



# Application for Planning Approval

## *Land Use Planning and Approvals Act 1993*

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APPLICATION NO.

**DA2024/061**

LOCATION OF AFFECTED AREA

**24B AND 38 JETTY ROAD, OLD BEACH**

DESCRIPTION OF DEVELOPMENT PROPOSAL

**MULTIPLE DWELLINGS X 53 (51 NEW, 2 EXISTING)**

A COPY OF THE DEVELOPMENT APPLICATION MAY BE VIEWED AT [www.brighton.tas.gov.au](http://www.brighton.tas.gov.au) AND AT THE COUNCIL OFFICES, 1 TIVOLI ROAD, OLD BEACH, BETWEEN 8:15 A.M. AND 4:45 P.M, MONDAY TO FRIDAY OR VIA THE QR CODE BELOW. ANY PERSON MAY MAKE WRITTEN REPRESENTATIONS IN ACCORDANCE WITH S.57(5) OF THE LAND USE PLANNING AND APPROVALS ACT 1993 CONCERNING THIS APPLICATION UNTIL 4:45 P.M. ON **13/06/2024 (EXTENDED PURSUANT TO S57(5AA) OF THE LAND USE PLANNING AND APPROVALS ACT 1993 FOR PUBLIC HOLIDAY)**. ADDRESSED TO THE GENERAL MANAGER AT 1 TIVOLI ROAD, OLD BEACH, 7017 OR BY EMAIL AT [development@brighton.tas.gov.au](mailto:development@brighton.tas.gov.au). REPRESENTATIONS SHOULD INCLUDE A DAYTIME TELEPHONE NUMBER TO ALLOW COUNCIL OFFICERS TO DISCUSS, IF NECESSARY, ANY MATTERS RAISED.

**JAMES DRYBURGH**  
**General Manager**



**Brighton**  
going places

# PROPOSED UNIT DEVELOPMENT

## 38 JETTY ROAD, OLD BEACH

### GIC ESTATES PTY LTD

#### PD23405

##### BUILDING DRAWINGS

No.	DRAWING
01	EXISTING SITE PLAN
02	SITE PLAN
03	PART SITE PLAN
04	PART SITE PLAN
05	PART SITE LANDSCAPING PLAN
06	PART SITE LANDSCAPING PLAN
07	LOCALITY PLAN
08	P.O.S. SECTIONS
09	BUILDING ENVELOPE DIAGRAMS
10	SHADOW DIAGRAMS
11	SHADOW DIAGRAMS
12	STAGING PLAN

##### BUILDING DRAWINGS - UNITS

No.	DRAWING
TYPE A1	
A1-01	GROUND FLOOR PLAN
A1-02	FIRST FLOOR PLAN
A1-03	DOOR AND WINDOW SCHEDULES
A1-04	ELEVATIONS
A1-05	ELEVATIONS
A1-06	ROOF PLAN
TYPE A2	
A2-01	GROUND FLOOR PLAN
A2-02	FIRST FLOOR PLAN
A2-03	DOOR AND WINDOW SCHEDULES
A2-04	ELEVATIONS
A2-05	ELEVATIONS
A2-06	ROOF PLAN

TYPE B1	
B1-01	FLOOR PLAN
B1-02	DOOR AND WINDOW SCHEDULES
B1-03	ELEVATIONS
B1-04	ELEVATIONS
B1-05	ELEVATIONS
B1-06	ELEVATIONS
B1-07	ELEVATIONS
B1-08	ELEVATIONS
B1-09	ELEVATIONS
B1-10	ELEVATIONS
B1-11	ROOF PLAN
TYPE B2	
B2-01	FLOOR PLAN
B2-02	DOOR AND WINDOW SCHEDULES
B2-03	ELEVATIONS
B2-04	ELEVATIONS
B2-05	ELEVATIONS
B2-06	ELEVATIONS
B2-07	ELEVATIONS
B2-08	ELEVATIONS
B2-09	ROOF PLAN
TYPE C	
C1-01	FLOOR PLAN
C1-02	DOOR AND WINDOW SCHEDULES
C1-03	ELEVATIONS
C1-04	ELEVATIONS
C1-05	ROOF PLAN

##### BUILDING DRAWINGS - UNITS

No.	DRAWING
TYPE C2	
C2-01	FLOOR PLAN
C2-02	DOOR AND WINDOW SCHEDULES
C2-03	ELEVATIONS
C2-04	ELEVATIONS
C2-05	ELEVATIONS
C2-06	ROOF PLAN
TYPE D	
D-01	FLOOR PLAN
D-02	DOOR AND WINDOW SCHEDULES
D-03	ELEVATIONS
D-04	ELEVATIONS
D-05	ROOF PLAN
TYPE E	
E-01	GROUND FLOOR PLAN
E-02	FIRST FLOOR PLAN
E-03	DOOR AND WINDOW SCHEDULES
E-04	ELEVATIONS
E-05	ELEVATIONS
E-06	ELEVATIONS
E-07	ELEVATIONS
E-08	ELEVATIONS
E-09	ELEVATIONS
E-10	ELEVATIONS
E-11	ELEVATIONS
E-12	ELEVATIONS
E-13	ELEVATIONS
E-14	ELEVATIONS
E-15	ELEVATIONS
E-16	ROOF PLAN

TYPE F1	
F1-01	GROUND FLOOR PLAN
F1-02	FIRST FLOOR PLAN
F1-03	DOOR AND WINDOW SCHEDULES
F1-04	ELEVATIONS
F1-05	ELEVATIONS
F1-06	ELEVATIONS
F1-07	ELEVATIONS
F1-08	ELEVATIONS
F1-09	ELEVATIONS
F1-10	ELEVATIONS
F1-11	ELEVATIONS
F1-12	ROOF PLAN
TYPE F2	
F2-01	GROUND FLOOR PLAN
F2-02	FIRST FLOOR PLAN
F2-03	DOOR AND WINDOW SCHEDULES
F2-04	ELEVATIONS
F2-05	ELEVATIONS
F2-06	ELEVATIONS
F2-07	ELEVATIONS
F2-08	ELEVATIONS
F2-09	ELEVATIONS
F2-10	ELEVATIONS
F2-11	ELEVATIONS
F2-12	ELEVATIONS
F2-13	ELEVATIONS

TYPE H1	
H1-01	FLOOR PLAN
H1-02	DOOR AND WINDOW SCHEDULES
H1-03	ELEVATIONS
H1-04	ELEVATIONS
H1-05	ROOF PLAN

##### BUILDING DRAWINGS - UNITS

No.	DRAWING
TYPE F3	
F3-01	FLOOR PLAN
F3-02	DOOR AND WINDOW SCHEDULES
F3-03	ELEVATIONS
F3-04	ELEVATIONS
F3-05	ELEVATIONS
F3-06	ROOF PLAN
TYPE F3.2	
F3.2-01	FLOOR PLAN
F3.2-02	DOOR AND WINDOW SCHEDULES
F3.2-03	ELEVATIONS
F3.2-04	ELEVATIONS
F3.2-05	ELEVATIONS
F3.2-06	ROOF PLAN
TYPE F4	
F4-01	GROUND FLOOR PLAN
F4-02	FIRST FLOOR PLAN
F4-03	DOOR AND WINDOW SCHEDULES
F4-04	ELEVATIONS
F4-05	ELEVATIONS
F4-06	ELEVATIONS
F4-07	ELEVATIONS
F4-08	ELEVATIONS
F4-09	ELEVATIONS
F4-10	ROOF PLAN

