





34 Fouche Avenue, Old Beach TAS 7017

Owner(s) or Clients

Building Classification

Designer

Total Floor Area

Alpine Area

Other Hazards

(e.g.. High wind, earthquake, flooding, landslip, dispersive soils, sand dunes, mine subsidence, landfill, snow & ice, or other relevant factors)

MDX Property Pty Ltd

1a

Jason Nickerson CC6073Y

refer to floor planm²

N/A

N/A

Title Reference 181555/6

Zoning General Residential

Land Size 802m²

Design Wind Speed TBA

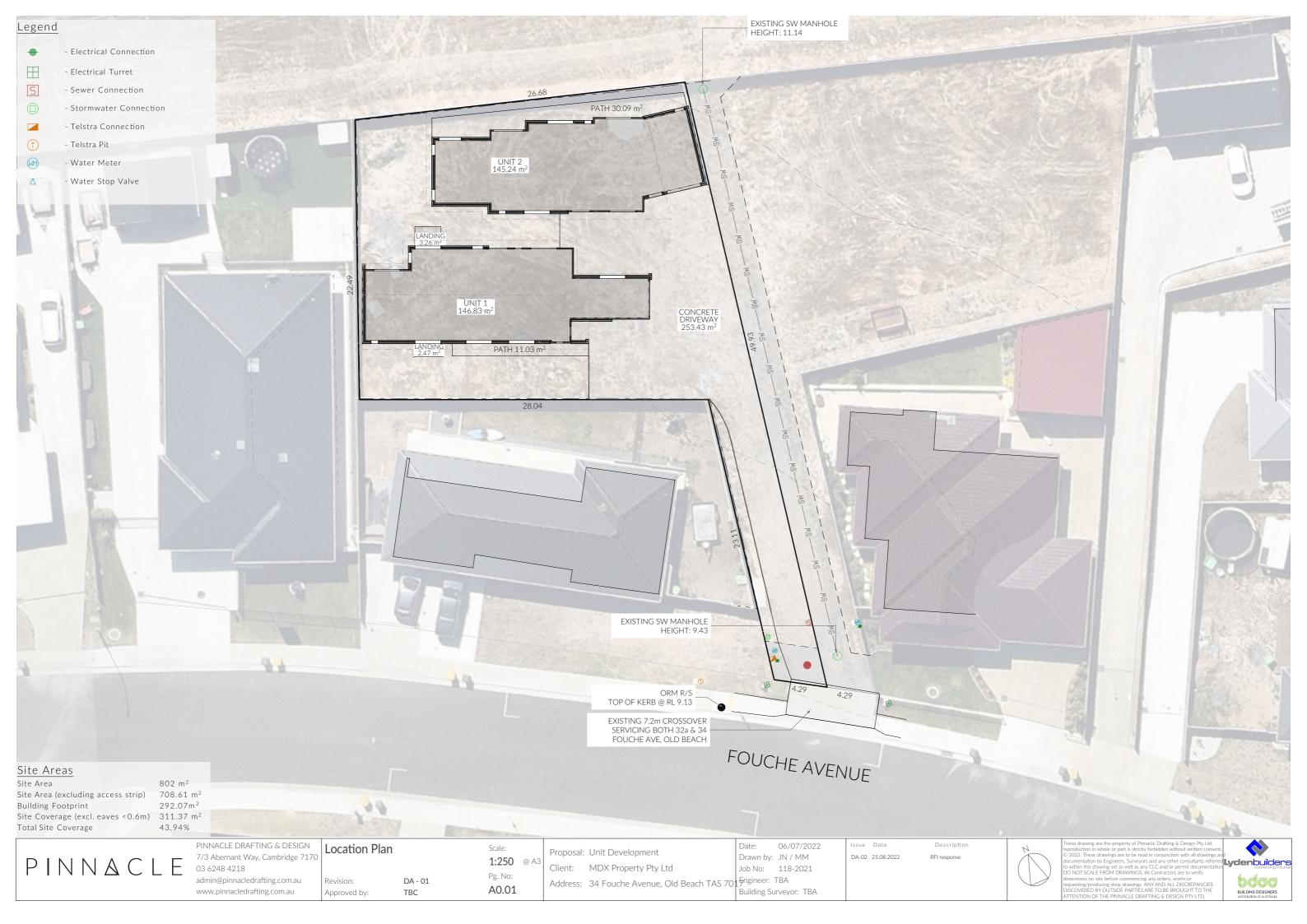
Soil Classification TBA

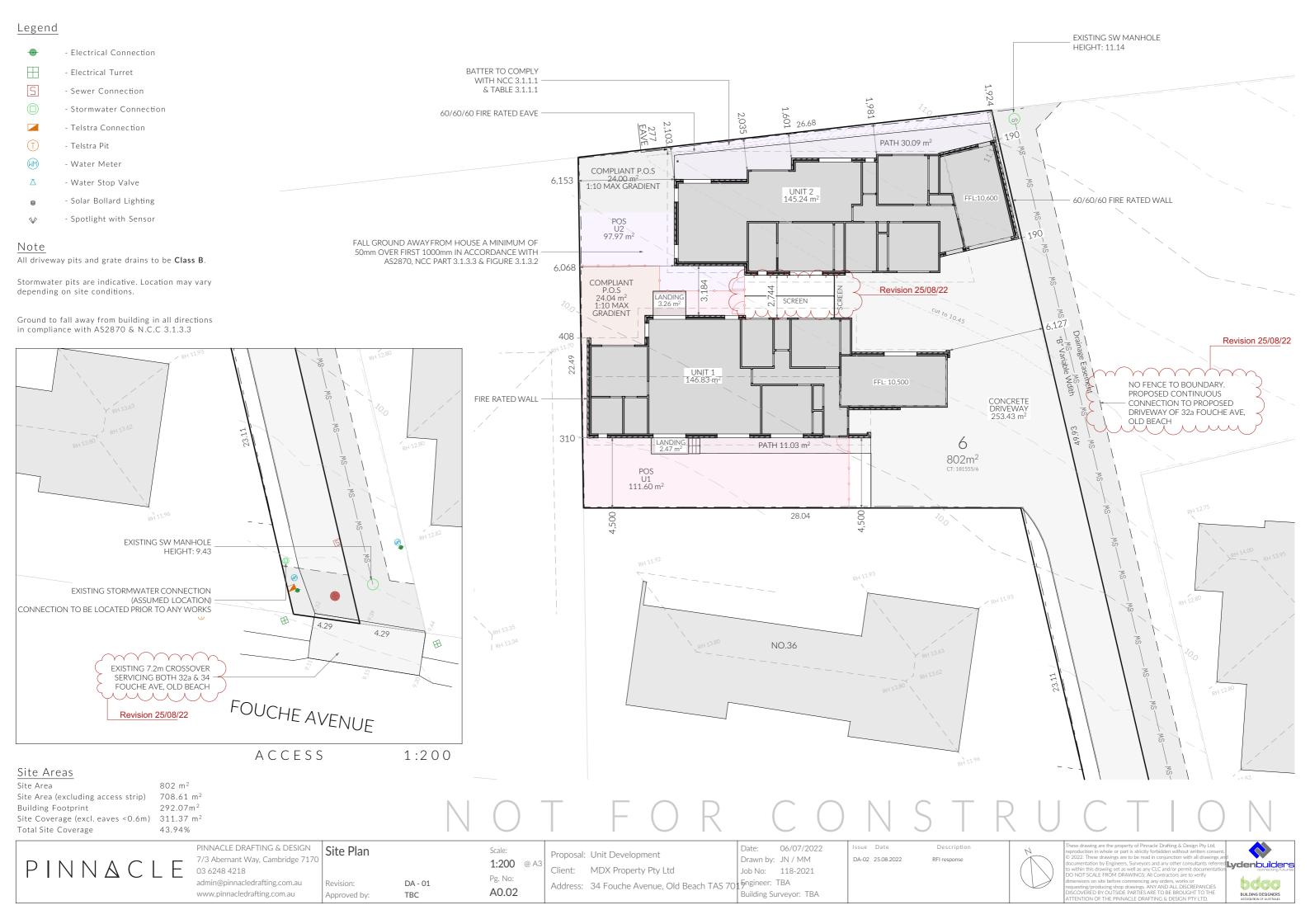
Climate Zone 7

Corrosion Environment Moderate

Bushfire Attack Level (BAL) Not bushfire prone

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A0.02	Site Plan	DA - 02
A0.03	Site Elevations	DA - 02
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A0.05	Shadow Diagrams 21st June	DA - 02
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A1.03	U1 - Elevations	DA - 02
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A1.05	U1 - Electrical Plan	DA - 02
A2.01	U2 - Floor Plan	DA - 02
A2.02	U2 - Elevations	DA - 02
A2.03	U2 - Elevations	DA - 02
A2.04	U2 - Roof Plan	DA - 02
A2.05	U2 - Electrical Plan	DA - 02
C.01	Civil Plan	DA - 02
C.02	Parking - IN	DA - 02
C.03	Parking - OUT	DA - 02
L.01	Landscaping Plan	DA - 02
P.01	Sewer & Water Plan	DA - 02







Site Elevation - East



Site Elevation - West 1:100

Clearances between cladding and ground shall comply with 3.5.4.7 of the current N.C.C and shall be a minimum clearance of:

- 100mm in low rainfall intensity areas or sandy, well-drained areas; or
- 50mm above impervious areas that slope away from the building; or
- 150mm in any other case.

As per N.C.C part 3.9.2,

Openable windows greater than 4m above ground level are to be fitted with a device to limit the opening or a suitable screen so a 125mm sphere cannot pass through, and withstand a force of 250N. Except for bedrooms, where the requirement is for heights above 2m.

