

- STAGE 1 : PROPOSED TEMPOARY RESIDENCE / SHED
- STAGE 2 : PROPOSED RESIDENCE
NOTE: UPON COMPLETION OF STAGE 2 THE TEMPORARY DWELLING WILL BE CONVERTED BACK TO STOORAGE SHED/GARAGE

WASTE WATER SYSTEM AND SORMWATER RETENTION AND OVERFLOW DISPERSAL- DESIGN BY STRATA GEO ENVIRONMENTAL

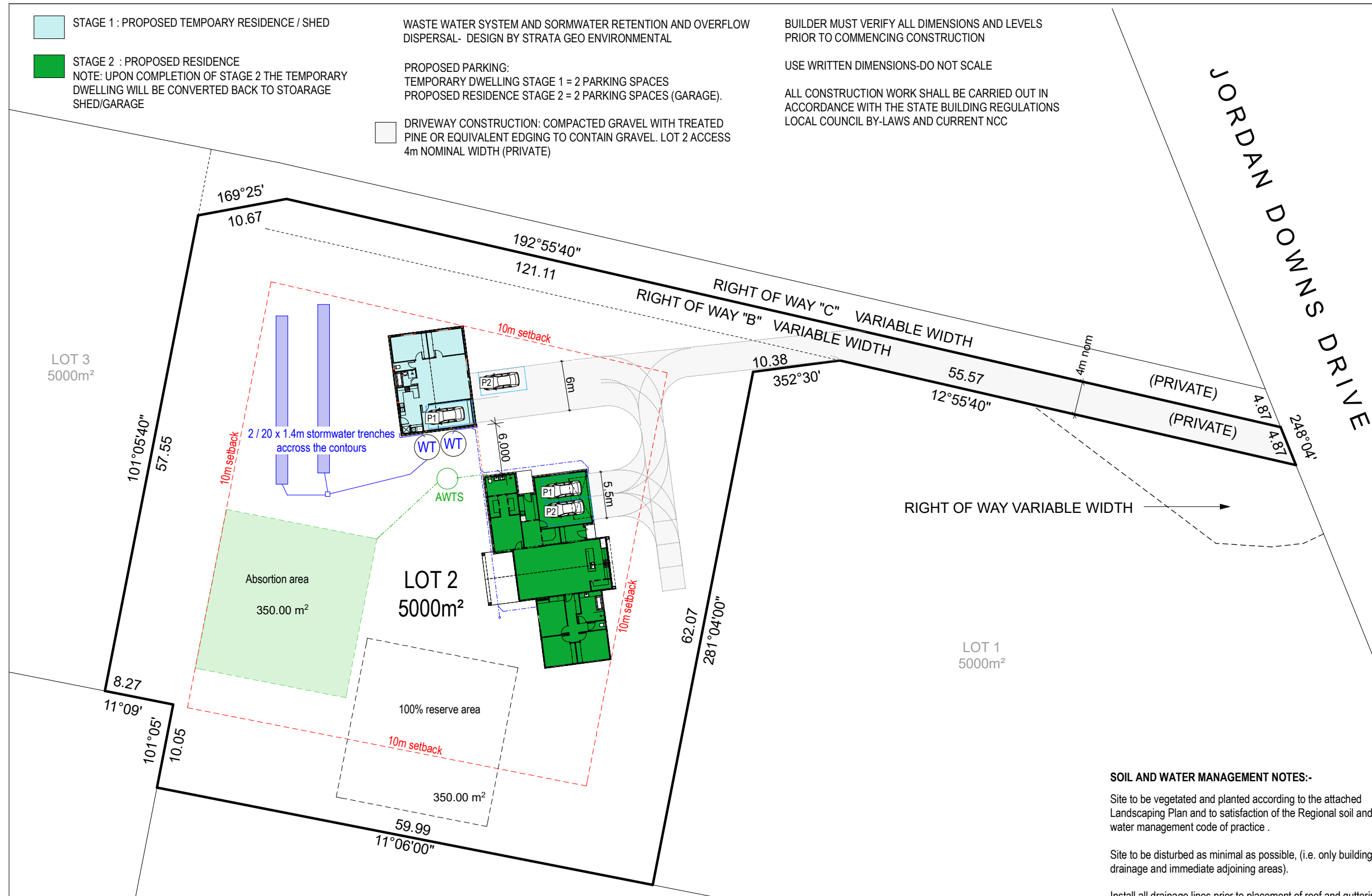
PROPOSED PARKING:
TEMPORARY DWELLING STAGE 1 = 2 PARKING SPACES
PROPOSED RESIDENCE STAGE 2 = 2 PARKING SPACES (GARAGE).

