



Application for Planning Approval

Land Use Planning and Approvals Act 1993

APPLICATION NO.

DA2024/090

LOCATION OF AFFECTED AREA

14 SHELDUCK DRIVE, OLD BEACH

DESCRIPTION OF DEVELOPMENT PROPOSAL

SINGLE DWELLING

A COPY OF THE DEVELOPMENT APPLICATION MAY BE VIEWED AT www.brighton.tas.gov.au AND AT THE COUNCIL OFFICES, 1 TIVOLI ROAD, OLD BEACH, BETWEEN 8:15 A.M. AND 4:45 P.M, MONDAY TO FRIDAY OR VIA THE QR CODE BELOW. ANY PERSON MAY MAKE WRITTEN REPRESENTATIONS IN ACCORDANCE WITH S.57(5) OF THE LAND USE PLANNING AND APPROVALS ACT 1993 CONCERNING THIS APPLICATION UNTIL 4:45 P.M. ON **21/05/2024**. ADDRESSED TO THE GENERAL MANAGER AT 1 TIVOLI ROAD, OLD BEACH, 7017 OR BY EMAIL AT development@brighton.tas.gov.au. REPRESENTATIONS SHOULD INCLUDE A DAYTIME TELEPHONE NUMBER TO ALLOW COUNCIL OFFICERS TO DISCUSS, IF NECESSARY, ANY MATTERS RAISED.

JAMES DRYBURGH
General Manager



Brighton
going places

GENERAL NOTES:

1. THIS PLAN HAS BEEN PREPARED BY SURVEY PLUS FROM A COMBINATION OF EXISTING RECORDS AND FIELD SURVEY FOR THE PURPOSES OF SHOWING THE PHYSICAL FEATURES OF THE LAND AND SHOULD NOT BE USED FOR ANY OTHER PURPOSE.
2. TITLE BOUNDARIES SHOWN WERE NOT VERIFIED OR MARKED BY SURVEY PLUS AT THE TIME OF THIS SURVEY.
3. SERVICES SHOWN ON THIS PLAN WERE LOCATED WHERE POSSIBLE BY FIELD SURVEY. THEY ARE NOT A COMPLETE PICTURE OF SERVICES ON SITE. ALL SERVICE LOCATIONS ARE TO BE VERIFIED BEFORE COMMENCEMENT OF ANY WORK ON SITE. IN PARTICULAR THOSE SERVICES NOT PREVIOUSLY LOCATED THROUGH FIELD SURVEY.
4. SURVEY PLUS CAN NOT ACCEPT LIABILITY WHATSOEVER FOR LOSS OR DAMAGE CAUSED TO ANY UNDERGROUND SERVICE WHETHER SHOWN BY OUR SURVEY OR NOT.
5. THIS NOTE IS AN INTEGRAL PART OF THIS PLAN/DATA. REPRODUCTION OF THIS PLAN OR ANY PART OF IT WITHOUT THIS NOTE BEING INCLUDED IN FULL WILL RENDER THE INFORMATION SHOWN ON SUCH A REPRODUCTION INVALID AND NOT SUITABLE FOR USE WITHOUT PRIOR AUTHORITY OF SURVEY PLUS.
6. HORIZONTAL DATUM IS MGA (GDA94).
7. VERTICAL DATUM IS AHD.
8. CONTOUR INTERVAL IS 0.2 METRES, INDEX IS 1.0 METRES.
9. SURVEY BY ROBOTIC TOTAL STATION AND GPS.
10. IMPORTED DATA SHOWN ON THIS PLAN WAS OBTAINED FOR PUBLIC AVAILABLE DATA FROM VARIOUS GOVERNMENT AUTHORITIES. THIS INFORMATION IS PROVIDED FOR GUIDANCE ONLY. THE ACCURACY OF ANY IMPORTED DATA IS PER THE ACCURACY QUOTED BY THE SOURCE AND IS IN NO WAY GUARANTEED BY SURVEY PLUS. USERS MUST NOT RELY ON THIS DATA FOR ON-GROUND LOCATION OF BOUNDARIES AND/OR SERVICES.

LIST DATA IMPORT

- TasWater-SewerLateralLine
 - TasWater-SewerMain
 - TasWater-SewerMaintenanceHole
 - TasWater-SewerPressurisedMain
 - TasWater-WaterHydrant
 - TasWater-WaterLateralLine
 - TasWater-WaterMain
 - CadastralParcel-OwnerInformation
- LOCAL COUNCIL IMPORT
LocalAuthority-StormwaterMain

11. BOUNDARIES ARE COMPILED ONLY FROM PRELIMINARY/DRAFT PLAN OF SURVEY AND ARE CONSIDERED APPROXIMATE ONLY. BOUNDARIES & EASEMENT ARE SUBJECT TO CHANGE ONCE TITLES ARE ISSUED.

12. 3D DATA TURNED OFF IN LAYER CONTROL.

- 3D TIN
- MAJOR CONTOUR 3D
- MINOR CONTOUR 3D

•DP 90mm DOWNPIPE

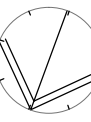
NOTE: ALL PROPOSED STORMWATER TO BE DISCHARGED TO EXISTING INFRASTRUCTURE

EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE IMPLEMENTED ON THE SITE IN ACCORDANCE WITH COUNCIL REQUIREMENTS

PROPOSED SITE PLAN

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PROJECT NORTH



02

CONTRACTOR MUST VERIFY ALL DIMENSIONS AND LEVELS AT THE JOB PRIOR TO COMMENCING ANY WORK OR MAKING ANY SHOP DRAWINGS. DO NOT SCALE DRAWINGS. ALWAYS USE WRITTEN DIMENSIONS.

