Application for Planning Approval

Land Use Planning and Approvals Act 1993

APPLICATION NO.

DA2024/062

LOCATION OF AFFECTED AREA

3 MAGUS TERRACE & 5 MAGUS TERRACE, OLD BEACH

DESCRIPTION OF DEVELOPMENT PROPOSAL

MULTIPLE DWELLINGS X 4

A COPY OF THE DEVELOPMENT APPLICATION MAY BE VIEWED AT www.brighton.tas.gov.au AND AT THE COUNCIL OFFICES, 1 TIVOLI ROAD, OLD BEACH, BETWEEN 8:15 A.M. AND 4:45 P.M, MONDAY TO FRIDAY OR VIA THE QR CODE BELOW. ANY PERSON MAY MAKE WRITTEN REPRESENTATIONS IN ACCORDANCE WITH S.57(5) OF THE LAND USE PLANNING AND APPROVALS ACT 1993 CONCERNING THIS APPLICATION UNTIL 4:45 P.M. ON **22/07/2024**. ADDRESSED TO THE GENERAL MANAGER AT 1 TIVOLI ROAD, OLD BEACH, 7017 OR BY EMAIL AT development@brighton.tas.gov.au. REPRESENTATIONS SHOULD INCLUDE A DAYTIME TELEPHONE NUMBER TO ALLOW COUNCIL OFFICERS TO DISCUSS, IF NECESSARY, ANY MATTERS RAISED.

JAMES DRYBURGH
General Manager

SCAN ME

Brighton going places

CREATIVE HOMES HOBART

CREATIVE HOMES HOBART, CNR OF ELWICK ROAD & BROOKER HIGHWAY, GLENORCHY 7010 PH: 03 6272 3000

PROJECT ADDRESS: 3-5 MAGUS TERRACE, OLD BEACH

TITLE REFERENCE: VOLUME: 185278 FOLIO: 17 & 18 - **TO BE ADHERED**

CLIENTS: KLETTENBERG PTY LTD

DESIGNER: Inge Brown, CC 6652

DRAWINGS:

01 COVER PAGE
02 PROPOSED SITE PLAN - ACCESS
03 PROPOSED SITE PLAN - EXCL. ACCESS
04 PROPOSED FLOOR PLAN - TYPICAL UNIT 1 & 2
05 PROPOSED FLOOR PLAN - TYPICAL UNIT 3 & 4
06 PROPOSED ROOF PLAN - TYPICAL
07 PROPOSED ELEVATIONS UNIT 1
08 PROPOSED ELEVATIONS UNIT 1
09 PROPOSED ELEVATIONS UNIT 2
10 PROPOSED ELEVATIONS UNIT 2
11 PROPOSED ELEVATIONS UNIT 3
12 PROPOSED ELEVATIONS UNIT 3
13 PROPOSED ELEVATIONS UNIT 4
14 PROPOSED ELEVATIONS UNIT 4
15 SECTION A-A
16 WINDOW SCHEDULE UNIT 1 & 3
17 WINDOW SCHEDULE UNIT 2 & 4
18 DETAILS
19 TURNING PATHS A
20 TURNING PATHS B
21 TURNING PATHS C
22 TURNING PATHS D
23 TURNING PATHS E
24 TURNING PATHS F
25 PROPOSED STORMWATER LAYOUT

STAGED DEVELOPMENT
STAGE 1 - UNIT 1 & 2
STAGE 2 - UNIT 3 & 4

DOCUMENTATION INDEX

The documentation listed below should be read in conjunction with these drawings and form the basis of construction documentation for the project

Document	*Revision*	*By*
Working drawings planning issue (these drawings)	H	Creative Homes Hobart
Survey plan SP23159-01	C	Survey Plus
Soil assessment	1/05/2023	Doyle Soil Consulting

FLOOR AREAS:
(PER UNIT)

FLOOR AREA:	102.9 m²
PORCH:	0.7 m²
GARAGE:	25.1 m²
TOTAL AREA:	128.7 m²
DECK:	12.00 m²

SOIL CLASSIFICATION: M

BUSHFIRE ATTACK LEVEL: BAL-LOW

WIND CLASSIFICATION: N2

ALPINE AREA: N/A

CLIMATE ZONE: 7

CORROSION ENVIRONMENT: N/A

GENERAL NOTES:

1. THIS PLAN HAS BEEN PREPARED BY SURVEY PLUS FROM A COMBINATION OF EXISTING RECORDS AND FIELD SURVEY FOR THE PURPOSES OF SHOWING THE PHYSICAL FEATURES OF THE LAND AND SHOULD NOT BE USED FOR ANY OTHER PURPOSE.

2. TITLE BOUNDARIES SHOWN WERE NOT VERIFIED OR MARKED AT THE TIME OF THIS SURVEY.

3. SERVICES SHOWN ON THIS PLAN WERE LOCATED WHERE POSSIBLE BY FIELD SURVEY. THEY ARE NOT A COMPLETE PICTURE OF SERVICES ON SITE. ALL SERVICE LOCATIONS ARE TO BE VERIFIED BEFORE COMMENCEMENT OF ANY WORK ON SITE, IN PARTICULAR THOSE SERVICES NOT PREVIOUSLY LOCATED THROUGH FIELD SURVEY.

4. SURVEY PLUS CAN NOT ACCEPT LIABILITY WHATSOEVER FOR LOSS OR DAMAGE CAUSED TO ANY UNDERGROUND SERVICE WHETHER SHOWN BY OUR SURVEY OR NOT.

5. THIS NOTE IS AN INTEGRAL PART OF THIS PLAN/DATA. REPRODUCTION OF THIS PLAN OR ANY PART OF IT WITHOUT THIS NOTE BEING INCLUDED IN FULL WILL RENDER THE INFORMATION SHOWN ON SUCH A REPRODUCTION INVALID AND NOT SUITABLE FOR USE WITHOUT PRIOR AUTHORITY OF SURVEY PLUS.

6. HORIZONTAL DATUM IS MGA (GDA94).

7. VERTICAL DATUM IS AHD.

8. CONTOUR INTERVAL IS 0.2 METRES, INDEX IS 1.0 METRES.

9. SURVEY BY GPS.

10. DUE TO THE AGE OF TITLE SURVEY IF ANY CONSTRUCTION WORKS ARE TO BE UNDERTAKEN ON OR NEAR THE TITLE BOUNDARY OR PRESCRIBED SETBACKS A RE-MARK SURVEY WILL BE REQUIRED.

11. TITLE BOUNDARIES SHOWN WERE NOT VERIFIED OR MARKED BY SURVEY PLUS AT THE TIME OF THIS SURVEY.

12. IMPORTED DATA SHOWN ON THIS PLAN WAS OBTAINED FOR PUBLIC AVAILABLE DATA FROM VARIOUS GOVERNMENT AUTHORITIES. THIS INFORMATION IS PROVIDED FOR GUIDANCE ONLY. THE ACCURACY OF ANY IMPORTED DATA IS PER THE ACCURACY QUOTED BY THE SOURCE AND IS IN NO WAY GUARANTEED BY SURVEY PLUS. USERS MUST NOT RELY ON THIS DATA FOR FOR ON-GROUND LOCATION OF BOUNDARIES AND/OR SERVICES.

LIST DATA IMPORT
- TasWater-SewerLateralLine
- TasWater-SewerMain
- TasWater-SewerMaintenanceHole
- TasWater-SewerPressurisedMain
- TasWater-WaterHydrant
- TasWater-WaterLateralLine
- TasWater-WaterMain
- BoundaryLineswithAccuracy

13.APPROXIMATE BOUNDARIES SHOWN ON THIS PLAN HAVE BEEN DERIVED FROM PRELIMINARY SURVEY PLAN FROM CHRISTOPHER LEWIS ANDREWS SURVEYOR AND ARE APPROXIMATE AND SUBJECT TO FINAL SURVEY.

14. 3D DATA TURNED OFF IN LAYER CONTROL.
- 3D TIN
- MAJOR CONTOUR 3D
- MINOR CONTOUR 3D

REFER SHEET 3 FOR ADJOINING SITE PLAN

LANDSCAPING

NOTE: EXISTING MATURE TREES ARE TO BE RETAINED WHERE POSSIBLE. PROPOSED LANDSCAPING IS TO BE PLANTED IN AREAS WHERE EXISTING NATURAL VEGETATION HAS BEEN REMOVED AND REQUIRES REGENERATION, OR WHERE EXISTING VEGETATION IS LIGHT.

NUMBER OF PLANTS TO BE PLANTED SHALL BE DETERMINED AS PER SCHEDULE (IE NO. PLANTS/SQM), NOT NUMBER OF PLANTS INDICATED ON THIS PLAN. THIS PLAN INDICATES GENERAL LAYOUT ONLY.

REFER TO PLANT SCHEDULE FOR PLANT SPECIES.

SCREENING PLANTS AS PER SCHEDULE

LOW GROWING LOCAL SPECIES AS PER SCHEDULE

PRIVACY SCREENS - MAX 25% UNIFORM TRANSPARENCY TO COUNCIL COMPLIANCE - TIMBER SLAT TO MIN 1700mm ABOVE FINISHED LEVEL AND TO FULL WIDTH OF WINDOW. GAPS TO BE $\frac{1}{3}$ OF TIMBER WIDTH = 25%

NOTE: ALL DIVIDING FENCES TO BE 1.8m HIGH TIMBER FENCES WITH GATES INSTALLED AS REQUIRED.
24m² PRIVATE OPEN SPACE TO HAVE MAX 1:10 SLOPE IN ACCORDANCE WITH COUNCIL REQUIREMENTS

NOTE: REDUNDANT SEWER AND WATER CONNECTIONS ARE TO BE DISCONNECTED BY TASWATER (AT THE DEVELOPERS COST).

NOTES

SITE PREPARATION

THE SITE IS TO BE DISTURBED AS MINIMALLY AS POSSIBLE TO THE EXTENT REQUIRED TO CARRY OUT THE BUILDING WORKS.
EARTHWORKS SHALL BE CARRIED OUT IN ACCORDANCE WITH NCC PART 3.2.
UN-RETAINED EMBANKMENT GRADIENTS SHALL BE IN ACCORDANCE WITH NCC TABLE 3.2.1.
DRAINAGE SHALL BE IN ACCORDANCE WITH NCC PART 3.3.2.
THE BUILDER AND SUBCONTRACTOR SHALL ENSURE THAT ALL STORMWATER DRAINS, SEWER PIPES AND THE LIKE ARE LOCATED AT A SUFFICIENT DISTANCE FROM ANY BUILDINGS FOOTING AND/OR SLAB EDGE BEAMS SO AS TO PREVENT GENERAL MOISTURE PENETRATION, DAMPNESS, WEAKENING & UNDERMINING OF ANY BUILDING AND IT'S FOOTING SYSTEM.
LOCATION OF ALL EXISTING SERVICES TO BE CONFIRMED ON SITE PRIOR TO CONSTRUCTION.

ATTENTION OF OWNER

THE OWNERS ATTENTION IS DRAWN TO THE FACT THAT FOUNDATIONS AND ASSOCIATED DRAINAGE FOR ALL SITES REQUIRES CONTINUING MAINTENANCE TO ASSIST FOOTING PERFORMANCE. ADVICE FOR FOUNDATION MAINTENANCE IS CONTAINED IN THE CSIRO BUILDING TECHNOLOGY FILE 18 AND IT IS THE OWNERS RESPONSIBILITY TO MAINTAIN THE SITE IN ACCORDANCE WITH THIS DOCUMENT.

SOIL AND WATER MANAGEMENT NOTES:

DRAINAGE LINES ARE TO BE INSTALLED PRIOR TO THE PLACEMENT OF ROOF AND GUTTERING. ONCE DWELLING IS ROOFED, CONNECT IMMEDIATELY.
APPLY TEMPORARY COVERING TO DISTURBED AREAS THAT WILL REMAIN EXPOSED FOR 14 DAYS OR MORE DURING CONSTRUCTION (EG. WATERPROOF BLANKET, VEGETATION OR MULCH)
PROTECT ANY NEARBY OR ON-SITE DRAINAGE PITS FROM SEDIMENT BY INSTALLING SEDIMENT TRAPS AROUND THEM.
LIMIT ENTRY/EXIT TO ONE POINT AND STABILISE. INSTALL FACILITIES TO REMOVE DIRT/ MUD FROM VEHICLE WHEELS BEFORE THEY LEAVE THE SITE.
SITE TO BE VEGETATED AND PLANTED ACCORDING TO THE HOBART REGIONAL SOIL AND WATER MANAGEMENT CODE OF PRACTICE.

BUILDER AND SUBCONTRACTORS TO VERIFY ALL DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. GIVE 24 HOURS MINIMUM NOTICE WHERE AMENDMENTS ARE REQUIRED TO DRAWINGS.
THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH DOCUMENTATION LISTED ON THE COVER PAGE. DO NOT SCALE DRAWINGS.
DIMENSIONS ARE TO TAKE PREFERENCE OVER SCALE. BUILDING SPECIFICATION AND ENGINEER'S DRAWINGS SHALL OVERRIDE ARCHITECTURAL DRAWINGS.
-THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL OTHER DRAWING SHEETS, CONSULTANTS DRAWINGS, DOCUMENTS, SCHEDULES AND SPECIFICATIONS (AS APPLICABLE).
-THE BUILDER AND SUBCONTRACTOR SHALL ENSURE THAT ALL STORMWATER DRAINS, SEWER PIPES AND THE LIKE ARE LOCATED AT A SUFFICIENT DISTANCE FROM ANY BUILDINGS FOOTING AND/OR SLAB EDGE BEAMS SO AS TO PREVENT GENERAL MOISTURE PENETRATION, DAMPNESS, WEAKENING & UNDERMINING OF ANY BUILDING AND ITS FOOTING SYSTEM.
- LOCATION OF ALL EXISTING ONSITE SERVICES TO BE CONFIRMED ONSITE PRIOR TO CONSTRUCTION

TITLES FOR LOT 17 & 18 ARE TO BE ADHERED TO FORM ONE SINGLE LOT

STAGED DEVELOPMENT
STAGE 1 - UNIT 1 & 2
STAGE 2 - UNIT 3 & 4

IMPORTANT!
SITE INFORMATION AS DRAWN IS APPROXIMATE ONLY. FINAL SITE INFORMATION IS SUBJECT TO A DETAILED CONTOUR SURVEY BY LICENSED SURVEYOR.

SOIL CLASSIFICATION:	M
WIND CLASSIFICATION:	N2

SITE COVERAGE	
SITE AREA (EXCL. ACCESS)	1303.29 m²
SITE AREA PER UNIT (AREA / 4)	325.82 m²
PROPOSED BUILDING FOOTPRINT	514.8 m²
PROPOSED SITE COVERAGE	39.50 %

PROPOSED SITE PLAN - ACCESS

© COPYRIGHT IN WHOLE OR IN PART

02

PROJECT NORTH

CONTRACTOR MUST VERIFY ALL DIMENSIONS AND LEVELS AT THE JOB PRIOR TO COMMENCING ANY WORK OR MAKING ANY SHOP DRAWINGS.
DO NOT SCALE DRAWINGS.
ALWAYS USE WRITTEN DIMENSIONS.

REV:	DESCRIPTION:	BY:	DATE:
E	COUNCIL RFI, LEVEL CHANGES, TASWATER RFI	IB	9/5/24
F	COUNCIL RFI	IB	22/5/24
G	COUNCIL RFI	IB	11/6/24
H	COUNCIL MEETING RFI	IB	27/6/24

CREATIVE HOMES HOBART
CREATIVE HOMES HOBART, CNR OF ELWICK ROAD & BROOKER HIGHWAY, GLENORCHY 7010 PH: 03 6272 3000

JOB ADDRESS: 3 - 5 Magus Terrace Old Beach			CLIENT: Klettenberg Pty Ltd
DESIGNER: I. Brown	ACCRED. NO.: CC6652		SHEET: 2 of 21
DRAWN: I. Brown	DATE: June 2023		DESIGN TYPE: Custom
CHECKED:	DATE:		DRAWING NO: 220338
SCALE: 1:200	REV: H		

GENERAL NOTES:

1. THIS PLAN HAS BEEN PREPARED BY SURVEY PLUS FROM A COMBINATION OF EXISTING RECORDS AND FIELD SURVEY FOR THE PURPOSES OF SHOWING THE PHYSICAL FEATURES OF THE LAND AND SHOULD NOT BE USED FOR ANY OTHER PURPOSE.

2. TITLE BOUNDARIES SHOWN WERE NOT VERIFIED OR MARKED AT THE TIME OF THIS SURVEY.

3. SERVICES SHOWN ON THIS PLAN WERE LOCATED WHERE POSSIBLE BY FIELD SURVEY. THEY ARE NOT A COMPLETE PICTURE OF SERVICES ON SITE. ALL SERVICE LOCATIONS ARE TO BE VERIFIED BEFORE COMMENCEMENT OF ANY WORK ON SITE, IN PARTICULAR THOSE SERVICES NOT PREVIOUSLY LOCATED THROUGH FIELD SURVEY.

4. SURVEY PLUS CAN NOT ACCEPT LIABILITY WHATSOEVER FOR LOSS OR DAMAGE CAUSED TO ANY UNDERGROUND SERVICE WHETHER SHOWN BY OUR SURVEY OR NOT.

5. THIS NOTE IS AN INTEGRAL PART OF THIS PLAN/DATA. REPRODUCTION OF THIS PLAN OR ANY PART OF IT WITHOUT THIS NOTE BEING INCLUDED IN FULL WILL RENDER THE INFORMATION SHOWN ON SUCH A REPRODUCTION INVALID AND NOT SUITABLE FOR USE WITHOUT PRIOR AUTHORITY OF SURVEY PLUS.

6. HORIZONTAL DATUM IS MGA (GDA94).

7. VERTICAL DATUM IS AHD.

8. CONTOUR INTERVAL IS 0.2 METRES, INDEX IS 1.0 METRES.

9. SURVEY BY GPS.

10. DUE TO THE AGE OF TITLE SURVEY IF ANY CONSTRUCTION WORKS ARE TO BE UNDERTAKEN ON OR NEAR THE TITLE BOUNDARY OR PRESCRIBED SETBACKS A RE-MARK SURVEY WILL BE REQUIRED.

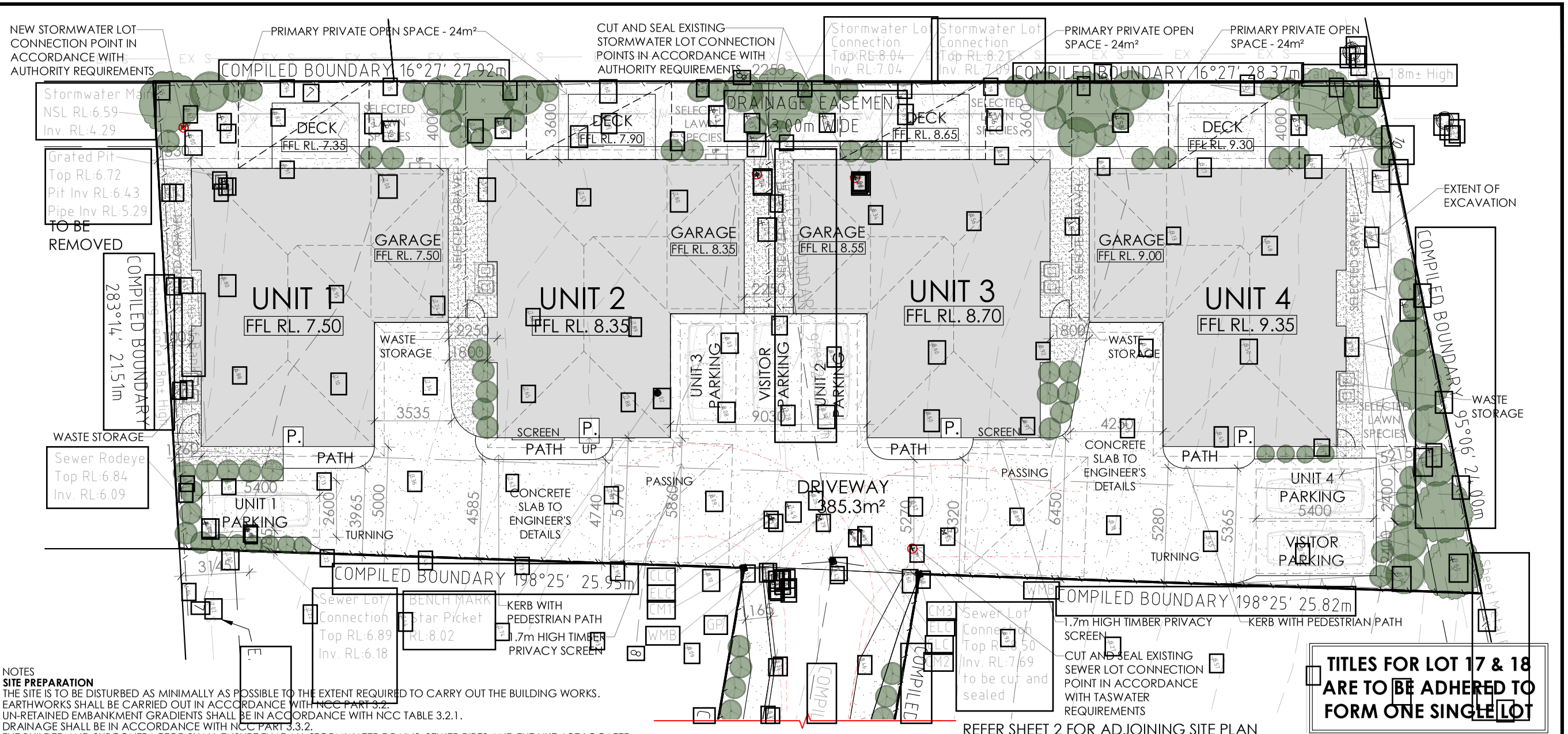
11. TITLE BOUNDARIES SHOWN WERE NOT VERIFIED OR MARKED BY SURVEY PLUS AT THE TIME OF THIS SURVEY.

12. IMPORTED DATA SHOWN ON THIS PLAN WAS OBTAINED FOR PUBLIC AVAILABLE DATA FROM VARIOUS GOVERNMENT AUTHORITIES. THIS INFORMATION IS PROVIDED FOR GUIDANCE ONLY. THE ACCURACY OF ANY IMPORTED DATA IS PER THE ACCURACY QUOTED BY THE SOURCE AND IS IN NO WAY GUARANTEED BY SURVEY PLUS. USERS MUST NOT RELY ON THIS DATA FOR FOR ON-GROUND LOCATION OF BOUNDARIES AND/OR SERVICES.

LIST DATA IMPORT
- TasWater-SewerLateralLine
- TasWater-SewerMain
- TasWater-SewerMaintenanceHole
- TasWater-SewerPressurisedMain
- TasWater-WaterHydrant
- TasWater-WaterLateralLine
- TasWater-WaterMain
- BoundaryLineswithAccuracy

13.APPROXIMATE BOUNDARIES SHOWN ON THIS PLAN HAVE BEEN DERIVED FROM PRELIMINARY SURVEY PLAN FROM CHRISTOPHER LEWIS ANDREWS SURVEYOR AND ARE APPROXIMATE AND SUBJECT TO FINAL SURVEY.

14. 3D DATA TURNED OFF IN LAYER CONTROL.
- 3D TIN
- MAJOR CONTOUR 3D
- MINOR CONTOUR 3D



TITLES FOR LOT 17 & 18 ARE TO BE ADHERED TO FORM ONE SINGLE LOT

STAGED DEVELOPMENT
STAGE 1 - UNIT 1 & 2
STAGE 2 - UNIT 3 & 4

NOTES

SITE PREPARATION

THE SITE IS TO BE DISTURBED AS MINIMALLY AS POSSIBLE TO THE EXTENT REQUIRED TO CARRY OUT THE BUILDING WORKS.
EARTHWORKS SHALL BE CARRIED OUT IN ACCORDANCE WITH NCC PART 3.2.
UN-RETAINED EMBANKMENT GRADIENTS SHALL BE IN ACCORDANCE WITH NCC TABLE 3.2.1.
DRAINAGE SHALL BE IN ACCORDANCE WITH NCC PART 3.3.2.
THE BUILDER AND SUBCONTRACTOR SHALL ENSURE THAT ALL STORMWATER DRAINS, SEWER PIPES AND THE LIKE ARE LOCATED AT A SUFFICIENT DISTANCE FROM ANY BUILDINGS FOOTING AND/OR SLAB EDGE BEAMS SO AS TO PREVENT GENERAL MOISTURE PENETRATION, DAMPNESS, WEAKENING & UNDERMINING OF ANY BUILDING AND IT'S FOOTING SYSTEM.
LOCATION OF ALL EXISTING SERVICES TO BE CONFIRMED ON SITE PRIOR TO CONSTRUCTION.

