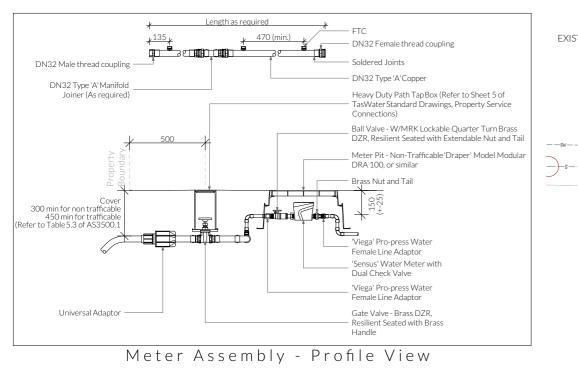
<u>Note</u>

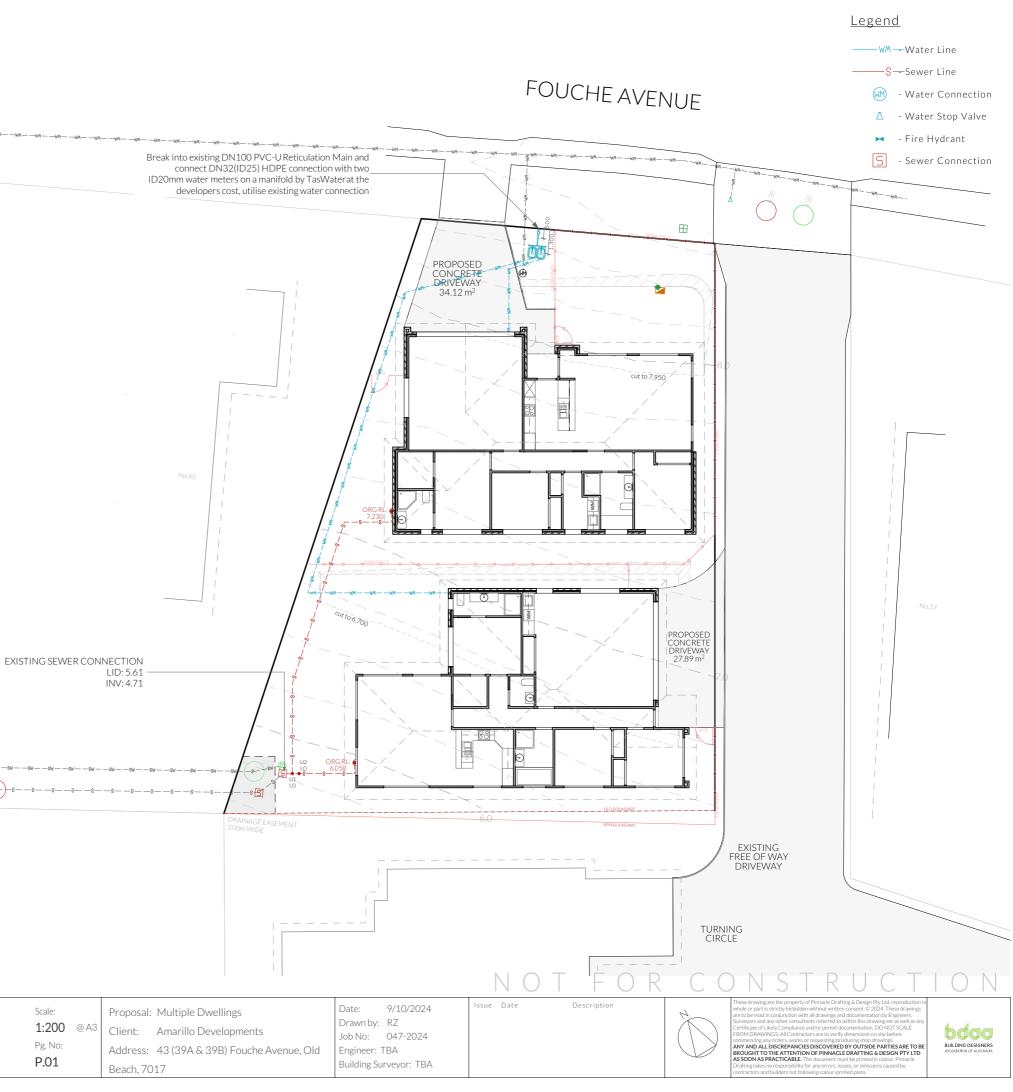
All driveway pits and grate drains to be Class B.

Stormwater pits are indicative. Location may vary depending on site conditions.