DRIVEWAY CONSTRUCTION: COMPACTED GRAVEL WITH TREATED PINE OR EQUIVALENT EDGING TO CONTAIN GRAVEL. LOT 2 ACCESS 4m NOMINAL WIDTH (PRIVATE)

BUILDER MUST VERIFY ALL DIMENSIONS AND LEVELS PRIOR TO COMMENCING CONSTRUCTION

USE WRITTEN DIMENSIONS-DO NOT SCALE

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SOIL AND WATER MANAGEMENT NOTES:-

Site to be vegetated and planted according to the attached Landscaping Plan and to satisfaction of the Regional soil and water management code of practice .

Site to be disturbed as minimal as possible, (i.e. only building, drainage and immediate adjoining areas).

Install all drainage lines prior to placement of roof and guttering. Connect immediately once dwelling is roofed.

Apply temporary covering (eg, waterproof blankets, vegetation or mulch) to all disturbed areas where construction is only partially completed, which will remain exposed for a period of 14 days or more.

Protect any nearby or on-site drainage pits from sediment by installing sediment traps around them.

Limit entry/exit to one point and stabilise. Install facilities to remove dirt/mud from vehicle wheels before they leave the site.

All soil/excavated matter to be retained on site, to be used as battered fill required for the landscaping areas.

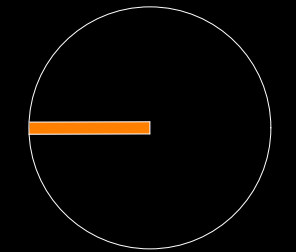
Belinda Weston
Mark Day

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Brighton. TAS. 7030

Ph : 03 62680063

M : 0409 537 337
or 0434 147 747

Email :
duodesign@bigpond.com



REV: 28.7.2022

PROPOSED
JOB : NEW RESIDENCE &
TEMPORARY RESIDENCE

AT : LOT 2, No. 7
JORDAN DOWNS DR
BRIGHTON

FOR : RHYS & EMILY
HEALD

DRAWING TITLE :