REV: DESCRIPTION:

SK	ISSUED FOR CLIENT REVIEW	BY: QT	DATE: 28/03/24
A	ISSUED FOR CLIENT REVIEW	BY: QT	DATE: 10/04/24
B	FFL AMENDMENT	BY: QT	DATE: 12/04/24

PRELIMINARY



CREATIVE HOMES HOBART
CREATIVE HOMES HOBART, CNR OF ELWICK ROAD & BROOKER HIGHWAY, GLENORCHY 7010 PH: 03 8272 3000

JOB ADDRESS:

Lot 466 Tivoli Green Estate
Old Beach

DESIGNER: I. Brown

ACCRED. NO.: CC6652

DRAWN: Q. Tra

DATE: April 2024

CHECKED:

SCALE: 1:200

CLIENT:

Destinee Luc &
Dante Ottavi

SHEET:

2 of 9

DESIGN TYPE:

Custom

DRAWING NO.:

B

NOTES

SITE PREPARATION
THE SITE IS TO BE DISTURBED AS MINIMALLY AS POSSIBLE TO THE EXTENT REQUIRED TO CARRY OUT THE BUILDING WORKS.
EARTHWORKS SHALL BE CARRIED OUT IN ACCORDANCE WITH NCC PART 3.2.
UNRETAINED EMBANKMENT GRADIENTS SHALL BE IN ACCORDANCE WITH NCC TABLE 3.2.1.
DRAINAGE SHALL BE IN ACCORDANCE WITH NCC PART 3.3.2.
THE BUILDER AND SUBCONTRACTOR SHALL ENSURE THAT ALL STORMWATER DRAINS, SEWER PIPES AND THE LIKE ARE LOCATED AT A SUFFICIENT DISTANCE FROM ANY BUILDINGS FOOTING AND/OR SLAB EDGE BEAMS SO AS TO PREVENT GENERAL MOISTURE PENETRATION, DAMPNESS, WEAKENING & UNDERMINING OF ANY BUILDING AND ITS FOOTING SYSTEM.
LOCATION OF ALL EXISTING SERVICES TO BE CONFIRMED ON SITE PRIOR TO CONSTRUCTION.
ATTENTION OF OWNER
THE OWNERS ATTENTION IS DRAWN TO THE FACT THAT FOUNDATIONS AND ASSOCIATED DRAINAGE FOR ALL SITES REQUIRES CONTINUING MAINTENANCE TO ASSIST FOOTING PERFORMANCE. ADVICE FOR FOUNDATION MAINTENANCE IS CONTAINED IN THE CSIRO BUILDING TECHNOLOGY FILE 18 AND IT IS THE OWNERS RESPONSIBILITY TO MAINTAIN THE SITE IN ACCORDANCE WITH THIS DOCUMENT.

SOIL AND WATER MANAGEMENT NOTES:
DRAINAGE LINES ARE TO BE INSTALLED PRIOR TO THE PLACEMENT OF ROOF AND GUTTERING. ONCE DWELLING IS ROOFED, CONNECT IMMEDIATELY. APPLY TEMPORARY COVERING TO DISTURBED AREAS THAT WILL REMAIN EXPOSED FOR 14 DAYS OR MORE DURING CONSTRUCTION (EG. WATERPROOF BLANKET, VEGETATION OR MULCH)
PROTECT ANY NEARBY OR ON-SITE DRAINAGE PITS FROM SEDIMENT BY INSTALLING SEDIMENT TRAPS AROUND THEM.
LIMIT ENTRY/EXIT TO ONE POINT AND STABILISE. INSTALL FACILITIES TO REMOVE DIRT/ MUD FROM VEHICLE WHEELS BEFORE THEY LEAVE THE SITE.
SITE TO BE VEGETATED AND PLANTED ACCORDING TO THE HOBART REGIONAL SOIL AND WATER MANAGEMENT CODE OF PRACTICE.

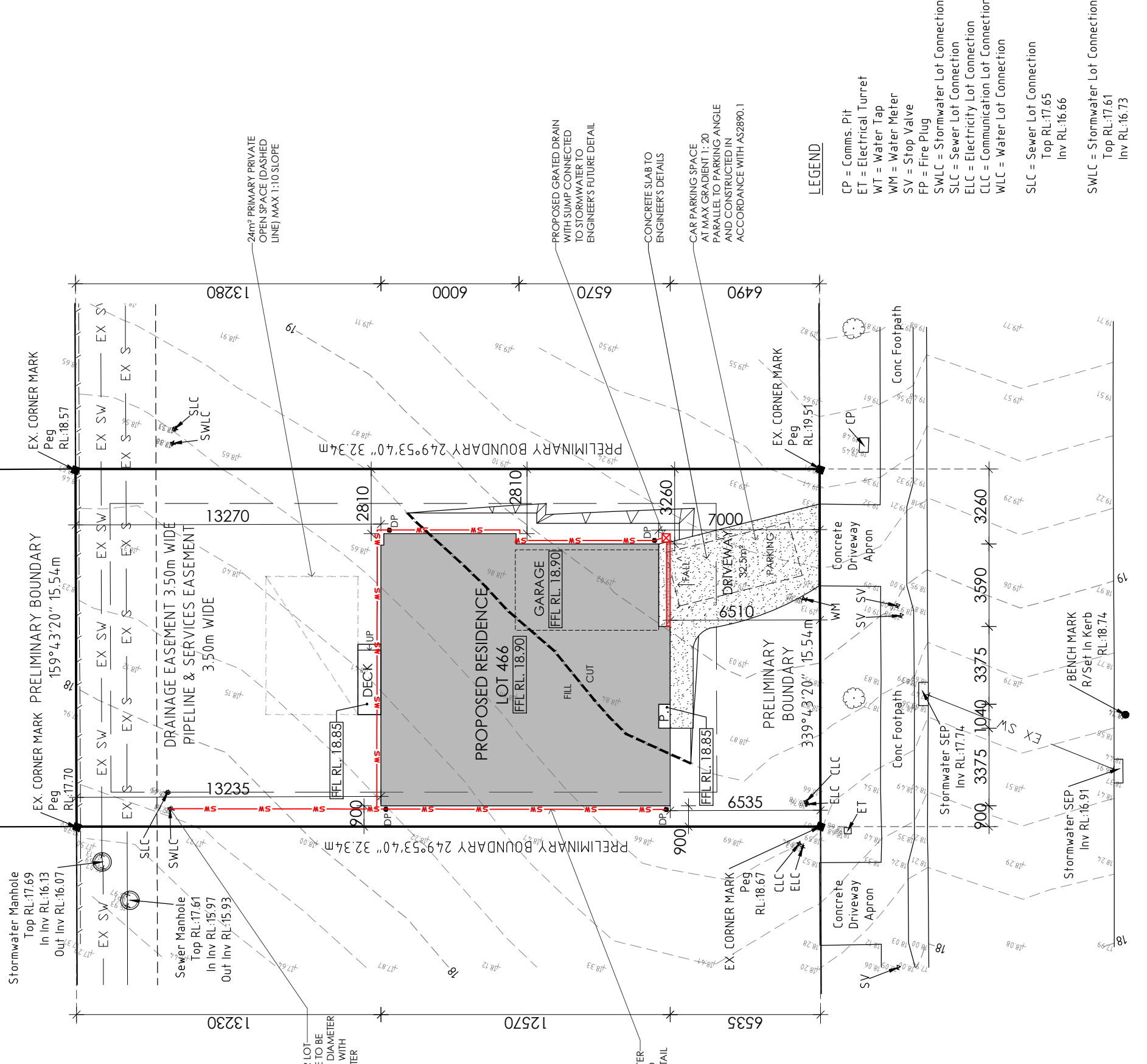
BUILDER AND SUBCONTRACTORS TO VERIFY ALL DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. GIVE 24 HOURS MINIMUM NOTICE WHERE AMENDMENTS ARE REQUIRED TO DRAWINGS. THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH DOCUMENTATION LISTED ON THE COVER PAGE. DO NOT SCALE DRAWINGS.
DIMENSIONS ARE TO TAKE PREFERENCE OVER SCALE. BUILDING SPECIFICATION AND ENGINEERS DRAWINGS SHALL OVERRIDE ARCHITECTURAL DRAWINGS.

-THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL OTHER DRAWING SHEETS, CONSULTANTS DRAWINGS, DOCUMENTS, SCHEDULES AND SPECIFICATIONS (AS APPLICABLE).
-THE BUILDER AND SUBCONTRACTOR SHALL ENSURE THAT ALL STORMWATER DRAINS, SEWER PIPES AND THE LIKE ARE LOCATED AT A SUFFICIENT DISTANCE FROM ANY BUILDINGS FOOTING AND/OR SLAB EDGE BEAMS SO AS TO PREVENT GENERAL MOISTURE PENETRATION, DAMPNESS, WEAKENING & UNDERMINING OF ANY BUILDING AND ITS FOOTING SYSTEM.
-LOCATION OF ALL EXISTING ON-SITE SERVICES TO BE CONFIRMED ON-SITE PRIOR TO CONSTRUCTION

IMPORTANT!
SITE INFORMATION AS DRAWN IS APPROXIMATE ONLY. FINAL SITE INFORMATION IS SUBJECT TO A DETAILED CONTOUR SURVEY BY LICENSED SURVEYOR.

SOIL CLASSIFICATION:	--
WIND CLASSIFICATION:	--

SITE COVERAGE	
SITE AREA	502.5 m ²
PROPOSED BUILDING FOOTPRINT	143.8 m ²
PROPOSED SITE COVERAGE	28.62 %



LEGEND

- CP = Comms. Pit
- ET = Electrical Turret
- WT = Water Tap
- WM = Water Meter
- SV = Stop Valve
- FP = Fire Plug
- SWLC = Stormwater Lot Connection
- SLC = Sewer Lot Connection
- ELC = Electricity Lot Connection
- CLC = Communication Lot Connection
- WLC = Water Lot Connection

SLC = Sewer Lot Connection
Top RL:17.65
Inv RL:16.66

SWLC = Stormwater Lot Connection
Top RL:17.61
Inv RL:16.73

AREAS:	
FLOOR AREA:	120.0 m ²
PORCH:	0.5 m ²
GARAGE:	23.4 m ²
TOTAL AREA:	143.8 m ²
DECK:	3.0 m ²

DP	DOWNPIPE LOCATION
SHR	SHOWER
BTH	BATH
VB	VANITY BASIN
WC	TOILET
OHC	OVERHEAD CUPBOARDS
REF	REFRIGERATOR
P	PANTRY
RH	RANGE HOOD
UBO	UNDER BENCH OVEN
CT	COOK TOP
S	SINK
DW	DISH WASHER
T	TROUGH
WM	WASHING MACHINE
MH	MANHOLE
CSD	CAVITY SLIDING DOOR
AAW	ALUM. AWNING WINDOW
AFW	ALUM. FIXED WINDOW
B/O	BEAM OVER
BAL	BALUSTRADE
BAL	SELECTED BALUSTRADE TO BUILDER'S STANDARD DETAIL INSTALLED IN ACCORDANCE WITH NCC
	MASONRY ARTICULATION JOINT - LOCATION TO ENGINEER'S DETAILS
	CEILING MOUNTED INTERCONNECTED SMOKE DETECTORS, MAINS WIRED WITH BATTERY BACKUP, ALL IN ACCORDANCE WITH AS 3786.
	90mm DOWNPIPE

NOTE: LIFT OFF HINGES TO WC TO BE INSTALLED AS REQUIRED IN ACCORDANCE WITH NCC.