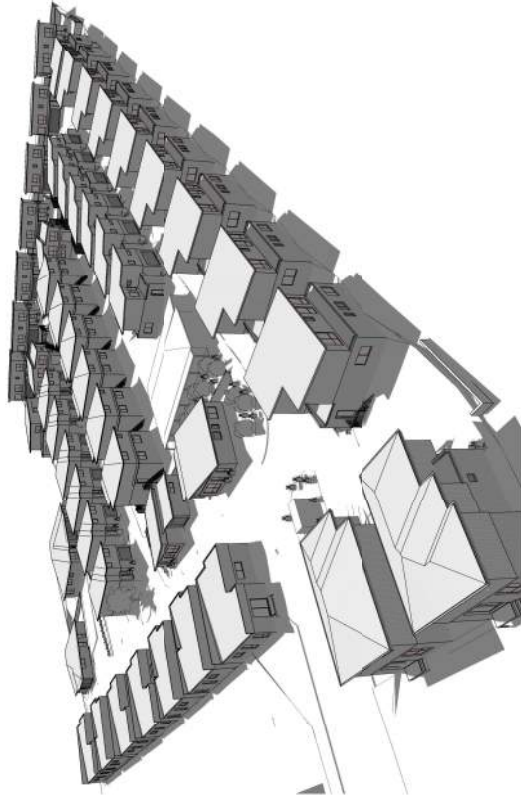
TYPE G	
G-01	GROUND FLOOR PLAN
G-02	FIRST FLOOR PLAN
G-03	DOOR AND WINDOW SCHEDULES
G-04	ELEVATIONS
G-05	ELEVATIONS
G-06	ELEVATIONS
G-07	ELEVATIONS
G-08	ELEVATIONS
G-09	ELEVATIONS
G-10	ELEVATIONS
G-11	ELEVATIONS
G-12	ELEVATIONS
G-13	ELEVATIONS
G-14	ELEVATIONS
G-15	ELEVATIONS
G-16	ROOF PLAN

TYPE H1	
H1-01	FLOOR PLAN
H1-02	DOOR AND WINDOW SCHEDULES
H1-03	ELEVATIONS
H1-04	ELEVATIONS
H1-05	ROOF PLAN

##### BUILDING DRAWINGS - UNITS

No.	DRAWING
TYPE H2	
H2-01	FLOOR PLAN
H2-02	DOOR AND WINDOW SCHEDULES
H2-03	ELEVATIONS
H2-04	ELEVATIONS
H2-05	ROOF PLAN
TYPE I	
I-01	GROUND FLOOR PLAN
I-02	FIRST FLOOR PLAN
I-03	DOOR AND WINDOW SCHEDULES
I-04	ELEVATIONS
I-05	ELEVATIONS
I-06	ELEVATIONS
I-07	ELEVATIONS
I-08	ELEVATIONS
I-09	ELEVATIONS
I-10	ELEVATIONS
I-11	ELEVATIONS
I-12	ELEVATIONS
I-13	ELEVATIONS
I-14	ELEVATIONS
I-15	ELEVATIONS
I-16	ELEVATIONS
I-17	ELEVATIONS
I-18	ROOF PLAN

TYPE J	
J-01	GROUND FLOOR PLAN
J-02	FIRST FLOOR PLAN
J-03	DOOR AND WINDOW SCHEDULES
J-04	ELEVATIONS
J-05	ELEVATIONS
J-06	ELEVATIONS
J-07	ELEVATIONS
J-08	ELEVATIONS
J-09	ELEVATIONS
J-10	ELEVATIONS
J-11	ELEVATIONS
J-12	ELEVATIONS
J-13	ELEVATIONS
J-14	ELEVATIONS
J-15	ELEVATIONS
J-16	ELEVATIONS
J-17	ELEVATIONS
J-18	ROOF PLAN



GENERAL PROJECT INFORMATION  
TITLE: PROPOSED UNIT DEVELOPMENT  
SITE AREA: 18,712 TOTAL  
DESIGN AND SPEED: NS  
SOIL CLASSIFICATION: M  
CLIMATE ZONE: ALPINE AREA, NO  
CORROSION/ENVIRONMENT: MEDIUM  
BAL RATING: TBC  
OTHER KNOWN HAZARDS: NONE KNOWN

## 1. EQO



SURVEY NOTES:

THE TITLE BOUNDARIES AS SHOWN ON THIS PLAN WERE NOT MARKED AT THE TIME OF THE SURVEY AND HAVE BEEN DETERMINED BY EXISTING TITLE DIMENSIONS AND OCCUPATION (WHERE AVAILABLE) ONLY AND NOT BY FIELD SURVEY, AND AS A RESULT ARE CONSIDERED APPROXIMATE ONLY. THIS PLAN SHOULD NOT BE USED FOR BUILDING TO BOUNDARY, OR TO PRESCRIBED SET-BACKS, WITHOUT FURTHER SURVEY.

ALL SURVEY DATA IS 3D. THE LEVEL (Z-VALUE) OF ANY SPECIFIC FEATURE CAN BE INTERROGATED WITH A SUITABLE CAD PACKAGE. SPOT HEIGHTS OF ALL FEATURES, INCLUDING PIPE INVERTS, ARE INCLUDED IN THE MODEL SPACE BUT ARE NOT DISPLAYED ON THE PDF. SPOT HEIGHTS ARE ORGANISED INTO APPROPRIATE LAYERS, AND CAN BE DISPLAYED AS REQUIRED.

DATE OF SURVEY : 06/11/2023 07:11/2023

100

**IMPORTANT NOTE:**  
DRAWINGS CAN BE READ IN BLACK & WHITE.  
HOWEVER ARE BEST PRINTED IN FULL COLOUR  
FOR OPTIMUM CLARITY. A COLOUR COPY  
SHOULD BE RETAINED ON SITE AT ALL TIMES  
FOR CONTRACTORS COMPLETING WORKS.

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Shop 9, 105-111 Main Road, Moorah Hobart 7009  
p(d) + 03 6228 4575  
info@primelocientas.com.au primelocientas.com.au

Drawing:

Date: \_\_\_\_\_ Scale: \_\_\_\_\_

Project/Drawing no:

Accredited building practitioner, Frank Ge

- GENERAL NOTES**
- CHECK & VERIFY ALL DIMENSIONS & LEVELS ON SITE.
  - VERIFY THE EXISTING UTILITIES & SERVICES ON SITE.
  - ALL WORK TO BE STRICTLY IN ACCORDANCE WITH NZS 2222. ALL
  - S.A. CODES & LOCAL AUTHORITY BY-LAWS.
  - ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.
  - ALLOW FOR WALL LININGS.
  - CONSIDER ALL POSSIBLE ADJACENT PROPERTIES.
  - ALL FLOODING WORKS TO BE STRICTLY IN ACCORDANCE WITH A.S.
  - 3300.1 NZS 2222 & APPROVED BY COUNCIL INSPECTOR.
  - BUILDINGS ARE TO BE CONSTRUCTED TO A MINIMUM OF 300mm CONCRECTION
  - POINTS IN ACCORDANCE WITH A.S. 3300 FOR EROSION AND
  - SOILS BEFORE CONSTRUCTION COMMENCES.
  - STRUCTURAL DRAININGS TO COMPLY WITH THE ENGINEER'S
  - DESIGN & SPECIFICATIONS.
  - ALL SET OUT OF BUILDINGS & STRUCTURES TO BE CARRIED OUT BY A
  - REGISTERED LAND SURVEYOR AND CHECKED PRIOR TO
  - CONSTRUCTION OF THE DESIGN IN THIS SET OF DRAWINGS OFFER
  - FOR THE ENGINEER'S AND ARCHITECT'S APPROVAL.
  - THE ENGINEER'S AND ARCHITECT'S ASSOCIATED
  - DOCUMENTS BUILDING AND OTHER RELEVANT TO ALL PLANNING
  - CONSIDERATIONS.
  - BUILDERS TO HAVE STAMPED BUILDING APPROVAL DRAWINGS AND
  - PERMITS PRIOR TO COMMENCEMENT OF CONSTRUCTION
  - AND AFTER THE COMPLETION OF CONSTRUCTION.
  - WITH BUSHFIRE ATTACK LEVEL (BAL) ASSESSMENT REPORT.