SITE PLAN

DRAWN:	DATE:	DWG NO. :
MJD	11.5.2022	01
SCALE:	ISSUE:	
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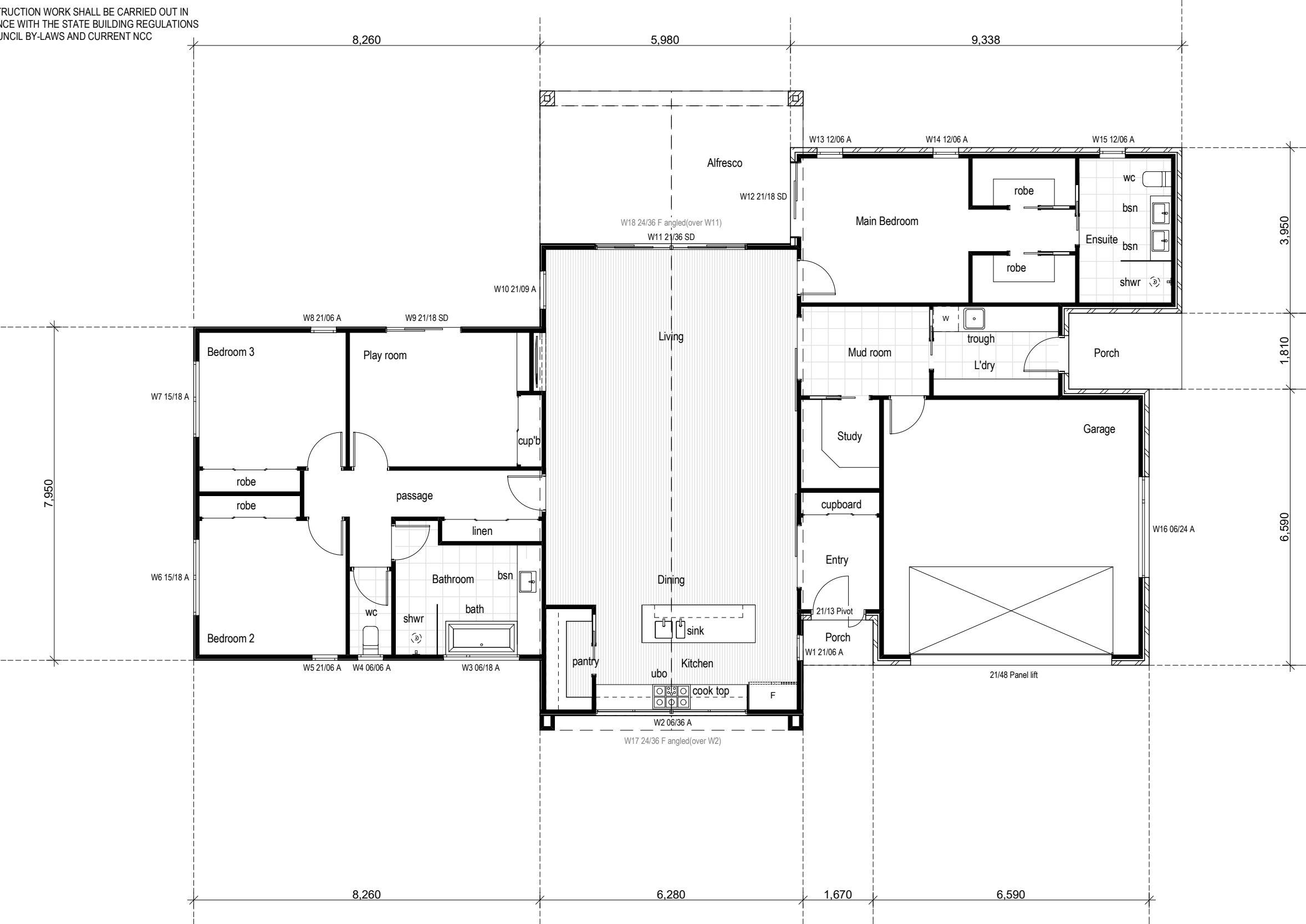


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FLOOR AREAS
PROPOSED RESIDENCE : 236.85m2, 25.49 Squares

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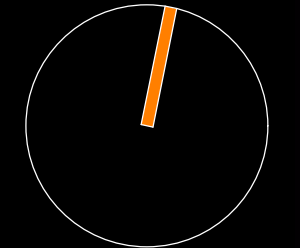
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JOB : PROPOSED
NEW RESIDENCE
& TEMPORARY
RESIDENCE