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Site Elevations

Revision:

Approved by:

DA - 01

TBC

Scale: 1:100 @ A3 Pg. No:

A0.03

Proposal: Unit Development

Client: MDX Property Pty Ltd Address: 34 Fouche Avenue, Old Beach TAS 70 Fingineer: TBA

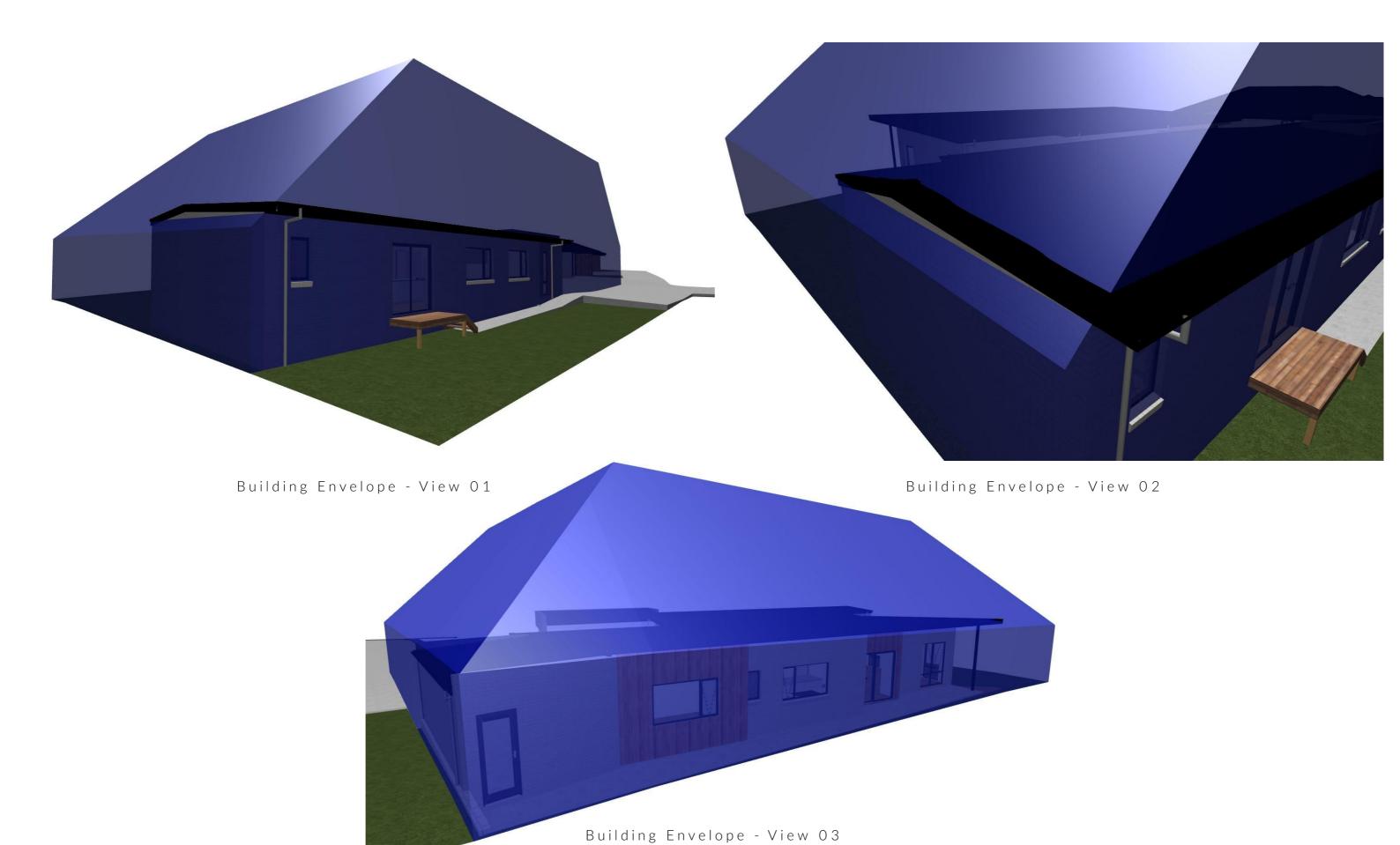
06/07/2022 Drawn by: JN / MM Job No: 118-2021

Building Surveyor: TBA

Issue Date DA-02 25.08.2022 Description



1:100



NOT FOR CONSTRUCTION

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03 6248 4218 admin@pinnacledrafting.com.au www.pinnacledrafting.com.au Building Envelope

Approved by:

DA - 01

Scale:

Pg. No: A0.04

Proposal: Unit Development

Client: MDX Property Pty Ltd Job No: 118
Address: 34 Fouche Avenue, Old Beach TAS 70 Engineer: TBA

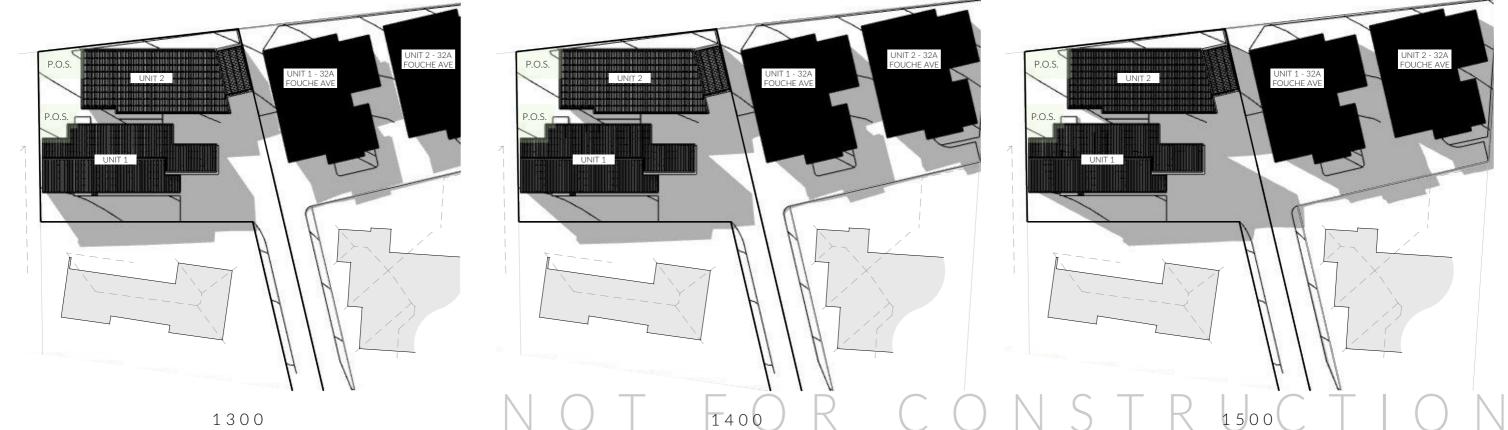
Date: 06/07/2022
Drawn by: JN / MM
Job No: 118-2021
Fingineer: TBA
Building Surveyor: TBA

DA-02 25.08.2022

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admin@pinnacledrafting.com.au www.pinnacledrafting.com.au Shadow Diagrams 21st June

Revision: DA - 01
Approved by: TBC

Scale: 1:500 @ A3 Pg. No: A0.05

Propo Client

Proposal: Unit Development

Client: MDX Property Pty Ltd

Address: 34 Fouche Avenue, Old Beach TAS 701

Fingineer: TBA

Date: 06/07/2022
Drawn by: JN / MM
Job No: 118-2021
Fingineer: TBA
Building Surveyor: TBA

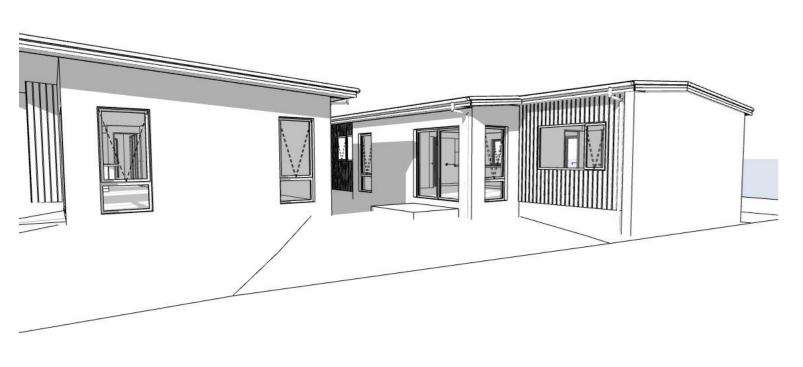
Issue Date DA-02 25.08.2022 Description RFI response

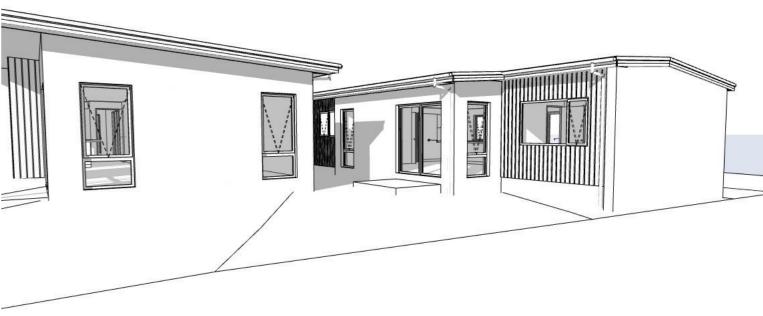


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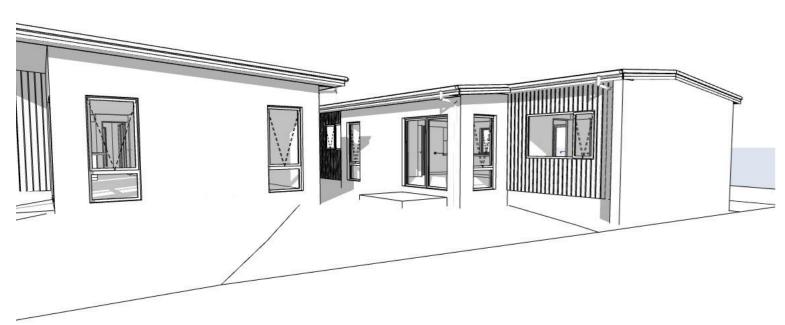
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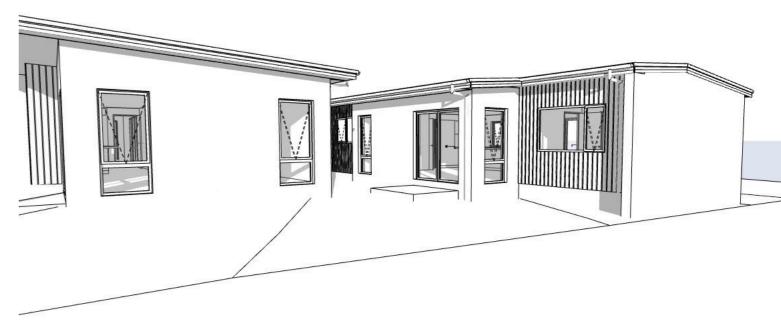






12:00 13:00





14:00 15:00

VIEW BETWEEN PROPOSED UNIT 1 AND PROPOSED UNIT 2 FROM NORTH-WESTERLY ASPECT

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Shadow Diagrams 21st June Scale:

Approved by:

DA - 01 TBC

1:500, 1:20@ A3 Pg. No:

A0.06

Proposal: Unit Development Client: MDX Property Pty Ltd

Address: 34 Fouche Avenue, Old Beach TAS 70 Fingineer: TBA

06/07/2022 Drawn by: JN / MM Job No: 118-2021

Building Surveyor: TBA

DA-02 25.08.2022







Articulation Joint

© Smoke Alarm

Construction of sanitary compartments 3.8.3.3 of current

NCC

The door to a sanitary compartment must -

- · open outwards; or
- slide; or
- \cdot $\,$ $\,$ be readily removable from the outside of the compartment.

unless there is a clear space of at least 1.2 m, measured in accordance with Figure 3.8.3.3 of NCC Vol II, between the closet pan within the sanitary compartment and the doorway.

Note: Safe Movement & Egress

Openable windows greater than 4m above ground level are to be fitted with a device to limit opening or a suitable screen so a 125mm sphere cannot pass through. Except for Bedrooms, where the requirement is for heights above 2m.

Note: Paved Areas

All paths and patios to fall away from dwelling.