ATTENTION OF OWNER

THE OWNERS ATTENTION IS DRAWN TO THE FACT THAT FOUNDATIONS AND ASSOCIATED DRAINAGE FOR ALL SITES REQUIRES CONTINUING MAINTENANCE TO ASSIST FOOTING PERFORMANCE. ADVICE FOR FOUNDATION MAINTENANCE IS CONTAINED IN THE CSIRO BUILDING TECHNOLOGY FILE 18 AND IT IS THE OWNERS RESPONSIBILITY TO MAINTAIN THE SITE IN ACCORDANCE WITH THIS DOCUMENT.

SOIL AND WATER MANAGEMENT NOTES:

DRAINAGE LINES ARE TO BE INSTALLED PRIOR TO THE PLACEMENT OF ROOF AND GUTTERING. ONCE DWELLING IS ROOFED, CONNECT IMMEDIATELY.
APPLY TEMPORARY COVERING TO DISTURBED AREAS THAT WILL REMAIN EXPOSED FOR 14 DAYS OR MORE DURING CONSTRUCTION (EG. WATERPROOF BLANKET, VEGETATION OR MULCH)
PROTECT ANY NEARBY OR ON-SITE DRAINAGE PITS FROM SEDIMENT BY INSTALLING SEDIMENT TRAPS AROUND THEM.
LIMIT ENTRY/EXIT TO ONE POINT AND STABILISE. INSTALL FACILITIES TO REMOVE DIRT/ MUD FROM VEHICLE WHEELS BEFORE THEY LEAVE THE SITE.
SITE TO BE VEGETATED AND PLANTED ACCORDING TO THE HOBART REGIONAL SOIL AND WATER MANAGEMENT CODE OF PRACTICE.
BUILDER AND SUBCONTRACTORS TO VERIFY ALL DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK.
GIVE 24 HOURS MINIMUM NOTICE WHERE AMENDMENTS ARE REQUIRED TO DRAWINGS. THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH DOCUMENTATION LISTED ON THE COVER PAGE. DO NOT SCALE DRAWINGS.
DIMENSIONS ARE TO TAKE PREFERENCE OVER SCALE. BUILDING SPECIFICATION AND ENGINEERS DRAWINGS SHALL OVERRIDE ARCHITECTURAL DRAWINGS.
-THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL OTHER DRAWING SHEETS, CONSULTANTS DRAWINGS, DOCUMENTS, SCHEDULES AND SPECIFICATIONS (AS APPLICABLE).
-THE BUILDER AND SUBCONTRACTOR SHALL ENSURE THAT ALL STORMWATER DRAINS, SEWER PIPES AND THE LIKE ARE LOCATED AT A SUFFICIENT DISTANCE FROM ANY BUILDINGS FOOTING AND/OR SLAB EDGE BEAMS SO AS TO PREVENT GENERAL MOISTURE PENETRATION, DAMPNESS, WEAKENING & UNDERMINING OF ANY BUILDING AND ITS FOOTING SYSTEM.
- LOCATION OF ALL EXISTING ONSITE SERVICES TO BE CONFIRMED ONSITE PRIOR TO CONSTRUCTION

LANDSCAPING

NOTE: EXISTING MATURE TREES ARE TO BE RETAINED WHERE POSSIBLE. PROPOSED LANDSCAPING IS TO BE PLANTED IN AREAS WHERE EXISTING NATURAL VEGETATION HAS BEEN REMOVED AND REQUIRES REGENERATION, OR WHERE EXISTING VEGETATION IS LIGHT.

NUMBER OF PLANTS TO BE PLANTED SHALL BE DETERMINED AS PER SCHEDULE (IE NO. PLANTS/SQM), NOT NUMBER OF PLANTS INDICATED ON THIS PLAN. THIS PLAN INDICATES GENERAL LAYOUT ONLY.

REFER TO PLANT SCHEDULE FOR PLANT SPECIES.

SCREENING PLANTS AS PER SCHEDULE

LOW GROWING LOCAL SPECIES AS PER SCHEDULE

PRIVACY SCREENS - MAX 25% UNIFORM TRANSPARENCY TO COUNCIL COMPLIANCE - TIMBER SLAT TO MIN 1700mm ABOVE FINISHED LEVEL AND TO FULL WIDTH OF WINDOW. GAPS TO BE $\frac{1}{3}$ OF TIMBER WIDTH = 25%

NOTE: ALL DIVIDING FENCES TO BE 1.8m HIGH TIMBER FENCES WITH GATES INSTALLED AS REQUIRED.
24m² PRIVATE OPEN SPACE TO HAVE MAX 1:10 SLOPE IN ACCORDANCE WITH COUNCIL REQUIREMENTS

NOTE: REDUNDANT SEWER AND WATER CONNECTIONS ARE TO BE DISCONNECTED BY TASWATER (AT THE DEVELOPERS COST).

IMPORTANT!
SITE INFORMATION AS DRAWN IS APPROXIMATE ONLY. FINAL SITE INFORMATION IS SUBJECT TO A DETAILED CONTOUR SURVEY BY LICENSED SURVEYOR.

SOIL CLASSIFICATION:	M
WIND CLASSIFICATION:	N2

SITE COVERAGE		
SITE AREA (EXCL. ACCESS)	1303.29	m²
SITE AREA PER UNIT (AREA / 4)	325.82	m²
PROPOSED BUILDING FOOTPRINT	514.8	m²
PROPOSED SITE COVERAGE	39.50	%

PROPOSED SITE PLAN - EXCL. ACCESS

© COPYRIGHT IN WHOLE OR IN PART

03

PROJECT NORTH

CONTRACTOR MUST VERIFY ALL DIMENSIONS AND LEVELS AT THE JOB PRIOR TO COMMENCING ANY WORK OR MAKING ANY SHOP DRAWINGS.

DO NOT SCALE DRAWINGS.
ALWAYS USE WRITTEN DIMENSIONS.

REV:	DESCRIPTION:	BY:	DATE:
E	COUNCIL RFI, LEVEL CHANGES, TASWATER RFI	IB	9/5/24
F	COUNCIL RFI	IB	22/5/24
G	COUNCIL RFI	IB	11/6/24
H	COUNCIL MEETING RFI	IB	27/6/24

CREATIVE HOMES HOBART
CREATIVE HOMES HOBART, CNR OF ELWICK ROAD & BROOKER HIGHWAY, GLENORCHY 7010 PH: 03 6272 3000

JOB ADDRESS: 3 - 5 Magus Terrace Old Beach			CLIENT: Klettenberg Pty Ltd
DESIGNER: I. Brown	ACCRED. NO.: CC6652		SHEET: 3 of 21
DRAWN: I. Brown	DATE: June 2023		DESIGN TYPE: Custom
CHECKED:	DATE:		DRAWING NO: 220338
SCALE: 1:200	REV: H		

AREAS:	
FLOOR AREA:	102.9 m²
PORCH:	0.7 m²
GARAGE:	25.1 m²
TOTAL AREA:	128.7 m²
DECK:	12.0 m²

LEGEND:

DP	DOWNPIPE LOCATION
SHR	SHOWER
BTH	BATH
VB	VANITY BASIN
WC	TOILET
OHC	OVERHEAD CUPBOARDS
REF	REFRIGERATOR
P	PANTRY
RH	RANGE HOOD
UBO	UNDER BENCH OVEN
CT	COOK TOP
S	SINK
DW	DISH WASHER
T	TROUGH
WM	WASHING MACHINE
MH	MANHOLE
CSD	CAVITY SLIDING DOOR
AAW	ALUM. AWNING WINDOW
ASD	ALUM. SLIDING DOOR
BH	BULKHEAD
BAL	BALUSTRADE

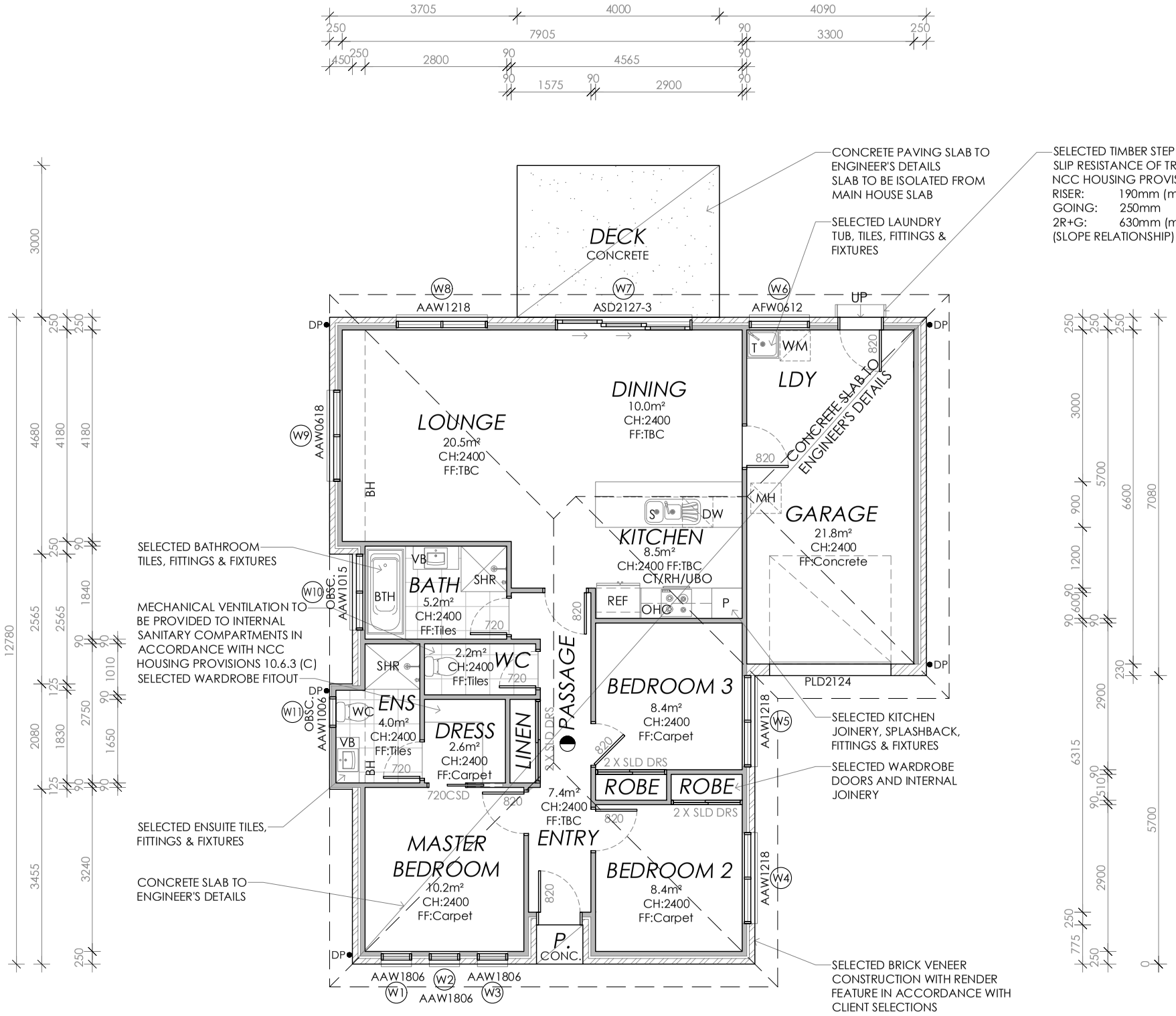
BAL SELECTED BALUSTRADE TO BUILDER'S STANDARD DETAIL INSTALLED IN ACCORDANCE WITH NCC

MASONRY ARTICULATION JOINT - LOCATION TO ENGINEER'S DETAILS

CEILING MOUNTED INTERCONNECTED SMOKE DETECTORS, MAINS WIRED WITH BATTERY BACKUP, ALL IN ACCORDANCE WITH AS 3786.

DP 90mm DOWNPIPE

NOTE: LIFT OFF HINGES TO WC TO BE INSTALLED AS REQUIRED IN ACCORDANCE WITH NCC.



UNIT 1 FFL RL. 7.50

UNIT 1 GARAGE FFL RL. 7.50

UNIT 2 FFL RL. 8.35

UNIT 2 GARAGE FFL RL. 8.35

PROPOSED FLOOR PLAN - TYPICAL - UNIT 1 & 2

FLOOR AREA: 128.7m²

STAGED DEVELOPMENT
STAGE 1 - UNIT 1 & 2
STAGE 2 - UNIT 3 & 4

Framing NCC H1D6
All timber framing, fixing and bracing shall comply with AS 1684 and the requirements of NCC H1D6. Manufactured sizes must not be undersized to those specified, for all timber sizes, stress grades, spacing and wall bracing refer to Engineer's details. Tie-down details shall be in accordance with Engineer's details and comply with NCC H1D6 (4). Structural steel members shall comply with the requirements of clauses in NCC H1D6 (3). Refer to Engineer's details where provided.

Glazing NCC H1D8
All windows to be aluminium awning style, double glazed (obscured safety glass to bathrooms as shown on drawings) All glazing shall comply with the requirements of AS 2047 & AS 1288 and NCC H1D8.

Human impact safety requirements shall comply with NCC H1D8 (3) and Part 8.4 of the ABCB Housing provisions.

Note:
Builder and subcontractors to verify all dimension and levels prior to the commencement of any work. Give 24hrs minimum notice where amendments are required to design of working drawings. These drawings are to be read in conjunction with Engineer's and Surveyor's drawings and notes. Do not scale drawings. Dimensions are to take preference over scale. Building specification and Engineer's drawings shall override architectural drawings. All construction work shall be carried out in accordance with the state building regulations, local council by-laws and relevant NCC and AS codes.

Important notice for attention of Owners: the Owners attention is drawn to the fact that foundations and associated drainage in all sites requires continuing maintenance to assist footing performance. Advice for foundation maintenance is contained in the CSIRO building technology file 18 and it is the Owners responsibility to maintain the site in accordance with this document.

Energy efficiency:
Insulation must comply with AS/NZS4859.1 and be installed in accordance with ABCB housing provisions Part 13.2.2 and comply with minimum R values for climate zone 7.
Bulk insulation between external studs to be insulated with min R2.0. (Ensure batts fit within cavity without compression, making sure that there is at least 25mm gap from the reflective surface). External walls are to be clad with vapour permeable reflective foil over the outside of the timber frame. Ceiling to be insulated with R4.0 and vapour permeable sarking. Floor to be insulated with R2.0 batts where applicable. Seal exhaust fans to Ensuite, Bathroom, Laundry and Kitchen. Construction of the external walls, floor and roof for compliance with building sealing requirements shall comply with *BCA 2019 Part 3.12*

General:
All flashings, weep holes and damp proof coursing to be in accordance with NCC Housing provisions Part 5.7. Fibre cement sheet in accordance with NCC Housing provisions Part 7.5. Block construction in accordance NCC Housing provisions Part 5. Plasterboard linings to internal walls and ceilings with selected cornice. (see below for wet areas)

Wet areas: All wet areas shall comply with the requirements of ABCB Housing provisions Part 10.2. Provide waterproof plasterboard sheeting to all walls and ceilings. Provide ceramic tiles or other approved water resistant lining in accordance with Part 10.2.9 to a minimum height of 1800mm to shower walls and to a height of min 150mm behind baths, basins, sinks, troughs, washing machines and wall fixtures.

For construction of floor wastes refer to NCC ABCB Housing provisions part 10.2.12. For typical installation requirements for substrate preparation, penetrations, flashings/ junctions, membranes, screeds, hobs, baths, showers, door jambs and screens refer to ABCB Housing provisions part 10.2.14-32.

© COPYRIGHT IN WHOLE OR IN PART

04

PROJECT NORTH

CONTRACTOR MUST VERIFY ALL DIMENSIONS AND LEVELS AT THE JOB PRIOR TO COMMENCING ANY WORK OR MAKING ANY SHOP DRAWINGS.

DO NOT SCALE DRAWINGS. ALWAYS USE WRITTEN DIMENSIONS.

REV:	DESCRIPTION:	BY:	DATE:
E	COUNCIL RFI, LEVEL CHANGES, TASWATER RFI	IB	9/5/24
F	COUNCIL RFI	IB	22/5/24
G	COUNCIL RFI	IB	11/6/24
H	COUNCIL MEETING RFI	IB	27/6/24

CREATIVE HOMES HOBART
CREATIVE HOMES HOBART, CNR OF ELWICK ROAD & BROOKER HIGHWAY, GLENORCHY 7010 PH: 03 6272 3000

JOB ADDRESS: 3 - 5 Magus Terrace Old Beach			CLIENT: Klettenberg Pty Ltd
DESIGNER: I. Brown	ACCRED. NO.: CC6652		SHEET: 4 of 21
DRAWN: I. Brown	DATE: June 2023		DESIGN TYPE: Custom
CHECKED:	DATE:		DRAWING NO: 220338
SCALE: 1:100	REV: H		

AREAS:	
FLOOR AREA:	102.9 m²
PORCH:	0.7 m²
GARAGE:	25.1 m²
TOTAL AREA:	128.7 m²
DECK:	12.0 m²

LEGEND:

DP	DOWNPIPE LOCATION
SHR	SHOWER
BTH	BATH
VB	VANITY BASIN
WC	TOILET
OHC	OVERHEAD CUPBOARDS
REF	REFRIGERATOR
P	PANTRY
RH	RANGE HOOD
UBO	UNDER BENCH OVEN
CT	COOK TOP
S	SINK
DW	DISH WASHER
T	TROUGH
WM	WASHING MACHINE
MH	MANHOLE
CSD	CAVITY SLIDING DOOR
AAW	ALUM. AWNING WINDOW
ASD	ALUM. SLIDING DOOR
BH	BULKHEAD
BAL	BALUSTRADE

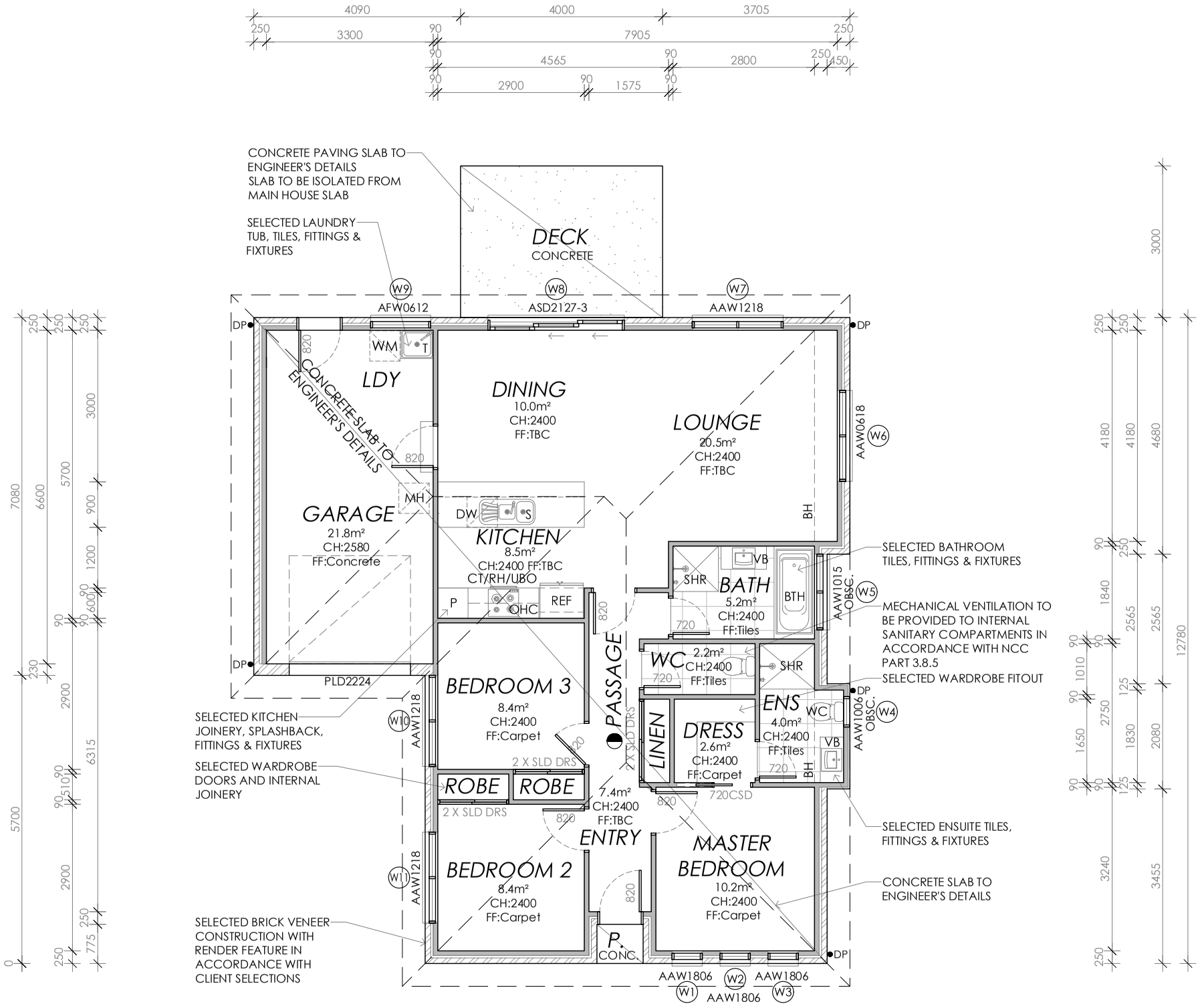
BAL SELECTED BALUSTRADE TO BUILDER'S STANDARD DETAIL INSTALLED IN ACCORDANCE WITH NCC

MASONRY ARTICULATION JOINT - LOCATION TO ENGINEER'S DETAILS

CEILING MOUNTED INTERCONNECTED SMOKE DETECTORS, MAINS WIRED WITH BATTERY BACKUP. ALL IN ACCORDANCE WITH AS 3786.

DP 90mm DOWNPIPE

NOTE: LIFT OFF HINGES TO WC TO BE INSTALLED AS REQUIRED IN ACCORDANCE WITH NCC.



UNIT 3 FFL RL. 8.70

UNIT 3 GARAGE FFL RL. 8.55

UNIT 4 FFL RL. 9.35

UNIT 4 GARAGE FFL RL. 9.00

PROPOSED FLOOR PLAN - TYPICAL - UNIT 3 & 4

FLOOR AREA: 128.7m²

STAGED DEVELOPMENT
STAGE 1 - UNIT 1 & 2
STAGE 2 - UNIT 3 & 4

Framing NCC H1D6
All timber framing, fixing and bracing shall comply with AS 1684 and the requirements of NCC H1D6. Manufactured sizes must not be undersized to those specified, for all timber sizes, stress grades, spacing and wall bracing refer to Engineer's details. Tie-down details shall be in accordance with Engineer's details and comply with NCC H1D6 (4). Structural steel members shall comply with the requirements of clauses in NCC H1D6 (3). Refer to Engineer's details where provided.

Glazing NCC H1D8
All windows to be aluminium awning style, double glazed (obscured safety glass to bathrooms as shown on drawings) All glazing shall comply with the requirements of AS 2047 & AS 1288 and NCC H1D8.

Human impact safety requirements shall comply with NCC H1D8 (3) and Part 8.4 of the ABCB Housing provisions.

Note:
Builder and subcontractors to verify all dimension and levels prior to the commencement of any work. Give 24hrs minimum notice where amendments are required to design of working drawings. These drawings are to be read in conjunction with Engineer's and Surveyor's drawings and notes. Do not scale drawings. Dimensions are to take preference over scale. Building specification and Engineer's drawings shall override architectural drawings. All construction work shall be carried out in accordance with the state building regulations, local council by-laws and relevant NCC and AS codes.

Important notice for attention of Owners: the Owners attention is drawn to the fact that foundations and associated drainage in all sites requires continuing maintenance to assist footing performance. Advice for foundation maintenance is contained in the CSIRO building technology file 18 and it is the Owners responsibility to maintain the site in accordance with this document.

Energy efficiency:
Insulation must comply with AS/NZS4859.1 and be installed in accordance with ABCB housing provisions Part 13.2.2 and comply with minimum R values for climate zone 7.
Bulk insulation between external studs to be insulated with min R2.0. (Ensure batts fit within cavity without compression, making sure that there is at least 25mm gap from the reflective surface). External walls are to be clad with vapour permeable reflective foil over the outside of the timber frame. Ceiling to be insulated with R4.0 and vapour permeable sarking. Floor to be insulated with R2.0 batts where applicable. Seal exhaust fans to Ensuite, Bathroom, Laundry and Kitchen. Construction of the external walls, floor and roof for compliance with building sealing requirements shall comply with *BCA 2019 Part 3.12*

General:
All flashings, weep holes and damp proof coursing to be in accordance with NCC Housing provisions Part 5.7. Fibre cement sheet in accordance with NCC Housing provisions Part 7.5. Block construction in accordance NCC Housing provisions Part 5. Plasterboard linings to internal walls and ceilings with selected cornice. (see below for wet areas)

Wet areas: All wet areas shall comply with the requirements of ABCB Housing provisions Part 10.2. Provide waterproof plasterboard sheeting to all walls and ceilings. Provide ceramic tiles or other approved water resistant lining in accordance with Part 10.2.9 to a minimum height of 1800mm to shower walls and to a height of min 150mm behind baths, basins, sinks, troughs, washing machines and wall fixtures.