AT : LOT 2, NO.7
JORDAN DOWNS ROAD,
BRIGHTON

FOR : RHYS & EMILY
HEALD

DRAWING TITLE :
**PROPOSED
FLOOR PLAN**

DRAWN: MJD	DATE: 11.5.2022	DWG NO. : 02
SCALE: 1:100	ISSUE: DA	



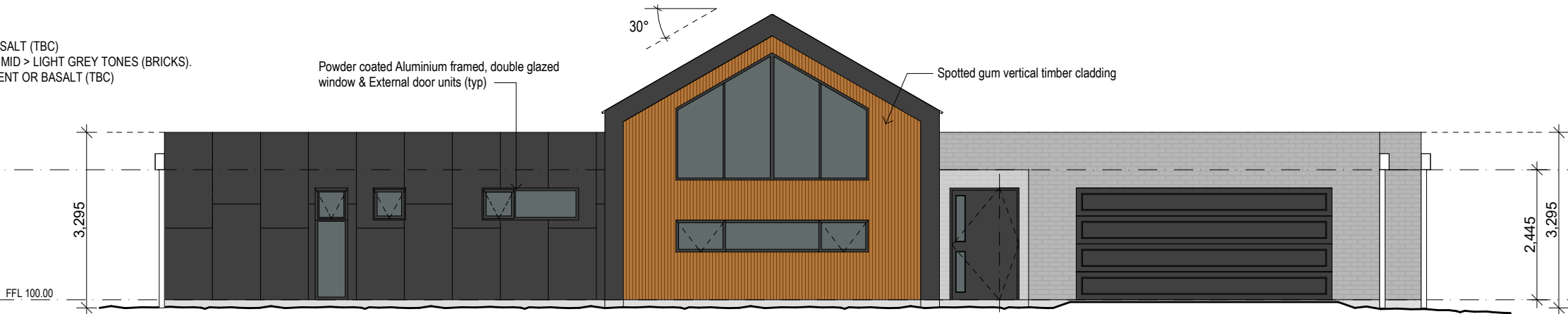
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PROPOSED COLOURS:-
ROOF: MONUMENT OR BASALT (TBC)
WALLS: BRICK VENEER / - MID > LIGHT GREY TONES (BRICKS).
SYCON "MATRIX" MONUMENT OR BASALT (TBC)

BAL : LOW



SOUTH EAST - ELEVATION



SOUTH WEST - ELEVATION

3.1.2.3 Surface water drainage

Surface water must be diverted away from Class 1 buildings as follows:

- (a) Slab-on-ground - finished ground level adjacent to buildings:
- the external finished surface surrounding the slab must be drained to move surface water away from the building and graded to give a slope of not less than (see Figure 3.1.2.2)-
 - (i) 25 mm over the first 1 m from the building in low rainfall intensity areas for surfaces that are reasonably impermeable (such as concrete or clay paving); or
 - (ii) 50 mm over the first 1 m from the building in any other case.

GLAZING PART 3.6 NCC

ALL NEW WINDOWS TO BE POWDER COATED ALUMINIUM ,DOUBLE GLAZED UNITS
ALL GLAZING SHALL COMPLY WITH THE REQUIREMENTS OF AS 2047 - AS 1288 AND NCC CLAUSES
IN PART 3.6. & AS 3959 FOR BAL 29 COMPLIANCE
HUMAN IMPACT SAFETY REQUIREMENTS SHALL COMPLY WITH NCC CLAUSES 3.6.4.

FRAMING PART 3.4 NCC

ALL TIMBER FRAMING, FIXINGS AND BRACING SHALL COMPLY WITH AS 1684 AND
THE REQUIREMENTS OF NCC PART 3.4.3. MANUFACTURED SIZES MUST NOT BE
UNDERSIZED TO THOSE SPECIFIED. FOR ALL TIMBER SIZES, STRESS GRADES,
SPACINGS AND WALL BRACING REFER TO ENGINEERS DETAILS. TIE-DOWN
DETAILS SHALL COMPLY WITH THE REQUIREMENTS OF TABLES 3.4.3.8 AND 3.4.3.9
STRUCTURAL STEEL MEMBERS SHALL COMPLY WITH THE REQUIREMENTS OF CLAUSES
IN PART 3.4.4. REFER TO ENGINEERS DETAILS WHERE PROVIDED

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JOB : PROPOSED
NEW RESIDENCE
& TEMPORARY
RESIDENCE
AT : LOT 2, NO.7
JORDAN DOWNS ROAD,
BRIGHTON
FOR : RHYS & EMILY
HEALD

DRAWING TITLE :