Note: Stair Construction

All stairs to be constructed in accordance with N.C.C Part 3.9.1:
Riser: Min 115mm - Max 190mm

Going: Min 240mm - Max 355mm Slope (2R+G): Max 550 - Min 700

Heights of rooms & other spaces 3.8.2.2 of current NCC

Heights of rooms and other spaces must not be less than;

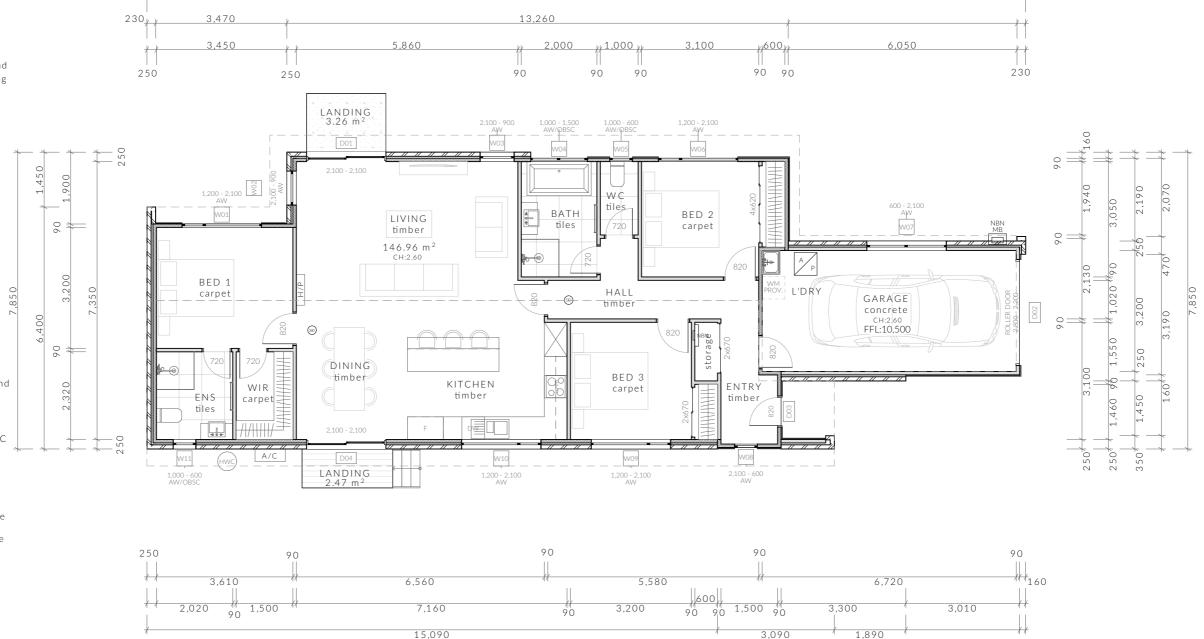
(a)in a habitable room excluding a kitchen - 2.4 m; and

(b)in a kitchen - 2.1 m; and

(c)in a corridor, passageway or the like - 2.1 m; and (d)in a bathroom, shower room, laundry, sanitary compartment, airlock, pantry, storeroom, garage, car parking area or the like - 2.1 m; and (e)in a room or space with a sloping ceiling or projections below the ceiling line within- See NCC directly for these items

(f)in a stairway, ramp, landing, or the like - 2.0 m measured vertically above the nosing line of stairway treads or the floor surface of a ramp, landing or the like.

If required onsite, the builder may work within the tolerances of the above as specified within the NCC Volume 2. Builder to contact *Pinnacle* before undertaking works.



23,240

23,240

Floor Areas

Total Floor Area 146.96m²
Deck N/A

NOT FOR CONSTRUCTION

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U1 - Floor Plan

Approved by:

DA - 01

TBC

Scale: 1:100 @ A3 Pg. No: A1.01 Proposal: Unit Development

Client: MDX Property Pty Ltd Job No: 118
Address: 34 Fouche Avenue, Old Beach TAS 701 Figineer: TBA

Date: 06/07/2022

Drawn by: JN / MM

Job No: 118-2021

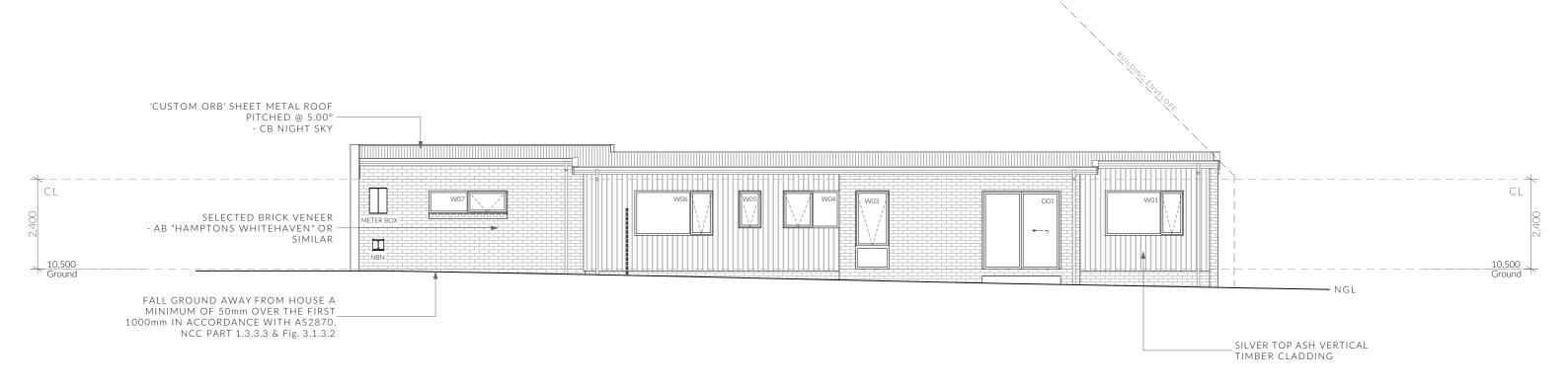
Building Surveyor: TBA

Issue Date Description
DA-02 25.08.2022 RFI response



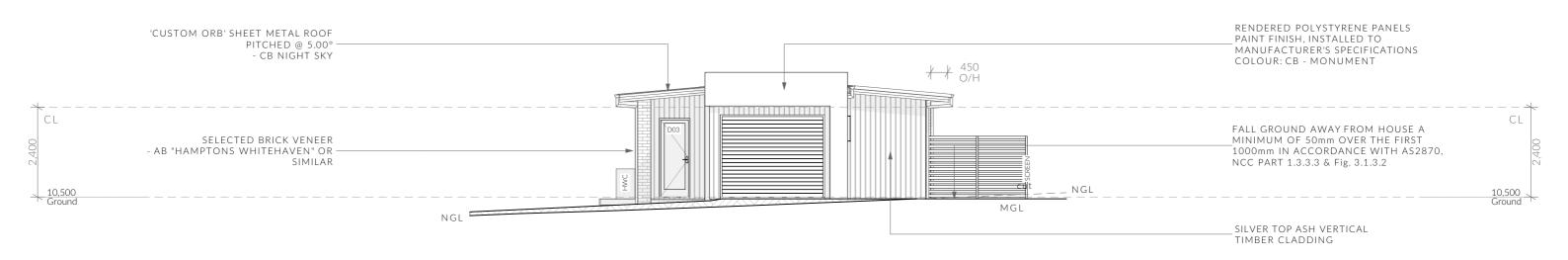
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U1 - North Elevation

1:100



U1 - East Elevation

Clearances between cladding and ground shall comply with 3.5.4.7 of the current N.C.C and shall be a minimum clearance of:

- 100mm in low rainfall intensity areas or sandy, well-drained areas; or
- 50mm above impervious areas that slope away from the building; or
- 150mm in any other case.

PINNACLE

As per N.C.C part 3.9.2,

Openable windows greater than 4m above ground level are to be fitted with a device to limit the opening or a suitable screen so a 125mr Except for bedrooms, where the requirement is for heights above 2m.

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U1 - Elevations

DA - 01 Revision: Approved by: TBC

Scale: 1:100 @ A3 Pg. No:

A1.02

Proposal: Unit Development Client: MDX Property Pty Ltd

n sphere cannot pass through, and withstar

06/07/2022 Drawn by: JN / MM Job No: 118-2021 Address: 34 Fouche Avenue, Old Beach TAS 70 5 Fingineer: TBA Building Surveyor: TBA

ssue Date DA-02 25.08.2022

Description RFI response



1:100



U1 - South Elevation

'CUSTOM ORB' SHEET METAL ROOF PITCHED @ 5.00° - CB NIGHT SKY CL CL SELECTED BRICK VENEER - AB "HAMPTONS WHITEHAVEN" OR 10,500 Ground 10,500 Ground NGL -- NGL FALL GROUND AWAY FROM HOUSE A MINIMUM OF 50mm OVER THE FIRST_ 1000mm IN ACCORDANCE WITH AS2870, NCC PART 1.3.3.3 & Fig. 3.1.3.2

U1 - West Elevation

Clearances between cladding and ground shall comply with 3.5.4.7 of the current N.C.C and shall be a minimum clearance of:

- 100mm in low rainfall intensity areas or sandy, well-drained areas; or - 50mm above impervious areas that slope away from the building; or
- 150mm in any other case.

As per N.C.C part 3.9.2, Openable windows greater than 4m above ground level are to be fitted with a device to limit the opening or a suitable screen so a 125mm sphere cannot pass through, and withstan

Except for bedrooms, where the requirement is for heights above 2m. PINNACLE DRAFTING & DESIGN

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7/3 Abernant Way, Cambridge 7170

Revision: Approved by:

U1 - Elevations

DA - 01 TBC

Scale:

1:100 @ A3 Pg. No: A1.03

Proposal: Unit Development

Client: MDX Property Pty Ltd Address: 34 Fouche Avenue, Old Beach TAS 70 5 Fingineer: TBA

06/07/2022 Drawn by: JN / MM Job No: 118-2021

Building Surveyor: TBA

ssue Date DA-02 25.08.2022

Description RFI response



1:100

1:100

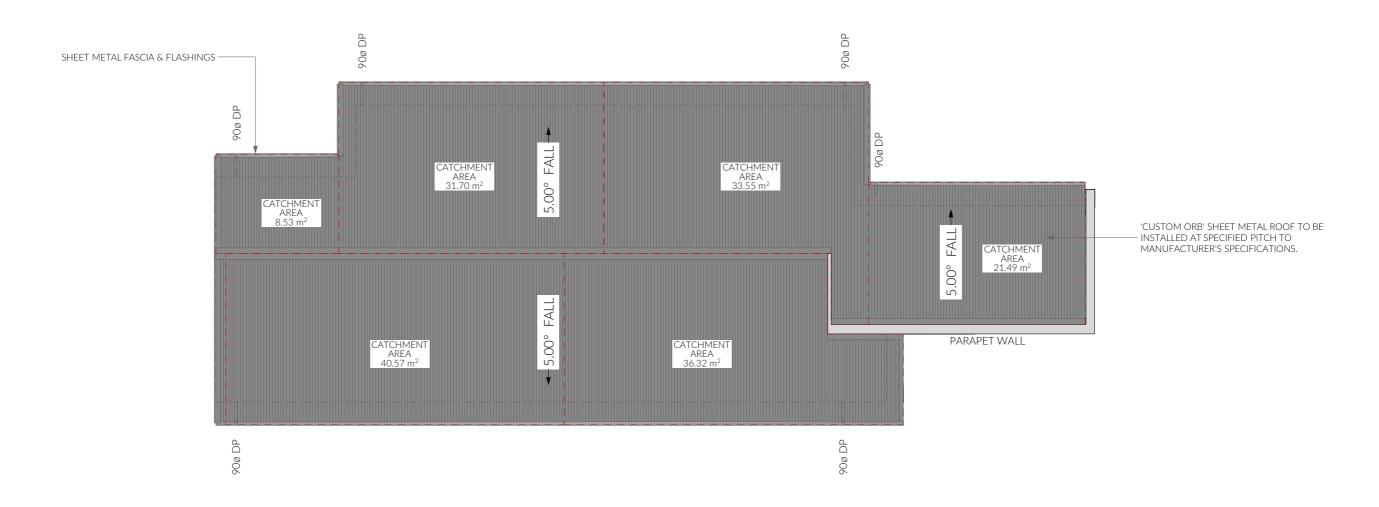
Roof Ventilation Notes

Roof space to be ventilated in accordance with BSOL "Guide for Control of Condensation and Mould in Tasmanian Homes" 2019:

- Openings must have a total unobstructed area of 1/300 of the respective ceiling area if the roof pitch is more than 16°, or 1/150 of the respective ceiling area if the roof pitch is less than 16°.
- 25% of the total unobstructed area required must be located not more than 900 mm below the ridge or highest point of the roof space, measured vertically, with the remaining required area provided by eave vents.