For construction of floor wastes refer to NCC ABCB Housing provisions part 10.2.12. For typical installation requirements for substrate preparation, penetrations, flashings/ junctions, membranes, screeds, hobs, baths, showers, door jambs and screens refer to ABCB Housing provisions part 10.2.14-32.

© COPYRIGHT IN WHOLE OR IN PART

05

PROJECT NORTH

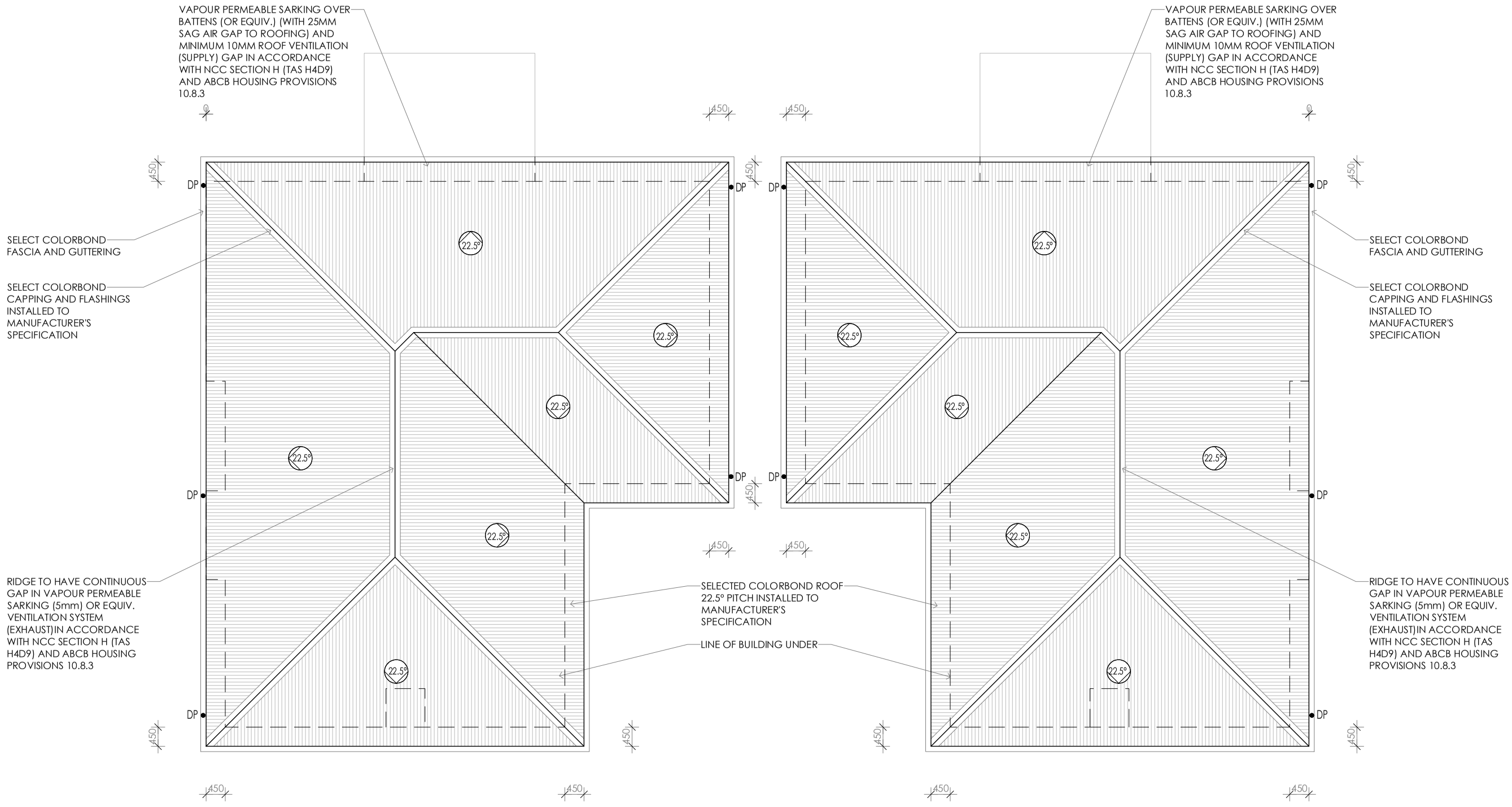
CONTRACTOR MUST VERIFY ALL DIMENSIONS AND LEVELS AT THE JOB PRIOR TO COMMENCING ANY WORK OR MAKING ANY SHOP DRAWINGS.

DO NOT SCALE DRAWINGS.
ALWAYS USE WRITTEN DIMENSIONS.

REV:	DESCRIPTION:	BY:	DATE:
E	COUNCIL RFI, LEVEL CHANGES, TASWATER RFI	IB	9/5/24
F	COUNCIL RFI	IB	22/5/24
G	COUNCIL RFI	IB	11/6/24
H	COUNCIL MEETING RFI	IB	27/6/24

CREATIVE HOMES HOBART
CREATIVE HOMES HOBART, CNR OF ELWICK ROAD & BROOKER HIGHWAY, GLENORCHY 7010 PH: 03 6272 3000

JOB ADDRESS: 3 - 5 Magus Terrace Old Beach			CLIENT: Klettenberg Pty Ltd
DESIGNER: I. Brown	ACCRED. NO.: CC6652		SHEET: 5 of 21
DRAWN: I. Brown	DATE: June 2023		DESIGN TYPE: Custom
CHECKED:	DATE:		DRAWING NO: 220338
SCALE: 1:100	REV: H		



PROPOSED ROOF PLAN - TYPICAL

STAGED DEVELOPMENT
STAGE 1 - UNIT 1 & 2
STAGE 2 - UNIT 3 & 4

● DP 90mm DOWNPIPE

Framing NCC H1D6
All timber framing, fixing and bracing shall comply with AS 1684 and the requirements of NCC H1D6. Manufactured sizes must not be undersized to those specified, for all timber sizes, stress grades, spacing and wall bracing refer to Engineer's details. Tie-down details shall be in accordance with Engineer's details and comply with NCC H1D6 (4). Structural steel members shall comply with the requirements of clauses in NCC H1D6 (3). Refer to Engineer's details where provided.

Glazing NCC H1D8
All windows to be aluminium awning style, double glazed (obscured safety glass to bathrooms as shown on drawings) All glazing shall comply with the requirements of AS 2047 & AS 1288 and NCC H1D8.

Human impact safety requirements shall comply with NCC H1D8 (3) and Part 8.4 of the ABCB Housing provisions.

Note:
Builder and subcontractors to verify all dimension and levels prior to the commencement of any work. Give 24hrs minimum notice where amendments are required to design of working drawings. These drawings are to be read in conjunction with Engineer's and Surveyor's drawings and notes. Do not scale drawings. Dimensions are to take preference over scale. Building specification and Engineer's drawings shall override architectural drawings. All construction work shall be carried out in accordance with the state building regulations, local council by-laws and relevant NCC and AS codes.

Important notice for attention of Owners: the Owners attention is drawn to the fact that foundations and associated drainage in all sites requires continuing maintenance to assist footing performance. Advice for foundation maintenance is contained in the CSIRO building technology file 18 and it is the Owners responsibility to maintain the site in accordance with this document.

Energy efficiency:
Insulation must comply with AS/NZS4859.1 and be installed in accordance with ABCB housing provisions Part 13.2.2 and comply with minimum R values for climate zone 7.
Bulk insulation between external studs to be insulated with min R2.0. (Ensure batts fit within cavity without compression, making sure that there is at least 25mm gap from the reflective surface). External walls are to be clad with vapour permeable reflective foil over the outside of the timber frame. Ceiling to be insulated with R4.0 and vapour permeable sarking. Floor to be insulated with R2.0 batts where applicable. Seal exhaust fans to Ensuite, Bathroom, Laundry and Kitchen. Construction of the external walls, floor and roof for compliance with building sealing requirements shall comply with *BCA 2019 Part 3.12*

General:
All flashings, weep holes and damp proof coursing to be in accordance with NCC Housing provisions Part 5.7. Fibre cement sheet in accordance with NCC Housing provisions Part 7.5. Block construction in accordance NCC Housing provisions Part 5. Plasterboard linings to internal walls and ceilings with selected cornice. (see below for wet areas)

Wet areas: All wet areas shall comply with the requirements of ABCB Housing provisions Part 10.2. Provide waterproof plasterboard sheeting to all walls and ceilings. Provide ceramic tiles or other approved water resistant lining in accordance with Part 10.2.9 to a minimum height of 1800mm to shower walls and to a height of min 150mm behind baths, basins, sinks, troughs, washing machines and wall fixtures.

For construction of floor wastes refer to NCC ABCB Housing provisions part 10.2.12. For typical installation requirements for substrate preparation, penetrations, flashings/ junctions, membranes, screeds, hobs, baths, showers, door jambs and screens refer to ABCB Housing provisions part 10.2.14-32.

© COPYRIGHT IN WHOLE OR IN PART

06

PROJECT NORTH

CONTRACTOR MUST VERIFY ALL DIMENSIONS AND LEVELS AT THE JOB PRIOR TO COMMENCING ANY WORK OR MAKING ANY SHOP DRAWINGS.

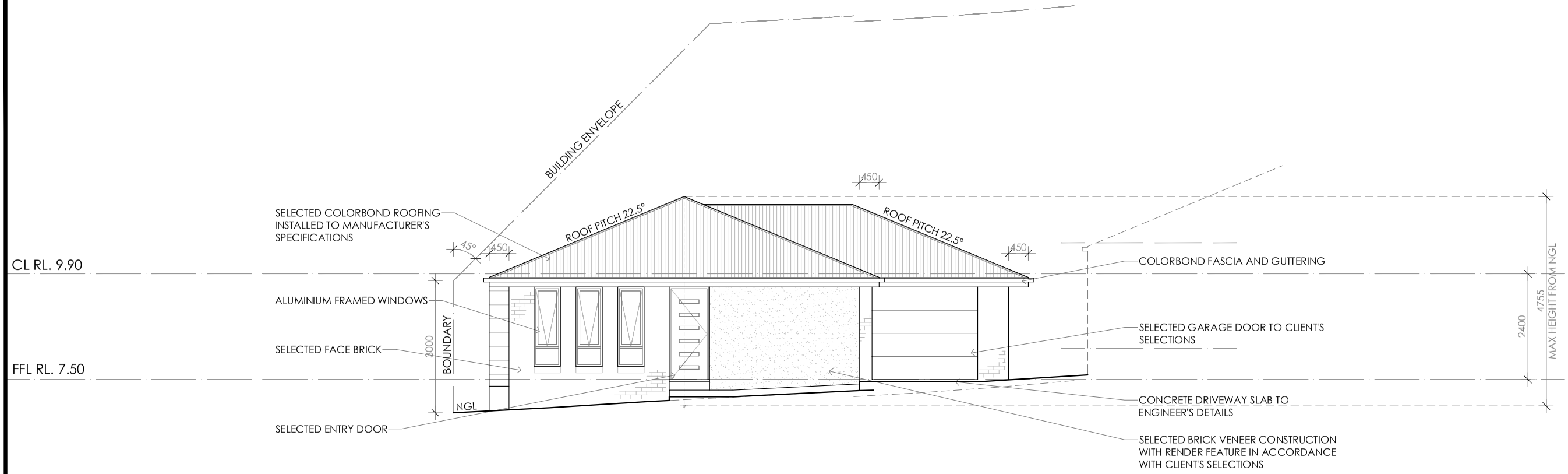
DO NOT SCALE DRAWINGS.
ALWAYS USE WRITTEN DIMENSIONS.

REV:	DESCRIPTION:	BY:	DATE:
E	COUNCIL RFI, LEVEL CHANGES, TASWATER RFI	IB	9/5/24
F	COUNCIL RFI	IB	22/5/24
G	COUNCIL RFI	IB	11/6/24
H	COUNCIL MEETING RFI	IB	27/6/24

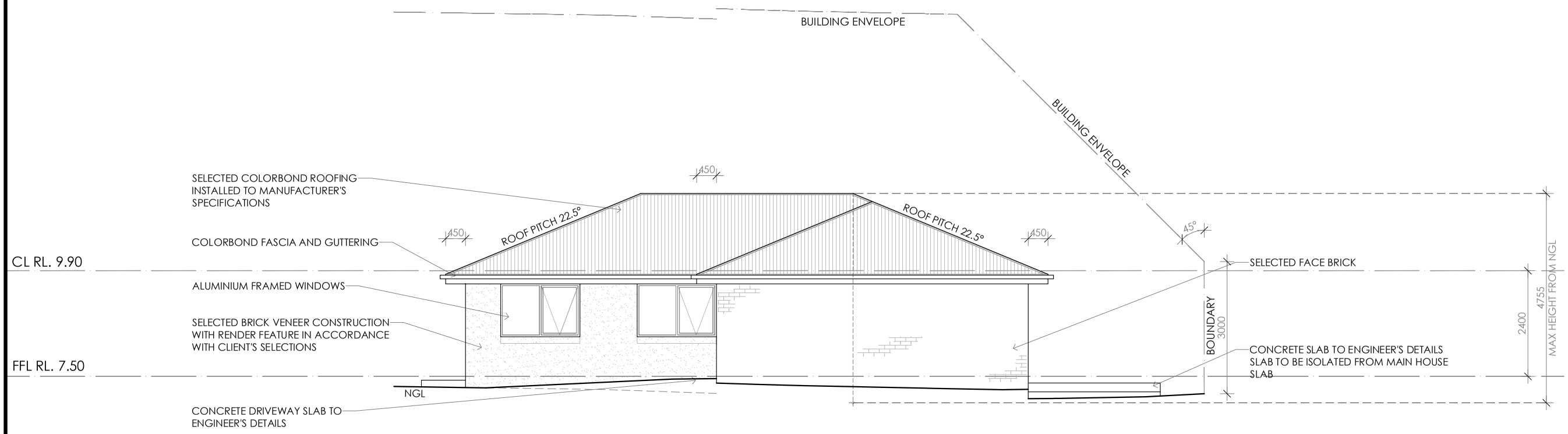
CREATIVE HOMES HOBART

CREATIVE HOMES HOBART, CNR OF ELWICK ROAD & BROOKER HIGHWAY, GLENORCHY 7010 PH: 03 6272 3000

JOB ADDRESS: 3 - 5 Magus Terrace Old Beach			CLIENT: Klettenberg Pty Ltd
DESIGNER: I. Brown	ACCRED. NO.: CC6652		SHEET: 6 of 21
DRAWN: I. Brown	DATE: June 2023		DESIGN TYPE: Custom
CHECKED:	DATE:		DRAWING NO: 220338
SCALE: 1:100	REV: H		



EASTERN ELEVATION



NORTHERN ELEVATION

Framing NCC H1D6
All timber framing, fixing and bracing shall comply with AS 1684 and the requirements of NCC H1D6. Manufactured sizes must not be undersized to those specified, for all timber sizes, stress grades, spacing and wall bracing refer to Engineer's details. Tie-down details shall be in accordance with Engineer's details and comply with NCC H1D6 (4). Structural steel members shall comply with the requirements of clauses in NCC H1D6 (3). Refer to Engineer's details where provided.

Glazing NCC H1D8
All windows to be aluminium awning style, double glazed (obscured safety glass to bathrooms as shown on drawings) All glazing shall comply with the requirements of AS 2047 & AS 1288 and NCC H1D8.

Human impact safety requirements shall comply with NCC H1D8 (3) and Part 8.4 of the ABCB Housing provisions.

Note:
Builder and subcontractors to verify all dimension and levels prior to the commencement of any work. Give 24hrs minimum notice where amendments are required to design of working drawings. These drawings are to be read in conjunction with Engineer's and Surveyor's drawings and notes. Do not scale drawings. Dimensions are to take preference over scale. Building specification and Engineer's drawings shall override architectural drawings. All construction work shall be carried out in accordance with the state building regulations, local council by-laws and relevant NCC and AS codes.

Important notice for attention of Owners: the Owners attention is drawn to the fact that foundations and associated drainage in all sites requires continuing maintenance to assist footing performance. Advice for foundation maintenance is contained in the CSIRO building technology file 18 and it is the Owners responsibility to maintain the site in accordance with this document.

Energy efficiency:
Insulation must comply with AS/NZS4859.1 and be installed in accordance with ABCB housing provisions Part 13.2.2 and comply with minimum R values for climate zone 7.
Bulk insulation between external studs to be insulated with min R2.0. (Ensure batts fit within cavity without compression, making sure that there is at least 25mm gap from the reflective surface). External walls are to be clad with vapour permeable reflective foil over the outside of the timber frame. Ceiling to be insulated with R4.0 and vapour permeable sarking. Floor to be insulated with R2.0 batts where applicable. Seal exhaust fans to Ensuite, Bathroom, Laundry and Kitchen. Construction of the external walls, floor and roof for compliance with building sealing requirements shall comply with *BCA 2019 Part 3.12*

General:
All flashings, weep holes and damp proof coursing to be in accordance with NCC Housing provisions Part 5.7. Fibre cement sheet in accordance with NCC Housing provisions Part 7.5. Block construction in accordance NCC Housing provisions Part 5. Plasterboard linings to internal walls and ceilings with selected cornice. (see below for wet areas)

Wet areas: All wet areas shall comply with the requirements of ABCB Housing provisions Part 10.2. Provide waterproof plasterboard sheeting to all walls and ceilings. Provide ceramic tiles or other approved water resistant lining in accordance with Part 10.2.9 to a minimum height of 1800mm to shower walls and to a height of min 150mm behind baths, basins, sinks, troughs, washing machines and wall fixtures.

For construction of floor wastes refer to NCC ABCB Housing provisions part 10.2.12. For typical installation requirements for substrate preparation, penetrations, flashings/ junctions, membranes, screeds, hobs, baths, showers, door jambs and screens refer to ABCB Housing provisions part 10.2.14-32.

STAGED DEVELOPMENT
STAGE 1 - UNIT 1 & 2
STAGE 2 - UNIT 3 & 4

UNIT 1

© COPYRIGHT IN WHOLE OR IN PART

07

PROJECT NORTH

CONTRACTOR MUST VERIFY ALL DIMENSIONS AND LEVELS AT THE JOB PRIOR TO COMMENCING ANY WORK OR MAKING ANY SHOP DRAWINGS.

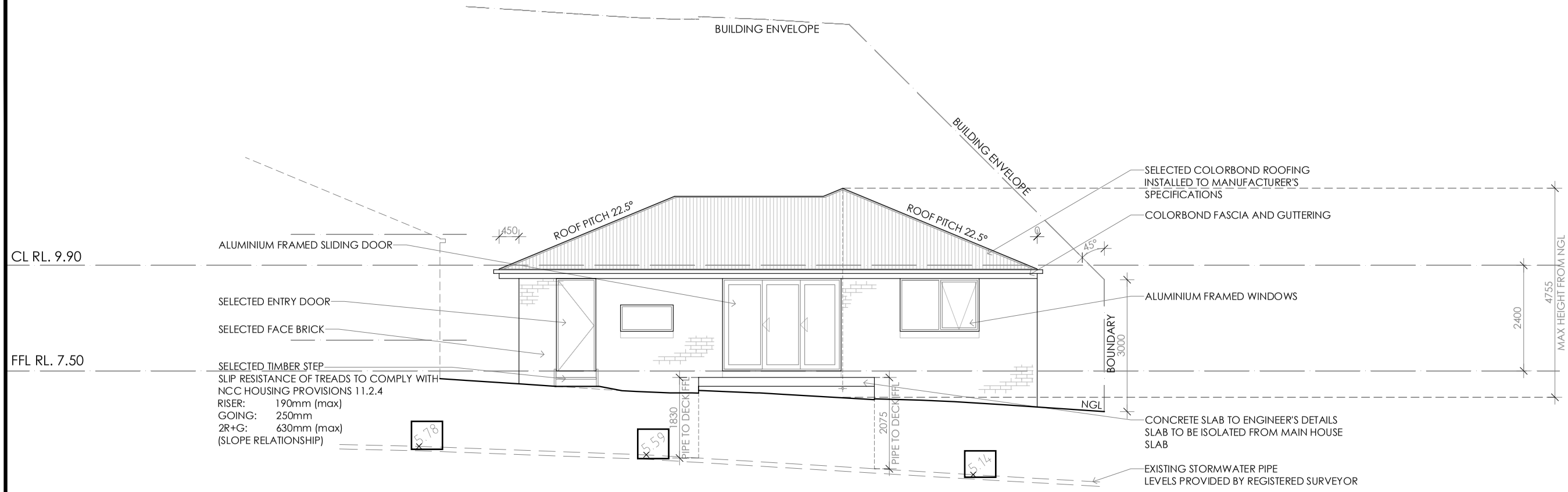
DO NOT SCALE DRAWINGS.
ALWAYS USE WRITTEN DIMENSIONS.

REV:	DESCRIPTION:	BY:	DATE:
E	COUNCIL RFI, LEVEL CHANGES, TASWATER RFI	IB	9/5/24
F	COUNCIL RFI	IB	22/5/24
G	COUNCIL RFI	IB	11/6/24
H	COUNCIL MEETING RFI	IB	27/6/24

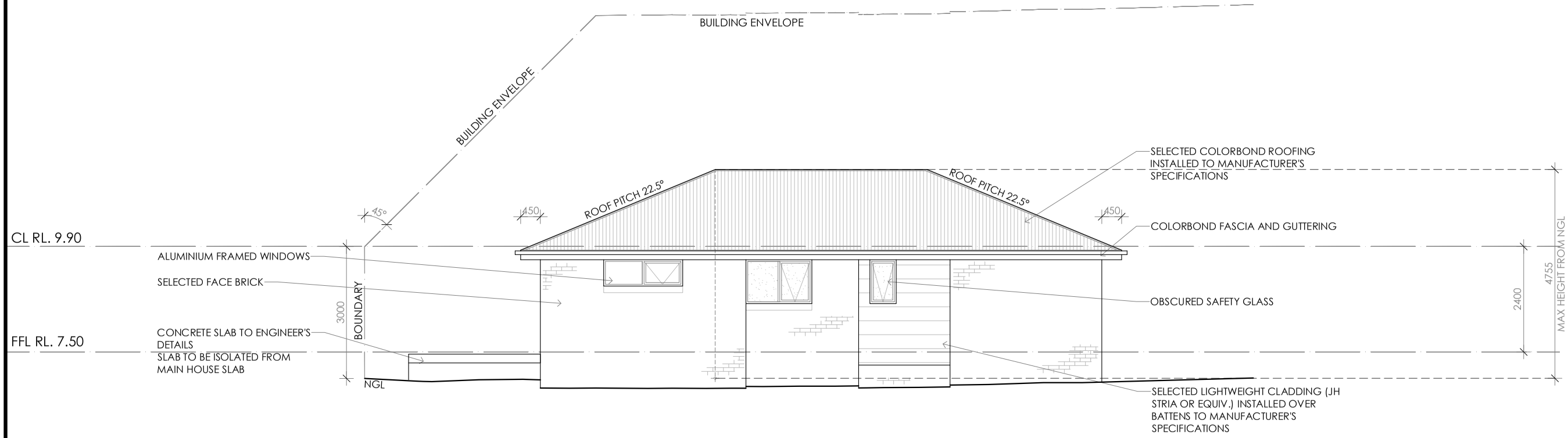
CREATIVE HOMES HOBART

CREATIVE HOMES HOBART, CNR OF ELWICK ROAD & BROOKER HIGHWAY, GLENORCHY 7010 PH: 03 6272 3000

JOB ADDRESS: 3 - 5 Magus Terrace Old Beach			CLIENT: Klettenberg Pty Ltd
DESIGNER: I. Brown	ACCRED. NO.: CC6652		SHEET: 7 of 21
DRAWN: I. Brown	DATE: June 2023		DESIGN TYPE: Custom
CHECKED:	DATE:		DRAWING NO: 220338
SCALE: 1:100	REV: H		



WESTERN ELEVATION



SOUTHERN ELEVATION

STAGED DEVELOPMENT
STAGE 1 - UNIT 1 & 2
STAGE 2 - UNIT 3 & 4

UNIT 1

Framing NCC H1D6
All timber framing, fixing and bracing shall comply with AS 1684 and the requirements of NCC H1D6.
Manufactured sizes must not be undersized to those specified, for all timber sizes, stress grades, spacing and wall bracing refer to Engineer's details. Tie-down details shall be in accordance with Engineer's details and comply with NCC H1D6 (4). Structural steel members shall comply with the requirements of clauses in NCC H1D6 (3). Refer to Engineer's details where provided.

Glazing NCC H1D8
All windows to be aluminium awning style, double glazed (obscured safety glass to bathrooms as shown on drawings) All glazing shall comply with the requirements of AS 2047 & AS 1288 and NCC H1D8.

Human impact safety requirements shall comply with NCC H1D8 (3) and Part 8.4 of the ABCB Housing provisions.

Note:
Builder and subcontractors to verify all dimension and levels prior to the commencement of any work. Give 24hrs minimum notice where amendments are required to design of working drawings. These drawings are to be read in conjunction with Engineer's and Surveyor's drawings and notes. Do not scale drawings. Dimensions are to take preference over scale. Building specification and Engineer's drawings shall override architectural drawings. All construction work shall be carried out in accordance with the state building regulations, local council by-laws and relevant NCC and AS codes.