PROPOSED FLOOR PLAN

FLOOR AREA: 143.8m²

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PROJECT NORTH

03

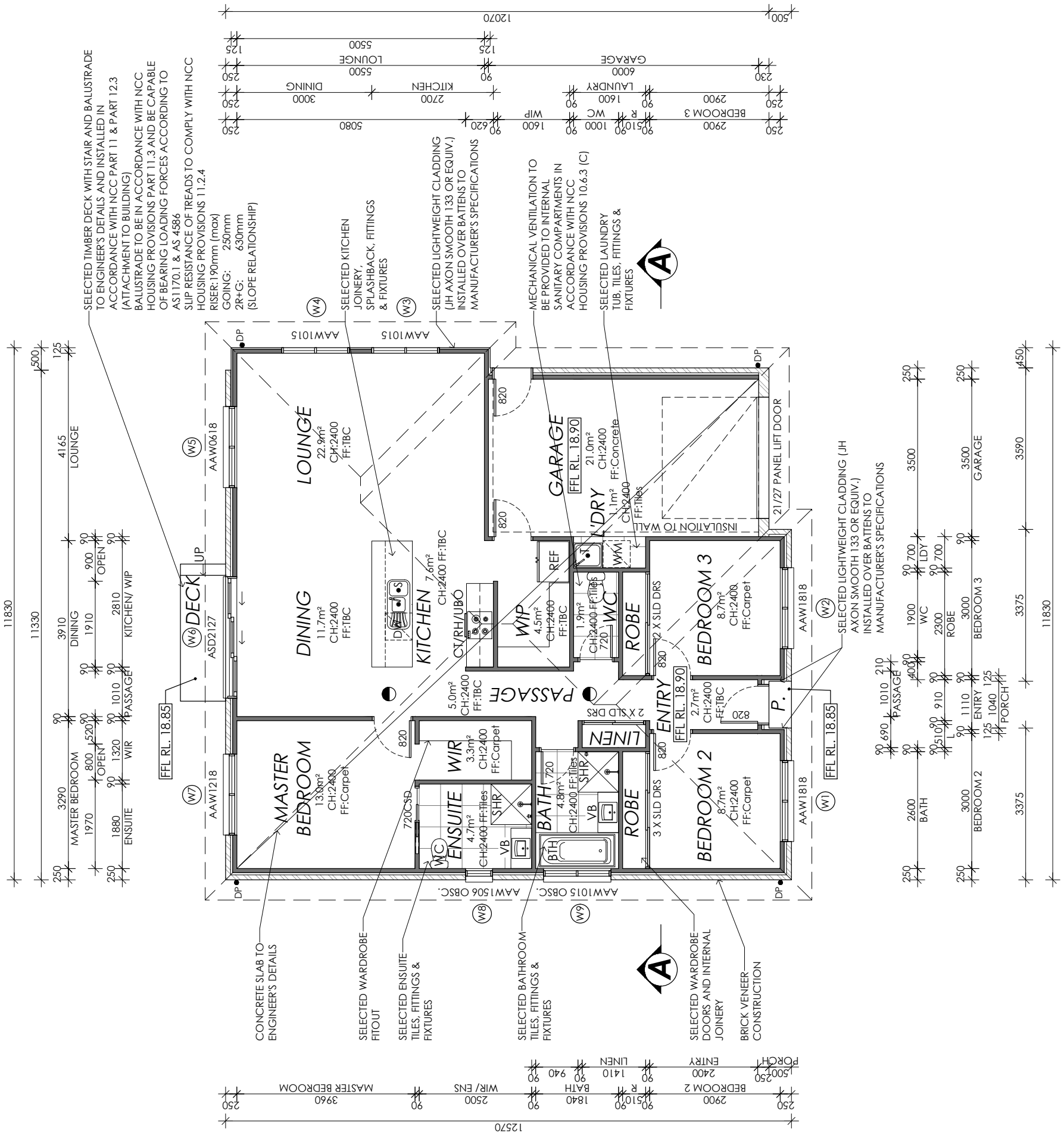
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A	ISSUED FOR CLIENT REVIEW	QT	10/04/24
B	FFL AMENDMENT	QT	12/04/24

PRELIMINARY

CREATIVE HOMES
HOBART

CREATIVE HOMES HOBART, CNR OF ELWICK ROAD & BROOKER HIGHWAY, GLENORCHY 7010 PH: 03 6272 3000

JOB ADDRESS:	Lot 466 Tivoli Green Estate Old Beach
DESIGNER:	I. Brown
DRAWN:	Q. Tra
CHECKED:	
SCALE:	1:100
ACCRED. NO.:	CC6652
DATE:	April 2024
CLIENT:	Destinee Luc & Dante Ottavi
SHEET:	3 of 9
DESIGN TYPE:	Custom
DRAWING NO.:	



Framing NCC HID6
All timber framing, fixing and bracing shall comply with AS 1684 and the requirements of NCC HID6. Manufactured sizes must not be timber sizes, stress grades, spacing and wall bracing refer to Engineer's details. Tie-down details shall be in accordance with Engineer's details and comply with NCC HID6 (4). Structural steel members shall comply with the requirements of clauses in NCC HID6 (3). Refer to Engineer's details where provided.

Glazing NCC HID8
All windows to be aluminium awning style, double glazed (obscured safety glass to be used in all rooms as shown on drawings). All glazing to comply with the requirements of AS 2047 & AS 1288 and NCC HID8.

Human impact safety requirements shall comply with NCC HID8 (3) and Part 8.4 of the ABCB Housing provisions.

Note:
Builder and subcontractors to verify all dimension and levels prior to the commencement of any work. Give 24hrs minimum notice where amendments are required to design of working drawings. These drawings are to be read in conjunction with Engineer's and Surveyor's drawings and notes. Do not scale drawings. Dimensions are to take preference over scale. Building specification and Engineer's drawings shall override architectural drawings. All construction work that is carried out in accordance with the drawings, building regulations, local council by-laws and relevant NCC and AS codes.

Important notice for attention of Owners:
The Owners attention is drawn to the fact that foundations and associated drainage in all sites requires continuing maintenance to assist footing performance. Advice for foundation maintenance is contained in the CSIRO building technology file 18 and it is the Owners responsibility to maintain the site in accordance with this document.

Energy efficiency:
Insulation must comply with AS/NZS4859.1 and be installed in accordance with ABCB Housing provisions Part 13.2.2 and comply with minimum R values for climate zone 7. Bulk insulation between external studs to be installed in R2.0. Ensure bats fit with cavity with at least 25mm making sure that there is at least 25mm gap from the reflective surface. External walls are to be clad with vapour permeable reflective foil over the outside of the timber frame. Ceiling to be insulated with R4.0 and vapour permeable sarking. Floor to be insulated with Min R1.7 batts where applicable. Seal exhaust fans to Ensuite, Bathroom, Laundry and Kitchen. All downlights to be IC rated. Construction of the external walls, floor and roof for compliance with building sealing requirements shall comply with BCA 2019 Part 3.12

General:
All flashings, weep holes and damp proof coursing to be in accordance with NCC Housing provisions Part 5.7. Fibre cement sheet in accordance with NCC Housing provisions Part 7.3. Block construction in accordance with NCC Housing provisions Part 5. Plasterboard linings to internal walls and ceilings with selected cornice. (see below for wet areas)

Wet areas:
All wet areas shall comply with the requirements of ABCB Housing provisions Part 10.2. Provide waterproof plasterboard sheeting to all walls and ceilings. Provide ceramic tiles or other approved water resistant lining in accordance with Part 10.2.9 to a minimum height of 1800mm to shower walls and to a height of min 1500mm behind baths, basins, sinks, troughs, washing machines and wall fixtures.