Stormwater Notes

 $\overline{\mbox{All gutters, downpipes and}}$ rain heads to be designed and installed in compliance with AS3500.3 & N.C.C Volume 2 Part 3.5.3.



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U1 - Roof Plan

DA - 01

TBC

Revision:

Approved by:

1:100 @ A3 Pg. No: A1.04

Scale:

Proposal: Unit Development Client: MDX Property Pty Ltd

06/07/2022 Drawn by: JN / MM Job No: 118-2021 Address: 34 Fouche Avenue, Old Beach TAS 70 Fingineer: TBA Building Surveyor: TBA

Issue Date DA-02 25.08.2022 Description

RFI response



ELECTRICAL LEGEND

Symbol	ID	Qty
2	Double GPO	23
0	Exhaust Fan	3
-	Fan - Light Combo	2
\Diamond	Isolation switch	1
	LED batten light	2
⊗	LED Downlight	25
\otimes	Pendant light	3
\bowtie	Signal Telephone	2
TV	Signal TV Out	2
$\stackrel{1}{\frown}$	Single GPO (DW,FR,WM)	4
\$	Switch	13
\$	Switch 2 way	6
$\stackrel{\leftarrow}{\sim}$	Weatherproof GPO	1

Smoke Alarms Part 3.7.5

Smoke alarms must-

- comply with AS 3786, except that in a Class 10a private garage where the use of the area is likely to result in smoke alarms causing spurious signals, any other alarm deemed suitable in accordance with AS 1670.1 may be installed provided that smoke alarms complying with AS 3786 are installed elsewhere in the Class 1 building; and
- be powered from the consumer mains source where a consumer mains source is supplied to the building; and
- be interconnected where there is more than one alarm

In a Class 1a building, smoke alarms must be located in-

- any storey containing bedrooms, every corridor or hallway associated with a bedroom, or if there is no corridor or hallway, in an area between the bedrooms and the remainder of the building; and
- each other storey not containing bedrooms.

Smoke alarms required by 3.7.5.3 and 3.7.5.4 must be installed on or near the ceiling, in accordance with the following:

- (a) Where a smoke alarm is located on the ceiling it must be-(i) a minimum of 300 mm away from the corner junction of the wall and ceiling; and
- (ii) between 500 mm and 1500 mm away from the high point and apexes of the ceiling, if the room has a sloping ceiling.
- (b) Where (a) is not possible, the smoke alarm may be installed on the wall, and located a minimum of 300 mm and a maximum of 500 mm off the ceiling at the junction with the wall.

Note: Exhaust Fans

Exhaust fans to comply with N.C.C Vol 2 Part 3.8.7.3 and have a minimum flow rate of: 25L/s for bathrooms and/or sanitary compartments

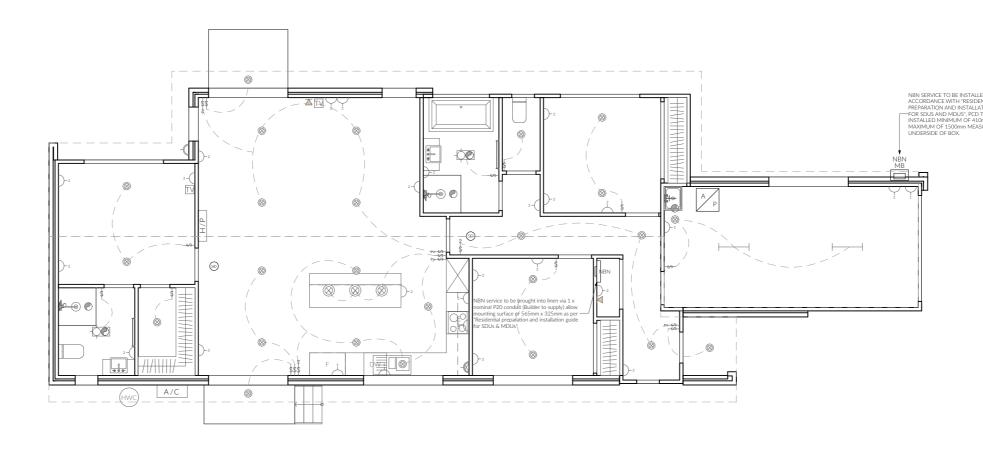
40 L/s for kitchen & laundry and must be discharged directly to outside air.

Note: Lighting

the class 1a dwelling

Lighting layout may change, owner to confirm with builder prior to purchase/installation of exact quantity and location of electrical services provided that installation is compliant with AS3000 and artificial lighting allowances do not exceed:

 $5W/m^2$ in class 1a dwellings $4W/m^2$ to veranda, balcony or the like $3W/m^2$ in a class 10a dwelling associated with



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U1 - Electrical Plan

Revision:

Approved by:

DA - 01

TBC

1:100 @ A3 Pg. No: A1.05

Scale:

@ A3 Proposal: Unit Development
Client: MDX Property Pty

Client: MDX Property Pty Ltd Job No: 118
Address: 34 Fouche Avenue, Old Beach TAS 701 Fingineer: TBA

Date: 06/07/2022

Drawn by: JN / MM

Job No: 118-2021

Engineer: TBA

Building Surveyor: TBA

DA-02 25.08.2022

Description



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Articulation Joint

© Smoke Alarm

Construction of sanitary compartments 3.8.3.3 of current

NCC

The door to a sanitary compartment must -

- open outwards; or
- slide; or
- be readily removable from the outside of the compartment.

unless there is a clear space of at least 1.2 m, measured in accordance with Figure 3.8.3.3 of NCC Vol II, between the closet pan within the sanitary compartment and the doorway.

Note: Safe Movement & Egress

Openable windows greater than 4m above ground level are to be fitted with a device to limit opening or a suitable screen so a 125mm sphere cannot pass through. Except for Bedrooms, where the requirement is for heights above 2m.

Note: Paved Areas

All paths and patios to fall away from dwelling.

Note: Stair Construction

All stairs to be constructed in accordance with N.C.C Part 3.9.1: Riser: Min 115mm - Max 190mm

Going: Min 240mm - Max 355mm Slope (2R+G): Max 550 - Min 700

Heights of rooms & other spaces

3.8.2.2 of current NCC

Heights of rooms and other spaces must not be less than;

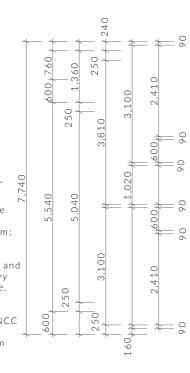
(a)in a habitable room excluding a kitchen - 2.4 m;

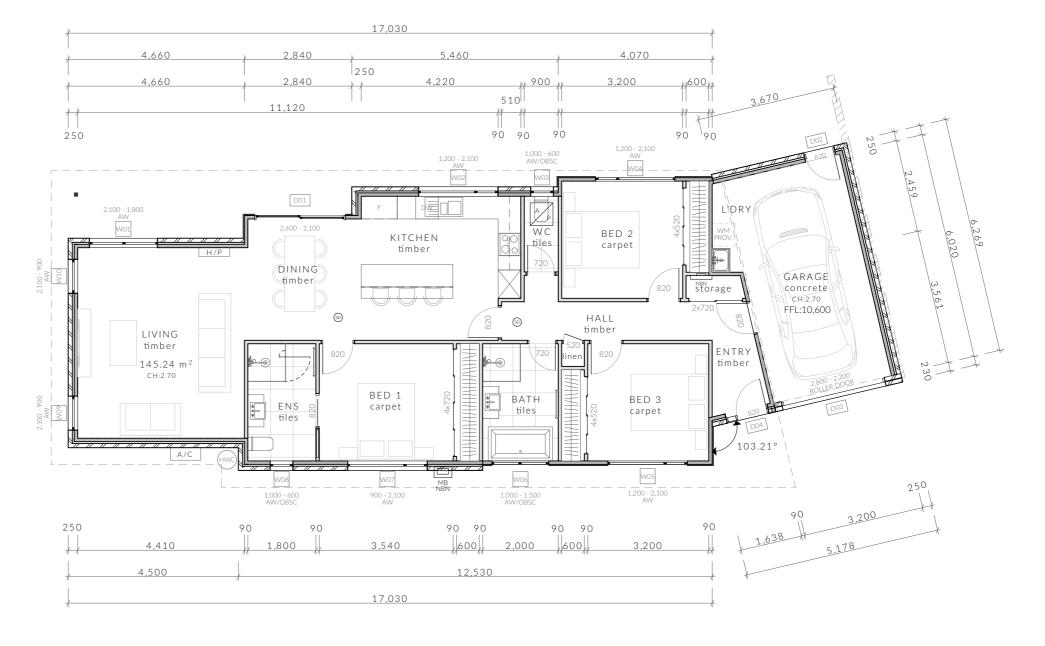
(b)in a kitchen - 2.1 m; and

(c)in a corridor, passageway or the like - 2.1 m; and (d)in a bathroom, shower room, laundry, sanitary compartment, airlock, pantry, storeroom, garage, car parking area or the like - 2.1 m; and (e)in a room or space with a sloping ceiling or projections below the ceiling line within- See NCC directly for these items

(f)in a stairway, ramp, landing, or the like - 2.0 m measured vertically above the nosing line of stairway treads or the floor surface of a ramp, landing or the like.

If required onsite, the builder may work within the tolerances of the above as specified within the NCC Volume 2. Builder to contact Pinnacle before undertaking works.