Important notice for attention of Owners: the Owners attention is drawn to the fact that foundations and associated drainage in all sites requires continuing maintenance to assist footing performance. Advice for foundation maintenance is contained in the CSIRO building technology file 18 and it is the Owners responsibility to maintain the site in accordance with this document.

Energy efficiency:
Insulation must comply with AS/NZS4859.1 and be installed in accordance with ABCB housing provisions Part 13.2.2 and comply with minimum R values for climate zone 7.
Bulk insulation between external studs to be insulated with min R2.0. (Ensure batts fit within cavity without compression, making sure that there is at least 25mm gap from the reflective surface). External walls are to be clad with vapour permeable reflective foil over the outside of the timber frame. Ceiling to be insulated with R4.0 and vapour permeable sarking. Floor to be insulated with R2.0 batts where applicable. Seal exhaust fans to Ensuite, Bathroom, Laundry and Kitchen. Construction of the external walls, floor and roof for compliance with building sealing requirements shall comply with *BCA 2019 Part 3.12*

General:
All flashings, weep holes and damp proof coursing to be in accordance with NCC Housing provisions Part 5.7. Fibre cement sheet in accordance with NCC Housing provisions Part 7.5. Block construction in accordance NCC Housing provisions Part 5. Plasterboard linings to internal walls and ceilings with selected cornice. (see below for wet areas)

Wet areas: All wet areas shall comply with the requirements of ABCB Housing provisions Part 10.2. Provide waterproof plasterboard sheeting to all walls and ceilings. Provide ceramic tiles or other approved water resistant lining in accordance with Part 10.2.9 to a minimum height of 1800mm to shower walls and to a height of min 150mm behind baths, basins, sinks, troughs, washing machines and wall fixtures.

For construction of floor wastes refer to NCC ABCB Housing provisions part 10.2.12. For typical installation requirements for substrate preparation, penetrations, flashings/ junctions, membranes, screeds, hobs, baths, showers, door jambs and screens refer to ABCB Housing provisions part 10.2.14-32.

© COPYRIGHT IN WHOLE OR IN PART

08

PROJECT NORTH

CONTRACTOR MUST VERIFY ALL DIMENSIONS AND LEVELS AT THE JOB PRIOR TO COMMENCING ANY WORK OR MAKING ANY SHOP DRAWINGS.

DO NOT SCALE DRAWINGS.
ALWAYS USE WRITTEN DIMENSIONS.

REV:	DESCRIPTION:	BY:	DATE:
E	COUNCIL RFI, LEVEL CHANGES, TASWATER RFI	IB	9/5/24
F	COUNCIL RFI	IB	22/5/24
G	COUNCIL RFI	IB	11/6/24
H	COUNCIL MEETING RFI	IB	27/6/24

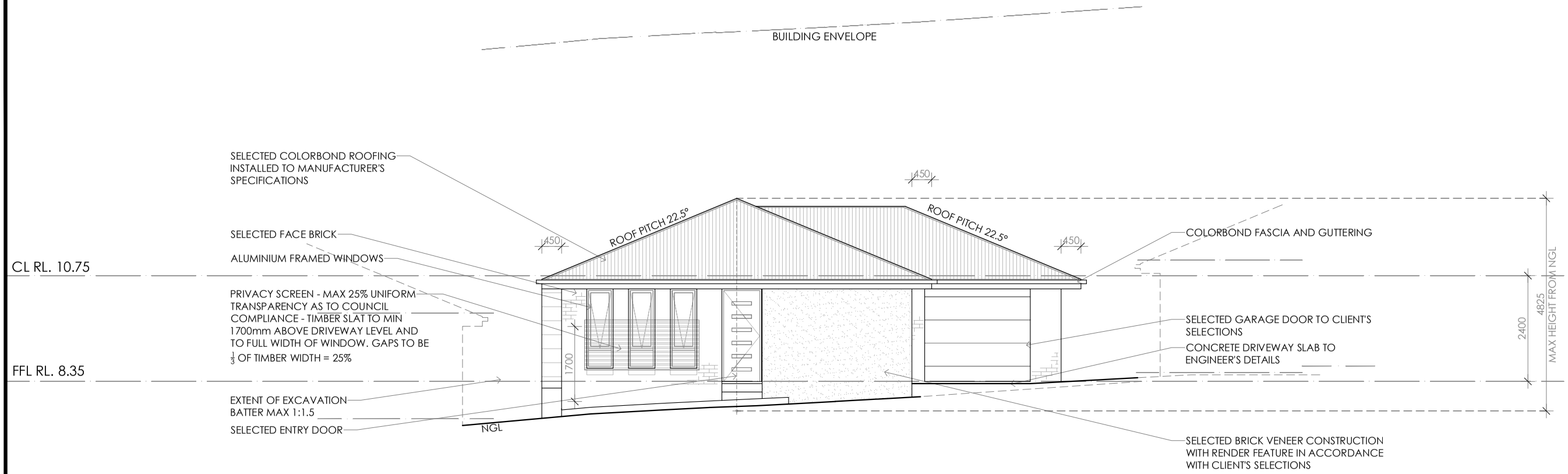
CREATIVE HOMES HOBART
CREATIVE HOMES HOBART, CNR OF ELWICK ROAD & BROOKER HIGHWAY, GLENORCHY 7010 PH: 03 6272 3000

JOB ADDRESS:
3 - 5 Magus Terrace
Old Beach

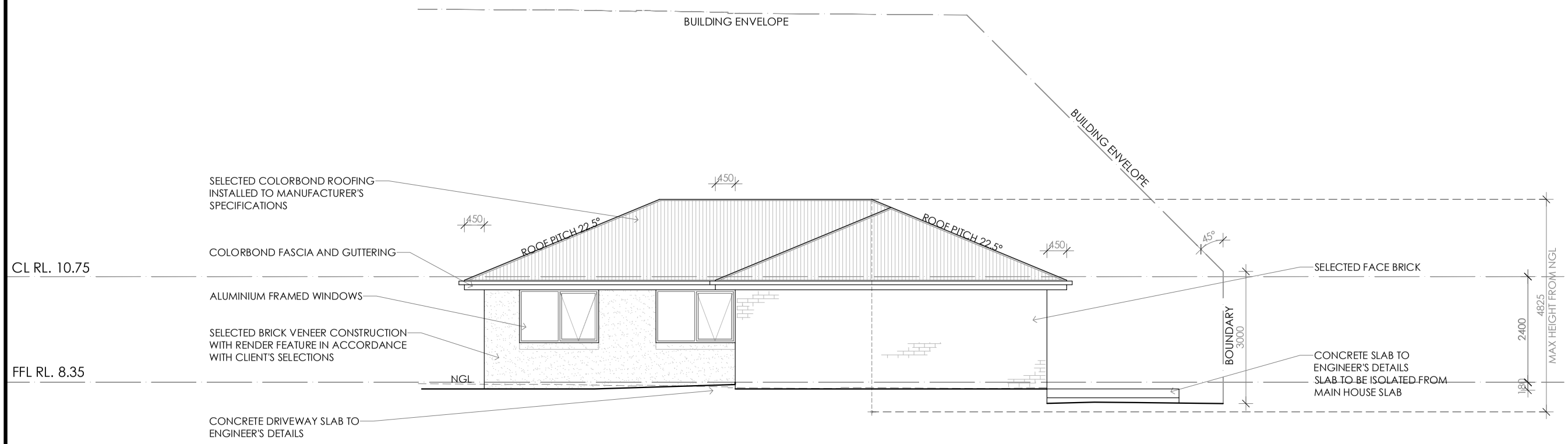
CLIENT:
Klettenberg Pty Ltd

DESIGNER:	I. Brown	ACCRED. NO.:	CC6652
DRAWN:	I. Brown	DATE:	June 2023
CHECKED:		DATE:	
SCALE:	1:100	REV:	H

SHEET:	8 of 21
DESIGN TYPE:	Custom
DRAWING NO:	220338



EASTERN ELEVATION



NORTHERN ELEVATION

UNIT 2

STAGED DEVELOPMENT
STAGE 1 - UNIT 1 & 2
STAGE 2 - UNIT 3 & 4

Framing NCC H1D6
All timber framing, fixing and bracing shall comply with AS 1684 and the requirements of NCC H1D6. Manufactured sizes must not be undersized to those specified, for all timber sizes, stress grades, spacing and wall bracing refer to Engineer's details. Tie-down details shall be in accordance with Engineer's details and comply with NCC H1D6 (4). Structural steel members shall comply with the requirements of clauses in NCC H1D6 (3). Refer to Engineer's details where provided.

Glazing NCC H1D8
All windows to be aluminium awning style, double glazed (obscured safety glass to bathrooms as shown on drawings) All glazing shall comply with the requirements of AS 2047 & AS 1288 and NCC H1D8.

Human impact safety requirements shall comply with NCC H1D8 (3) and Part 8.4 of the ABCB Housing provisions.

Note:
Builder and subcontractors to verify all dimension and levels prior to the commencement of any work. Give 24hrs minimum notice where amendments are required to design of working drawings. These drawings are to be read in conjunction with Engineer's and Surveyor's drawings and notes. Do not scale drawings. Dimensions are to take preference over scale. Building specification and Engineer's drawings shall override architectural drawings. All construction work shall be carried out in accordance with the state building regulations, local council by-laws and relevant NCC and AS codes.

Important notice for attention of Owners: the Owners attention is drawn to the fact that foundations and associated drainage in all sites requires continuing maintenance to assist footing performance. Advice for foundation maintenance is contained in the CSIRO building technology file 18 and it is the Owners responsibility to maintain the site in accordance with this document.

Energy efficiency:
Insulation must comply with AS/NZS4859.1 and be installed in accordance with ABCB housing provisions Part 13.2.2 and comply with minimum R values for climate zone 7.
Bulk insulation between external studs to be insulated with min R2.0. (Ensure batts fit within cavity without compression, making sure that there is at least 25mm gap from the reflective surface). External walls are to be clad with vapour permeable reflective foil over the outside of the timber frame. Ceiling to be insulated with R4.0 and vapour permeable sarking. Floor to be insulated with R2.0 batts where applicable. Seal exhaust fans to Ensuite, Bathroom, Laundry and Kitchen. Construction of the external walls, floor and roof for compliance with building sealing requirements shall comply with *BCA 2019 Part 3.12*

General:
All flashings, weep holes and damp proof coursing to be in accordance with NCC Housing provisions Part 5.7. Fibre cement sheet in accordance with NCC Housing provisions Part 5. Plasterboard linings to internal walls and ceilings with selected cornice. (see below for wet areas)

Wet areas: All wet areas shall comply with the requirements of ABCB Housing provisions Part 10.2. Provide waterproof plasterboard sheeting to all walls and ceilings. Provide ceramic tiles or other approved water resistant lining in accordance with Part 10.2.9 to a minimum height of 1800mm to shower walls and to a height of min 150mm behind baths, basins, sinks, troughs, washing machines and wall fixtures.

For construction of floor wastes refer to NCC ABCB Housing provisions part 10.2.12. For typical installation requirements for substrate preparation, penetrations, flashings/ junctions, membranes, screeds, hobs, baths, showers, door jambs and screens refer to ABCB Housing provisions part 10.2.14-32.

© COPYRIGHT IN WHOLE OR IN PART

09

PROJECT NORTH

CONTRACTOR MUST VERIFY ALL DIMENSIONS AND LEVELS AT THE JOB PRIOR TO COMMENCING ANY WORK OR MAKING ANY SHOP DRAWINGS.

DO NOT SCALE DRAWINGS.
ALWAYS USE WRITTEN DIMENSIONS.

REV:	DESCRIPTION:	BY:	DATE:
E	COUNCIL RFI, LEVEL CHANGES, TASWATER RFI	IB	9/5/24
F	COUNCIL RFI	IB	22/5/24
G	COUNCIL RFI	IB	11/6/24
H	COUNCIL MEETING RFI	IB	27/6/24

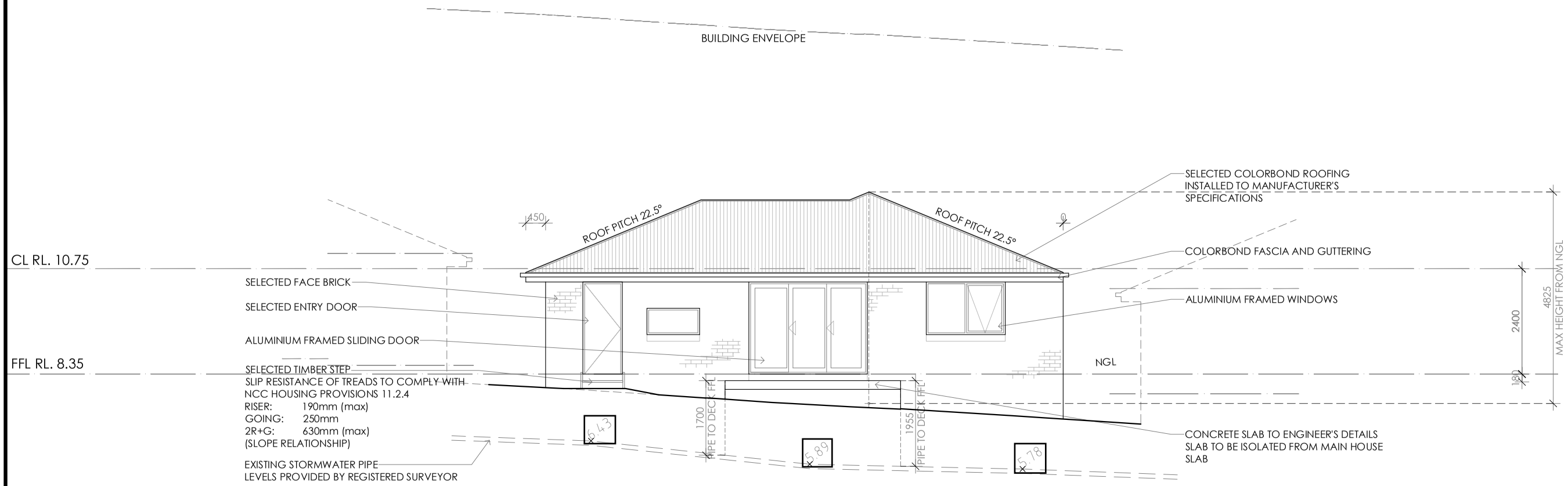
CREATIVE HOMES HOBART
CREATIVE HOMES HOBART, CNR OF ELWICK ROAD & BROOKER HIGHWAY, GLENORCHY 7010 PH: 03 6272 3000

JOB ADDRESS:
3 - 5 Magus Terrace
Old Beach

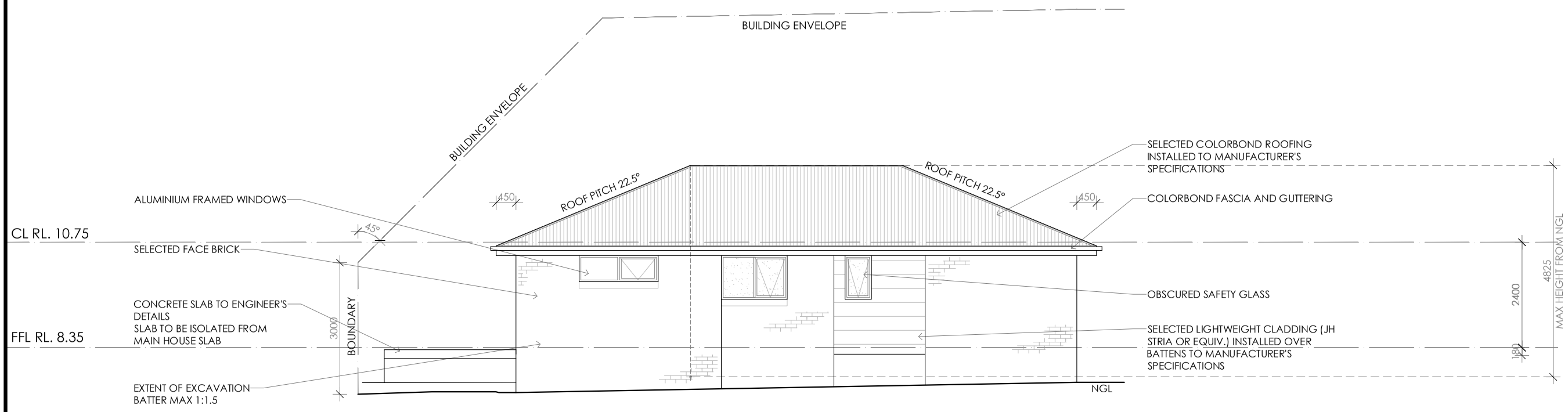
CLIENT:
Klettenberg Pty Ltd

DESIGNER:	I. Brown	ACCRED. NO.:	CC6652
DRAWN:	I. Brown	DATE:	June 2023
CHECKED:		DATE:	
SCALE:	1:100	REV:	H

SHEET: 9 of 21
DESIGN TYPE: Custom
DRAWING NO: 220338



WESTERN ELEVATION



SOUTHERN ELEVATION

UNIT 2

STAGED DEVELOPMENT
STAGE 1 - UNIT 1 & 2
STAGE 2 - UNIT 3 & 4

Framing NCC H1D6
All timber framing, fixing and bracing shall comply with AS 1684 and the requirements of NCC H1D6. Manufactured sizes must not be undersized to those specified, for all timber sizes, stress grades, spacing and wall bracing refer to Engineer's details. Tie-down details shall be in accordance with Engineer's details and comply with NCC H1D6 (4). Structural steel members shall comply with the requirements of clauses in NCC H1D6 (3). Refer to Engineer's details where provided.

Glazing NCC H1D8
All windows to be aluminium awning style, double glazed (obscured safety glass to bathrooms as shown on drawings) All glazing shall comply with the requirements of AS 2047 & AS 1288 and NCC H1D8.

Human impact safety requirements shall comply with NCC H1D8 (3) and Part 8.4 of the ABCB Housing provisions.

Note:
Builder and subcontractors to verify all dimension and levels prior to the commencement of any work. Give 24hrs minimum notice where amendments are required to design of working drawings. These drawings are to be read in conjunction with Engineer's and Surveyor's drawings and notes. Do not scale drawings. Dimensions are to take preference over scale. Building specification and Engineer's drawings shall override architectural drawings. All construction work shall be carried out in accordance with the state building regulations, local council by-laws and relevant NCC and AS codes.

Important notice for attention of Owners: the Owners attention is drawn to the fact that foundations and associated drainage in all sites requires continuing maintenance to assist footing performance. Advice for foundation maintenance is contained in the CSIRO building technology file 18 and it is the Owners responsibility to maintain the site in accordance with this document.

Energy efficiency:
Insulation must comply with AS/NZS4859.1 and be installed in accordance with ABCB housing provisions Part 13.2.2 and comply with minimum R values for climate zone 7.
Bulk insulation between external studs to be insulated with min R2.0. (Ensure batts fit within cavity without compression, making sure that there is at least 25mm gap from the reflective surface). External walls are to be clad with vapour permeable reflective foil over the outside of the timber frame. Ceiling to be insulated with R4.0 and vapour permeable sarking. Floor to be insulated with R2.0 batts where applicable. Seal exhaust fans to Ensuite, Bathroom, Laundry and Kitchen. Construction of the external walls, floor and roof for compliance with building sealing requirements shall comply with *BCA 2019 Part 3.12*

General:
All flashings, weep holes and damp proof coursing to be in accordance with NCC Housing provisions Part 5.7. Fibre cement sheet in accordance with NCC Housing provisions Part 7.5. Block construction in accordance NCC Housing provisions Part 5. Plasterboard linings to internal walls and ceilings with selected cornice. (see below for wet areas)

Wet areas: All wet areas shall comply with the requirements of ABCB Housing provisions Part 10.2. Provide waterproof plasterboard sheeting to all walls and ceilings. Provide ceramic tiles or other approved water resistant lining in accordance with Part 10.2.9 to a minimum height of 1800mm to shower walls and to a height of min 150mm behind baths, basins, sinks, troughs, washing machines and wall fixtures.

For construction of floor wastes refer to NCC ABCB Housing provisions part 10.2.12. For typical installation requirements for substrate preparation, penetrations, flashings/ junctions, membranes, screeds, hobs, baths, showers, door jambs and screens refer to ABCB Housing provisions part 10.2.14-32.

© COPYRIGHT IN WHOLE OR IN PART

10

PROJECT NORTH

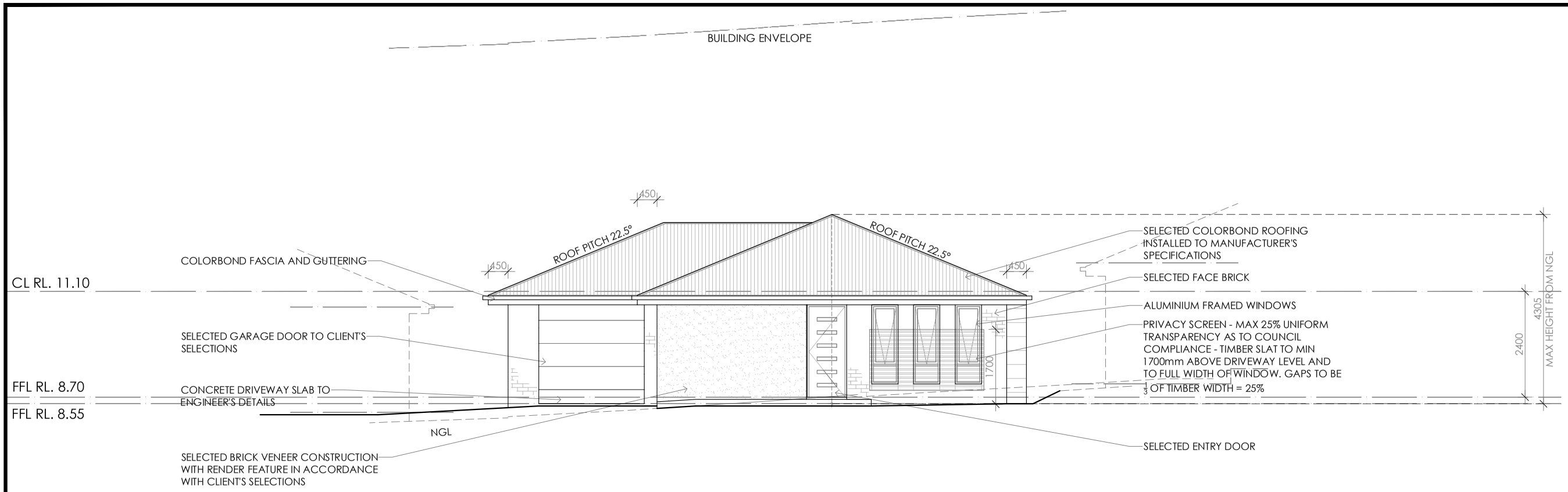
CONTRACTOR MUST VERIFY ALL DIMENSIONS AND LEVELS AT THE JOB PRIOR TO COMMENCING ANY WORK OR MAKING ANY SHOP DRAWINGS.

DO NOT SCALE DRAWINGS.
ALWAYS USE WRITTEN DIMENSIONS.