For construction of floor wastes refer to NCC ABCB Housing provisions part 10.2.12. For typical installation requirements for substrate preparation, penetrations, screeds, joints, showers, door jams and screens refer to ABCB Housing provisions part 10.2.14-32.

Framing NCC H1D6
 All timber framing, bracing and bracing shall comply with AS 1720 and the requirements of NCC H1D6. Manufactured sizes must not be undersized to those specified for all timber sizes, stress grades, spacing and wall bracing refer to Engineer's details. Tie-down details shall be in accordance with Engineer's details and comply with NCC H1D6 (4). Structural steel members shall comply with the requirements of clauses in NCC H1D6 (3). Refer to Engineer's details where provided.

Glazing NCC H1D8
 All windows to be aluminium awning style, double glazed (obscured safety glass to bathrooms as shown on drawings). All glazing shall comply with the requirements of AS 2047 & AS 1288 and NCC H1D8.

Human impact safety requirements shall comply with NCC H1D8 (5) and Part 8.4 of the ABCB Housing provisions.

Note:
 Builder and subcontractors to verify all dimension and levels prior to the commencement of any work. Give 24hrs minimum notice where amendments are required to design of working drawings. These drawings are to be read in conjunction with Engineer's and Surveyor's drawings and notes. Do not scale drawings. Dimensions are to take preference over scale. Building specification and Engineer's drawings shall override architectural drawings. All construction work shall be carried out in accordance with the state building regulations, local council by-laws and relevant NCC and AS codes.

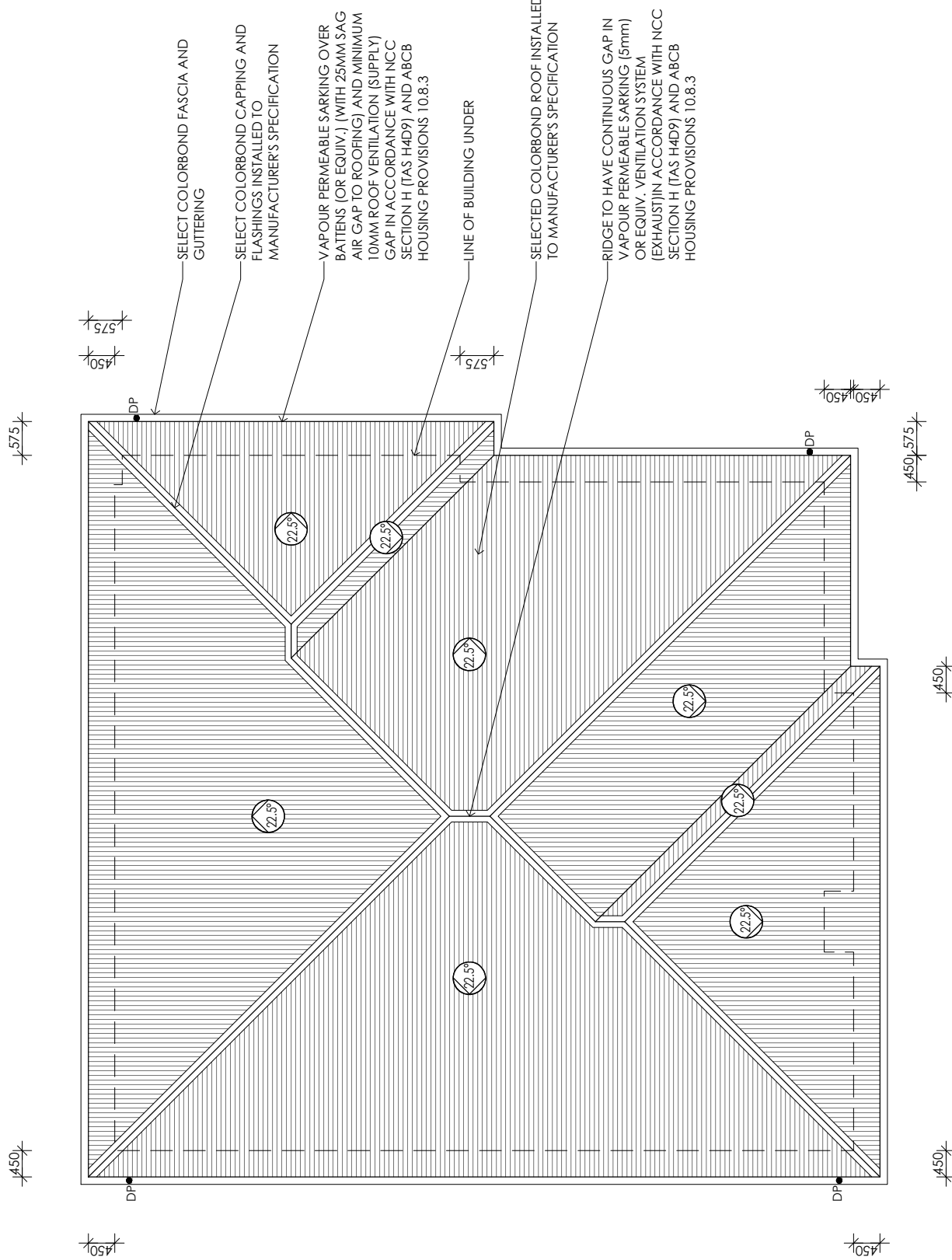
Important notice for attention of Owners:
 The Owners attention is drawn to the fact that the drawings are based on the drainage and all site specific continuing maintenance to assist in continuing performance. Advice for foundation maintenance is contained in the CSIRO building technology file 18 and it is the Owners responsibility to maintain the site in accordance with this document.