Floor Areas

Total Floor Area 145.24m²

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U2 - Floor Plan

Approved by:

DA - 01

TBC

1:100 @ A3 Pg. No: A2.01

Scale:

Proposal: Unit Development

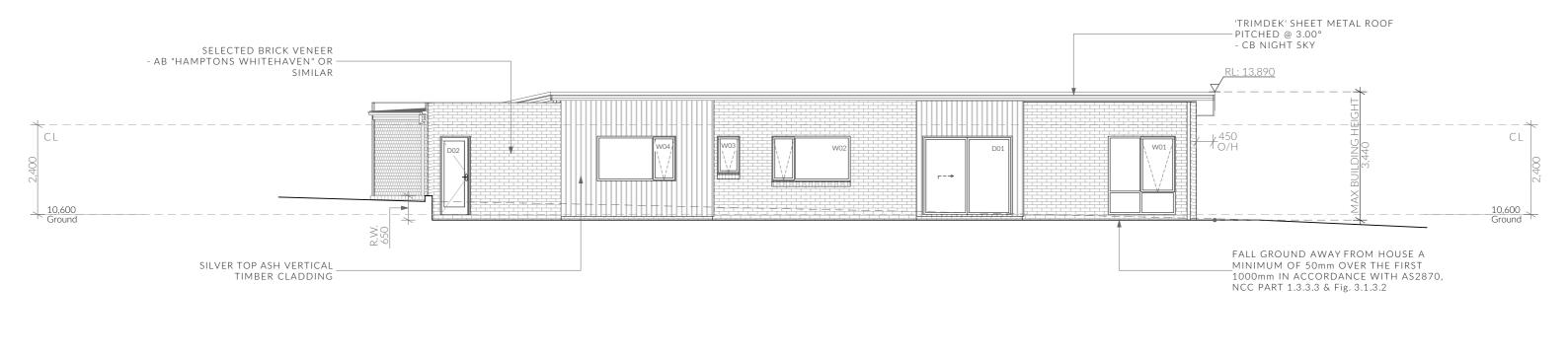
Client: MDX Property Pty Ltd Address: 34 Fouche Avenue, Old Beach TAS 701 Fingineer: TBA

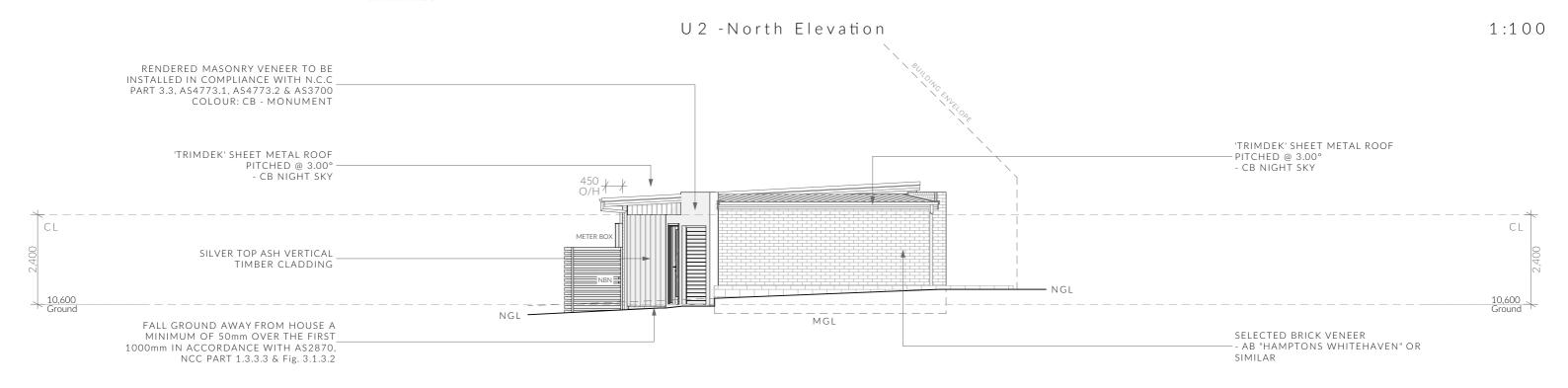
06/07/2022 Drawn by: JN / MM Job No: 118-2021 Building Surveyor: TBA

ssue Date DA-02 25.08.2022









U2 - East Elevation

1:100

Clearances between cladding and ground shall comply with 3.5.4.7 of the current N.C.C and shall be a minimum clearance of:

- 100mm in low rainfall intensity areas or sandy, well-drained areas; or
- 50mm above impervious areas that slope away from the building; or
- 150mm in any other case.

As per N.C.C part 3.9.2,

Openable windows greater than 4m above ground level are to be fitted with a device to limit the opening or a suitable screen so a 125mr Except for bedrooms, where the requirement is for heights above 2m.

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U2 - Elevations

DA - 01 Revision: Approved by: TBC

Scale:

1:100 @ A3 Pg. No: A2.02

Proposal: Unit Development

Client: MDX Property Pty Ltd Address: 34 Fouche Avenue, Old Beach TAS 70 5 Fingineer: TBA

n sphere cannot pass through, and withstand a force of 250N.

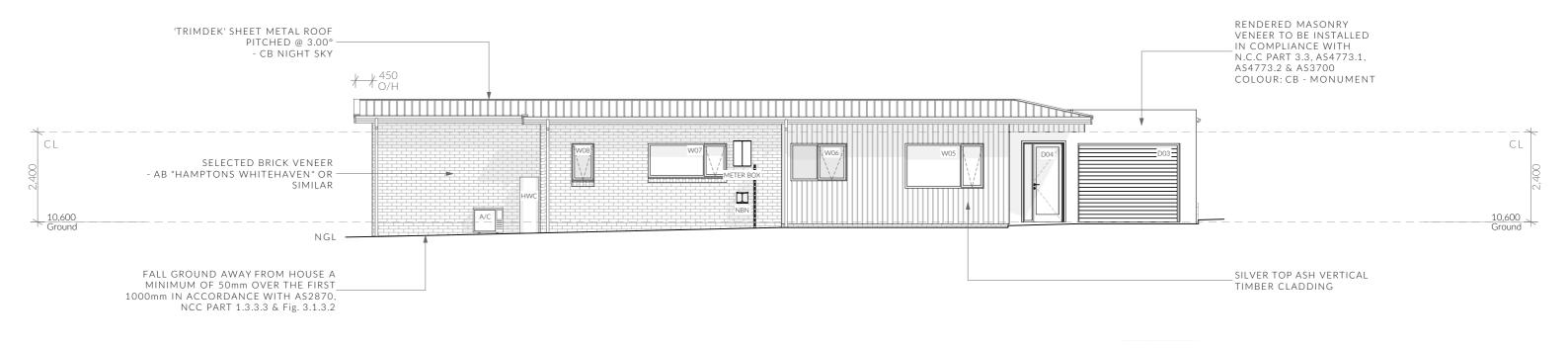
06/07/2022 Drawn by: JN / MM Job No: 118-2021

Building Surveyor: TBA

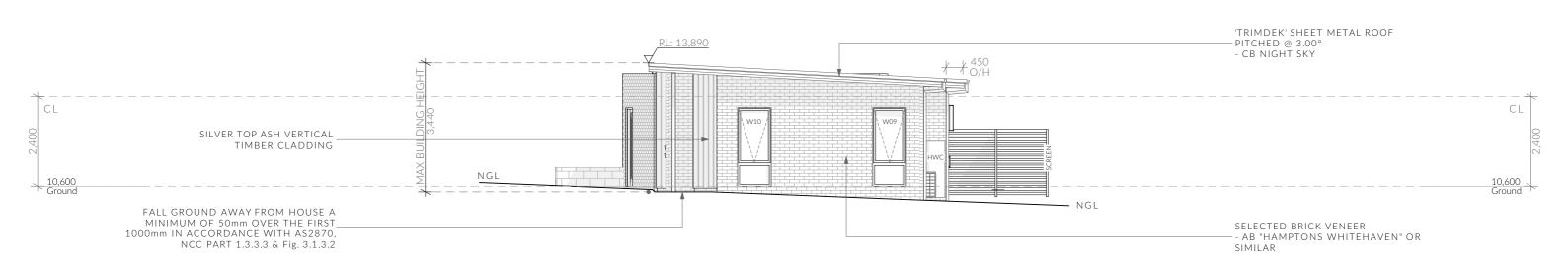
ssue Date DA-02 25.08.2022

Description RFI response





U2 -South Elevation



U2 - West Elevation

Clearances between cladding and ground shall comply with 3.5.4.7 of the current N.C.C and shall be a minimum clearance of:

- 100mm in low rainfall intensity areas or sandy, well-drained areas; or - 50mm above impervious areas that slope away from the building; or

- 150mm in any other case.

PINNACLE

As per N.C.C part 3.9.2,

Openable windows greater than 4m above ground level are to be fitted with a device to limit the opening or a suitable screen so a 125mm Except for bedrooms, where the requirement is for heights above 2m.

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U2 - Elevations

DA - 01 Revision: Approved by: TBC

1:100 @ A3 Pg. No: A2.03

Scale:

Proposal: Unit Development

Client: MDX Property Pty Ltd Address: 34 Fouche Avenue, Old Beach TAS 70 5 Fingineer: TBA

n sphere cannot pass through, and withstand a force of 250N.

06/07/2022 Drawn by: JN / MM Job No: 118-2021

Building Surveyor: TBA

ssue Date DA-02 25.08.2022

Description RFI response



1:100

1:100

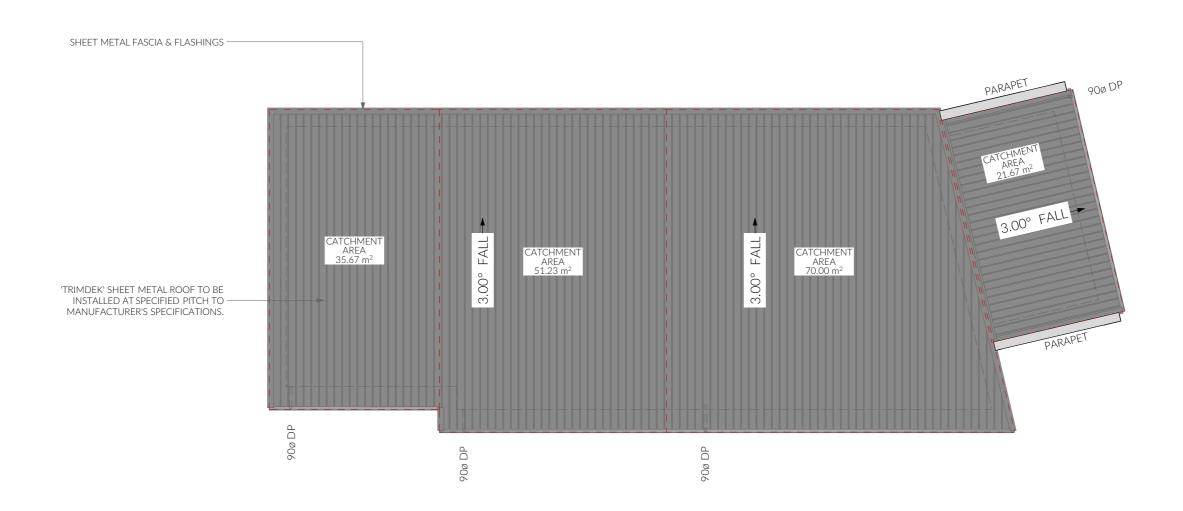
Roof Ventilation Notes

Roof space to be ventilated in accordance with BSOL "Guide for Control of Condensation and Mould in Tasmanian Homes" 2019:

- Openings must have a total unobstructed area of 1/300 of the respective ceiling area if the roof pitch is more than 16°, or 1/150 of the respective ceiling area if the roof pitch is less than 16°.
- 25% of the total unobstructed area required must be located not more than 900 mm below the ridge or highest point of the roof space, measured vertically, with the remaining required area provided by eave vents.