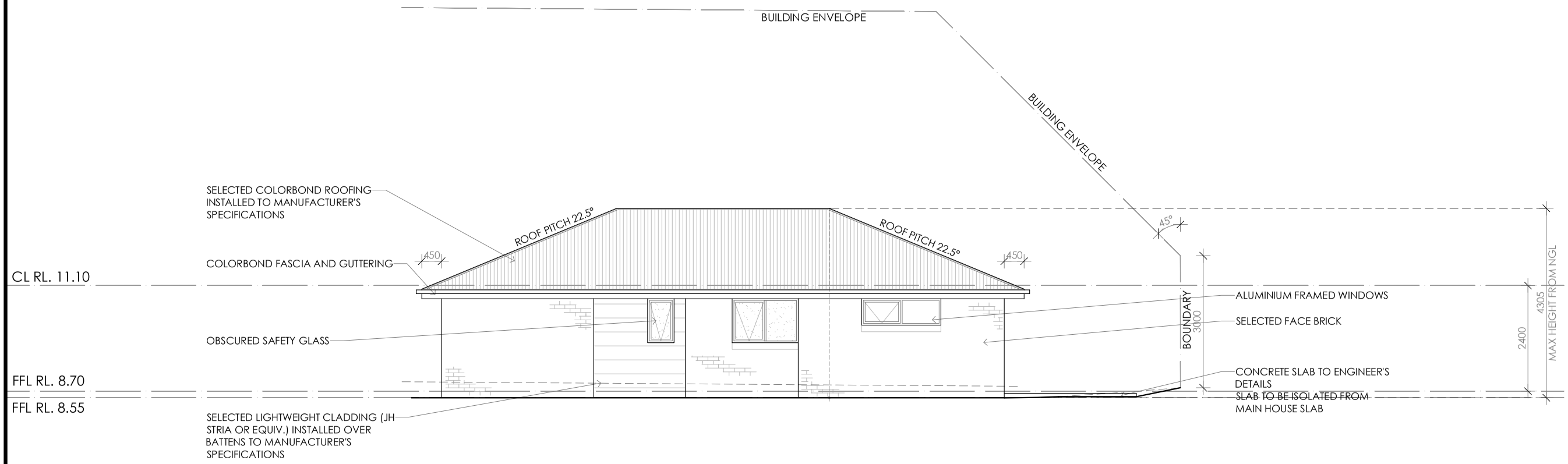
REV:	DESCRIPTION:	BY:	DATE:
E	COUNCIL RFI, LEVEL CHANGES, TASWATER RFI	IB	9/5/24
F	COUNCIL RFI	IB	22/5/24
G	COUNCIL RFI	IB	11/6/24
H	COUNCIL MEETING RFI	IB	27/6/24

CREATIVE HOMES HOBART
CREATIVE HOMES HOBART, CNR OF ELWICK ROAD & BROOKER HIGHWAY, GLENORCHY 7010 PH: 03 6272 3000

JOB ADDRESS: 3 - 5 Magus Terrace Old Beach			CLIENT: Klettenberg Pty Ltd
DESIGNER: I. Brown	ACCRED. NO.: CC6652		SHEET: 10 of 21
DRAWN: I. Brown	DATE: June 2023		DESIGN TYPE: Custom
CHECKED:	DATE:		DRAWING NO: 220338
SCALE: 1:100	REV: H		



EASTERN ELEVATION



NORTHERN ELEVATION

STAGED DEVELOPMENT
STAGE 1 - UNIT 1 & 2
STAGE 2 - UNIT 3 & 4

UNIT 3

Framing NCC H1D6
All timber framing, fixing and bracing shall comply with AS 1684 and the requirements of NCC H1D6. Manufactured sizes must not be undersized to those specified, for all timber sizes, stress grades, spacing and wall bracing refer to Engineer's details. Tie-down details shall be in accordance with Engineer's details and comply with NCC H1D6 (4). Structural steel members shall comply with the requirements of clauses in NCC H1D6 (3). Refer to Engineer's details where provided.

Glazing NCC H1D8
All windows to be aluminium awning style, double glazed (obscured safety glass to bathrooms as shown on drawings) All glazing shall comply with the requirements of AS 2047 & AS 1288 and NCC H1D8.

Human impact safety requirements shall comply with NCC H1D8 (3) and Part 8.4 of the ABCB Housing provisions.

Note:
Builder and subcontractors to verify all dimension and levels prior to the commencement of any work. Give 24hrs minimum notice where amendments are required to design of working drawings. These drawings are to be read in conjunction with Engineer's and Surveyor's drawings and notes. Do not scale drawings. Dimensions are to take preference over scale. Building specification and Engineer's drawings shall override architectural drawings. All construction work shall be carried out in accordance with the state building regulations, local council by-laws and relevant NCC and AS codes.

Important notice for attention of Owners: the Owners attention is drawn to the fact that foundations and associated drainage in all sites requires continuing maintenance to assist footing performance. Advice for foundation maintenance is contained in the CSIRO building technology file 18 and it is the Owners responsibility to maintain the site in accordance with this document.

Energy efficiency:
Insulation must comply with AS/NZS4859.1 and be installed in accordance with ABCB housing provisions Part 13.2.2 and comply with minimum R values for climate zone 7.
Bulk insulation between external studs to be insulated with min R2.0. (Ensure batts fit within cavity without compression, making sure that there is at least 25mm gap from the reflective surface). External walls are to be clad with vapour permeable reflective foil over the outside of the timber frame. Ceiling to be insulated with R4.0 and vapour permeable sarking. Floor to be insulated with R2.0 batts where applicable. Seal exhaust fans to Ensuite, Bathroom, Laundry and Kitchen. Construction of the external walls, floor and roof for compliance with building sealing requirements shall comply with *BCA 2019 Part 3.12*

General:
All flashings, weep holes and damp proof coursing to be in accordance with NCC Housing provisions Part 5.7. Fibre cement sheet in accordance with NCC Housing provisions Part 7.5. Block construction in accordance NCC Housing provisions Part 5. Plasterboard linings to internal walls and ceilings with selected cornice. (see below for wet areas)

Wet areas: All wet areas shall comply with the requirements of ABCB Housing provisions Part 10.2. Provide waterproof plasterboard sheeting to all walls and ceilings. Provide ceramic tiles or other approved water resistant lining in accordance with Part 10.2.9 to a minimum height of 1800mm to shower walls and to a height of min 150mm behind baths, basins, sinks, troughs, washing machines and wall fixtures.

For construction of floor wastes refer to NCC ABCB Housing provisions part 10.2.12. For typical installation requirements for substrate preparation, penetrations, flashings/ junctions, membranes, screeds, hobs, baths, showers, door jambs and screens refer to ABCB Housing provisions part 10.2.14-32.

© COPYRIGHT IN WHOLE OR IN PART

11

PROJECT NORTH

CONTRACTOR MUST VERIFY ALL DIMENSIONS AND LEVELS AT THE JOB PRIOR TO COMMENCING ANY WORK OR MAKING ANY SHOP DRAWINGS.

DO NOT SCALE DRAWINGS.
ALWAYS USE WRITTEN DIMENSIONS.

REV:	DESCRIPTION:	BY:	DATE:
E	COUNCIL RFI, LEVEL CHANGES, TASWATER RFI	IB	9/5/24
F	COUNCIL RFI	IB	22/5/24
G	COUNCIL RFI	IB	11/6/24
H	COUNCIL MEETING RFI	IB	27/6/24

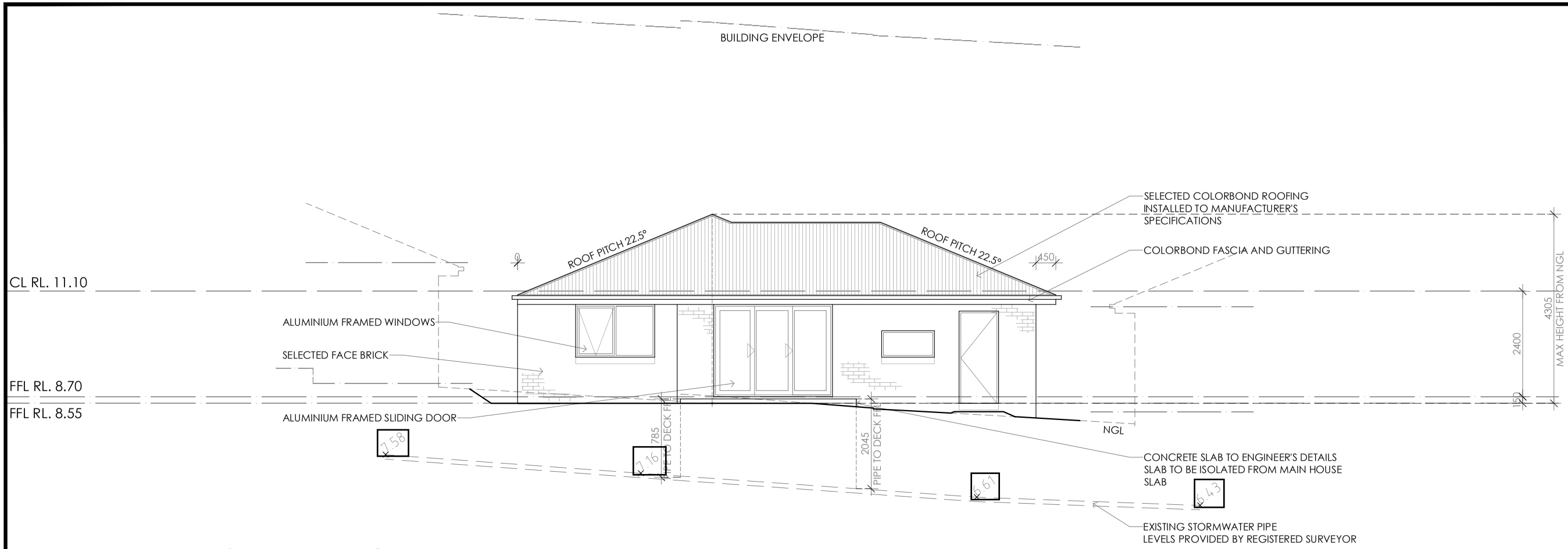
CREATIVE HOMES HOBART
CREATIVE HOMES HOBART, CNR OF ELWICK ROAD & BROOKER HIGHWAY, GLENORCHY 7010 PH: 03 6272 3000

JOB ADDRESS:
3 - 5 Magus Terrace
Old Beach

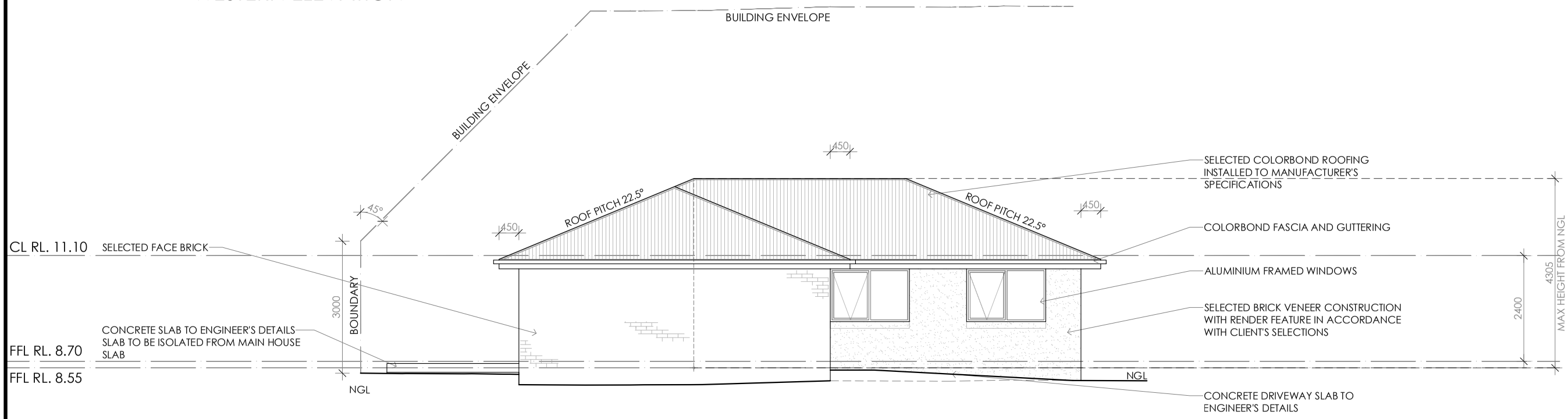
CLIENT:
Klettenberg Pty Ltd

DESIGNER:	I. Brown	ACCRED. NO.:	CC6652
DRAWN:	I. Brown	DATE:	June 2023
CHECKED:		DATE:	
SCALE:	1:100	REV:	H

SHEET: 11 of 21
DESIGN TYPE: Custom
DRAWING NO: 220338



WESTERN ELEVATION



SOUTHERN ELEVATION

STAGED DEVELOPMENT
STAGE 1 - UNIT 1 & 2
STAGE 2 - UNIT 3 & 4

UNIT 3

Framing NCC H1D6
All timber framing, fixing and bracing shall comply with AS 1684 and the requirements of NCC H1D6. Manufactured sizes must not be undersized to those specified, for all timber sizes, stress grades, spacing and wall bracing refer to Engineer's details. Tie-down details shall be in accordance with Engineer's details and comply with NCC H1D6 (4). Structural steel members shall comply with the requirements of clauses in NCC H1D6 (3). Refer to Engineer's details where provided.

Glazing NCC H1D8
All windows to be aluminium awning style, double glazed (obscured safety glass to bathrooms as shown on drawings) All glazing shall comply with the requirements of AS 2047 & AS 1288 and NCC H1D8.

Human impact safety requirements shall comply with NCC H1D8 (3) and Part 8.4 of the ABCB Housing provisions.

Note:
Builder and subcontractors to verify all dimension and levels prior to the commencement of any work. Give 24hrs minimum notice where amendments are required to design of working drawings. These drawings are to be read in conjunction with Engineer's and Surveyor's drawings and notes. Do not scale drawings. Dimensions are to take preference over scale. Building specification and Engineer's drawings shall override architectural drawings. All construction work shall be carried out in accordance with the state building regulations, local council by-laws and relevant NCC and AS codes.

Important notice for attention of Owners: the Owners attention is drawn to the fact that foundations and associated drainage in all sites requires continuing maintenance to assist footing performance. Advice for foundation maintenance is contained in the CSIRO building technology file 18 and it is the Owners responsibility to maintain the site in accordance with this document.

Energy efficiency:
Insulation must comply with AS/NZS4859.1 and be installed in accordance with ABCB housing provisions Part 13.2.2 and comply with minimum R values for climate zone 7.
Bulk insulation between external studs to be insulated with min R2.0. (Ensure batts fit within cavity without compression, making sure that there is at least 25mm gap from the reflective surface). External walls are to be clad with vapour permeable reflective foil over the outside of the timber frame. Ceiling to be insulated with R4.0 and vapour permeable sarking. Floor to be insulated with R2.0 batts where applicable. Seal exhaust fans to Ensuite, Bathroom, Laundry and Kitchen. Construction of the external walls, floor and roof for compliance with building sealing requirements shall comply with *BCA 2019 Part 3.12*

General:
All flashings, weep holes and damp proof coursing to be in accordance with NCC Housing provisions Part 5.7. Fibre cement sheet in accordance with NCC Housing provisions Part 7.5. Block construction in accordance NCC Housing provisions Part 5. Plasterboard linings to internal walls and ceilings with selected cornice. (see below for wet areas)

Wet areas: All wet areas shall comply with the requirements of ABCB Housing provisions Part 10.2. Provide waterproof plasterboard sheeting to all walls and ceilings. Provide ceramic tiles or other approved water resistant lining in accordance with Part 10.2.9 to a minimum height of 1800mm to shower walls and to a height of min 150mm behind baths, basins, sinks, troughs, washing machines and wall fixtures.

For construction of floor wastes refer to NCC ABCB Housing provisions part 10.2.12. For typical installation requirements for substrate preparation, penetrations, flashings/ junctions, membranes, screeds, hobs, baths, showers, door jambs and screens refer to ABCB Housing provisions part 10.2.14-32.

© COPYRIGHT IN WHOLE OR IN PART

12

PROJECT NORTH

CONTRACTOR MUST VERIFY ALL DIMENSIONS AND LEVELS AT THE JOB PRIOR TO COMMENCING ANY WORK OR MAKING ANY SHOP DRAWINGS.

DO NOT SCALE DRAWINGS.
ALWAYS USE WRITTEN DIMENSIONS.

REV:	DESCRIPTION:	BY:	DATE:
E	COUNCIL RFI, LEVEL CHANGES, TASWATER RFI	IB	9/5/24
F	COUNCIL RFI	IB	22/5/24
G	COUNCIL RFI	IB	11/6/24
H	COUNCIL MEETING RFI	IB	27/6/24

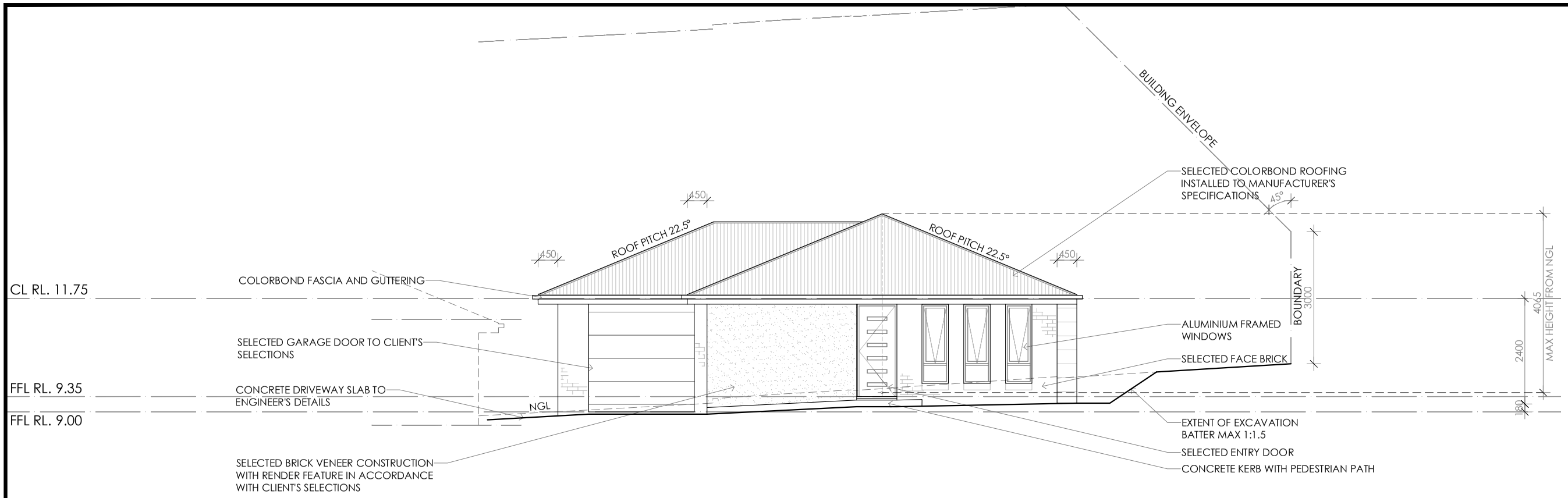
CREATIVE HOMES HOBART
CREATIVE HOMES HOBART, CNR OF ELWICK ROAD & BROOKER HIGHWAY, GLENORCHY 7010 PH: 03 6272 3000

JOB ADDRESS:
3 - 5 Magus Terrace
Old Beach

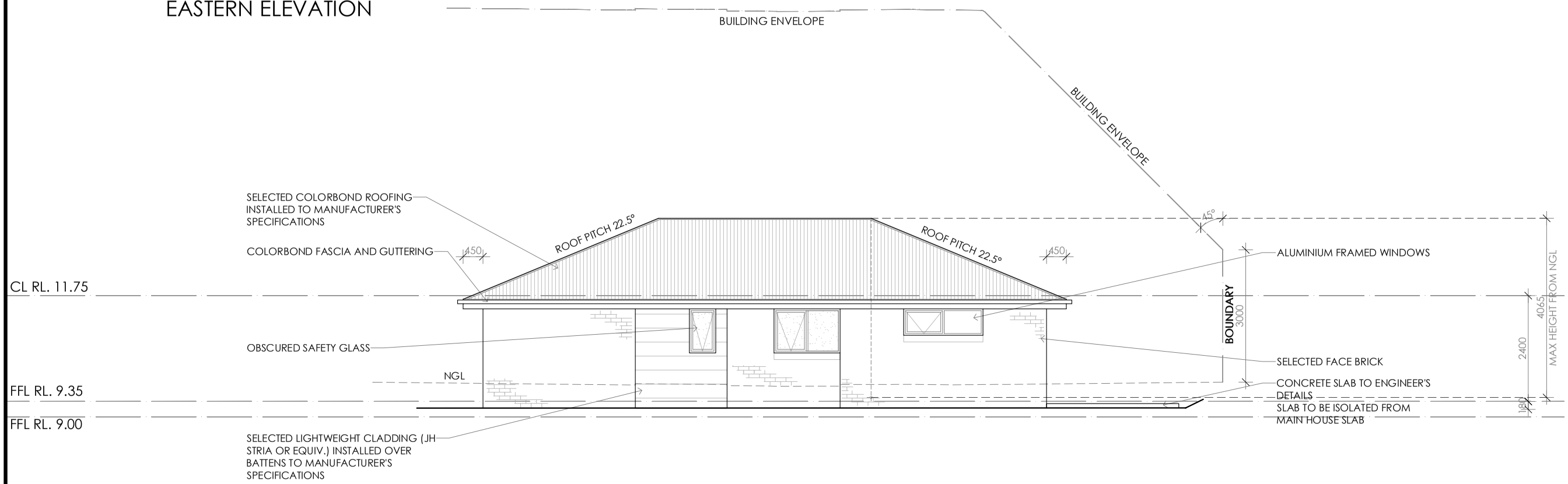
CLIENT:
Klettenberg Pty Ltd

DESIGNER:	I. Brown	ACCRED. NO.:	CC6652
DRAWN:	I. Brown	DATE:	June 2023
CHECKED:		DATE:	
SCALE:	1:100	REV:	H

SHEET:	12 of 21
DESIGN TYPE:	Custom
DRAWING NO:	220338



EASTERN ELEVATION



NORTHERN ELEVATION

Framing NCC H1D6
All timber framing, fixing and bracing shall comply with AS 1684 and the requirements of NCC H1D6. Manufactured sizes must not be undersized to those specified, for all timber sizes, stress grades, spacing and wall bracing refer to Engineer's details. Tie-down details shall be in accordance with Engineer's details and comply with NCC H1D6 (4). Structural steel members shall comply with the requirements of clauses in NCC H1D6 (3). Refer to Engineer's details where provided.

Glazing NCC H1D8
All windows to be aluminium awning style, double glazed (obscured safety glass to bathrooms as shown on drawings) All glazing shall comply with the requirements of AS 2047 & AS 1288 and NCC H1D8.

Human impact safety requirements shall comply with NCC H1D8 (3) and Part 8.4 of the ABCB Housing provisions.

Note:
Builder and subcontractors to verify all dimension and levels prior to the commencement of any work. Give 24hrs minimum notice where amendments are required to design of working drawings. These drawings are to be read in conjunction with Engineer's and Surveyor's drawings and notes. Do not scale drawings. Dimensions are to take prefererence over scale. Building specification and Engineer's drawings shall override architectural drawings. All construction work shall be carried out in accordance with the state building regulations, local council by-laws and relevant NCC and AS codes.

Important notice for attention of Owners: the Owners attention is drawn to the fact that foundations and associated drainage in all sites requires continuing maintenance to assist footing performance. Advice for foundation maintenance is contained in the CSIRO building technology file 18 and it is the Owners responsibility to maintain the site in accordance with this document.

Energy efficiency:
Insulation must comply with AS/NZS4859.1 and be installed in accordance with ABCB housing provisions Part 13.2.2 and comply with minimum R values for climate zone 7.
Bulk insulation between external studs to be insulated with min R2.0. (Ensure batts fit within cavity without compression, making sure that there is at least 25mm gap from the reflective surface). External walls are to be clad with vapour permeable reflective foil over the outside of the timber frame. Ceiling to be insulated with R4.0 and vapour permeable sarking. Floor to be insulated with R2.0 batts where applicable. Seal exhaust fans to Ensuite, Bathroom, Laundry and Kitchen. Construction of the external walls, floor and roof for compliance with building sealing requirements shall comply with *BCA 2019 Part 3.12*

General:
All flashings, weep holes and damp proof coursing to be in accordance with NCC Housing provisions Part 5.7. Fibre cement sheet in accordance with NCC Housing provisions Part 7.5. Block construction in accordance NCC Housing provisions Part 5. Plasterboard linings to internal walls and ceilings with selected cornice. (see below for wet areas)

Wet areas: All wet areas shall comply with the requirements of ABCB Housing provisions Part 10.2. Provide waterproof plasterboard sheeting to all walls and ceilings. Provide ceramic tiles or other approved water resistant lining in accordance with Part 10.2.9 to a minimum height of 1800mm to shower walls and to a height of min 150mm behind baths, basins, sinks, troughs, washing machines and wall fixtures.

For construction of floor wastes refer to NCC ABCB Housing provisions part 10.2.12. For typical installation requirements for substrate preparation, penetrations, flashings/ junctions, membranes, screeds, hobs, baths, showers, door jambs and screens refer to ABCB Housing provisions part 10.2.14-32.

STAGED DEVELOPMENT
STAGE 1 - UNIT 1 & 2
STAGE 2 - UNIT 3 & 4

UNIT 4

© COPYRIGHT IN WHOLE OR IN PART

13

PROJECT NORTH

CONTRACTOR MUST VERIFY ALL DIMENSIONS AND LEVELS AT THE JOB PRIOR TO COMMENCING ANY WORK OR MAKING ANY SHOP DRAWINGS.