- SURVEY NOTES**
- WHILE ALL REASONABLE EFFORT HAS BEEN MADE TO LOCATE ALL VISIBLE
  - ABOVE & BELOW SERVICES, THERE MAY BE OTHER SERVICES WHICH WERE
  - NOT LOCATED DURING THE FIELD SURVEY.
  - THE TITLE BOUNDARIES AS SHOWN ON THE PLAN WERE NOT MARKED AT THE
  - TIME OF THE SURVEY AND THEREFORE THE SURVEYOR HAS NOT BEEN
  - ABLE TO VERIFY THE EXISTING DIMENSIONS AND OCCUPATION (FURNITURE, WALLS, ETC.) BY FIELD
  - SURVEY, AND AS A RESULT ARE CONSIDERED APPROXIMATE ONLY. THIS PLAN
  - SET BACKS, WITHOUT FURTHER SURVEY. BOUNDARY ON TO PRESUMED
  - SET BACKS, WITHOUT FURTHER SURVEY.
  - PRIOR TO ANY DEMOLITION, EXCAVATION, FINAL DESIGN OR CONSTRUCTION
  - ON THIS SITE, A FULL SITE INSPECTION SHOULD BE COMPLETED BY THE
  - RELEVANT ENGINEERS.
  - ALL SURVEY DATA IS TO THE LEVEL 2+VALUE OF ANY SPECIFIC FEATURE
  - ALL LEVELS ARE TO THE LEVEL 2+VALUE OF ANY SPECIFIC FEATURE
  - ALL FEATURES INCLUDING PIPE INVERTS, ARE INCLUDED IN THE MODEL SPACE
  - BUT ARE NOT DISPLAYED ON THE PLOT. SPOT HEIGHTS ARE OBTAINED INTO
  - APPROPRIATE LAYERS, AND CAN BE DISPLAYED AS REQUIRED.
  - THIS SURVEY WAS CONDUCTED ON 06/11/2023. SP/MSH WITH REPUTED AND LEVEL OF 1.885
  - FROM SURVEY ON 06/11/2023.
  - DATE OF SURVEY: 06/11/2023. 07/11/2023
  - CONTOUR INTERVAL: 0.20m

- IMPORTANT NOTE**
- DRAWINGS CAN BE READ IN BLACK & WHITE.
  - HOWEVER, ARE BEST PRINTED IN FULL COLOUR.
  - FOR OPTIMUM RESULTS, ALL DIMENSIONS & COLOURS
  - SHOULD BE RELIED ON. SCALE COPIES
  - FOR CONTRACTORS COMPLETING WORKS.

- LOT AREA**
- | LOT NO. | AREA |
|---------|------|
| UNIT 1  | 123  |
| UNIT 2  | 131  |
| UNIT 3  | 136  |
| UNIT 4  | 131  |
| UNIT 5  | 124  |
| UNIT 6  | 124  |
| UNIT 7  | 124  |
| UNIT 8  | 119  |
| UNIT 9  | 75   |
| UNIT 10 | 99   |
| UNIT 11 | 120  |
| UNIT 12 | 100  |
| UNIT 13 | 83   |
| UNIT 14 | 80   |
| UNIT 15 | 85   |
| UNIT 16 | 85   |
| UNIT 17 | 74   |
| UNIT 18 | 70   |
| UNIT 19 | 64   |
| UNIT 20 | 64   |
| UNIT 21 | 54   |
| UNIT 22 | 112  |
| UNIT 23 | 104  |
| UNIT 24 | 106  |
| UNIT 25 | 110  |
| UNIT 26 | 114  |
| UNIT 27 | 116  |
| UNIT 28 | 124  |
| UNIT 29 | 69   |
| UNIT 30 | 69   |
| UNIT 31 | 89   |
| UNIT 32 | 99   |
| UNIT 33 | 91   |
| UNIT 34 | 91   |
| UNIT 35 | 81   |
| UNIT 36 | 81   |
| UNIT 37 | 80   |
| UNIT 38 | 80   |
| UNIT 39 | 87   |
| UNIT 40 | 87   |
| UNIT 41 | 87   |
| UNIT 42 | 87   |
| UNIT 43 | 87   |
| UNIT 44 | 87   |
| UNIT 45 | 86   |
| UNIT 46 | 86   |
| UNIT 47 | 154  |
| UNIT 48 | 42   |
| UNIT 49 | 42   |
| UNIT 50 | 42   |
| UNIT 51 | 42   |
| UNIT 52 | 42   |
| UNIT 53 | 99   |

- LOT AREA**
- | LOT NO. | AREA |
|---------|------|
| UNIT 1  | 123  |
| UNIT 2  | 131  |
| UNIT 3  | 136  |
| UNIT 4  | 131  |
| UNIT 5  | 124  |
| UNIT 6  | 124  |
| UNIT 7  | 124  |
| UNIT 8  | 119  |
| UNIT 9  | 75   |
| UNIT 10 | 99   |
| UNIT 11 | 120  |
| UNIT 12 | 100  |
| UNIT 13 | 83   |
| UNIT 14 | 80   |
| UNIT 15 | 85   |
| UNIT 16 | 85   |
| UNIT 17 | 74   |
| UNIT 18 | 70   |
| UNIT 19 | 64   |
| UNIT 20 | 64   |
| UNIT 21 | 54   |
| UNIT 22 | 112  |
| UNIT 23 | 104  |
| UNIT 24 | 106  |
| UNIT 25 | 110  |
| UNIT 26 | 114  |
| UNIT 27 | 116  |
| UNIT 28 | 124  |
| UNIT 29 | 69   |
| UNIT 30 | 69   |
| UNIT 31 | 89   |
| UNIT 32 | 99   |
| UNIT 33 | 91   |
| UNIT 34 | 91   |
| UNIT 35 | 81   |
| UNIT 36 | 81   |
| UNIT 37 | 80   |
| UNIT 38 | 80   |
| UNIT 39 | 87   |
| UNIT 40 | 87   |
| UNIT 41 | 87   |
| UNIT 42 | 87   |
| UNIT 43 | 87   |
| UNIT 44 | 87   |
| UNIT 45 | 86   |
| UNIT 46 | 86   |
| UNIT 47 | 154  |
| UNIT 48 | 42   |
| UNIT 49 | 42   |
| UNIT 50 | 42   |
| UNIT 51 | 42   |
| UNIT 52 | 42   |
| UNIT 53 | 99   |



**SITE PLAN**  
1:500



10 Goodwin Court, Invermay, Tasmania 7248,  
Australia  
Phone: +61 8 9228 4575  
Email: info@primedesign.com.au  
www.primedesign.com.au

**PROPOSED UNIT DEVELOPMENT**  
38 JETTY ROAD,  
OLD BEACH

**CLIENT NAME:**  
GIC ESTATES PTY LTD

**PROJECT NAME:**  
SITE PLAN

Drawn by:  
D.D.H.

Approved by:  
D.D.H.

Date:  
20.05.2024

Project/Revision:  
PD23405-02

Revision:  
05

Accessed/Building Practitioner:  
Frank Gossard - No. CC2846





## GENERAL NOTES

- CHECK 1/4" VERTICAL ALL DIMENSIONS 1/4" LEVELS ON SITE
- ALL WORK TO BE STRICTLY IN ACCORDANCE WITH AAS 2022. ALL
- S.A. GROUND LEVELS TO BE EXACTLY 10' ABOVE FINISH GRADE AND DO NOT
- ALLOW FOR WALL FINISHES
- ALL FINISHING WORK TO BE STRICTLY IN ACCORDANCE WITH AAS
- 3900.1602.2022 APPROVED BY CHIEF INSPECTOR
- ALL WORK TO BE STRICTLY IN ACCORDANCE WITH AAS 3900 FOR STORMWATER
- POINTS IN ACCORDANCE WITH AAS 3900 FOR STORMWATER
- BEFORE BEFORE CONSTRUCTION COMMENCES
- ALL SETBACKS TO BE STRICTLY IN ACCORDANCE WITH THE ENGINEER'S
- STRUCTURAL DRAWINGS
- ALL SETBACKS TO BE STRICTLY IN ACCORDANCE WITH THE ENGINEER'S
- RECOMMENDATIONS AND CHECKED PRIOR TO
- REASSIGNMENT AND SURVEYOR AND CHECKED PRIOR TO
- IF CONSTRUCTION OF THE DRAWING IN THE SET OF DRAWINGS DIFFER
- FROM THE DESIGN AND DETAIL IN THESE AND ANY ASSOCIATED
- BUILDERS RESPONSIBILITY TO COMPLY WITH ALL PLANNING
- COMMISSIONERS
- BEFORE BEING STAMPED BUILDING APPROVAL DRAWINGS AND
- PERMITS PRIOR TO COMMENCEMENT OF CONSTRUCTION
- WITH BUILDING APPROVAL AND PERMIT ASSESSMENT NETWORK

SURVEY NOTES

SURVEY NOTES:

WHILE ALL REASONABLE EFFORT HAS BEEN MADE TO LOCATE ALL VISIBLE ABOVE GROUND SERVICES, THERE MAY BE OTHER SERVICES WHICH WERE NOT LOCATED DURING THE FIELD SURVEY.