Stormwater Notes

 $\overline{\mbox{All}}$ gutters, downpipes and rain heads to be designed and installed in compliance with AS3500.3 & N.C.C Volume 2 Part 3.5.3.



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U2 - Roof Plan

DA - 01

TBC

Revision:

Approved by:

Scale:

A2.04

1:100 @ A3 Pg. No:

Proposal: Unit Development

Client: MDX Property Pty Ltd Address: 34 Fouche Avenue, Old Beach TAS 70 Fingineer: TBA

06/07/2022 Drawn by: JN / MM Job No: 118-2021

Building Surveyor: TBA

Issue Date DA-02 25.08.2022

Description RFI response





ELECTRICAL LEGEND

Symbol	ID	Qty
\ltimes	Bunker light	1
2	Double GPO	23
0	Exhaust Fan	3
-00	Fan - Light Combo	2
	Isolation switch	1
<u> </u>	LED batten light	2
	LED Downlight	27
\otimes	Pendant light	3
M	Signal Telephone	2
TV	Signal TV Out	1
$\stackrel{1}{\leftarrow}$	Single GPO (DW,FR,WM)	4
\$	Switch	11
\$	Switch 2 way	6
$\stackrel{\leftarrow}{\sim}$	Weatherproof GPO	1

Smoke Alarms Part 3.7.5

Smoke alarms must-

- · comply with AS 3786, except that in a Class 10a private garage where the use of the area is likely to result in smoke alarms causing spurious signals, any other alarm deemed suitable in accordance with AS 1670.1 may be installed provided that smoke alarms complying with AS 3786 are installed elsewhere in the Class 1 building; and
- be powered from the consumer mains source where a consumer mains source is supplied to the building; and
- be interconnected where there is more than one alarm

In a Class 1a building, smoke alarms must be located in-

- · any storey containing bedrooms, every corridor or hallway associated with a bedroom, or if there is no corridor or hallway, in an area between the bedrooms and the remainder of the building; and
- each other storey not containing bedrooms.

Smoke alarms required by 3.7.5.3 and 3.7.5.4 must be installed on or near the ceiling, in accordance with the following:

- (a) Where a smoke alarm is located on the ceiling it must be-(i) a minimum of 300 mm away from the corner junction of the wall and ceiling; and
- (ii) between 500 mm and 1500 mm away from the high point and apexes of the ceiling, if the room has a sloping ceiling.
- (b) Where (a) is not possible, the smoke alarm may be installed on the wall, and located a minimum of 300 mm and a maximum of 500 mm off the ceiling at the junction with the

Note: Exhaust Fans

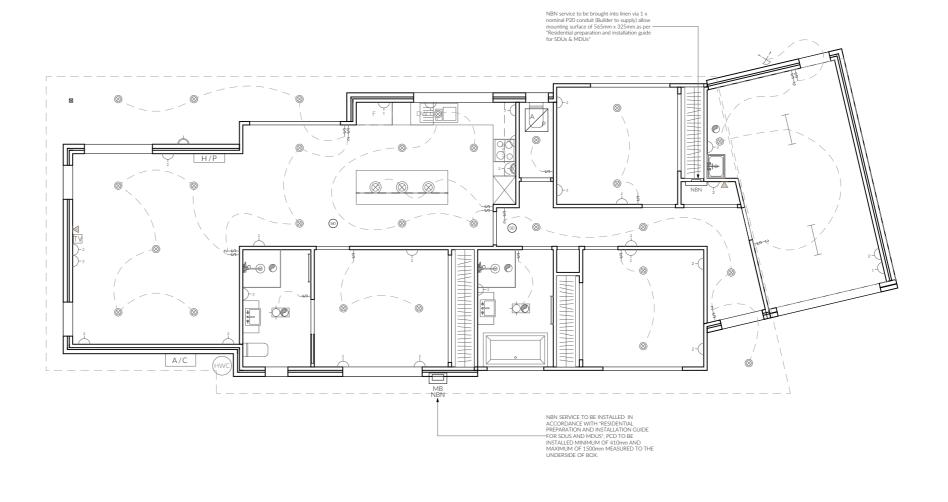
Exhaust fans to comply with N.C.C Vol 2 Part 3.8.7.3 and have a minimum flow rate of: 25L/s for bathrooms and/or sanitary compartments

40 L/s for kitchen & laundry and must be discharged directly to outside air.

Note: Lighting

Lighting layout may change, owner to confirm with builder prior to purchase/installation of exact quantity and location of electrical services provided that installation is compliant with AS3000 and artificial lighting allowances do not exceed:

 $5W/m^2$ in class 1a dwellings 4W/m² to veranda, balcony or the like 3W/m² in a class 10a dwelling associated with the class 1a dwelling



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U2 - Electrical Plan

Revision:

DA - 01 Approved by: TBC

Scale: 1:100 @ A3 Pg. No:

A2.05

Proposal: Unit Development

Client: MDX Property Pty Ltd Address: 34 Fouche Avenue, Old Beach TAS 701 Fingineer: TBA

06/07/2022 Drawn by: JN / MM Job No: 118-2021

Building Surveyor: TBA

ssue Date Description DA-02 25.08.2022



All driveway pits and grate drains to be Class B.

Stormwater pits are indicative. Location may vary depending on site conditions.

Ground to fall away from building in all directions in compliance with AS2870 & N.C.C 3.1.3.3

General Notes

- 1. Remove all topsoil and organic matter from beneath concrete driveway areas and provide 100m deep compacted FCR basecourse laver.
- Concrete strength shall be 32 mpa min.
- Provide control joints at 6.0 m centresrefer detail.
- Compact concrete using mechanical vibrators.
- Cure all exposed concrete surfaces by keeping moist for 7 days. i.e cover with plastic sheets.
- Connect new service connections into existing. Liaise with council's plumbing surveyor for location of existing connections.
- All new and/or altered service connections shall be undertaken by council at the developer's expense.
- 8. Provide 65 dia agricultural drains at base of cut and connect to stormwater at lowest
- 9. Driveway to be min 100mm thick 32mpa concrete with sl82 @ 40mm cover over 100mm compacted FCR. Provide deep tooled joints @ max. 6m crs.
- 10. Driveway to be sloped to integrated kerb and gutter system on low side of driveway
- 11. Rainwater pipes to be PVC or Colorbond finish metal.
- 12. Driveway sawcuts to be installed at approx. 4m centers with expansion joints at 8-12m centers.

JOINT FILLED WITH NEOPRENE COMPRESSION SEALANT OR EQUIVALENT. — —AG— - Ag Drain



Legend



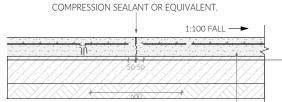
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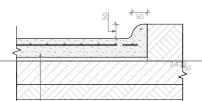
- Stormwater Connection - Class A 350mm Stormwater Pit Class B 450mm Stormwater Pit PATH 30.09 m² - 100mm wide trafficable grate drain PATH 11.03 m² STORMWATER LINE @ 1:100 TO EXISTING STORMWATER CONNECTION, WORKS BY REGISTERED PLUMBER 50mm KERB & GUTTER -EXISTING SW MANHOLE HEIGHT: 9.43 EXISTING STORMWATER CONNECTION (ASSUMED LOCATION)
CONNECTION TO BE LOCATED PRIOR TO ANY WORKS EXISTING 7.2m CROSSOVER SERVICING BOTH 32a & 34 FOUCHE AVE, OLD BEACH

1:100 FALL ---

100 THICK X 32 MPa CONCRETE PAVEMENT. SL 82 MESH (T) OVER 20mm SAND BED AND 100mm MIN DEEP COMPACTED FCR BASECOURSE.

40 DEEP WETFORMED OR SAWCUT CONTROL JOINT FILLED WITH NEOPRENE





100 THICK X 32 MPa CONCRETE PAVEMENT. SL 82 MESH (T) OVER 20mm SAND BED AND 100mm MIN DEEP COMPACTED FCR BASECOURSE.

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Civil Plan

DA - 01 Revision: Approved by: TBC

Scale: 1:250 @ A3 Pg. No:

C.01

Proposal: Unit Development

Client: MDX Property Pty Ltd Address: 34 Fouche Avenue, Old Beach TAS 701 Fingineer: TBA

06/07/2022 Drawn by: JN / MM Job No: 118-2021

Building Surveyor: TBA

DA-02 25.08.2022

Description

FOUCHE AVENUE

EXISTING SW MANHOLE HEIGHT: 11.14



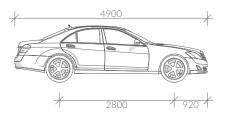
Note

All driveway pits and grate drains to be Class B.

Stormwater pits are indicative. Location may vary depending on site conditions.

Vehicle Movement Notes

- Movement templates demonstrate the ability of vehicles to enter intersection in a forwards direction and leave in a forwards direction.
- The base dimensions of the vehicle template represent the B85 (85th Percentile) Vehicle
- The swept path of the vehicle represent the outer extents of the vehicle.



B85 Vehicle Dimensions

Width: 1870 Track: L-L Time: Turning Radius: 1770 5800

Legend

- LINE OF BODY

- 300mm BODY CLEARANCE

- DIRECTION OF TRAVEL



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Parking - IN

Revision:

Approved by:

DA - 01

TBC

Scale: 1:250 @ A3 Pg. No:

C.02

Proposal: Unit Development

Client: MDX Property Pty Ltd Address: 34 Fouche Avenue, Old Beach TAS 70 Fingineer: TBA

06/07/2022 Drawn by: JN / MM Job No: 118-2021

Building Surveyor: TBA

Issue Date DA-02 25.08.2022





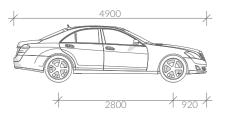
Note

All driveway pits and grate drains to be Class B.

Stormwater pits are indicative. Location may vary depending on site conditions.

Vehicle Movement Notes

- Movement templates demonstrate the ability of vehicles to enter intersection in a forwards direction and leave in a forwards direction.
- The base dimensions of the vehicle template represent the B85 (85th Percentile) Vehicle
- The swept path of the vehicle represent the outer extents of the vehicle.