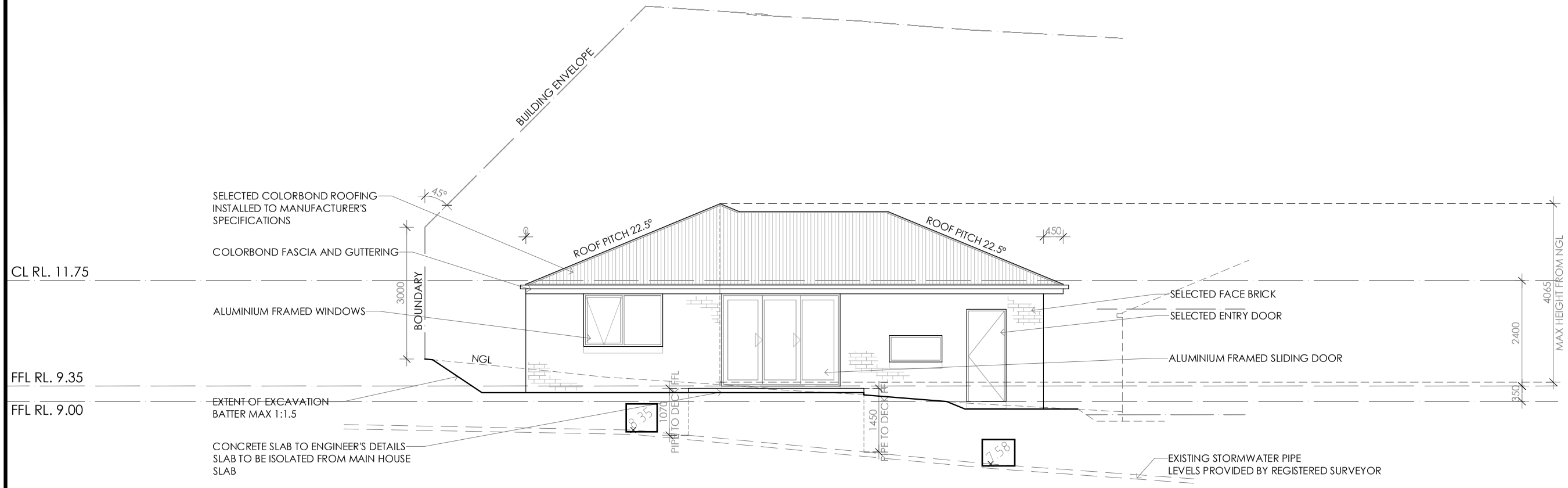
DO NOT SCALE DRAWINGS.
ALWAYS USE WRITTEN DIMENSIONS.

REV:	DESCRIPTION:	BY:	DATE:
E	COUNCIL RFI, LEVEL CHANGES, TASWATER RFI	IB	9/5/24
F	COUNCIL RFI	IB	22/5/24
G	COUNCIL RFI	IB	11/6/24
H	COUNCIL MEETING RFI	IB	27/6/24

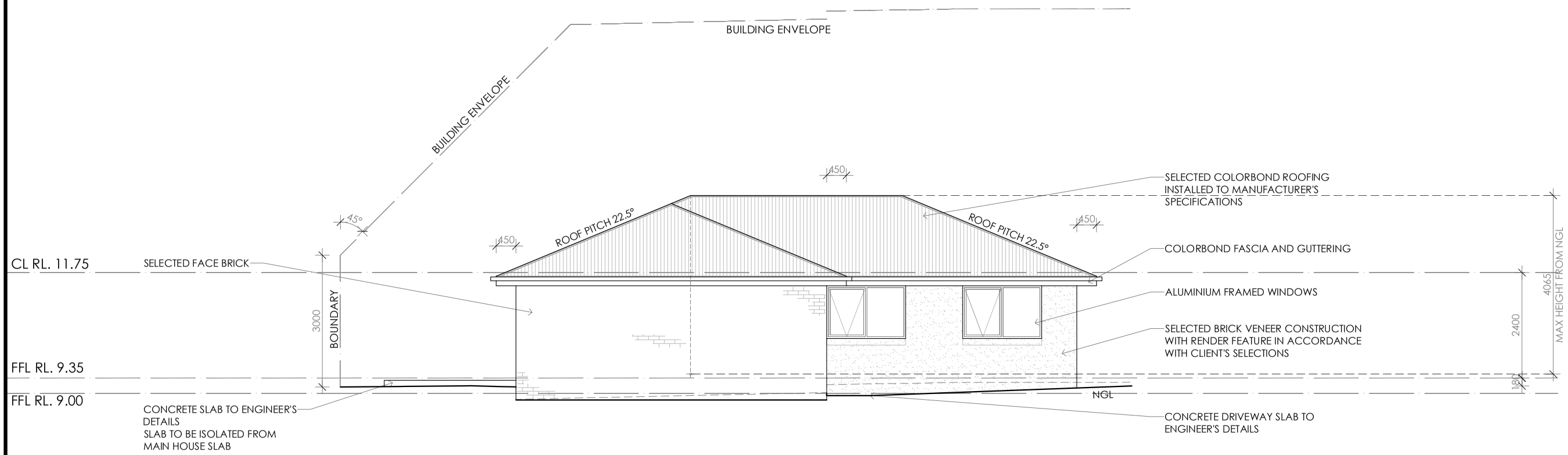
CREATIVE HOMES HOBART

CREATIVE HOMES HOBART, CNR OF ELWICK ROAD & BROOKER HIGHWAY, GLENORCHY 7010 PH: 03 6272 3000

JOB ADDRESS: 3 - 5 Magus Terrace Old Beach			CLIENT: Klettenberg Pty Ltd
DESIGNER: I. Brown	ACCRED. NO.: CC6652		SHEET: 13 of 21
DRAWN: I. Brown	DATE: June 2023		DESIGN TYPE: Custom
CHECKED:	DATE:		DRAWING NO: 220338
SCALE: 1:100	REV: H		



WESTERN ELEVATION



SOUTHERN ELEVATION

Framing NCC H1D6
All timber framing, fixing and bracing shall comply with AS 1684 and the requirements of NCC H1D6. Manufactured sizes must not be undersized to those specified, for all timber sizes, stress grades, spacing and wall bracing refer to Engineer's details. Tie-down details shall be in accordance with Engineer's details and comply with NCC H1D6 (4). Structural steel members shall comply with the requirements of clauses in NCC H1D6 (3). Refer to Engineer's details where provided.

Glazing NCC H1D8
All windows to be aluminium awning style, double glazed (obscured safety glass to bathrooms as shown on drawings) All glazing shall comply with the requirements of AS 2047 & AS 1288 and NCC H1D8.

Human impact safety requirements shall comply with NCC H1D8 (3) and Part 8.4 of the ABCB Housing provisions.

Note:
Builder and subcontractors to verify all dimension and levels prior to the commencement of any work. Give 24hrs minimum notice where amendments are required to design of working drawings. These drawings are to be read in conjunction with Engineer's and Surveyor's drawings and notes. Do not scale drawings. Dimensions are to take preference over scale. Building specification and Engineer's drawings shall override architectural drawings. All construction work shall be carried out in accordance with the state building regulations, local council by-laws and relevant NCC and AS codes.

Important notice for attention of Owners: the Owners attention is drawn to the fact that foundations and associated drainage in all sites requires continuing maintenance to assist footing performance. Advice for foundation maintenance is contained in the CSIRO building technology file 18 and it is the Owners responsibility to maintain the site in accordance with this document.

Energy efficiency:
Insulation must comply with AS/NZS4859.1 and be installed in accordance with ABCB housing provisions Part 13.2.2 and comply with minimum R values for climate zone 7.
Bulk insulation between external studs to be insulated with min R2.0. (Ensure batts fit within cavity without compression, making sure that there is at least 25mm gap from the reflective surface). External walls are to be clad with vapour permeable reflective foil over the outside of the timber frame. Ceiling to be insulated with R4.0 and vapour permeable sarking. Floor to be insulated with R2.0 batts where applicable. Seal exhaust fans to Ensuite, Bathroom, Laundry and Kitchen. Construction of the external walls, floor and roof for compliance with building sealing requirements shall comply with *BCA 2019 Part 3.12*

General:
All flashings, weep holes and damp proof coursing to be in accordance with NCC Housing provisions Part 5.7. Fibre cement sheet in accordance with NCC Housing provisions Part 7.5. Block construction in accordance NCC Housing provisions Part 5. Plasterboard linings to internal walls and ceilings with selected cornice. (see below for wet areas)

Wet areas: All wet areas shall comply with the requirements of ABCB Housing provisions Part 10.2. Provide waterproof plasterboard sheeting to all walls and ceilings. Provide ceramic tiles or other approved water resistant lining in accordance with Part 10.2.9 to a minimum height of 1800mm to shower walls and to a height of min 150mm behind baths, basins, sinks, troughs, washing machines and wall fixtures.

For construction of floor wastes refer to NCC ABCB Housing provisions part 10.2.12. For typical installation requirements for substrate preparation, penetrations, flashings/ junctions, membranes, screeds, hobs, baths, showers, door jambs and screens refer to ABCB Housing provisions part 10.2.14-32.

STAGED DEVELOPMENT
STAGE 1 - UNIT 1 & 2
STAGE 2 - UNIT 3 & 4

UNIT 4

© COPYRIGHT IN WHOLE OR IN PART

14

PROJECT NORTH

CONTRACTOR MUST VERIFY ALL DIMENSIONS AND LEVELS AT THE JOB PRIOR TO COMMENCING ANY WORK OR MAKING ANY SHOP DRAWINGS.

DO NOT SCALE DRAWINGS.
ALWAYS USE WRITTEN DIMENSIONS.

REV:	DESCRIPTION:	BY:	DATE:
E	COUNCIL RFI, LEVEL CHANGES, TASWATER RFI	IB	9/5/24
F	COUNCIL RFI	IB	22/5/24
G	COUNCIL RFI	IB	11/6/24
H	COUNCIL MEETING RFI	IB	27/6/24

CREATIVE HOMES HOBART

CREATIVE HOMES HOBART, CNR OF ELWICK ROAD & BROOKER HIGHWAY, GLENORCHY 7010 PH: 03 6272 3000

JOB ADDRESS: 3 - 5 Magus Terrace Old Beach			CLIENT: Klettenberg Pty Ltd
DESIGNER: I. Brown	ACCRED. NO.: CC6652		SHEET: 14 of 21
DRAWN: I. Brown	DATE: June 2023		DESIGN TYPE: Custom
CHECKED:	DATE:		DRAWING NO: 220338
SCALE: 1:100	REV: H		

WINDOW SCHEDULE - TYPICAL - UNIT 1 & 3

fg FIXED GLAZING

Framing NCC H1D6
All timber framing, fixing and bracing shall comply with AS 1684 and the requirements of NCC H1D6. Manufactured sizes must not be undersized to those specified, for all timber sizes, stress grades, spacing and wall bracing refer to Engineer's details. Tie-down details shall be in accordance with Engineer's details and comply with NCC H1D6 (4). Structural steel members shall comply with the requirements of clauses in NCC H1D6 (3). Refer to Engineer's details where provided.

Glazing NCC H1D8
All windows to be aluminium awning style, double glazed (obscured safety glass to bathrooms as shown on drawings) All glazing shall comply with the requirements of AS 2047 & AS 1288 and NCC H1D8.

Human impact safety requirements shall comply with NCC H1D8 (3) and Part 8.4 of the ABCB Housing provisions.

Note:
Builder and subcontractors to verify all dimension and levels prior to the commencement of any work. Give 24hrs minimum notice where amendments are required to design of working drawings. These drawings are to be read in conjunction with Engineer's and Surveyor's drawings and notes. Do not scale drawings. Dimensions are to take preference over scale. Building specification and Engineer's drawings shall override architectural drawings. All construction work shall be carried out in accordance with the state building regulations, local council by-laws and relevant NCC and AS codes.

Important notice for attention of Owners: the Owners attention is drawn to the fact that foundations and associated drainage in all sites requires continuing maintenance to assist footing performance. Advice for foundation maintenance is contained in the CSIRO building technology file 18 and it is the Owners responsibility to maintain the site in accordance with this document.

Energy efficiency:
Insulation must comply with AS/NZS4859.1 and be installed in accordance with ABCB housing provisions Part 13.2.2 and comply with minimum R values for climate zone 7.
Bulk insulation between external studs to be insulated with min R2.0. (Ensure batts fit within cavity without compression, making sure that there is at least 25mm gap from the reflective surface). External walls are to be clad with vapour permeable reflective foil over the outside of the timber frame. Ceiling to be insulated with R4.0 and vapour permeable sarking. Floor to be insulated with R2.0 batts where applicable. Seal exhaust fans to Ensuite, Bathroom, Laundry and Kitchen. Construction of the external walls, floor and roof for compliance with building sealing requirements shall comply with *BCA 2019 Part 3.12*

General:
All flashings, weep holes and damp proof coursing to be in accordance with NCC Housing provisions Part 5.7. Fibre cement sheet in accordance with NCC Housing provisions Part 7.5. Block construction in accordance NCC Housing provisions Part 5. Plasterboard linings to internal walls and ceilings with selected cornice. (see below for wet areas)

Wet areas: All wet areas shall comply with the requirements of ABCB Housing provisions Part 10.2. Provide waterproof plasterboard sheeting to all walls and ceilings. Provide ceramic tiles or other approved water resistant lining in accordance with Part 10.2.9 to a minimum height of 1800mm to shower walls and to a height of min 150mm behind baths, basins, sinks, troughs, washing machines and wall fixtures.

For construction of floor wastes refer to NCC ABCB Housing provisions part 10.2.12. For typical installation requirements for substrate preparation, penetrations, flashings/ junctions, membranes, screeds, hobs, baths, showers, door jambs and screens refer to ABCB Housing provisions part 10.2.14-32.

© COPYRIGHT IN WHOLE OR IN PART

PROJECT NORTH

CONTRACTOR MUST VERIFY ALL DIMENSIONS AND LEVELS AT THE JOB PRIOR TO COMMENCING ANY WORK OR MAKING ANY SHOP DRAWINGS.

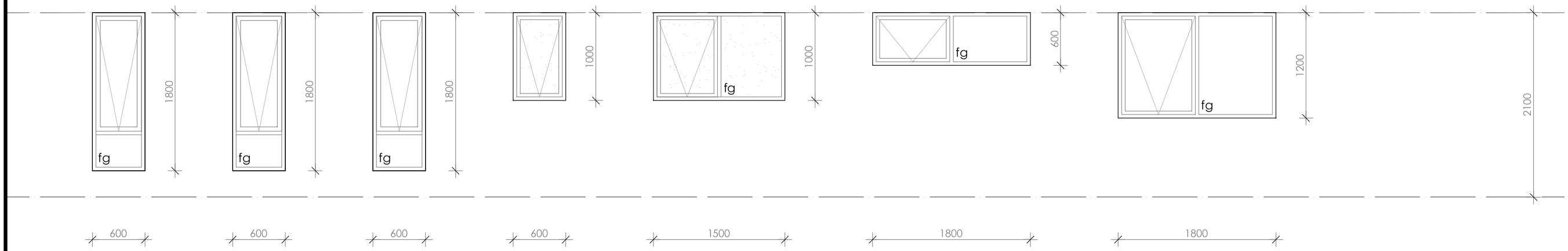
DO NOT SCALE DRAWINGS. ALWAYS USE WRITTEN DIMENSIONS.

REV:	DESCRIPTION:	BY:	DATE:
E	COUNCIL RFI, LEVEL CHANGES, TASWATER RFI	IB	9/5/24
F	COUNCIL RFI	IB	22/5/24
G	COUNCIL RFI	IB	11/6/24
H	COUNCIL MEETING RFI	IB	27/6/24

CREATIVE HOMES HOBART

CREATIVE HOMES HOBART, CNR OF ELWICK ROAD & BROOKER HIGHWAY, GLENORCHY 7010 PH: 03 6272 3000

JOB ADDRESS: 3 - 5 Magus Terrace Old Beach			CLIENT: Klettenberg Pty Ltd
DESIGNER: I. Brown	ACCRED. NO.: CC6652		SHEET: 16 of 21
DRAWN: I. Brown	DATE: June 2023		DESIGN TYPE: Custom
CHECKED:	DATE:		DRAWING NO: 220338
SCALE: 1:50	REV: H		



W1 AAW1806

W2 AAW1806

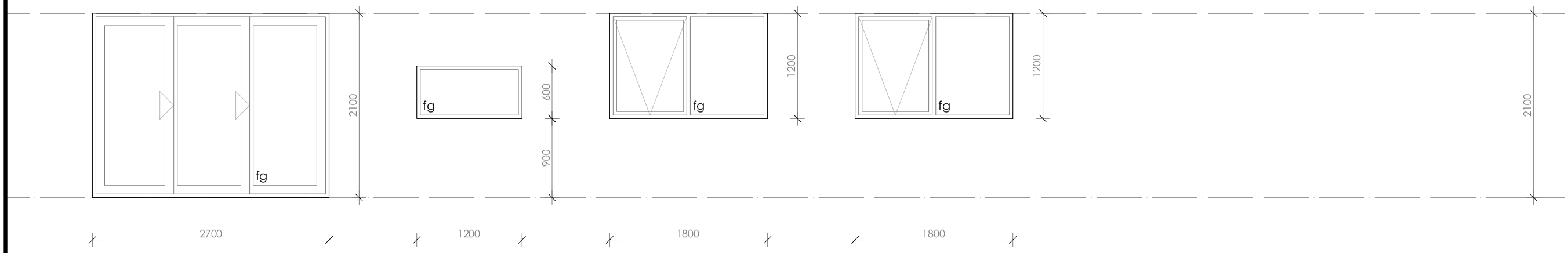
W3 AAW1806

W4 AAW1006
OBSCURED SAFETY GLASS

W5 AAW1015
OBSCURED SAFETY GLASS

W6 AAW0618

W7 AAW1218



W8 ASD2127-3

W9 AAW0612

W10 AAW1218

W11 AAW1218

WINDOW SCHEDULE - TYPICAL - UNIT 2 & 4

fg FIXED GLAZING

Framing NCC H1D6
All timber framing, fixing and bracing shall comply with AS 1684 and the requirements of NCC H1D6. Manufactured sizes must not be undersized to those specified, for all timber sizes, stress grades, spacing and wall bracing refer to Engineer's details. Tie-down details shall be in accordance with Engineer's details and comply with NCC H1D6 (4). Structural steel members shall comply with the requirements of clauses in NCC H1D6 (3). Refer to Engineer's details where provided.

Glazing NCC H1D8
All windows to be aluminium awning style, double glazed (obscured safety glass to bathrooms as shown on drawings) All glazing shall comply with the requirements of AS 2047 & AS 1288 and NCC H1D8.

Human impact safety requirements shall comply with NCC H1D8 (3) and Part 8.4 of the ABCB Housing provisions.

Note:
Builder and subcontractors to verify all dimension and levels prior to the commencement of any work. Give 24hrs minimum notice where amendments are required to design of working drawings. These drawings are to be read in conjunction with Engineer's and Surveyor's drawings and notes. Do not scale drawings. Dimensions are to take preference over scale. Building specification and Engineer's drawings shall override architectural drawings. All construction work shall be carried out in accordance with the state building regulations, local council by-laws and relevant NCC and AS codes.

Important notice for attention of Owners: the Owners attention is drawn to the fact that foundations and associated drainage in all sites requires continuing maintenance to assist footing performance. Advice for foundation maintenance is contained in the CSIRO building technology file 18 and it is the Owners responsibility to maintain the site in accordance with this document.

Energy efficiency:
Insulation must comply with AS/NZS4859.1 and be installed in accordance with ABCB housing provisions Part 13.2.2 and comply with minimum R values for climate zone 7.
Bulk insulation between external studs to be insulated with min R2.0. (Ensure batts fit within cavity without compression, making sure that there is at least 25mm gap from the reflective surface). External walls are to be clad with vapour permeable reflective foil over the outside of the timber frame. Ceiling to be insulated with R4.0 and vapour permeable sarking. Floor to be insulated with R2.0 batts where applicable. Seal exhaust fans to Ensuite, Bathroom, Laundry and Kitchen. Construction of the external walls, floor and roof for compliance with building sealing requirements shall comply with *BCA 2019 Part 3.12*

General:
All flashings, weep holes and damp proof coursing to be in accordance with NCC Housing provisions Part 5.7. Fibre cement sheet in accordance with NCC Housing provisions Part 7.5. Block construction in accordance NCC Housing provisions Part 5. Plasterboard linings to internal walls and ceilings with selected cornice. (see below for wet areas)

Wet areas: All wet areas shall comply with the requirements of ABCB Housing provisions Part 10.2. Provide waterproof plasterboard sheeting to all walls and ceilings. Provide ceramic tiles or other approved water resistant lining in accordance with Part 10.2.9 to a minimum height of 1800mm to shower walls and to a height of min 150mm behind baths, basins, sinks, troughs, washing machines and wall fixtures.

For construction of floor wastes refer to NCC ABCB Housing provisions part 10.2.12. For typical installation requirements for substrate preparation, penetrations, flashings/ junctions, membranes, screeds, hobs, baths, showers, door jambs and screens refer to ABCB Housing provisions part 10.2.14-32.

© COPYRIGHT IN WHOLE OR IN PART

17

PROJECT NORTH

CONTRACTOR MUST VERIFY ALL DIMENSIONS AND LEVELS AT THE JOB PRIOR TO COMMENCING ANY WORK OR MAKING ANY SHOP DRAWINGS.

DO NOT SCALE DRAWINGS.
ALWAYS USE WRITTEN DIMENSIONS.

REV:	DESCRIPTION:	BY:	DATE:
E	COUNCIL RFI, LEVEL CHANGES, TASWATER RFI	IB	9/5/24
F	COUNCIL RFI	IB	22/5/24
G	COUNCIL RFI	IB	11/6/24
H	COUNCIL MEETING RFI	IB	27/6/24

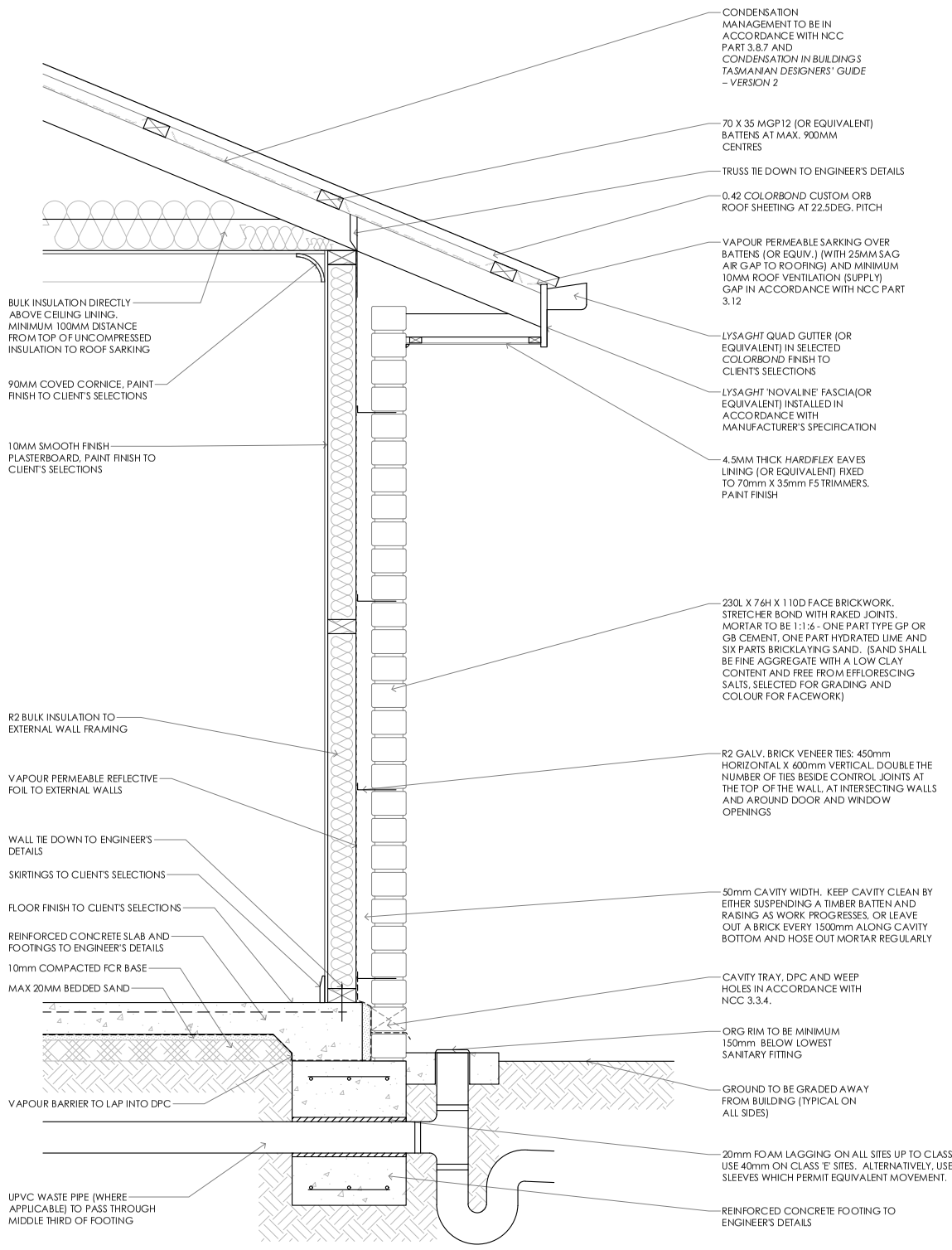
CREATIVE HOMES HOBART
CREATIVE HOMES HOBART, CNR OF ELWICK ROAD & BROOKER HIGHWAY, GLENORCHY 7010 PH: 03 6272 3000

JOB ADDRESS:
3 - 5 Magus Terrace
Old Beach

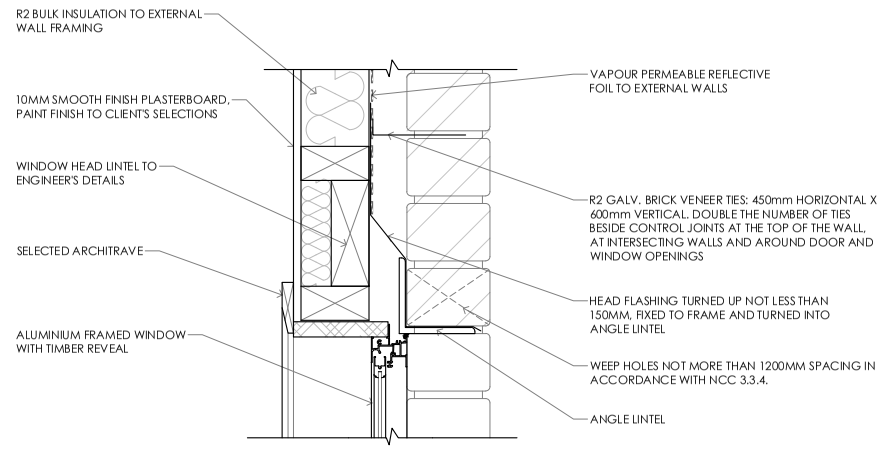
CLIENT:
Klettenberg Pty Ltd

DESIGNER:	I. Brown	ACCRED. NO.:	CC6652
DRAWN:	I. Brown	DATE:	June 2023
CHECKED:		DATE:	
SCALE:	1:50	REV:	H

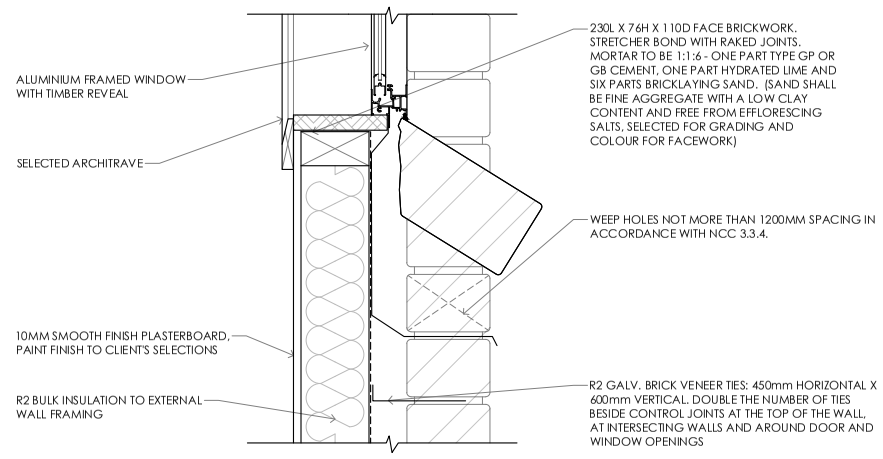
SHEET:	17 of 21
DESIGN TYPE:	Custom
DRAWING NO:	220338



FLOOR, WALL & ROOF DETAIL SCALE 1:20



WINDOW HEAD DETAIL SCALE 1:10



WINDOW SILL DETAIL SCALE 1:10

TYPICAL SECTION DETAILS

© COPYRIGHT IN WHOLE OR IN PART

PROJECT NORTH

CONTRACTOR MUST VERIFY ALL DIMENSIONS AND LEVELS AT THE JOB PRIOR TO COMMENCING ANY WORK OR MAKING ANY SHOP DRAWINGS.