Energy efficiency:
 Insulation must comply with AS/NZS4859.1 and be installed in accordance with ABCB housing provisions Part 13.2.2 and comply with minimum R values for climate zone 7.
 Bulk insulation between external studs to be insulated with min R2.0. (Ensure batts fit within cavity without compression, making sure that there is at least 25mm gap from the reflective surface). External walls are to be clad with vapour permeable reflective foil over the outside of the timber frame. Ceiling to be insulated with R1.0 and R1.0 to be insulated with min R1.7 batts where applicable. Seal exhaust fans to Ensuite, Bathroom, Laundry and Kitchen. All downlights to be IC rated. Construction of the external walls, floor and roof for compliance with building sealing requirements shall comply with BCA 2019 Part 3.12

General:
 All flashings, weep holes and damp proof coursing to be in accordance with NCC Housing provisions Part 5.7. Fibre cement sheet in accordance with NCC Housing provisions Part 7.5. Block construction in accordance NCC Housing provisions Part 5. Plasterboard linings to internal walls and ceilings with selected cornice. (see below for wet areas)

Wet areas: All wet areas shall comply with the requirements of ABCB Housing provisions Part 10.2. Provide waterproof plasterboard sheeting to all walls and ceilings. Provide ceramic tiles or other approved water resistant lining in accordance with Part 10.2.9 to a minimum height of 1800mm to shower walls and to a height of min 150mm behind baths, basins, sinks, troughs, washing machines and wall fixtures.

For construction of floor wastes refer to NCC ABCB Housing provisions part 10.2.12. For typical installation requirements for substrate preparation, penetrations, flashings/junctions, membranes, screeds, hobs, baths, showers, door jams and screens refer to ABCB Housing provisions part 10.2.14-32.



PROPOSED ROOF PLAN

• DP 90mm DOWNPIPE

PRELIMINARY

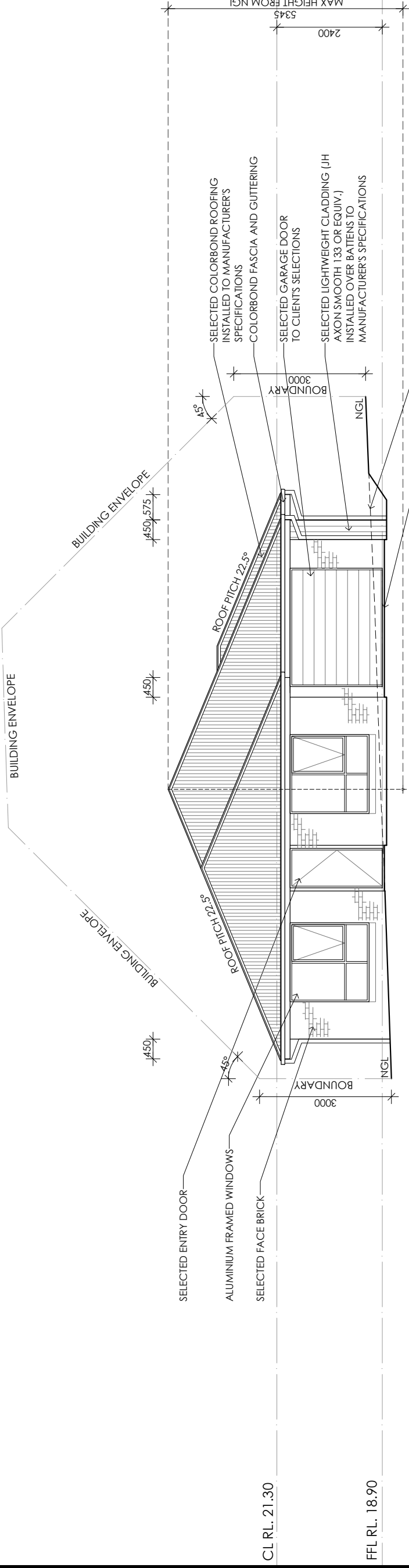
CREATIVE HOMES
HOBART
 CREATIVE HOMES HOBART, CNR OF ELWICK ROAD & BROOKER HIGHWAY, GLENORCHY 7010 PH: 03 6272 3000

JOB ADDRESS: Lot 466 Tivoli Green Estate Old Beach		CLIENT: Destinee LUC & Dante Ottavi
DESIGNER: I. Brown	ACCRED. NO.: CC6652	SHEET: 4 of 9
DRAWN: Q. Tra	DATE: April 2024	DESIGN TYPE: Custom
CHECKED:	DATE:	DRAWING NO:
SCALE: 1:100	REV: B	

PROJECT NORTH	CONTRACTOR MUST VERIFY ALL DIMENSIONS AND LEVELS AT THE JOB PRIOR TO COMMENCING ANY WORK OR MAKING ANY SHOP DRAWINGS. DO NOT SCALE DRAWINGS. ALWAYS USE WRITTEN DIMENSIONS.		
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04

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CL RL. 21.30

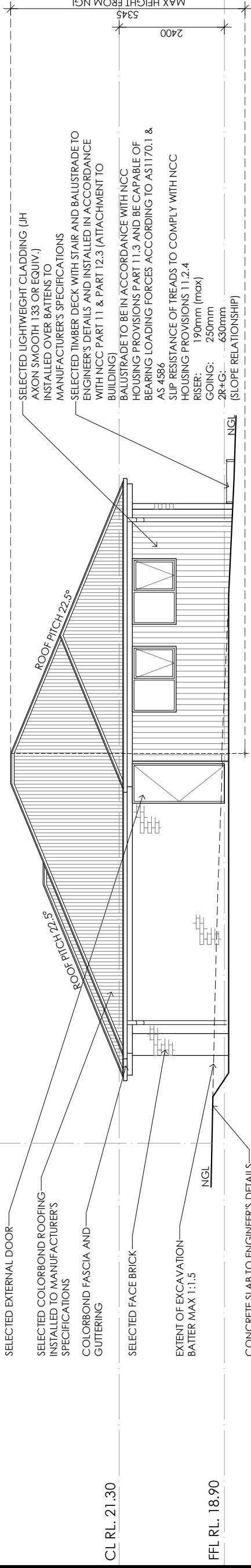
FFL RL. 18.90

WESTERN ELEVATION

SELECTED ENTRY DOOR
ALUMINIUM FRAMED WINDOWS
SELECTED FACE BRICK
SELECTED GARAGE DOOR
TO CLIENT'S SELECTIONS
SELECTED LIGHTWEIGHT CLADDING (JH AXON SMOOTH 1.33 OR EQUIV.)
INSTALLED OVER BATTENS TO MANUFACTURER'S SPECIFICATIONS
EXTENT OF EXCAVATION
BATTER MAX 1:1.5
CONCRETE SLAB TO ENGINEER'S DETAILS
GRADIENT MAX 1:20 PARALLEL TO DIRECTION OF PARKING. 1:16 IN ANY OTHER DIRECTION IN ACCORDANCE WITH AS2890.1

Important notice for attention of Owners:
The Owners attention is drawn to the fact that foundations and associated retaining walls are to be designed to meet the performance. Advice for foundation maintenance is contained in the CSIRO building technology file 18 and it is the Owners responsibility to maintain the site in accordance with this document.