B85 Vehicle Dimensions

Width: 1870 Track: L-L Time: Turning Radius: 1770 5800

Legend

- LINE OF BODY

- 300mm BODY CLEARANCE





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Parking - OUT

Revision:

Approved by:

DA - 01 TBC

Scale: 1:250 @ A3 Pg. No:

C.03

Proposal: Unit Development

Client: MDX Property Pty Ltd Address: 34 Fouche Avenue, Old Beach TAS 70 Fingineer: TBA

06/07/2022 Drawn by: JN / MM Job No: 118-2021 Building Surveyor: TBA

Issue Date DA-02 25.08.2022





Legend

- General Waste Bin

- Recycling Bin



- Green Waste Bin

- 1.2m to 2.1m Paling Fence

- Solar Bollard Lighting

- Spotlight with Sensor



- Lomandra 'Seascape' or similar, 1.2m spread



- Westringia sp. or similar, 1.5m Spread



- Cordyline 'Red Star' or similar, 2m Height,



- Pittosporum 'James Stirling' 3m height, 2m spread or similar



- Acer Palmatum 'Bonfire' or similar, 3m height, 3m spread



Mulched Garden Bed

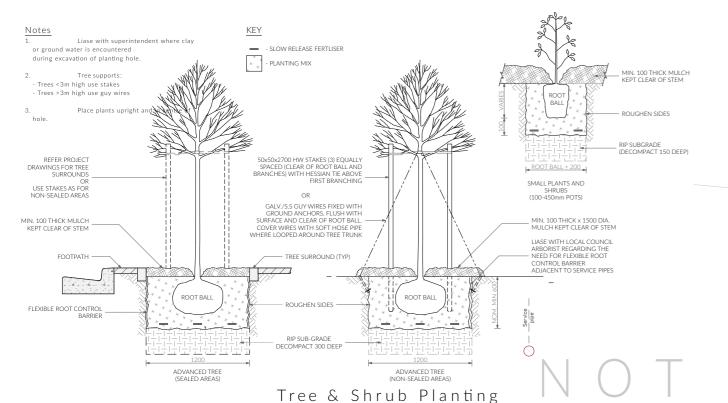
-Seeded Lawn



Note

Gravel Area

Plants have been selected to be drought tolerant and low maintenance once established, it is recommended that a dripper system or similar be put into place until established. Plant locations are indicative and may be altered where suitable growing conditions cannot be met. Garden areas to be mulched with 75mm cover of selected mulch and plants are to fertilised 6 monthly or where required until established. Garden edges are to be timber, steel, or brick. Plantings that are unsuccessful will be replaced where required.





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Landscaping Plan

DA - 01 Revision: Approved by: TBC

Scale:

L.01

1:250 @ A3 Pg. No:

Proposal: Unit Development

Client: MDX Property Pty Ltd Address: 34 Fouche Avenue, Old Beach TAS 701 Fingineer: TBA

06/07/2022 Drawn by: JN / MM Job No: 118-2021

Building Surveyor: TBA

ssue Date DA-02 25.08.2022



Plumbing Notes

All plumbing to be in accordance with AS3500, Tas Plumbing Code and local authority regulations.

Sewer and stormwater to mains connections, plumber to verify location on site. (refer to site plan.)

All works are to be in accordance with the water supply code of Australia WSA 03-2011-3.1 version 3.1 MRWA edition v2.0 and Sewerage Code of Australia Melbourne Retail Water Agencies Code WSA 02-2014-3.1 MRWA version 2 and TasWater's supplements to these codes.

Minimum gradient on sewer pipes as per AS3500.2.2

·65Ø = 1:40 ·80Ø, 100Ø = 1:60

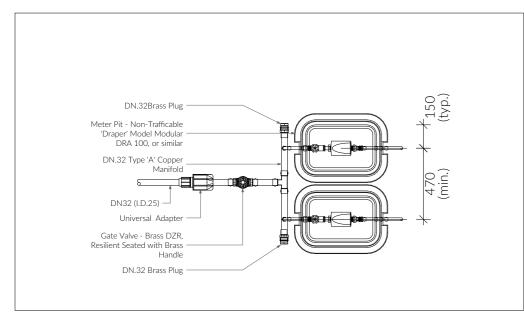
·125Ø = 1:80

·155Ø = 1:100

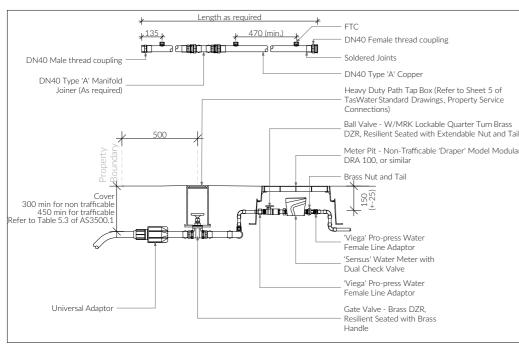
Note

All driveway pits and grate drains to be Class B.

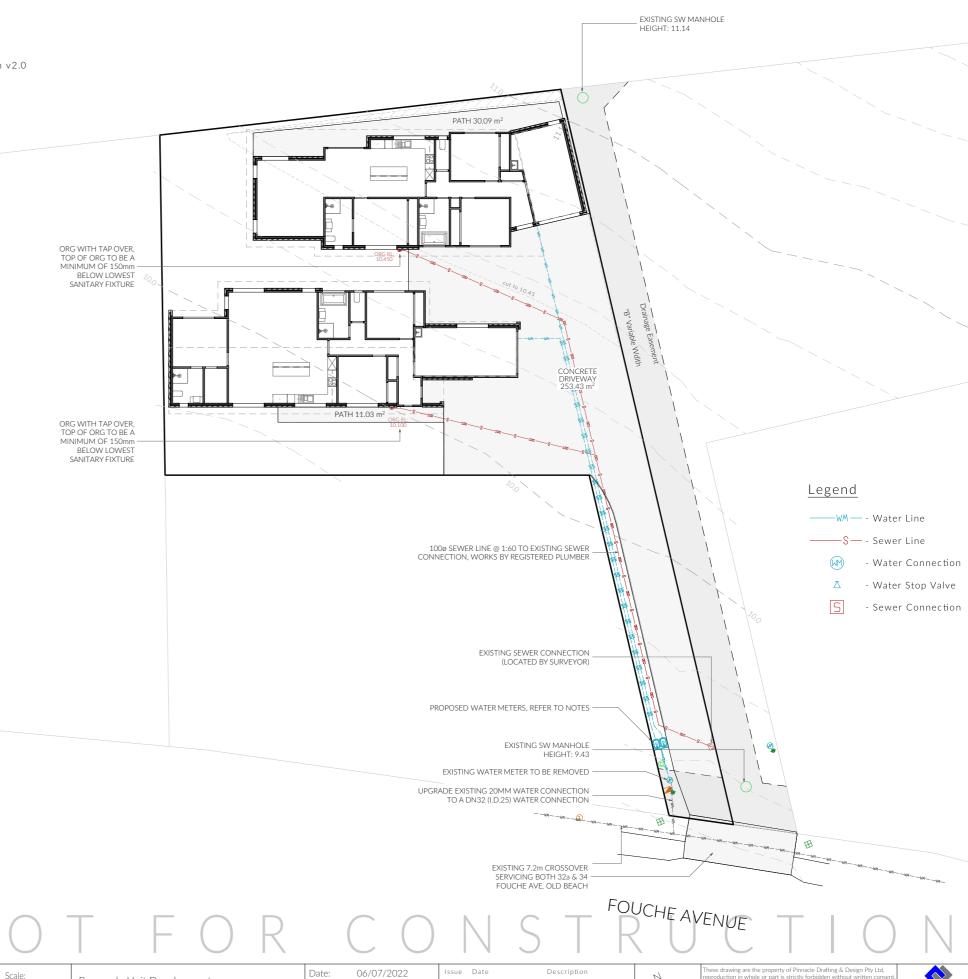
Stormwater pits are indicative. Location may vary depending on site conditions.



Meter Assembly - Below Ground Plan View



Meter Assembly - Profile View



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Revision: DA - 01
Approved by: TBC

Sewer & Water Plan

1:250 @ A3
Pg. No:
P.01

Proposal: Unit Development

Client: MDX Property Pty Ltd Job No: 118
Address: 34 Fouche Avenue, Old Beach TAS 701 Engineer: TBA

Date: 06/07/2022
Drawn by: JN / MM
Job No: 118-2021
Engineer: TBA
Building Surveyor: TBA

DA-02 25.08.2022 R

These drawing are the property of Pinnacle Drafting & Design Pty Ltd. reproduction in whole or part is strictly forbidden without written conse 02 022. These drawings are to be read in conjunction with all drawings documentation by Engineers, Surveyors and any other consultants refer to within this drawing set as well as any CLC and/or permit documentati DO NOT SCALE FROM DRAWINGS; All Contractors are to verify dimensions on site before commencing any orders, works or requesting/forducing shon drawings. ANY AND ALL DISCREPANCIES



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11/07/2022 BRIGHTON COUNCIL

Dear Sir/Madam,

Planning Application 34 Fouche Ave, Old Beach

The following is our supporting written justification against the current planning scheme. Please see our response at the bottom of each code.

8.4 Development Standards for Dwellings

8.4.1 Residential Density for Multiple Dwelling

Acceptable Solutions

Α1

Multiple Dwellings must have a site area per dwelling of not less than 325m²

Response:

Proposed is a multiple dwelling

Total are site area (excluding access strip): $708.61\text{m}^2/325\text{m}^2 = 2.18$ Maximum Number of units per site = 2 Number of proposed units per site = 2 (354.31m² per unit)

8.4.2 Setbacks and building envelope for all dwellings

Α1

Unless within a building area on a sealed plan, a dwelling, excluding garages, carports and protrusions that extend not more than 0.9m into the frontage setback, must have a setback from a frontage that is:

- (a) if the frontage is a primary frontage, not less than 4.5m, or, if the setback from the primary frontage is less than 4.5m, not less than the setback, from the primary frontage, of any existing dwelling on the site;
- **(b)** if the frontage is not a primary frontage, not less than 3m, or, if the setback from the frontage is less than 3m, not less than the setback, from a frontage that is not a primary frontage, of any existing dwelling on the site;
- (c) if for a vacant site and there are existing dwellings on adjoining properties on the same street, not more than the greater, or less than the lesser, setback for the equivalent frontage of the dwellings on the adjoining sites on the same street; or

(d) if located above a non-residential use at ground floor level, not less than the setback from the frontage of the ground floor level.

Response:

4.5m has been provided from the rear boundary of the property in front

A2

A garage or carport for a dwelling must have a setback from a primary frontage of not less than:

- (a) 5.5m, or alternatively 1m behind building line;
- (b) the same as the building line, if a portion of the dwelling gross floor area is located above the garage or carport; or
- (c) 1m, if the existing ground level slopes up or down at a gradient steeper than 1 in 5 for a distance of 10m from the frontage.

Response:

the garage is located behind the building line

А3

A dwelling, excluding outbuildings with a building height of not more than 2.4m and protrusions that extend not more than 0.9m horizontally beyond the building envelope, must:

- (a) be contained within a building envelope (refer to Figures 8.1, 8.2 and 8.3) determined by:
 - (i) a distance equal to the frontage setback or, for an internal lot, a distance of 4.5m from the rear boundary of a property with an adjoining frontage; and
 - (ii) projecting a line at an angle of 45 degrees from the horizontal at a height of 3m above existing ground level at the side and rear boundaries to a building height of not more than 8.5m above existing ground level; and
- (b) only have a setback of less than 1.5m from a side or rear boundary if the dwelling:
 - (i) does not extend beyond an existing building built on or within 0.2m of the boundary of the adjoining property; or
 - (ii) does not exceed a total length of 9m or one third the length of the side boundary (whichever is the lesser).