Meter Assembly - Below Ground Plan View





PINNACIE	PINNACLE DRAFTING & DESIGN 7/3 Abernant Way, Cambridge 7170 03 6248 4218	Sewer & Water Plan		I	Proposal: Multiple Dwellings Client: Amarillo Developments	Drawn by:	9/10/2024 RZ 047-2024	Issue Date	Description
	admin@pinnacledrafting.com.au www.pinnacledrafting.com.au Licence: CC6073Y	Revision: Approved by:	DA - 05 JN/MM	Pg. No: P.01	Address: 43 (39A & 39B) Fouche Avenue, Old Beach, 7017	Engineer:			



Submission to Planning Authority Notice

Application details

Council Planning Permit No.	DA 2024/201
Council notice date	24/10/2024
TasWater Reference No.	TWDA 2024/01252-BTN
Date of response	31/10/2024
TasWater Contact	Huong Pham
Phone No.	0427 471 748
Response issued to	
Council name	BRIGHTON COUNCIL
Contact details	development@brighton.tas.gov.au
Development details	
Address	43 FOUCHE AV, OLD BEACH
Property ID (PID)	9853832
Description of development	Multiple Dwellings x 2 & Boundary Adjustment

Schedule of drawings/documents

Prepared by	Drawing/document No.	Revision No.	Issue date	
Pinnacle	047-2024 sheets A0.01, C.01, P.01	DA-01	09/10/2024	

Conditions

Pursuant to the *Water and Sewerage Industry Act* 2008 (TAS) Section 56P(1) TasWater imposes the following conditions on the permit for this application:

CONNECTIONS, METERING & BACKFLOW

1. A suitably sized water supply with metered connection and sewerage system and connection to the development must be designed and constructed to TasWater's satisfaction and be in accordance with any other conditions in this permit.

<u>Advice:</u> The existing water connection can be upgraded to DN32mm (ID 25mm), by utilising the existing TPFNR/tapping saddle.

2. Any removal/supply and installation of water meters and/or the removal of redundant and/or installation of new and modified property service connections must be carried out by TasWater at the developer's cost.



3. Prior to commencing construction of the development, any water connection utilised for construction/the development must have a backflow prevention device and water meter installed, to the satisfaction of TasWater.

DEVELOPER CHARGES

- 4. Prior to TasWater issuing a Certificate(s) for Certifiable Work (Building) and/or (Plumbing), the applicant or landowner as the case may be, must pay a developer charge totalling \$1,054.20 to TasWater for water infrastructure for 0.60 additional Equivalent Tenements, indexed by the Consumer Price Index All groups (Hobart) from the date of this Submission to Planning Authority Notice until the date it is paid to TasWater.
- 5. Prior to TasWater issuing a Certificate(s) for Certifiable Work (Building) and/or (Plumbing), the applicant or landowner as the case may be, must pay a developer charge totalling \$1,757.00 to TasWater for sewerage infrastructure for 1.00 additional Equivalent Tenements, indexed by the Consumer Price Index All groups (Hobart) from the date of this Submission to Planning Authority Notice until the date it is paid to TasWater.

DEVELOPMENT ASSESSMENT FEES

6. The applicant or landowner as the case may be, must pay a development assessment fee of \$242.85 to TasWater, as approved by the Economic Regulator and the fee will be indexed, until the date paid to TasWater.

The payment is required within 30 days of the issue of an invoice by TasWater.

Advice

General

For information on TasWater development standards, please visit <u>https://www.taswater.com.au/building-and-development/technical-standards</u> For application forms please visit <u>https://www.taswater.com.au/building-and-development/development-application-form</u>

Developer Charges

For information on Developer Charges please visit the following webpage – https://www.taswater.com.au/building-and-development/developer-charges

Water Submetering

As of July 1 2022, TasWater's Sub-Metering Policy no longer permits TasWater sub-meters to be installed for new developments. Please ensure plans submitted with the application for Certificate(s) for Certifiable Work (Building and/or Plumbing) reflect this. For clarity, TasWater does not object to private sub-metering arrangements. Further information is available on our website (www.taswater.com.au) within our Sub-Metering Policy and Water Metering Guidelines.

Service Locations

Please note that the developer is responsible for arranging to locate the existing TasWater infrastructure and clearly showing it on the drawings. Existing TasWater infrastructure may be located by a surveyor and/or a private contractor engaged at the developers cost to locate the infrastructure.



- (a) A permit is required to work within TasWater's easements or in the vicinity of its infrastructure. Further information can be obtained from TasWater.
- (b) TasWater has listed a number of service providers who can provide asset detection and location services should you require it. Visit <u>https://www.taswater.com.au/building-anddevelopment/service-locations</u> for a list of companies.
- (c) Sewer drainage plans or Inspection Openings (IO) for residential properties are available from your local council.

<u>NOTE:</u> In accordance with the WATER AND SEWERAGE INDUSTRY ACT 2008 – SECT 56ZB A regulated entity may charge a person for the reasonable cost of –

(a) a meter; and

(b) installing a meter.

Declaration

The drawings/documents and conditions stated above constitute TasWater's Submission to Planning Authority Notice.