Energy efficiency:
Insulation must comply with AS/NZS4859.1 and be installed in accordance with ABCB housing provisions Part 13.2.2 and comply with minimum R values for climate zone 7.
Bulk insulation between external studs to be insulated with min R2.0. (Ensure batts fit within cavity without compression, making sure that there is at least 25mm gap from the reflective surface). External walls are to be clad with vapour permeable reflective foil over the outside of the timber frame. Ceiling to be insulated with 40 and vapour insulated with min R1.3. Fills to be installed with min R1.3. Fills to be installed in Laundry and Kitchen. All downlights to be IC rated. Construction of the external walls, floor and roof for compliance with building sealing requirements shall comply with BCA 2019 Part 3.12



CL RL. 21.30

FFL RL. 18.90

SOUTHERN ELEVATION

SELECTED EXTERNAL DOOR
SELECTED COLORBOND ROOFING
INSTALLED TO MANUFACTURER'S SPECIFICATIONS
COLORBOND FASCIA AND GUTTERING
SELECTED FACE BRICK
EXTENT OF EXCAVATION
BATTER MAX 1:1.5
CONCRETE SLAB TO ENGINEER'S DETAILS
GRADIENT MAX 1:20 PARALLEL TO DIRECTION OF PARKING. 1:16 IN ANY OTHER DIRECTION IN ACCORDANCE WITH AS2890.1

General:
All flashings, weep holes and damp proof coursing to be in accordance with NCC Housing provisions Part 5.7. Fibre cement sheet in accordance with NCC Housing provisions Part 7.5. Block construction in accordance with NCC Housing provisions Part 5. Plasterboard linings to internal walls and ceilings with selected cornice. (see below for wet areas)

Wet areas: All wet areas shall comply with the requirements of ABCB Housing provisions Part 10.5. Provide waste proof plasterboard sheathing to all walls and ceilings. Provide ceramic tiles or other approved water resistant lining in accordance with Part 10.2.9 to a minimum height of 1800mm to shower walls and to a height of min 150mm behind baths, basins, sinks, troughs, washing machines and wall fixtures.
For construction of floor wastes refer to NCC ABCB Housing provisions part 10.2.12. For typical installation requirements for substrate preparation, penetrations, flashings/junctions, membranes, screeds, hobs, baths, showers, door jambs and screens refer to ABCB Housing provisions part 10.2.14-32.

PRELIMINARY

CREATIVE HOMES
HOBART
CREATIVE HOMES HOBART, CNR OF ELWICK ROAD & BROOKER HIGHWAY, GLENORCHY 7010 PH: 03 6272 3000

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DRAWN: Q. Tra	DATE: April 2024	CHECKED:	DATE:	SHEET: 5 of 9
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B	FFL AMENDMENT
BY:	DATE:
QT	28/03/24
QT	10/04/24
QT	12/04/24

05

Framing NCC HID6
 All timber framing, bracing and bracing shall comply with AS 1684 and the requirements of NCC HID6. All wall and window frames must be designed and detailed for all timber sizes, stresses, spacing and wall bracing refer to Engineer's details. Tie-down details shall be in accordance with Engineer's details and comply with NCC HID6 (4). Structural steel members shall comply with the requirements of clauses in NCC HID6 (3). Refer to Engineer's details where provided.

Glazing NCC HID8
 All windows to be aluminium owning style, double glazed (obscured safety glass to bathrooms as shown on drawings) All glazing shall comply with the requirements of AS 2047 & AS 1288 and NCC HID8.

Human impact safety requirements shall comply with NCC HID8 (5) and Part 8.4 of the ABCB Housing provisions.

Note:
 Builder and subcontractors to verify all dimensions and levels prior to the commencement of any work. Give 24hrs minimum notice where amendments are required to design of working drawings. These drawings are to be read in conjunction with Engineer's and Surveyor's drawings and notes. Do not scale drawings. Dimensions are to take preference over scale. Building specification and Engineer's drawings shall override architectural drawings. All construction work shall be carried out in accordance with the state building regulations, local council by-laws and relevant NCC and AS codes.

Important notice for attention of Owners:
 The Owners attention is drawn to the fact that foundations and associated drainage in all sites requires continuing maintenance. Advice for long term performance is contained in the CSIRO building technology file 18 and it is the Owners responsibility to maintain the site in accordance with this document.