Response:

☐ Complies

The development complies with (b) but does not comply with (a)

Р3

The siting and scale of a dwelling must:

- (a) not cause an unreasonable loss of amenity to adjoining properties, having regard to:
 - (i) reduction in sunlight to a habitable room (other than a bedroom) of a dwelling on an adjoining property;
 - (ii) overshadowing the private open space of a dwelling on an adjoining property;
 - (iii) overshadowing of an adjoining vacant property; or
 - (iv) visual impacts caused by the apparent scale, bulk or proportions of the dwelling when viewed from an adjoining property; and
- (b) provide separation between dwellings on adjoining properties that is consistent with that existing on established properties in the area.

Response:

Please refer to sheet A0.04 for building envelope diagrams. You will see the only part that of the development that does not comply is a small section of roof on the western side of unit 1.

Also refer to sheet A0.05 for shadow diagrams where you will see the shadow cast by this section would have negligible impact on the neighbouring lots.

8.4.3 Site coverage and private open space for all dwellings

A1

Dwellings must have:

- (a) a site coverage of not more than 50% (excluding eaves up to 0.6m wide); and
- (b) for multiple dwellings, a total area of private open space of not less than 60m² associated with each dwelling, unless the dwelling has a finished floor level that is entirely more than 1.8m above the finished ground level (excluding a garage, carport or entry foyer).

Response:

Proposed site coverage is not more than 50% excluding eaves up to 0.6m wide (311.37m² 43.94%) provided

Both units have more than 60m^2 of private open space associated with each dwelling

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A2

A dwelling must have private open space that:

- (a) is in one location and is not less than:
 - (i) $24m^2$ or
 - (ii) 12m², if the dwelling is a multiple dwelling with a finished floor level that is entirely more than 1.8m above the finished ground level (excluding a garage, carport or entry foyer);
- (b) has a minimum horizontal dimension of not less than:
 - (i) 4m; or
 - (ii) 2m, if the dwelling is a multiple dwelling with a finished floor level that is entirely more than 1.8m above the finished ground level (excluding a garage, carport or entry foyer);
- (c) is located between the dwelling and the frontage only if the frontage is orientated between 30 degrees west of true north and 30 degrees east of true north; and
- (d) has a gradient not steeper than 1 in 10.

Response:

Proposed dwelling private open space is not less than 24m² Please refer to site plan for private open space location

8.4.4 Sunlight to private open space of multiple dwellings

A1

A multiple dwelling, that is to the north of the private open space of another dwelling on the same site, required to satisfy A2 or P2 of clause 8.4.3, must satisfy (a) or (b), unless excluded by (c):

- (a) the multiple dwelling is contained within a line projecting (see Figure 8.4):
 - (i) at a distance of 3m from the northern edge of the private open space; and
 - (ii) vertically to a height of 3m above existing ground level and then at an angle of 45 degrees from the horizontal;
- (b) the multiple dwelling does not cause 50% of the private open space to receive less than 3 hours of sunlight between 9.00am and 3.00pm on 21st June; and
- (c) this Acceptable Solution excludes that part of a multiple dwelling consisting of:

- (i) an outbuilding with a building height not more than 2.4m; or
- (ii) protrusions that extend not more than 0.9m horizontally from the multiple dwelling.

Response:

Private open space has been carefully located to ensure minimal overshadowing for both units. See shadow diagrams for compliance.

8.4.5 Width of opening for garages and carports for all dwellings

Α1

A garage or carport for a dwelling within 12m of a primary frontage, whether the garage or carport is free-standing or part of the dwelling, must have a total width of openings facing the primary frontage of not more than 6m or half the width of the frontage (whichever is the lesser).

Response:

8.4.6 Privacy for all dwellings

A1

A balcony, deck, roof terrace, parking space, or carport for a dwelling (whether freestanding or part of the dwelling), that has a finished surface or floor level more than 1m above existing ground level must have a permanently fixed screen to a height of not less than 1.7m above the finished surface or floor level, with a uniform transparency of not more than 25%, along the sides facing a:

- (a) side boundary, unless the balcony, deck, roof terrace, parking space, or carport has a setback of not less than 3m from the side boundary;
- (b) rear boundary, unless the balcony, deck, roof terrace, parking space, or carport has a setback of not less than 4m from the rear boundary; and
- (c) dwelling on the same site, unless the balcony, deck, roof terrace, parking space, or carport is not less than 6m:
 - (i) from a window or glazed door, to a habitable room of the other dwelling on the same site; or
 - (ii) from a balcony, deck, roof terrace or the private open space of the other dwelling on the same site.

Response:

Proposed balcony, deck, roof terrace, parking space, or carport for a dwelling finished floor level is not more than 1m.

A2

A window or glazed door to a habitable room of a dwelling, that has a floor level more than 1m above existing ground level, must satisfy (a), unless it satisfies (b):

- (a) the window or glazed door:
 - (i) is to have a setback of not less than 3m from a side boundary;
 - (ii) is to have a setback of not less than 4m from a rear boundary;
 - (iii) if the dwelling is a multiple dwelling, is to be not less than 6m from a window or glazed door, to a habitable room, of another dwelling on the same site; and
 - (iv) if the dwelling is a multiple dwelling, is to be not less than 6m from the private open space of another dwelling on the same site.
- (b) the window or glazed door:
 - (i) is to be offset, in the horizontal plane, not less than 1.5m from the edge of a window or glazed door, to a habitable room of another dwelling;
 - (ii) is to have a sill height of not less than 1.7m above the floor level or have fixed obscure glazing extending to a height of not less than 1.7m above the floor level; or
 - (iii) is to have a permanently fixed external screen for the full length of the window or glazed door, to a height of not less than 1.7m above floor level, with a uniform transparency of not more than 25%.

Response:

Both units finished floor levels are less that 1m above the natural ground level

А3

A shared driveway or parking space (excluding a parking space allocated to that dwelling) must be separated from a window, or glazed door, to a habitable room of a multiple dwelling by a horizontal distance of not less than:

- (a) 2.5m; or
- (b) 1m if:
 - (i) it is separated by a screen of not less than 1.7m in height; or

(ii) the window, or glazed door, to a habitable room has a sill height of not less than 1.7m above the shared driveway or parking space, or has fixed obscure glazing extending to a height of not less than 1.7m above the floor level.

Response:

Proposed shared driveway (excluding parking space allocated to that dwelling) is separated from a window or glazed door to habitable room of a multiple dwelling by 2.5m

8.4.8 Waste storage for multiple dwellings

Α1

A multiple dwelling must have a storage area, for waste and recycling bins, that is not less than 1.5m² per dwelling and is within one of the following locations:

- (a) an area for the exclusive use of each dwelling, excluding the area in front of the dwelling; or
- (b) a common storage area with an impervious surface that:
 - (i) has a setback of not less than 4.5m from a frontage;
 - (ii) is not less than 5.5m from any dwelling; and
 - (iii) is screened from the frontage and any dwelling by a wall to a height not less than 1.2m above the finished surface level of the storage area.

Response:

Please refer to landscaping plan for bin storage area

I trust the information in this letter provides adequate justification against the current planning scheme and ask that the council accepts the submitted documentation as a valid application under LUPAA.

Kind Regards,

Jason Nickerson

AM

Director

Pinnacle Design

25/08/2022 Att: Andres Perez-Roca **Brighton Council**

Dear Sir/Madam.

Re: Planning Permit Application - DA2022/00169 - Multiple Dwellings (2) - 34 Fouche Avenue, Old Beach

In response to the request for further information received 11.08.22 we have addressed the information requested with the following:

Clause	Council Request	Response
C8.4.2	 1.1. Please provide amended shadow diagrams also showing the proposed units at 32A Fouche Avenue with their respective floor plan; and 1.2. Please provide a more detailed response to clause 8.4.2 P3 of the planning 	Please refer to the revised drawing set DA-02, showing amended shadow diagrams (A0.05) with inclusion of the proposed units at 32A Fouche Avenue. The diagrams indicate minor impacts on the proposed developments on this neighbouring property, with no overshadowing during the hours of 9:00 and 12:00
	scheme	The performance criteria (P3) of C8.4.2 have been addressed as follows:

a) The shadow diagrams indicate only minor overshadowing to neighbouring properties, with all neighbouring dwellings to retain at least 3 hours of sunlight between the hours of 9:00 and 15:00 on June 21st.

Furthermore, as shown by the Site Elevations (A0.03), the single storey height and low pitch roofs of the proposed units at 34 Fouche Avenue has minimised the apparent scale, bulk and proportion of the design, thereby having no significant visual impact when viewed from an adjoining property.

b) As demonstrated by the Location Plan (A0.01) the proposed setbacks and separation between dwellings are consistent with that on established properties in the area. In particular, it

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is noted that other properties have also built within close proximity to or on the property boundary as a response to the trapezoid shaped lots in the area.

c) As shown on the location plan, there are no existing solar energy installations on adjoining properties.

Additional shadow diagrams have also been included (refer to A0.06) in the revised drawing set DA-02, demonstrating that there is no impact between 12:00 and 15:00 on June 21st from Unit 2 to D01 & W02 of Unit 1, which are the more critical apertures to the penetration of direct sun to the living area of Unit 1. While there are some impacts to W03 between the hours stated above, there is some direct sun during this period, with approximately 50% of W03 in full sun by 14:00.

C8.4.6 Please provide adequate means of privacy for BED2 of Unit 1 and a written response to clause 8.4.6 P3 of the planning scheme.

Please refer to the amended privacy screening arrangement on the revised Site Plan (A0.02) of DA-03. Due to the limitations of providing onsite turning to the undercover parking space of Unit 2, (refer to C.02 Parking – OUT), the proximity of W06 of Unit 1 to the secondary parking space cannot be adjusted.

The impacts of noise and light from this parking space have been mitigated by the inclusion of an additional privacy screen at the end of the space such that the screening boards face perpendicular to the direction of light and noise emission. This mitigated impact would therefore be considered reasonable.

- C2.6.2 3.1. Please provide an amended location plan showing the dimensions of the crossover, crossover apron, taper points, driveway width at the property boundary, and service covers.

 Advice:
 - 3.2. Please provide an amended location plan

Please refer to the site plan (A0.02) and parking plan (C.02) in revised drawing set DA-02 showing the information requested.

As has been noted on the revised plans, there is an existing 7.2m crossover to the lot boundary

It has also been noted that the proposed driveway sits adjacent to the proposed driveway of the neighbouring lot at 32a Fouche Ave, Old Beach with no fence

showing the minimum width for the internal driveway.

separation along the property boundary. It is proposed that they form a continuous 6.0m wide driveway surface, with 3.0m width within the property boundary and a minimum 0.3m clearance from any fence, retaining wall or structure.

Stormwater Please confirm any stormwater connection point(s).

The stormwater manhole location and height has already been noted on the plans. These are sourced from the details provided on the site survey provided by a registered land surveyor (i.e. Rogerson and Birch Surveyors).

The exact stormwater connection location is only relevant to construction and will be checked at the time of works on site.

I trust the provided information addresses the matters identified in the further information request and ask that the council now accepts the submitted documentation as a valid application under LUPAA.

Kind Regards,

Jason Nickerson

Director, Pinnacle Design

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