THE TITLE BOUNDARIES AS SHOWN ON THIS PLAN WERE NOT MARKED AT THE TIME OF THE SURVEY AND HAVE BEEN DETERMINED BY EXISTING TITLE DIMENSIONS AND OCCUPATION (WHERE AVAILABLE) ONLY AND NOT BY FIELD SURVEY, AND AS A RESULT ARE CONSIDERED APPROXIMATE ONLY. THIS PLAN SURVEY, NOT BE USED FOR BUILDING TO BOUNDARY, OR TO PRESCRIBED SET-BACKS, WITHOUT FURTHER SURVEY.

PER TO ANY DEMOLITION, EXCAVATION, FINAL DESIGN, OR CONSTRUCTION ON THIS SITE, A FULL SITE INSPECTION SHOULD BE COMPLETED BY THE RELEVANT ENGINEERS.

ALL SURVEY DATA IS 3D. THE LEVEL (Z-VALUE) OF ANY SPECIFIC FEATURE CAN BE INTERROGATED WITH A SUITABLE CAD PACKAGE. SPOT HEIGHTS OF ALL FEATURES, INCLUDING PIPE INVERTS, ARE INCLUDED IN THE MODEL. SPACES BUT ARE NOT DISPLAYED ON THE PDF. SPOT HEIGHTS ARE ORGANISED INTO APPROPRIATE LAYERS, AND CAN BE DISPLAYED AS REQUIRED.

DATUM - VERTICAL : AND PER SPMB69 WITH REPORTED AND LEVEL OF 1.895  
FROM SURCOM ON 06/11/2023

DATE OF SURVEY : 06/11/2023, 07/11/2023

WOLFF, J. A. 1993. *WOLFF'S LAW*. New York: Oxford University Press.

**IMPORTANT NOTES:**

**IMPORTANT NOTE:**  
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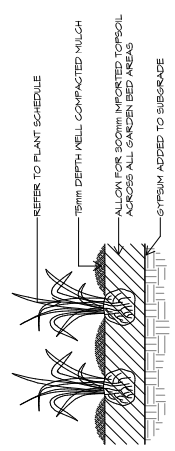






PLANTING SCHEDULE

ABB.	BOTANICAL NAME	COMMON NAME	POT	SIZE	DENSITY / COUNT
1	PROPOSED TREE	PROPOSED TREE	1500mm x 1500mm	1500mm	1
2	PROPOSED SHRUB	PROPOSED SHRUB	1000mm x 1000mm	1000mm	1
3	PROPOSED GROUND COVER / GRASS	PROPOSED GROUND COVER / GRASS	500mm x 500mm	500mm	1
4	LAWN	LAWN	1000mm x 1000mm	1000mm	1
5	MULCH OR SIMILAR	MULCH OR SIMILAR	1000mm x 1000mm	1000mm	1
6	CONCRETE PATH / PAVING	CONCRETE PATH / PAVING	1000mm x 1000mm	1000mm	1
7	CONCRETE DRIVEWAY	CONCRETE DRIVEWAY	1000mm x 1000mm	1000mm	1
8	LETTER BOX	LETTER BOX	1000mm x 1000mm	1000mm	1
9	WASTE STORAGE	WASTE STORAGE	1000mm x 1000mm	1000mm	1
10	GATE	GATE	1000mm x 1000mm	1000mm	1
11	FENCE 1.2m HIGH	FENCE 1.2m HIGH	1000mm x 1000mm	1000mm	1
12	KERB	KERB	1000mm x 1000mm	1000mm	1
13	CLOTHES LINES - WALL MOUNT	CLOTHES LINES - WALL MOUNT	1000mm x 1000mm	1000mm	1
14	ENGINEERED RETAINING WALL	ENGINEERED RETAINING WALL	1000mm x 1000mm	1000mm	1
15	ELECTRICAL TUNNEL	ELECTRICAL TUNNEL	1000mm x 1000mm	1000mm	1



NOTE: DO NOT SCALE OFF DRAWINGS

PLANNING

10 Goodwin Court, Invermay Tasmania 7248,  
 Australia  
 Tel: 081 628 4575  
 Email: info@primedesign.com.au  
 Website: www.primedesign.com.au

Project:  
 38 JETTY ROAD,  
 OLD BEACH

Client Name:  
 GIC ESTATES PTY LTD

Project Name:  
 PART SITE LANDSCAPING PLAN

Drawn by:  
 D.D.H.

Approved by:  
 D.D.H.

Date:  
 20/05/2024

Revision:  
 As indicated @A1

Project Number:  
 PD23405-405

Revision Number:  
 05

Accession Number:  
 Accession Number: Peak Group - No. CC004



10 Goodwin Court, Invermay Tasmania 7248,  
 Australia  
 Tel: 081 628 4575  
 Email: info@primedesign.com.au  
 Website: www.primedesign.com.au

Project:  
 38 JETTY ROAD,  
 OLD BEACH

Client Name:  
 GIC ESTATES PTY LTD

Project Name:  
 PART SITE LANDSCAPING PLAN

Drawn by:  
 D.D.H.

Approved by:  
 D.D.H.

Date:  
 20/05/2024

Revision:  
 As indicated @A1

Project Number:  
 PD23405-405

Revision Number:  
 05

Accession Number:  
 Accession Number: Peak Group - No. CC004

[illegible]

PLANTING SCHEDULE					
ABIS	BOTANICAL NAME	COMMON NAME	MATURE HEIGHT x SPREAD	POT SIZE	DENSITY /CONT
1	ALBIZIA ALBIS	SIANG BUKA	10.00m x 10.00m	100cm	1000
2	ALBIZIA ALBIS	SIANG BUKA	10.00m x 10.00m	100cm	1000
3	ALBIZIA ALBIS	SIANG BUKA	10.00m x 10.00m	100cm	1000
4	ALBIZIA ALBIS	SIANG BUKA	10.00m x 10.00m	100cm	1000
5	ALBIZIA ALBIS	SIANG BUKA	10.00m x 10.00m	100cm	1000
6	ALBIZIA ALBIS	SIANG BUKA	10.00m x 10.00m	100cm	1000
7	ALBIZIA ALBIS	SIANG BUKA	10.00m x 10.00m	100cm	1000
8	ALBIZIA ALBIS	SIANG BUKA	10.00m x 10.00m	100cm	1000
9	ALBIZIA ALBIS	SIANG BUKA	10.00m x 10.00m	100cm	1000
10	ALBIZIA ALBIS	SIANG BUKA	10.00m x 10.00m	100cm	1000
11	ALBIZIA ALBIS	SIANG BUKA	10.00m x 10.00m	100cm	1000
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33	ALBIZIA ALBIS	SIANG BUKA	10.00m x 10.00m	100cm	1000
34	ALBIZIA ALBIS	SIANG BUKA	10.00m x 10.00m	100cm	1000
35	ALBIZIA ALBIS	SIANG BUKA	10.00m x 10.00m	100cm	1000
36	ALBIZIA ALBIS	SIANG BUKA	10.00m x 10.00m	100cm	1000
37	ALBIZIA ALBIS	SIANG BUKA	10.00m x 10.00m	100cm	1000
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99	ALBIZIA ALBIS	SIANG BUKA	10.00m x 10.00m	100cm	1000
100	ALBIZIA ALBIS	SIANG BUKA	10.00m x 10.00m	100cm	1000



PART SITE LANDSCAPING PLAN - EAST

1 : 250

Diagram illustrating the process of planting a tree, showing the tree being planted in a hole, with labels for various steps and materials:

- REFER TO PLANT SCHEDULE FOR TREE SPECIES AND SIZE
- HARDWOOD TIMBER STAKED - 2 NO. 4x4x10' MINIMUM DRIVEN 600mm INTO GROUND. APPLY COATS EXTERNAL GRADE
- WATERED 100% (OR 100% PLANT COLORED BLACK) AND ROOT BALL SECURE TREE WITH 50MM HESSIAN TIES ENSURING THERE IS STILL MOVEMENT CAPACITY FOR STEM
- WELL COMPOSTED GUM MULCH TO PREVENT ROOT ROT FROM TRUNK. APPLY 500mm WIDE X 200mm THICK
- BACK FILL WITH IMPORTED TOP SOIL
- DEPTH OF ROOT BALL
- CULTIVATE AND RIP BASE OF PLANTING HOLE TO 150mm DEPTH
- 2-3 TIMES THE WIDTH OF THE ROOTBALL