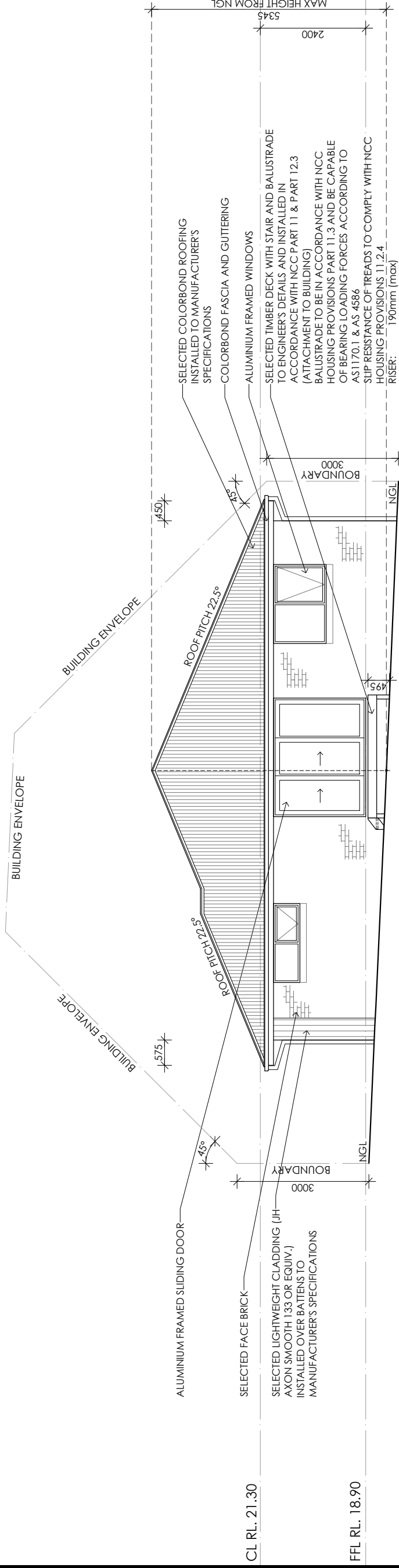
Energy efficiency:
 Insulation must comply with AS/NZS4859.1 and be installed in accordance with ABCB housing provisions Part 13.2.2 and comply with minimum R values for climate zone 7.

Bulk insulation between external studs to be insulated with min R2.0. (Ensure batts fit within cavity without compression, making sure that there is at least 25mm gap from the reflective surface). External walls are to be clad with vapour permeable reflective foil over the outside of the timber frame. Ceiling to be insulated with R4.0 and vapour impermeable siding. Floor to be insulated with R2.0. All doors, windows, laundry and kitchen. All downlights to be IC rated. Construction of the external walls, floor and roof for compliance with building sealing requirements shall comply with BCA 2019 Part 3.1.2

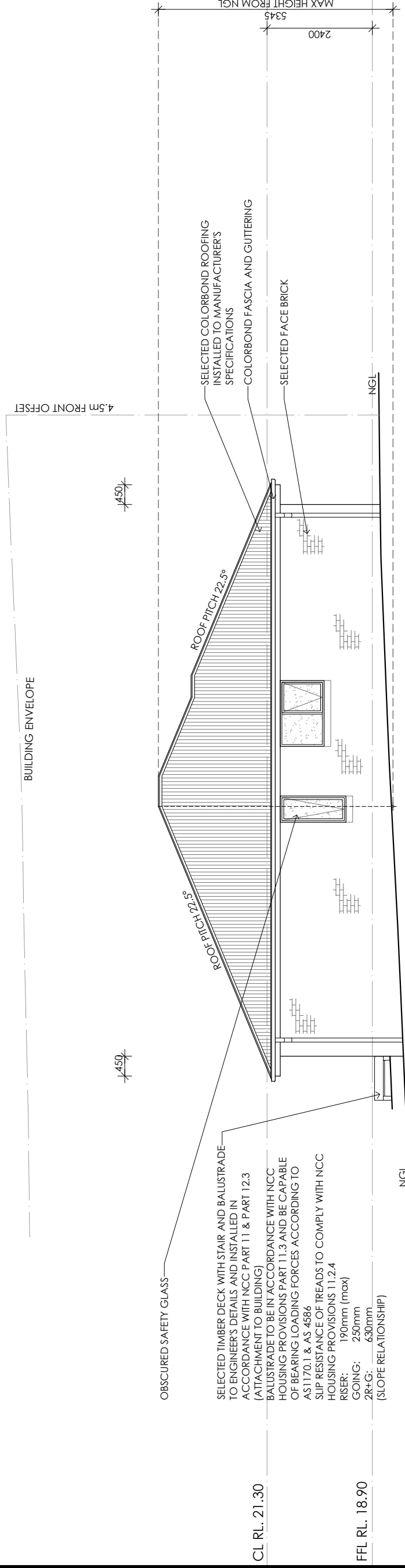
General:
 All flashings, weep holes and damp proof coursing to be in accordance with NCC Housing provisions Part 5.7, Fibre cement sheet in accordance with NCC Housing provisions Part 7.5. Block construction in accordance NCC Housing provisions Part 5. Plasterboard linings to internal walls and ceilings with selected cornice. (see below for wet areas)

Wet areas: All wet areas shall comply with the requirements of ABCB housing provisions Part 7.2.1 for external wall and ceiling. Provide ceramic tiles or other approved water resistant lining in accordance with Part 10.2.9 to a minimum height of 1800mm to shower walls and to a height of min 1500mm behind baths, basins, sinks, troughs, washing machines and wall fixtures.

For construction of floor wastes refer to NCC ABCB Housing provisions part 10.2.1.2. For typical installation requirements for substrate preparation, penetrations, flashings/ junctions, membranes, screeds, hobs, baths, showers, door jams and screens refer to ABCB Housing provisions part 10.2.1.4-32.



EASTERN ELEVATION



NORTHERN ELEVATION

CL RL. 21.30

FFL RL. 18.90

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FFL RL. 18.90

PRELIMINARY

CREATIVE HOMES
HOBART
 CREATIVE HOMES HOBART, CNR OF ELWICK ROAD & BROOKER HIGHWAY, GLENORCHY 7010 PH: 03 6272 3000

JOB ADDRESS: Lot 466 Tivoli Green Estate Old Beach		DESIGNER: I. Brown	ACCRED. NO.:	CC6652
DRAWN: Q. Tra	DATE: April 2024	CHECKED:	DATE:	
SCALE: 1:100	REV:			

CLIENT: Destinee LUC & Dante Ottavi	SHEET: 6 of 9
DESIGN TYPE: Custom	DRAWING NO.:

PROJECT NORTH	CONTRACTOR MUST VERIFY ALL DIMENSIONS AND LEVELS AT THE JOB PRIOR TO COMMENCING ANY WORK OR MAKING ANY SHOP DRAWINGS. DO NOT SCALE DRAWINGS. ALWAYS USE WRITTEN DIMENSIONS.
REV:	DESCRIPTION:
SK	ISSUED FOR CLIENT REVIEW
A	ISSUED FOR CLIENT REVIEW
B	FFL AMENDMENT
BY:	DATE:
QT	28/03/24
QT	10/04/24
QT	12/04/24

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