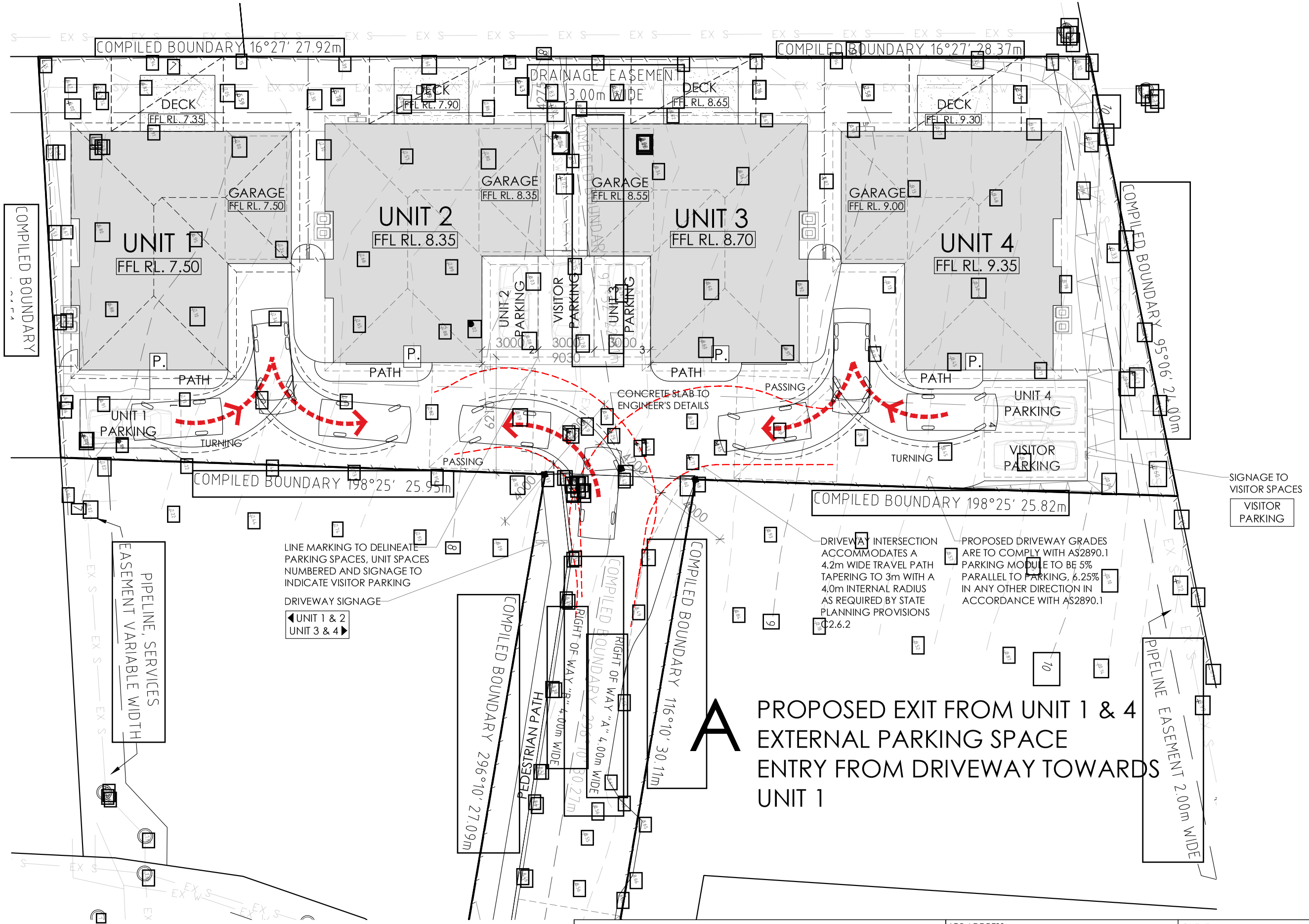
DO NOT SCALE DRAWINGS. ALWAYS USE WRITTEN DIMENSIONS.

REV:	DESCRIPTION:	BY:	DATE:
E	COUNCIL RFI, LEVEL CHANGES, TASWATER RFI	IB	9/5/24
F	COUNCIL RFI	IB	22/5/24
G	COUNCIL RFI	IB	11/6/24
H	COUNCIL MEETING RFI	IB	27/6/24

CREATIVE HOMES HOBART

CREATIVE HOMES HOBART, CNR OF ELWICK ROAD & BROOKER HIGHWAY, GLENORCHY 7010 PH: 03 6272 3000

JOB ADDRESS: 3 - 5 Magus Terrace Old Beach			CLIENT: Klettenberg Pty Ltd
DESIGNER: I. Brown	ACCRED. NO.: CC6652		SHEET: 18 of 21
DRAWN: I. Brown	DATE: June 2023		DESIGN TYPE: Custom
CHECKED:	DATE:		DRAWING NO: 220338
SCALE: AS SHOWN	REV: H		



© COPYRIGHT IN WHOLE OR IN PART

19

PROJECT NORTH

CONTRACTOR MUST VERIFY ALL DIMENSIONS AND LEVELS AT THE JOB PRIOR TO COMMENCING ANY WORK OR MAKING ANY SHOP DRAWINGS.

DO NOT SCALE DRAWINGS. ALWAYS USE WRITTEN DIMENSIONS.

REV:	DESCRIPTION:	BY:	DATE:
E	COUNCIL RFI, LEVEL CHANGES, TASWATER RFI	IB	9/5/24
F	COUNCIL RFI	IB	22/5/24
G	COUNCIL RFI	IB	11/6/24
H	COUNCIL MEETING RFI	IB	27/6/24

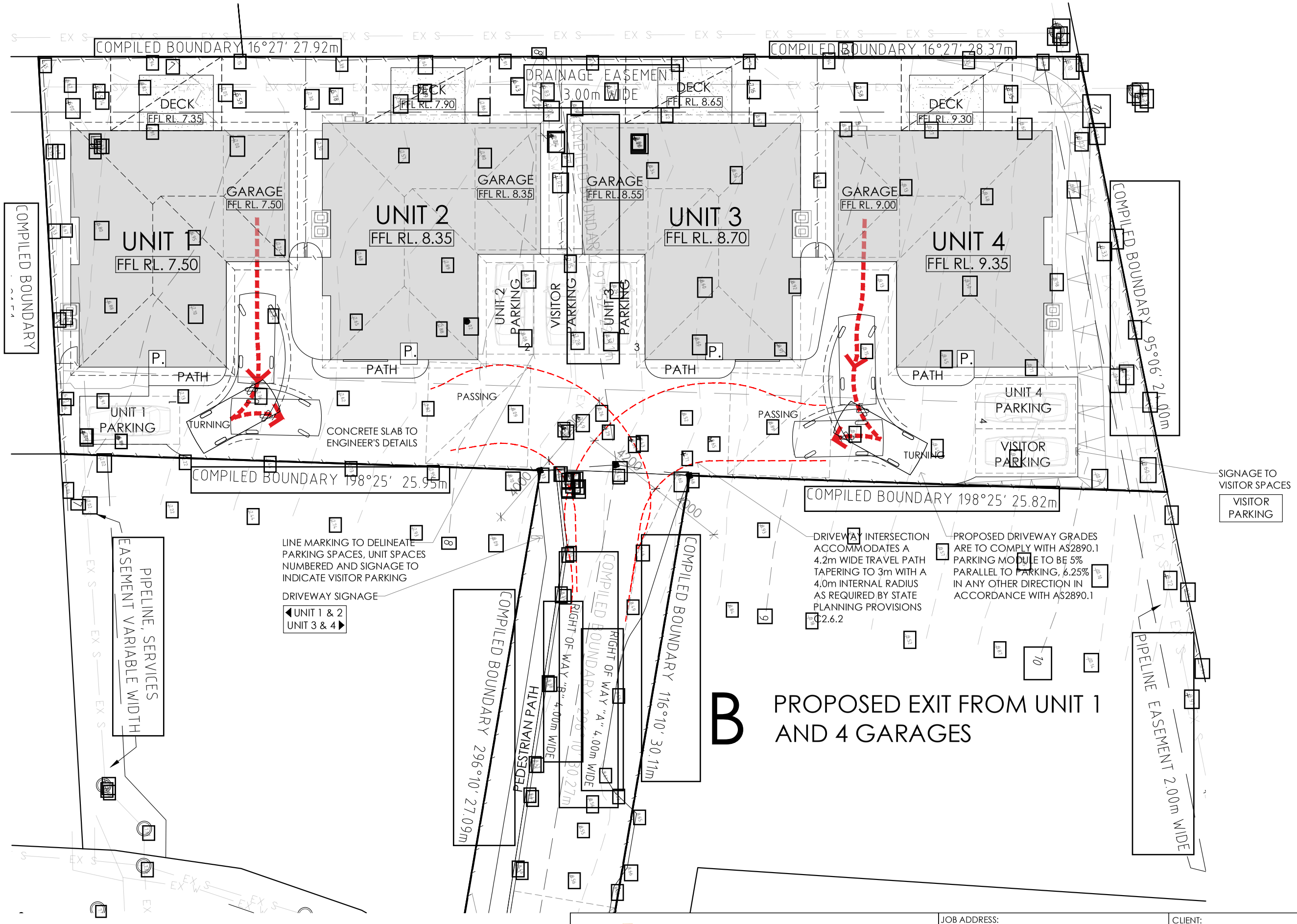
CREATIVE HOMES HOBART

CREATIVE HOMES HOBART, CNR OF ELWICK ROAD & BROOKER HIGHWAY, GLENORCHY 7010 PH: 03 6272 3000

JOB ADDRESS:
3 - 5 Magus Terrace
Old Beach

CLIENT:
Klettenberg Pty Ltd

DESIGNER: I. Brown	ACCRED. NO.: CC6652	SHEET:	19 of 21
DRAWN: I. Brown	DATE: June 2023	DESIGN TYPE:	Custom
CHECKED:	DATE:	DRAWING NO:	220338
SCALE: 1:200	REV: H		



© COPYRIGHT IN WHOLE OR IN PART

20

PROJECT NORTH

CONTRACTOR MUST VERIFY ALL DIMENSIONS AND LEVELS AT THE JOB PRIOR TO COMMENCING ANY WORK OR MAKING ANY SHOP DRAWINGS.

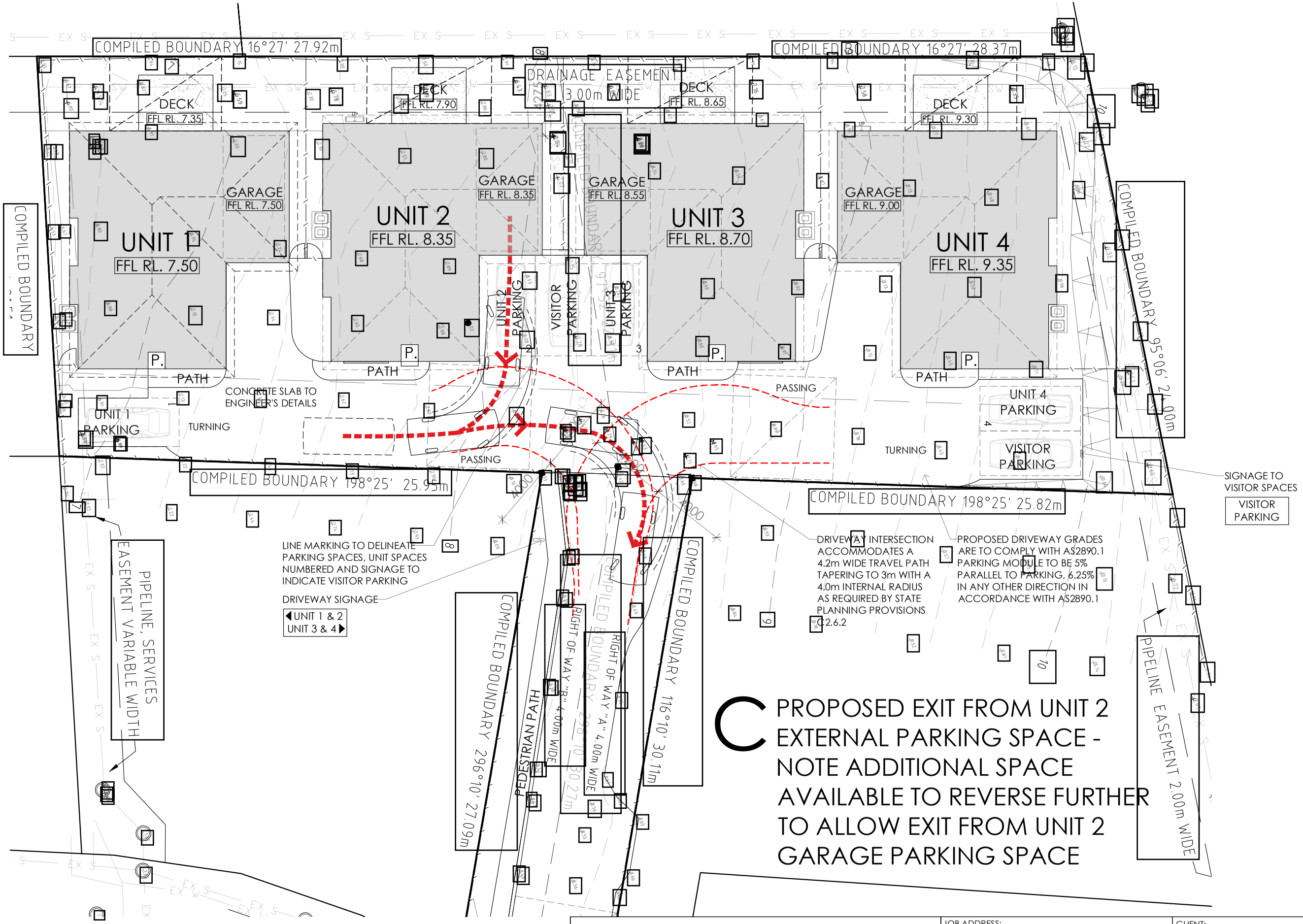
DO NOT SCALE DRAWINGS. ALWAYS USE WRITTEN DIMENSIONS.

REV:	DESCRIPTION:	BY:	DATE:
E	COUNCIL RFI, LEVEL CHANGES, TASWATER RFI	IB	9/5/24
F	COUNCIL RFI	IB	22/5/24
G	COUNCIL RFI	IB	11/6/24
H	COUNCIL MEETING RFI	IB	27/6/24

CREATIVE HOMES HOBART

CREATIVE HOMES HOBART, CNR OF ELWICK ROAD & BROOKER HIGHWAY, GLENORCHY 7010 PH: 03 6272 3000

JOB ADDRESS: 3 - 5 Magus Terrace Old Beach			CLIENT: Klettenberg Pty Ltd
DESIGNER: I. Brown	ACCRED. NO.: CC6652		SHEET: 20 of 21
DRAWN: I. Brown	DATE: June 2023		DESIGN TYPE: Custom
CHECKED:	DATE:		DRAWING NO: 220338
SCALE: 1:200	REV: H		



© COPYRIGHT IN WHOLE OR IN PART

21

PROJECT NORTH

CONTRACTOR MUST VERIFY ALL DIMENSIONS AND LEVELS AT THE JOB PRIOR TO COMMENCING ANY WORK OR MAKING ANY SHOP DRAWINGS.

DO NOT SCALE DRAWINGS. ALWAYS USE WRITTEN DIMENSIONS.

REV:	DESCRIPTION:	BY:	DATE:
E	COUNCIL RFI, LEVEL CHANGES, TASWATER RFI	IB	9/5/24
F	COUNCIL RFI	IB	22/5/24
G	COUNCIL RFI	IB	11/6/24
H	COUNCIL MEETING RFI	IB	27/6/24

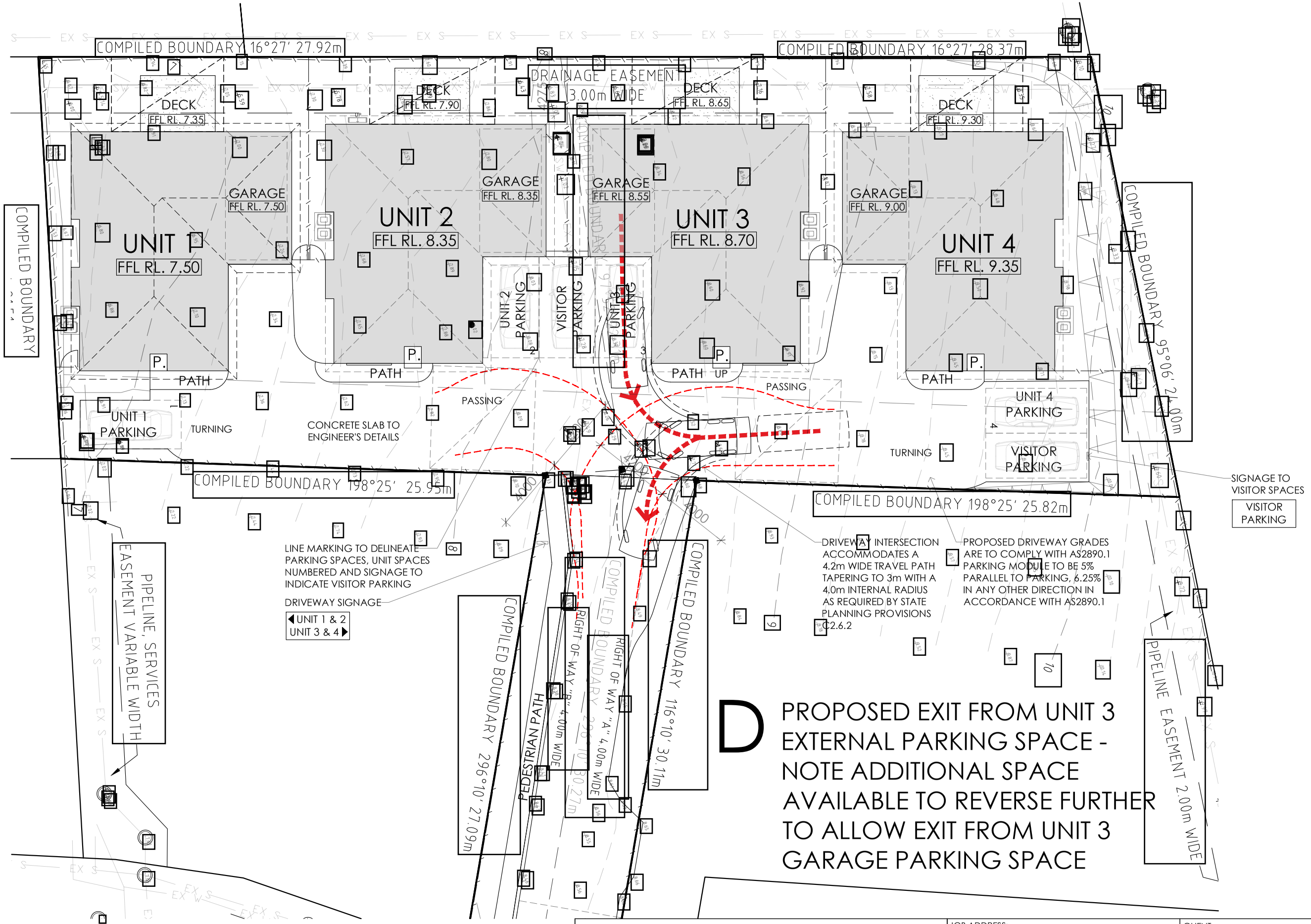
CREATIVE HOMES HOBART

CREATIVE HOMES HOBART, CNR OF ELWICK ROAD & BROOKER HIGHWAY, GLENORCHY 7010 PH: 03 6272 3000

JOB ADDRESS: 3 - 5 Magus Terrace Old Beach

CLIENT: Klettenberg Pty Ltd

DESIGNER: I. Brown	ACCRED. NO.: CC6652	SHEET:	21 of 21
DRAWN: I. Brown	DATE: June 2023	DESIGN TYPE:	Custom
CHECKED:	DATE:	DRAWING NO:	220338
SCALE: 1:200	REV: H		



© COPYRIGHT IN WHOLE OR IN PART

22

PROJECT NORTH

CONTRACTOR MUST VERIFY ALL DIMENSIONS AND LEVELS AT THE JOB PRIOR TO COMMENCING ANY WORK OR MAKING ANY SHOP DRAWINGS.