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Project: **PROPOSED UNIT DEVELOPMENT  
38 JETTY ROAD,  
OLD BEACH**

Client name:  
**GIC ESTATES PTY LTD**

---

Drawing:  
**PART SITE LANDSCAPING PLAN**

Drafted by: <b>D.D.H.</b>	Approved by: <b>Approver</b>
Date:	Scale:
<b>20.05.2024</b>	<b>As indicated@A1</b>
Project/Drawing no:	Revision:
<b>PD234/05-06</b>	<b>05</b>

Approved by: **A1**  
Drawing No: **CCT-048A**





LOCALITY PLAN  
1:2000

NOTE: DO NOT SCALE OFF DRAWINGS  
PLANNING



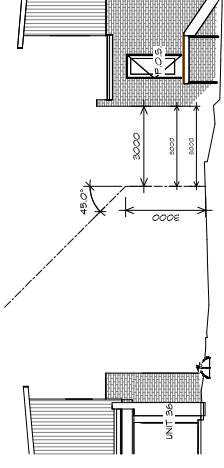
10 Goodwin Court, Invermay Tasmania 7248,  
Australia  
Phone: 08 6226 4675  
Fax: 08 6226 4675  
info@primedesign.com.au primedesign.com.au

Project:  
**PROPOSED UNIT DEVELOPMENT**  
**38 JETTY ROAD,**  
**OLD BEACH**

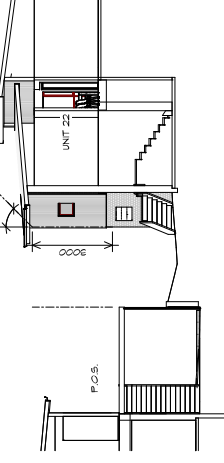
Client Name:  
**GIC ESTATES PTY LTD**  
Drawing:  
**LOCALITY PLAN**

Drawn by:  
**D.D.H.**  
Checked by:  
**D.D.H.**  
Date:  
**20.05.2024**  
Revision:  
**1: 2000@A1**  
Project/Client Ref:  
**PD23405-47**  
Revision:  
**05**  
Accession Number/Revision: **Peak Group-NO CC&MA**

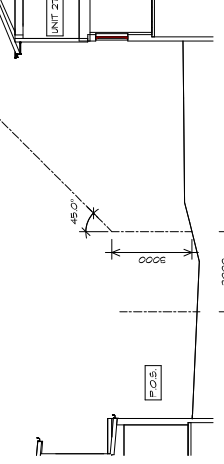




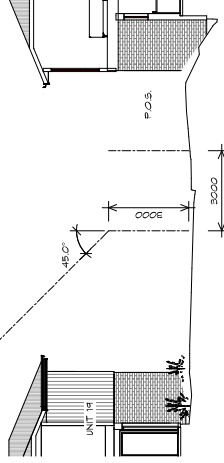
UNIT 45 POS SECTION  
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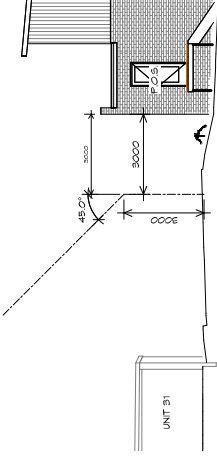
UNIT 37 POS SECTION  
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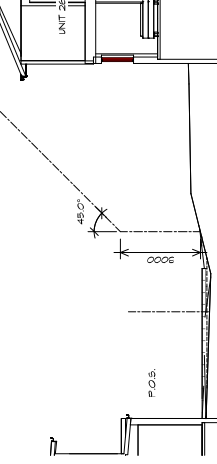
UNIT 32 POS SECTION  
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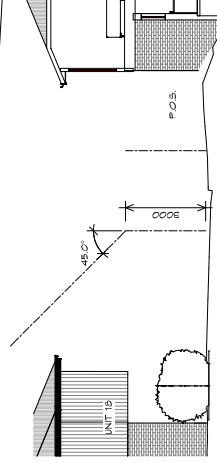
UNIT 24 POS SECTION  
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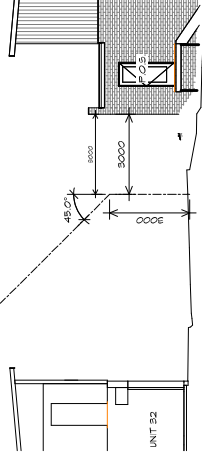
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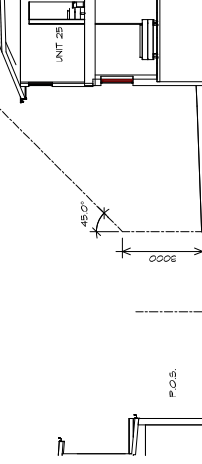
UNIT 38 POS SECTION  
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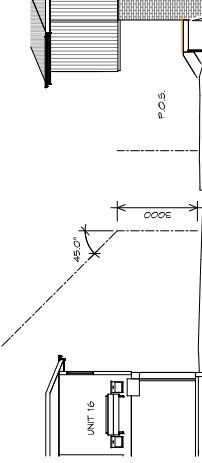
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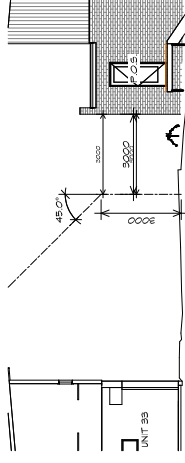
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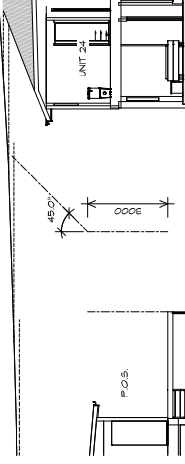
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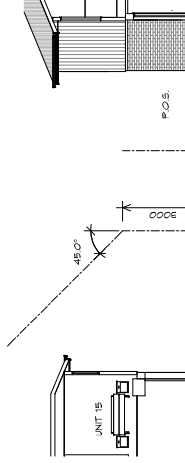
UNIT 26 POS SECTION  
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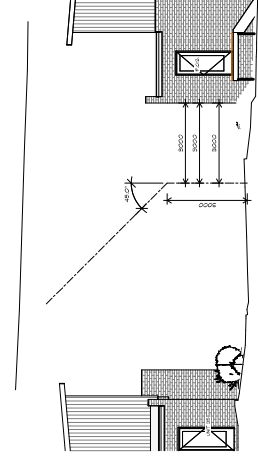
UNIT 43 POS SECTION  
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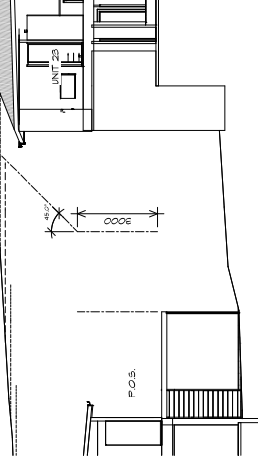
UNIT 35 POS SECTION  
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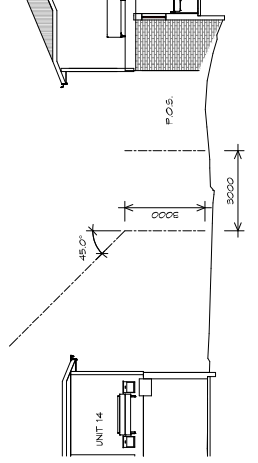
UNIT 27 POS SECTION  
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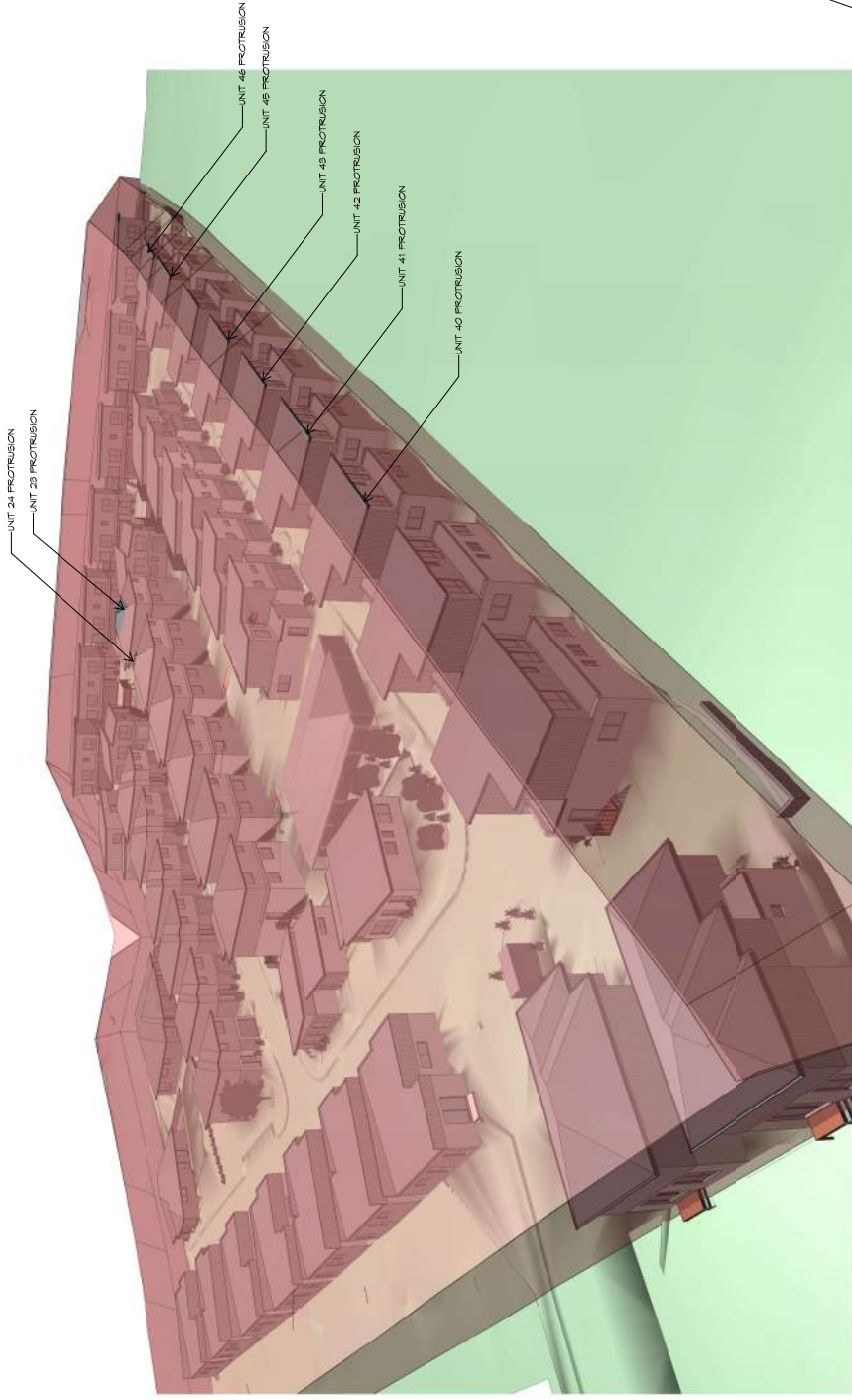
UNIT 44 POS SECTION  
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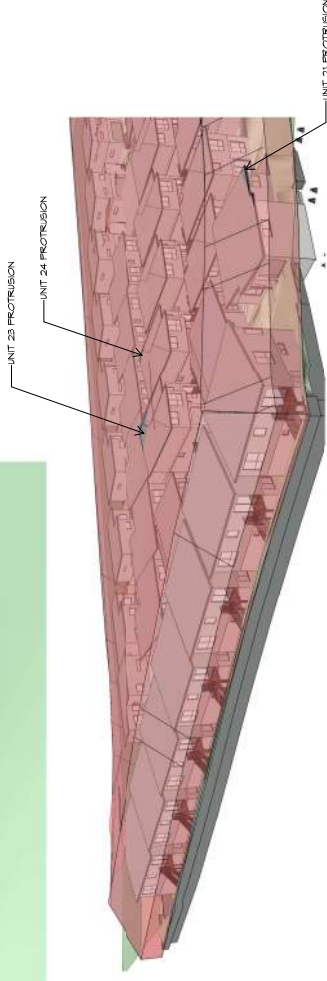
UNIT 36 POS SECTION  
1:100