ELEVATIONS

DRAWN:	DATE:	DWG NO. :
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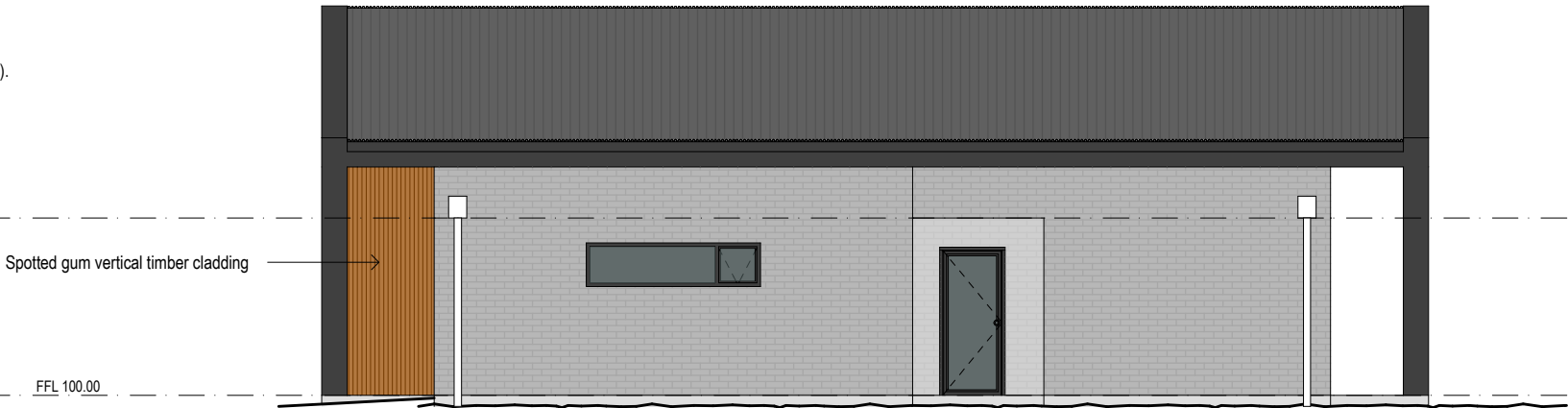
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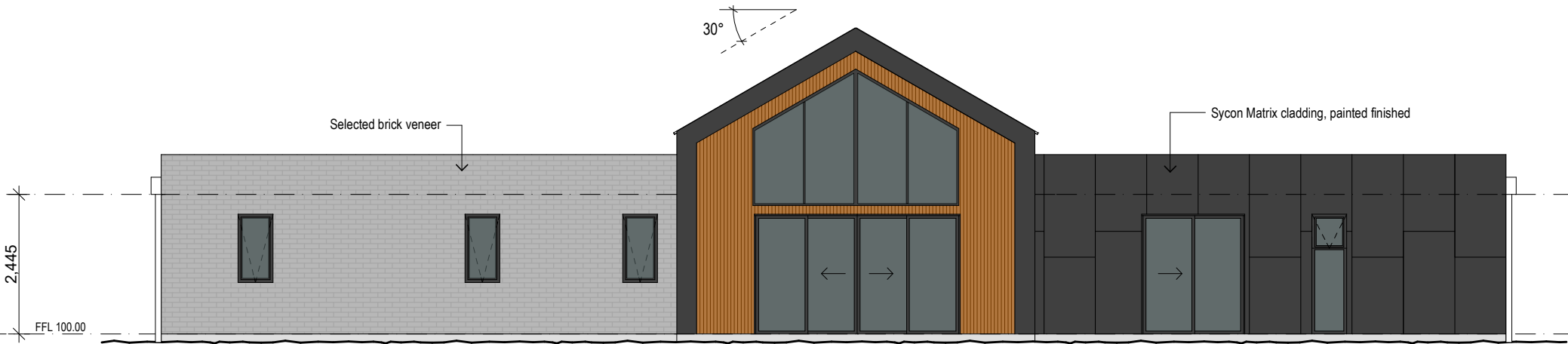
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PROPOSED COLOURS:-
ROOF: MONUMENT OR NIGHT SKY
WALLS: BRICK VENEER / - MID > LIGHT GREY TONES (BRICKS).
SYCON "MATRIX" MONUMENT OR NIGHT SKY (TBC)

BAL : LOW



NORTH EAST - ELEVATION



NORTH WEST - ELEVATION

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JOB : PROPOSED
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RESIDENCE

AT : LOT 2, NO.7
JORDAN DOWNS ROAD,
BRIGHTON

FOR : RHYS & EMILY
HEALD

DRAWING TITLE :

ELEVATIONS

DRAWN:	DATE:	DWG NO. :
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The logo for DUO DESIGN is located in the bottom right corner. It consists of the word "DUO" in a large, bold, white sans-serif font, with a thick black shadow cast to its left. Below "DUO" is the word "DESIGN" in a smaller, white sans-serif font. The entire logo is set against a solid orange circular background.