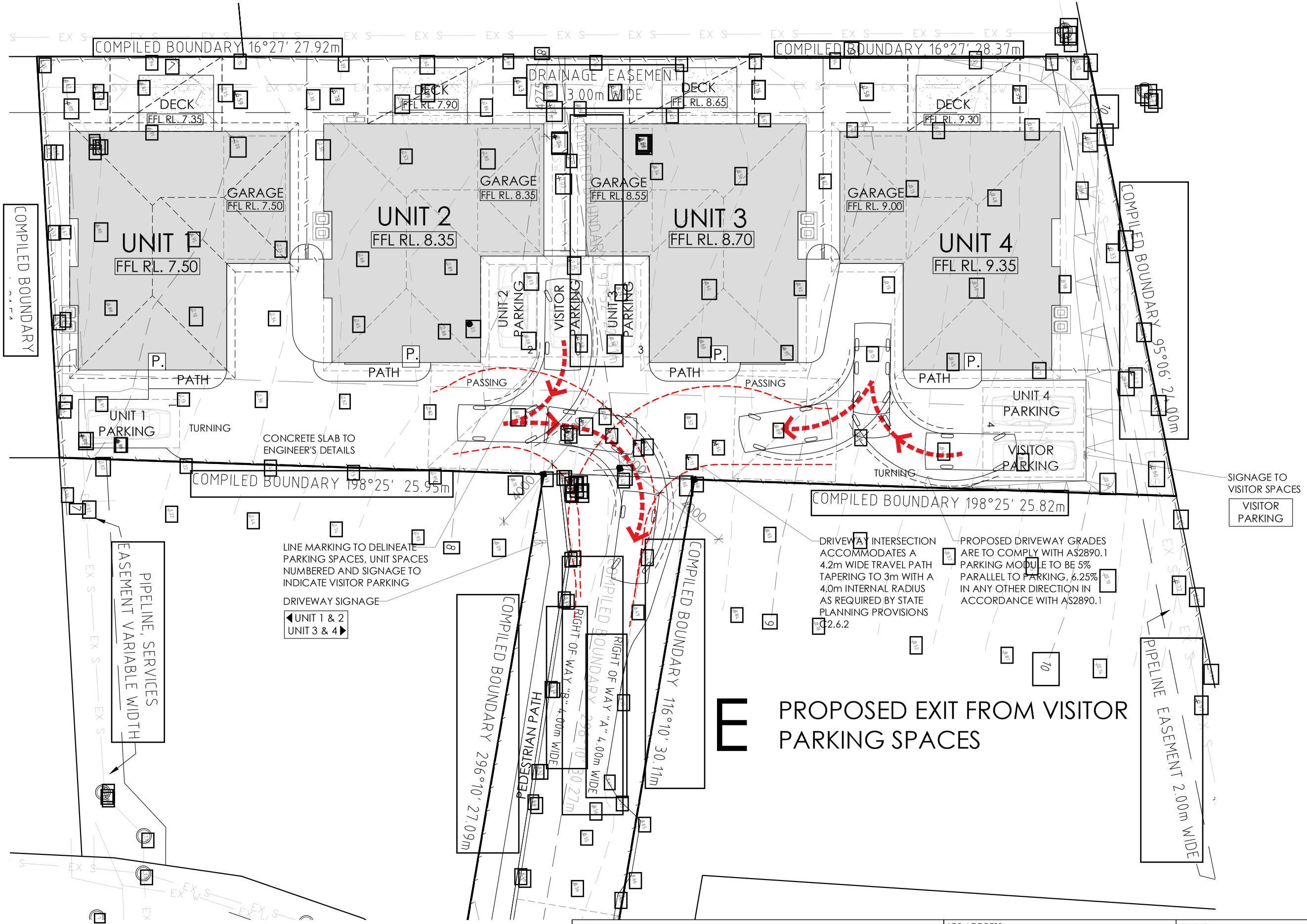
DO NOT SCALE DRAWINGS. ALWAYS USE WRITTEN DIMENSIONS.

REV:	DESCRIPTION:	BY:	DATE:
E	COUNCIL RFI, LEVEL CHANGES, TASWATER RFI	IB	9/5/24
F	COUNCIL RFI	IB	22/5/24
G	COUNCIL RFI	IB	11/6/24
H	COUNCIL MEETING RFI	IB	27/6/24

CREATIVE HOMES HOBART

CREATIVE HOMES HOBART, CNR OF ELWICK ROAD & BROOKER HIGHWAY, GLENORCHY 7010 PH: 03 6272 3000

JOB ADDRESS: 3 - 5 Magus Terrace Old Beach			CLIENT: Klettenberg Pty Ltd
DESIGNER: I. Brown	ACCRED. NO.: CC6652		SHEET: 22 of 21
DRAWN: I. Brown	DATE: June 2023		DESIGN TYPE: Custom
CHECKED:	DATE:		DRAWING NO: 220338
SCALE: 1:200	REV: H		



© COPYRIGHT IN WHOLE OR IN PART

23

PROJECT NORTH

CONTRACTOR MUST VERIFY ALL DIMENSIONS AND LEVELS AT THE JOB PRIOR TO COMMENCING ANY WORK OR MAKING ANY SHOP DRAWINGS.

DO NOT SCALE DRAWINGS. ALWAYS USE WRITTEN DIMENSIONS.

REV:	DESCRIPTION:	BY:	DATE:
E	COUNCIL RFI, LEVEL CHANGES, TASWATER RFI	IB	9/5/24
F	COUNCIL RFI	IB	22/5/24
G	COUNCIL RFI	IB	11/6/24
H	COUNCIL MEETING RFI	IB	27/6/24

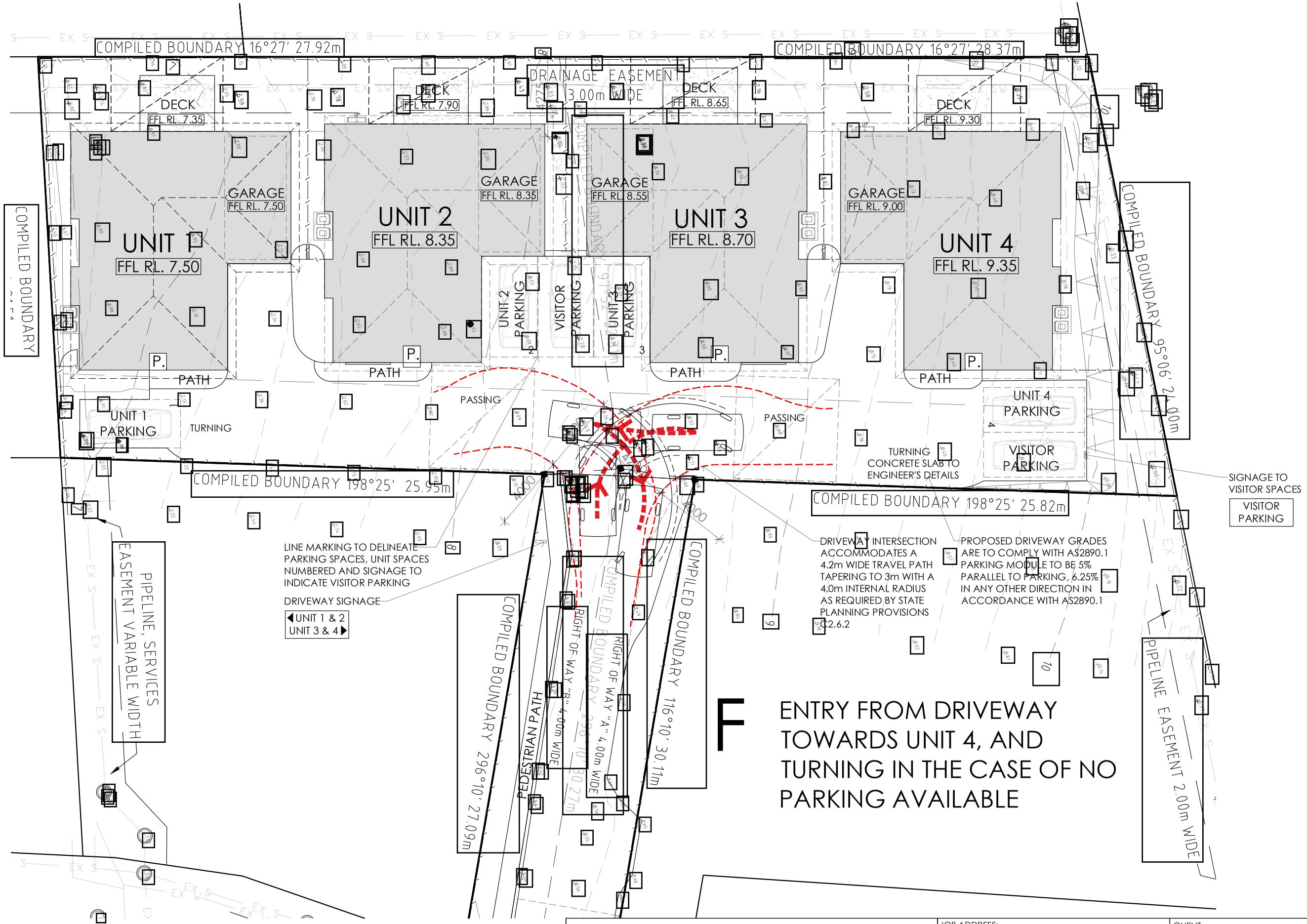
CREATIVE HOMES HOBART

CREATIVE HOMES HOBART, CNR OF ELWICK ROAD & BROOKER HIGHWAY, GLENORCHY 7010 PH: 03 6272 3000

JOB ADDRESS:
3 - 5 Magus Terrace
Old Beach

CLIENT:
Klettenberg Pty Ltd

DESIGNER: I. Brown	ACCRED. NO.: CC6652	SHEET:	23 of 21
DRAWN: I. Brown	DATE: June 2023	DESIGN TYPE:	Custom
CHECKED:	DATE:	DRAWING NO:	220338
SCALE: 1:200	REV: H		



© COPYRIGHT IN WHOLE OR IN PART

24

PROJECT NORTH

CONTRACTOR MUST VERIFY ALL DIMENSIONS AND LEVELS AT THE JOB PRIOR TO COMMENCING ANY WORK OR MAKING ANY SHOP DRAWINGS.

DO NOT SCALE DRAWINGS. ALWAYS USE WRITTEN DIMENSIONS.

REV:	DESCRIPTION:	BY:	DATE:
E	COUNCIL RFI, LEVEL CHANGES, TASWATER RFI	IB	9/5/24
F	COUNCIL RFI	IB	22/5/24
G	COUNCIL RFI	IB	11/6/24
H	COUNCIL MEETING RFI	IB	27/6/24

CREATIVE HOMES HOBART

CREATIVE HOMES HOBART, CNR OF ELWICK ROAD & BROOKER HIGHWAY, GLENORCHY 7010 PH: 03 6272 3000

JOB ADDRESS: 3 - 5 Magus Terrace Old Beach		CLIENT: Klettenberg Pty Ltd	
DESIGNER: I. Brown	ACCRED. NO.: CC6652	SHEET:	24 of 21
DRAWN: I. Brown	DATE: June 2023	DESIGN TYPE:	Custom
CHECKED:	DATE:	DRAWING NO:	220338
SCALE: 1:200	REV: H		

GENERAL NOTES:

1. THIS PLAN HAS BEEN PREPARED BY SURVEY PLUS FROM A COMBINATION OF EXISTING RECORDS AND FIELD SURVEY FOR THE PURPOSES OF SHOWING THE PHYSICAL FEATURES OF THE LAND AND SHOULD NOT BE USED FOR ANY OTHER PURPOSE.

2. TITLE BOUNDARIES SHOWN WERE NOT VERIFIED OR MARKED AT THE TIME OF THIS SURVEY.

3. SERVICES SHOWN ON THIS PLAN WERE LOCATED WHERE POSSIBLE BY FIELD SURVEY. THEY ARE NOT A COMPLETE PICTURE OF SERVICES ON SITE. ALL SERVICE LOCATIONS ARE TO BE VERIFIED BEFORE COMMENCEMENT OF ANY WORK ON SITE, IN PARTICULAR THOSE SERVICES NOT PREVIOUSLY LOCATED THROUGH FIELD SURVEY.

4. SURVEY PLUS CAN NOT ACCEPT LIABILITY WHATSOEVER FOR LOSS OR DAMAGE CAUSED TO ANY UNDERGROUND SERVICE WHETHER SHOWN BY OUR SURVEY OR NOT.

5. THIS NOTE IS AN INTEGRAL PART OF THIS PLAN/DATA. REPRODUCTION OF THIS PLAN OR ANY PART OF IT WITHOUT THIS NOTE BEING INCLUDED IN FULL WILL RENDER THE INFORMATION SHOWN ON SUCH A REPRODUCTION INVALID AND NOT SUITABLE FOR USE WITHOUT PRIOR AUTHORITY OF SURVEY PLUS.

6. HORIZONTAL DATUM IS MGA (GDA94).

7. VERTICAL DATUM IS AHD.

8. CONTOUR INTERVAL IS 0.2 METRES, INDEX IS 1.0 METRES.

9. SURVEY BY GPS.

10. DUE TO THE AGE OF TITLE SURVEY IF ANY CONSTRUCTION WORKS ARE TO BE UNDERTAKEN ON OR NEAR THE TITLE BOUNDARY OR PRESCRIBED SETBACKS A RE-MARK SURVEY WILL BE REQUIRED.

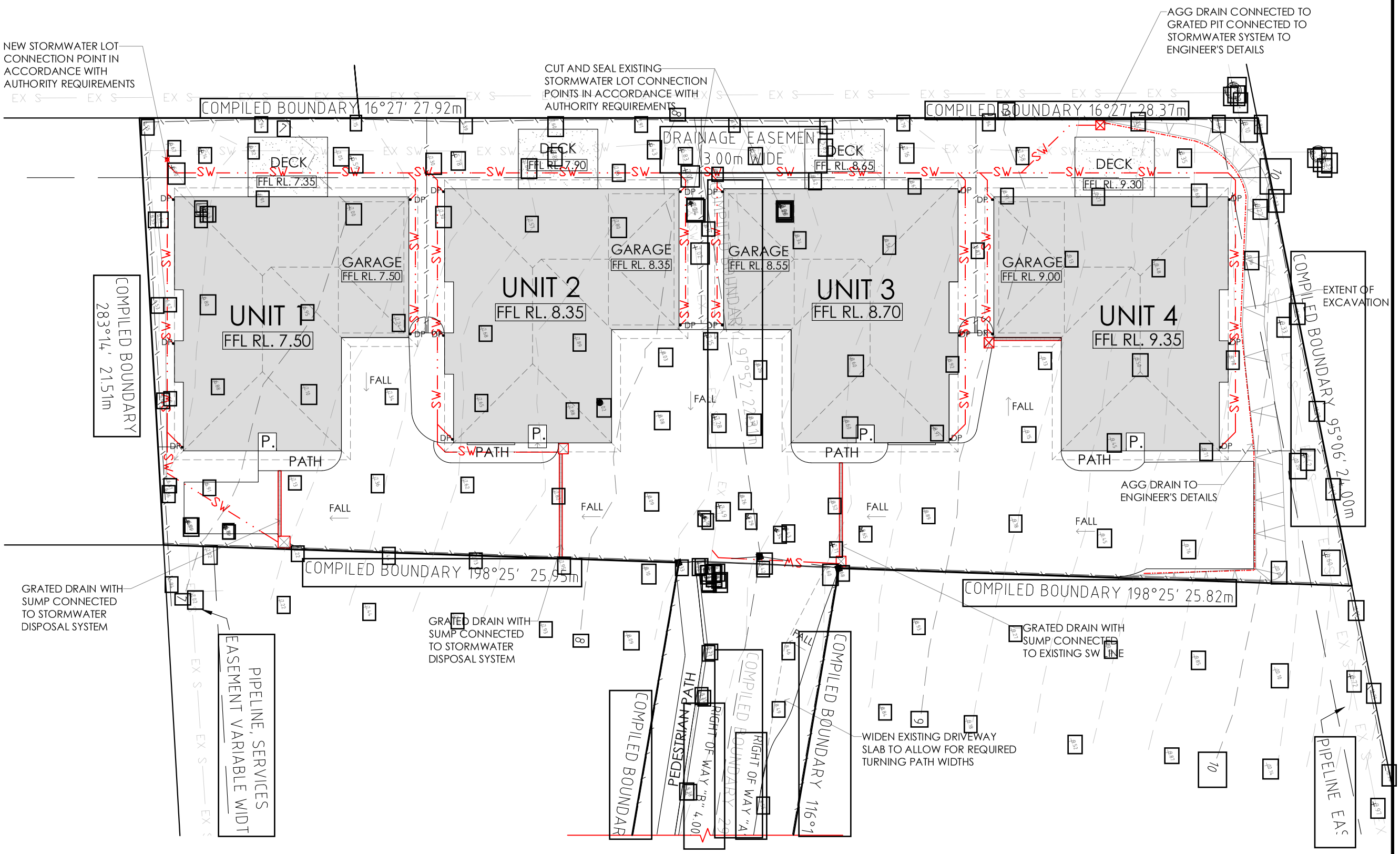
11. TITLE BOUNDARIES SHOWN WERE NOT VERIFIED OR MARKED BY SURVEY PLUS AT THE TIME OF THIS SURVEY.

12. IMPORTED DATA SHOWN ON THIS PLAN WAS OBTAINED FOR PUBLIC AVAILABLE DATA FROM VARIOUS GOVERNMENT AUTHORITIES. THIS INFORMATION IS PROVIDED FOR GUIDANCE ONLY. THE ACCURACY OF ANY IMPORTED DATA IS PER THE ACCURACY QUOTED BY THE SOURCE AND IS IN NO WAY GUARANTEED BY SURVEY PLUS. USERS MUST NOT RELY ON THIS DATA FOR FOR ON-GROUND LOCATION OF BOUNDARIES AND/OR SERVICES.

LIST DATA IMPORT
- TasWater-SewerLateralLine
- TasWater-SewerMain
- TasWater-SewerMaintenanceHole
- TasWater-SewerPressurisedMain
- TasWater-WaterHydrant
- TasWater-WaterLateralLine
- TasWater-WaterMain
- BoundaryLineswithAccuracy

13.APPROXIMATE BOUNDARIES SHOWN ON THIS PLAN HAVE BEEN DERIVED FROM PRELIMINARY SURVEY PLAN FROM CHRISTOPHER LEWIS ANDREWS SURVEYOR AND ARE APPROXIMATE AND SUBJECT TO FINAL SURVEY.

14. 3D DATA TURNED OFF IN LAYER CONTROL.
- 3D TIN
- MAJOR CONTOUR 3D
- MINOR CONTOUR 3D



PROPOSED STORMWATER LAYOUT

—SW— · · —SW— · · — PROPOSED STORMWATER LINE

NOTE: STORMWATER LAYOUT IS PRELIMINARY AND IS SUBJECT TO ENGINEER'S REVIEW AND DETAILED DESIGN

© COPYRIGHT IN WHOLE OR IN PART

21

PROJECT NORTH

CONTRACTOR MUST VERIFY ALL DIMENSIONS AND LEVELS AT THE JOB PRIOR TO COMMENCING ANY WORK OR MAKING ANY SHOP DRAWINGS.

DO NOT SCALE DRAWINGS. ALWAYS USE WRITTEN DIMENSIONS.

REV:	DESCRIPTION:	BY:	DATE:
E	COUNCIL RFI, LEVEL CHANGES, TASWATER RFI	IB	9/5/24
F	COUNCIL RFI	IB	22/5/24
G	COUNCIL RFI	IB	11/6/24
H	COUNCIL MEETING RFI	IB	27/6/24

CREATIVE HOMES HOBART

CREATIVE HOMES HOBART, CNR OF ELWICK ROAD & BROOKER HIGHWAY, GLENORCHY 7010 PH: 03 6272 3000

JOB ADDRESS: 3 - 5 Magus Terrace Old Beach			CLIENT: Klettenberg Pty Ltd
DESIGNER: I. Brown	ACCRED. NO.: CC6652		SHEET: 21 of 21
DRAWN: I. Brown	DATE: June 2023		DESIGN TYPE: Custom
CHECKED:	DATE:		DRAWING NO: 220338
SCALE: 1:200	REV: H		

CREATIVE HOMES
HOBART

LANDSCAPING – PLANT SCHEDULE

3-5 Magus Terrace OLD BEACH

PROPOSAL

Build residence on site with as little disturbance as possible, weed out the site leaving the existing indigenous species to grow. Interplant in bare patches and on rehabilitated disturbed areas with a mix of local species as listed to return the site to a natural appearance.

PLANTS SCHEDULE

The following species are indigenous to the local and wider Hobart area.

GENERAL AREAS (LOW GROWING LOCAL SPECIES) select a mix of at least 10 species from this list and plant at 3 plants per square metre in areas to be rehabilitated and other bare areas.

Acacia genistifolia - prostrate form
Banksia marginata - prostrate form
Bulbine glauca
Chrysocephalum apiculatum
Correa reflexa - local form
Danthonia sp - local species
Dianella tasmanica
Diplarrena moraea
Epacris impressa
Gonocarpus sp - local sp
Goodenia lanata
Goodenia ovata
Hibbertia riparia
Leptospermum scoparium - local low spreading form
Lomandra longifolia
Lomatia tinctoria
Pelargonium australe
Philotheca verrucosa
Pimelia humilis
Poa rodwayii/lab
Pultenaea juniperina
Tetratheca pilosa
Themeda triandra
Veronica formosa
Viola hedeaceae
Whalenbergia stricta

SCREENING PLANTS (LOCAL SPECIES GROWING FROM 3 - 5 METRES) @ 2m centres in areas where screening is required. Choose from a mix of at least 5 species.

Acacia stricta
Allotasuarina littoralis
Bedfordia salicina
Callistemon pallidus
Leptospermum scoparium (upright)
Acacia verticilata
Banksia marginata - seed (Sm), Ridge sp (3m)
Bursaria spinosa
Dodonaea viscosa
Pomaderris elliptica

Submission to Planning Authority Notice

Council Planning Permit No.	DA 2024 / 00062	**Council notice date**	4/04/2024
TasWater details			
TasWater Reference No.	TWDA 2024/00376-BTN	**Date of response**	14/05/2024
TasWater Contact	Robert Stapleton	**Phone No.**	0417279866
Response issued to			
Council name	BRIGHTON COUNCIL		
Contact details	development@brighton.tas.gov.au		
Development details			
Address	3 MAGUS TCE, OLD BEACH	**Property ID (PID)**	9746456
Description of development	Adhesion & Multiple Dwellings x 4		

Schedule of drawings/documents

Prepared by	Drawing/document No.	Revision No.	Date of Issue
Creative Homes Hobart	"Proposed Site Plan" / Dwg: 220338 – Sheet: 2 of 18	E	9/05/2024

Conditions

SUBMISSION TO PLANNING AUTHORITY NOTICE OF PLANNING APPLICATION REFERRAL

Pursuant to the *Water and Sewerage Industry Act* 2008 (TAS) Section 56P(1) TasWater imposes the following conditions on the permit for this application:

CONNECTIONS, METERING & BACKFLOW

1. A suitably sized water supply with metered connection and sewerage system and connection to the development must be designed and constructed to TasWater's satisfaction and be in accordance with any other conditions in this permit.

2. Any removal/supply and installation of water meters and/or the removal of redundant and/or installation of new and modified property service connections must be carried out by TasWater at the developer's cost.

3. Prior to commencing construction of the subdivision/use of the development, any water connection utilised for construction/the development must have a backflow prevention device and water meter installed, to the satisfaction of TasWater.

FINAL PLANS, EASEMENTS & ENDORSEMENTS

4. Prior to the Sealing of the Final Plan of Survey, a Consent to Register a Legal Document must be obtained from TasWater as evidence of compliance with these conditions when application for sealing is made.
   Advice: Council will refer the Final Plan of Survey to TasWater requesting Consent to Register a Legal Document be issued directly to them on behalf of the applicant.

DEVELOPER CHARGES

5. Prior to TasWater issuing a Certificate(s) for Certifiable Work (Building) and/or (Plumbing), the applicant or landowner as the case may be, must pay a developer charge totalling $2,108.40 to TasWater for water infrastructure for 1.2 additional Equivalent Tenements, indexed by the Consumer Price Index All groups (Hobart) from the date of this Submission to Planning Authority

Notice until the date it is paid to TasWater.

6. Prior to TasWater issuing a Certificate(s) for Certifiable Work (Building) and/or (Plumbing), the applicant or landowner as the case may be, must pay a developer charge totalling $3,514.00 to TasWater for sewerage infrastructure for 2.0 additional Equivalent Tenements, indexed by the Consumer Price Index All groups (Hobart) from the date of this Submission to Planning Authority Notice until the date it is paid to TasWater.

DEVELOPMENT ASSESSMENT FEES

7. The applicant or landowner, as the case may be, must pay a development assessment fee of $389.86 and a Consent to Register a Legal Document fee of $248.30 to TasWater, as approved by the Economic Regulator and the fees will be indexed, until the date paid to TasWater.

   The payment is required within 30 days of the issue of an invoice by TasWater.

8. In the event Council approves a staging plan, a Consent to Register a Legal Document fee for each stage, must be paid commensurate with the number of Equivalent Tenements in each stage, as approved by Council.

Advice

General

For information on TasWater development standards, please visit https://www.taswater.com.au/building-and-development/technical-standards

For application forms please visit https://www.taswater.com.au/building-and-development/development-application-form

Developer Charges

For information on Developer Charges please visit the following webpage - https://www.taswater.com.au/building-and-development/developer-charges

Service Locations

Please note that the developer is responsible for arranging to locate the existing TasWater infrastructure and clearly showing it on the drawings. Existing TasWater infrastructure may be located by a surveyor and/or a private contractor engaged at the developers cost to locate the infrastructure.

(a) A permit is required to work within TasWater's easements or in the vicinity of its infrastructure. Further information can be obtained from TasWater.

(b) TasWater has listed a number of service providers who can provide asset detection and location services should you require it. Visit https://www.taswater.com.au/building-and-development/service-locations for a list of companies.

(c) Sewer drainage plans or Inspection Openings (IO) for residential properties are available from your local council.

Declaration

The drawings/documents and conditions stated above constitute TasWater's Submission to Planning Authority Notice.

TasWater Contact Details

Phone	13 6992	Email	development@taswater.com.au
Mail	GPO Box 1393 Hobart TAS 7001	Web	www.taswater.com.au