UNIT 28 POS SECTION  
1:100



BUILDING ENVELOPE DIAGRAM 1



BUILDING ENVELOPE DIAGRAM 2

NOTE: DO NOT SCALE OFF DRAWINGS  
PLANNING



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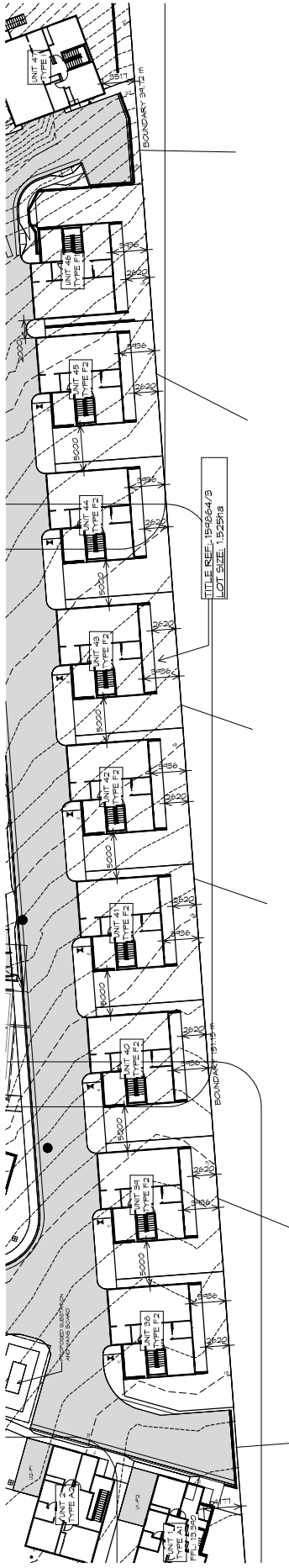
Project:  
PROPOSED UNIT DEVELOPMENT  
38 JETTY ROAD,  
OLD BEACH

Client Name:  
GIC ESTATES PTY LTD  
Drawing No:  
BUILDING ENVELOPE DIAGRAMS

Drawn by:  
D.D.H.  
Checked by:  
D.D.H.  
Date:  
20/05/2024  
Revision:  
PD23405-403  
05  
Approved by:  
[Signature]  
Authorised Building Practitioner: Frank Givens - No. CC0484



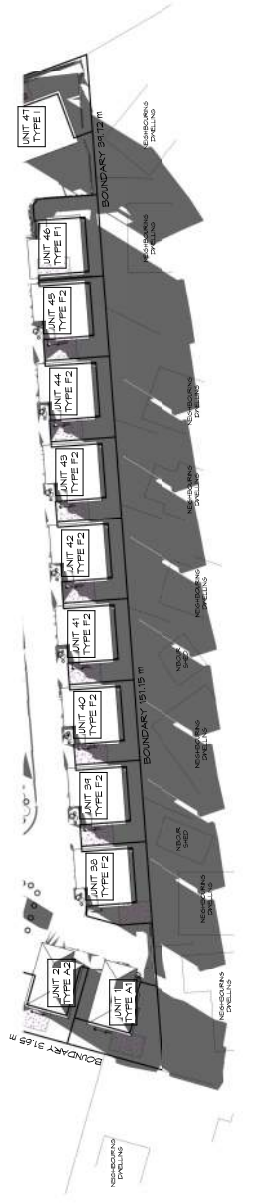




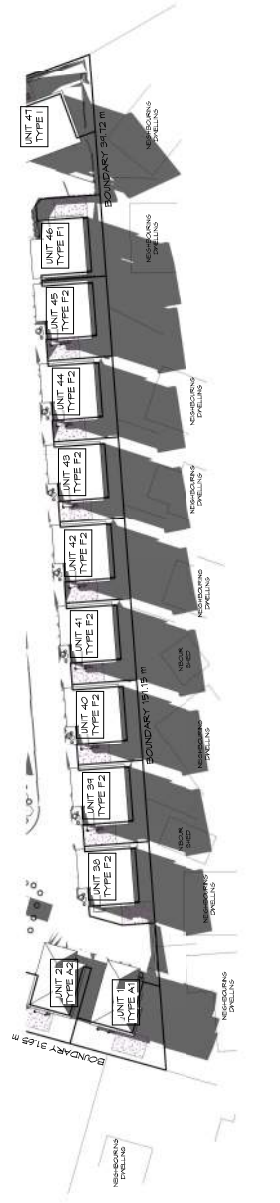
PART SITE PLAN (UPPER FLOOR)  
1:250



SHADOW DIAGRAMS - 21ST JUNE @ 9AM  
1:500



SHADOW DIAGRAMS - 21ST JUNE @ 10AM  
1:500



SHADOW DIAGRAMS - 21ST JUNE @ 11AM  
1:500

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS



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Website: [www.primedesign.com.au](http://www.primedesign.com.au)