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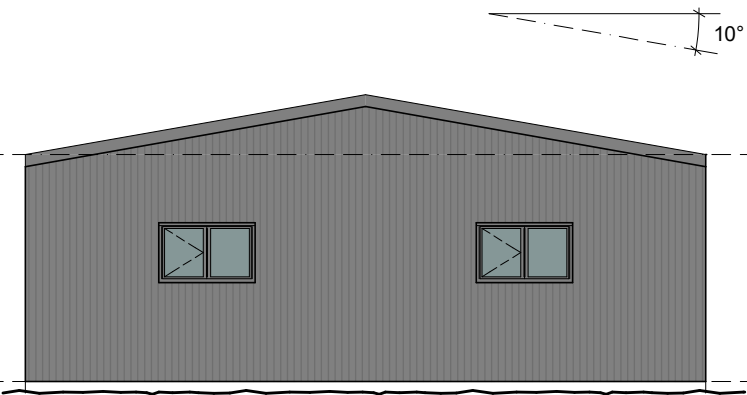
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ROOF CLADDING : CORRUGATED 0.42 BMT NIGHT SKY
WALL CLADDING : STEELCLAD 0.42 BMT MONUMENT

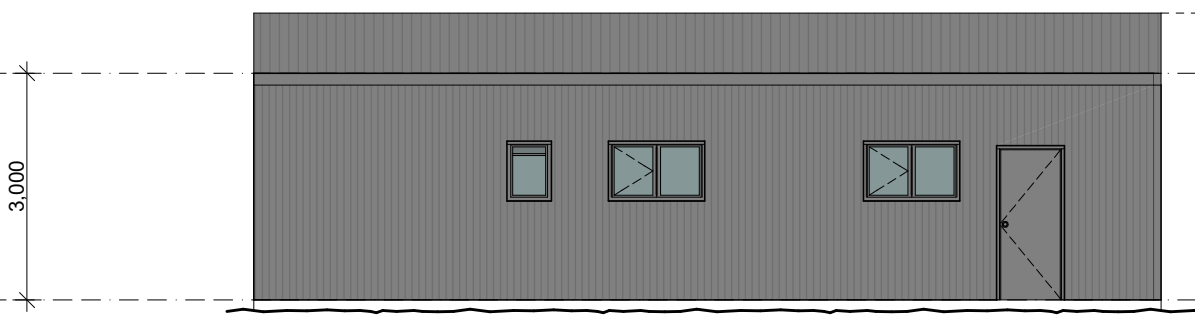
NOTE: AT THE COMPLETION OF CONSTRUCTION OF THE MAIN
RESIDENCE THE TEMPORARY RESIDENCE SHALL BE CONVERTED
BACK TO CLASS 10 SHED. I.E. REMOVAL OF KITCHEN, LAUNDRY AND
LIVING FACILITIES.



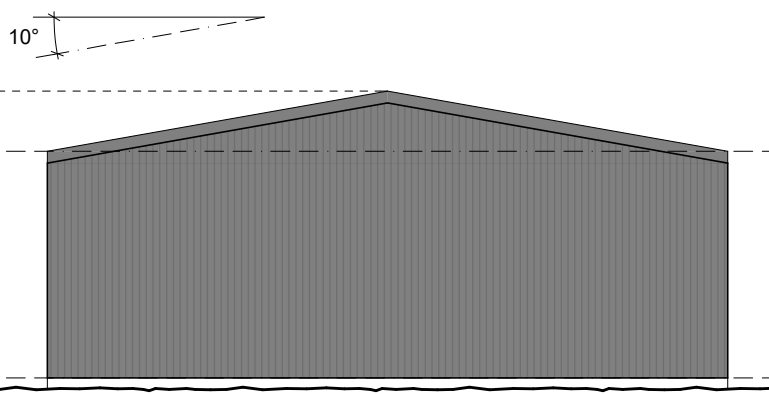
SOUTH EAST - ELEVATION



NORTH EAST - ELEVATION



NORTH WEST - ELEVATION



SOUTH WEST - ELEVATION

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TEMPORARY
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ELEVATIONS

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06