Project:  
PROPOSED UNIT DEVELOPMENT  
38 JETTY ROAD,  
OLD BEACH

Client Name:  
GIC ESTATES PTY LTD  
Project Name:  
SHADOW DIAGRAMS

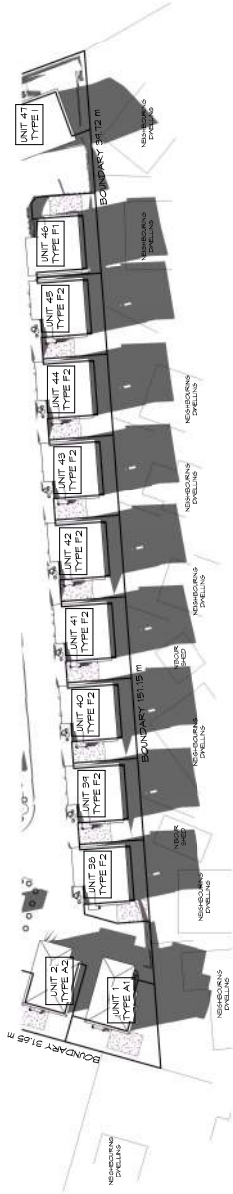
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D.D.H.  
Checked by:  
D.D.H.  
Date:  
20/05/2024  
Project/Client Ref:  
PD23405 - 10  
Revision:  
05  
As indicated @ A1  
According to AS/NZS 1546:2011: Peak Glare - No CGRA



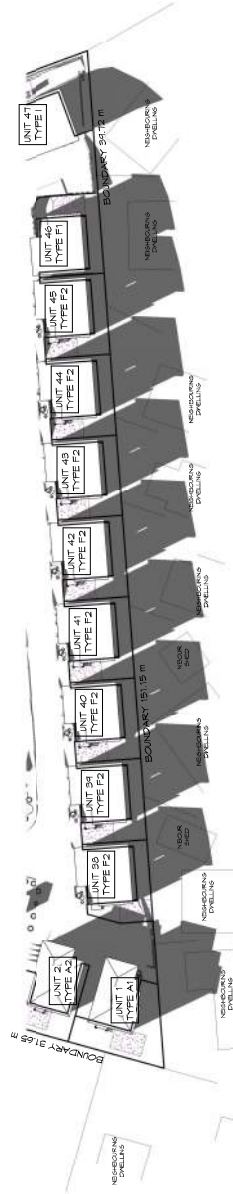




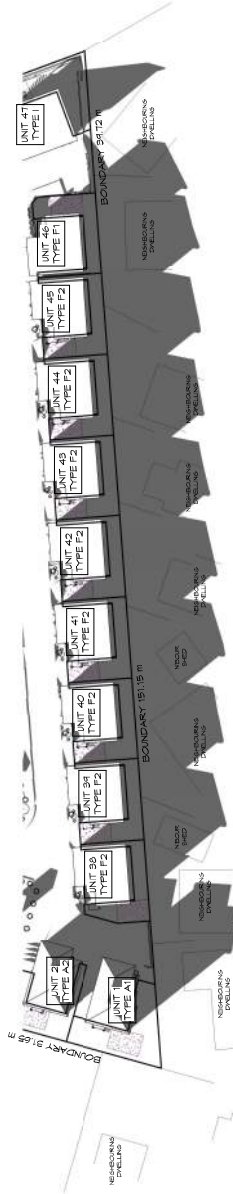
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1:500



SHADOW DIAGRAMS - 21ST JUNE @ 1PM  
1:500



SHADOW DIAGRAMS - 21ST JUNE @ 2PM  
1:500



SHADOW DIAGRAMS - 21ST JUNE @ 3PM  
1:500

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS



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Project:  
PROPOSED UNIT DEVELOPMENT  
38 JETTY ROAD,  
OLD BEACH

Client Name:  
GIC ESTATES PTY LTD  
Project Name:  
SHADOW DIAGRAMS

Drawn by:  
AMC/ED  
Checked by:  
AMC/ED  
Date:  
20.05.2024  
Revision:  
1: 500@A1

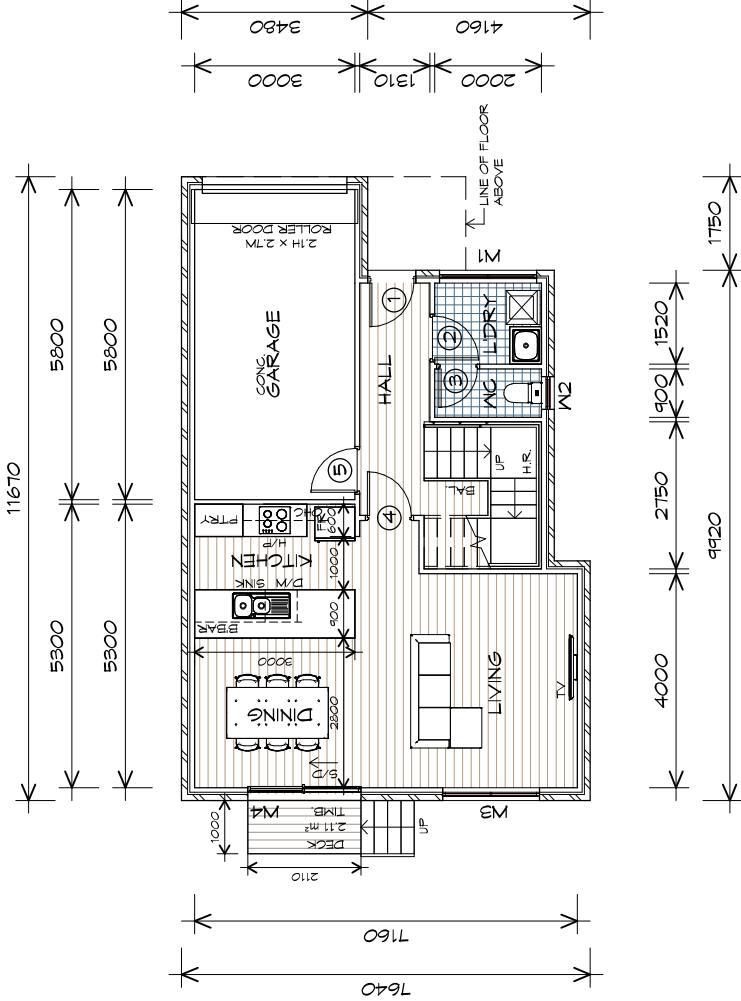
Project Drawing No:  
PD23405-11  
Revision:  
05  
Accession Number: 202405-11  
Accession Number: 202405-11



- LEGEND**
- STAGE 1  
• 20 NEW UNITS, 2 EXISTING  
• ALL STORMWATER/SEWER/  
• WATER/ELECTRICAL  
INFRASTRUCTURE
- STAGE 2  
• 16 UNITS
- STAGE 3  
• 15 UNITS
- NOTE: ON APPLICATION IS FOR APPROVAL TO DO  
FULL DEVELOPMENT IN 1 STAGE. THIS PLAN IS FOR  
INDICATIVE IDEA OF WHAT IT WOULD LOOK LIKE IF  
THE DEVELOPMENT WERE TO BE STAGED.



**STAGING PLAN**  
1:500



## GROUND FLOOR PLAN

1 : 100

GROUND FLOOR AREA	57.88	m <sup>2</sup>	( 6.23	SQUARES )
FIRST FLOOR AREA	78.19	m <sup>2</sup>	( 8.42	SQUARES )
GARAGE AREA	20.37	m <sup>2</sup>	( 2.19	SQUARES )
TOTAL AREA	156.44		16.84	

NOTE:  
FLOOR AREAS INCLUDE TO EXTERNAL FACE OF BUILDING AND GARAGE, UNLESS OTHERWISE STATED. DECKS AND OUTDOOR AREAS ARE CALCULATED SEPARATELY.

- ### LEGEND
- CSD CAVITY SLIDING DOOR
  - S/D SLIDING DOOR
  - S/L SIDELIGHT
  - COL COLUMN
  - G.S. GLASS SCREEN
  - HWC HOT WATER CYLINDER

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS



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info@primedesigntas.com.au primedesigntas.com.au

Project:  
**PROPOSED UNIT DEVELOPMENT**  
**38 JETTY ROAD,**  
**OLD BEACH**

Client name:  
**GIC ESTATES PTY LTD**

Drawing:  
**GROUND FLOOR PLAN**

Drafted by:  
**Author**

Approved by:  
**Approver**

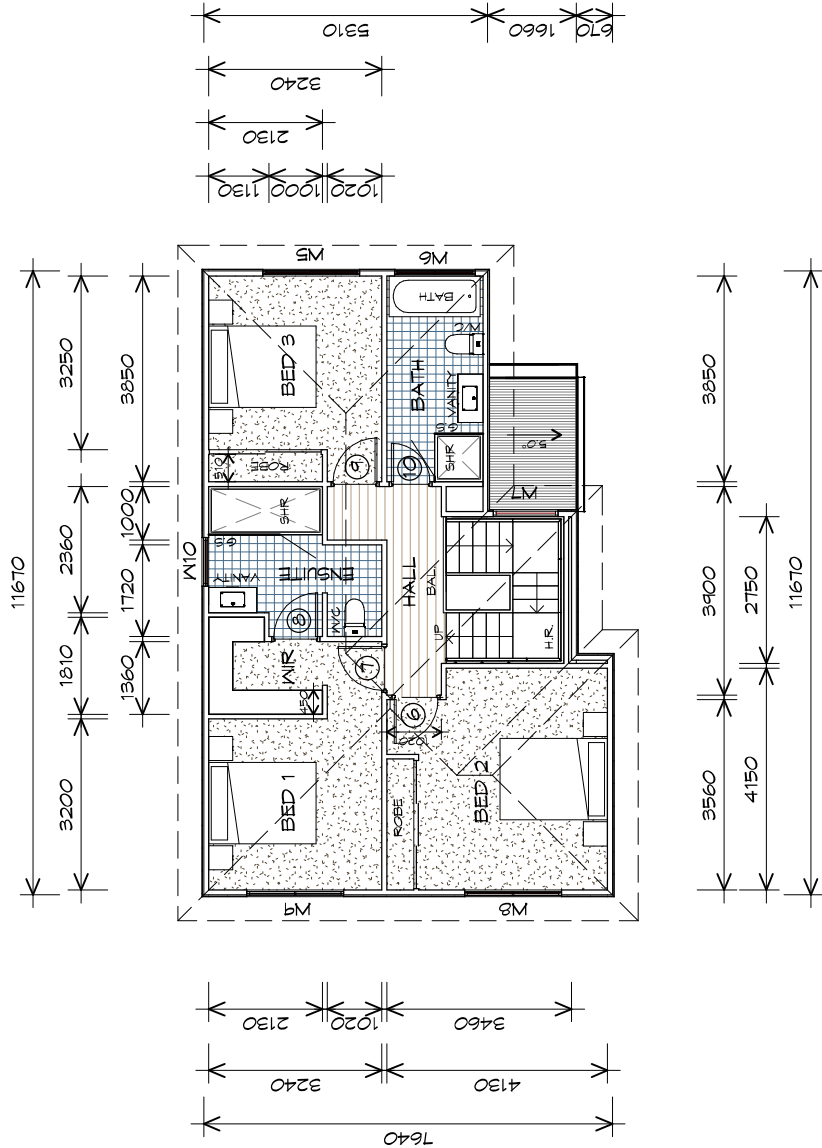
Date:  
**20.05.2024**

Scale:  
**1 : 100**

Project/Drawing no:  
**PD23405 -A1-01**

Revision:  
**05**

Accredited building practitioner: Frank Geskus -No CC246A



- LEGEND**
- CSD CAVITY SLIDING DOOR
  - S/D SLIDING DOOR
  - S/L SIDELIGHT
  - COL COLUMN
  - G.S. GLASS SCREEN
  - HWC HOT WATER CYLINDER

NOTE: DO NOT SCALE OFF DRAWINGS



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**Project:**  
**PROPOSED UNIT DEVELOPMENT**  
**38 JETTY ROAD,**  
**OLD BEACH**

**Client name:**  
**GIC ESTATES PTY LTD**

**Drawing:**  
**FIRST FLOOR PLAN**

**Drafted by:**  
**Author**

**Approved by:**  
**Approver**

**Date:**  
20.05.2024

**Scale:**  
1 : 100

**Project/Drawing no:**  
PD23405 -A1-02

**Revision:**  
05

Accredited building practitioner: Frank Geskus -No CC246A

## FIRST FLOOR PLAN

1 : 100

GROUND FLOOR AREA	51.88	m <sup>2</sup>	( 6.23	SQUARES )
FIRST FLOOR AREA	78.19	m <sup>2</sup>	( 9.42	SQUARES )
GARAGE AREA	20.37	m <sup>2</sup>	( 2.19	SQUARES )
TOTAL AREA	156.44		16.84	

**NOTE:**  
FLOOR AREAS INCLUDE TO EXTERNAL FACE OF  
BUILDING AND GARAGE, UNLESS OTHERWISE STATED.  
DECKS AND OUTDOOR AREAS ARE CALCULATED  
SEPARATELY.



GROUND FLOOR DOOR SCHEDULE				
MARK	WIDTH	TYPE	REMARKS	
1	820	EXTERNAL SOLID DOOR		
2	820	INTERNAL TIMBER DOOR		
3	720	INTERNAL TIMBER DOOR		
4	820	INTERNAL TIMBER DOOR		
5	820	INTERNAL TIMBER DOOR		

GROUND FLOOR WINDOW SCHEDULE				
MARK	HEIGHT	WIDTH	TYPE	REMARKS
W1	900	1810	AWNING WINDOW	
W2	600	610	AWNING WINDOW	OPAQUE
W3	1800	1810	AWNING WINDOW	
W4	2100	2110	SLIDING DOOR	

ALUMINIUM WINDOWS DOUBLE **GLAZING** COMPLETE  
WITH FLY SCREENS TO SUIT **??? BAL** RATING.  
ALL WINDOW MEASUREMENTS TO BE VERIFIED ON SITE  
PRIOR TO ORDERING

FIRST FLOOR DOOR SCHEDULE				
MARK	WIDTH	TYPE	REMARKS	
6	820	INTERNAL TIMBER DOOR		
7	820	INTERNAL TIMBER DOOR		
8	820	INTERNAL TIMBER DOOR		
9	820	INTERNAL TIMBER DOOR		
10	720	INTERNAL TIMBER DOOR		

FIRST FLOOR WINDOW SCHEDULE				
MARK	HEIGHT	WIDTH	TYPE	REMARKS
W5	1800	1810	AWNING WINDOW	
W6	1000	1510	AWNING WINDOW	OPAQUE
W7	1500	1210	FIXED WINDOW	
W8	1000	1810	AWNING WINDOW	
W9	1000	1810	AWNING WINDOW	
W10	900	910	AWNING WINDOW	OPAQUE

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS



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Shop 9, 105-111 Main Road, Moonah Hobart 7009  
p(0)+ 03 6228 4575  
info@primedesigntas.com.au primedesigntas.com.au

Project:

PROPOSED UNIT DEVELOPMENT  
38 JETTY ROAD,  
OLD BEACH

Client name:

GIC ESTATES PTY LTD

Drawing:

DOOR AND WINDOW  
SCHEDULES

Drafted by:

Author

Approved by:

Approver

Scale:

Date: 20.05.2024

Project/Drawing no:

PD23405 -A1-03

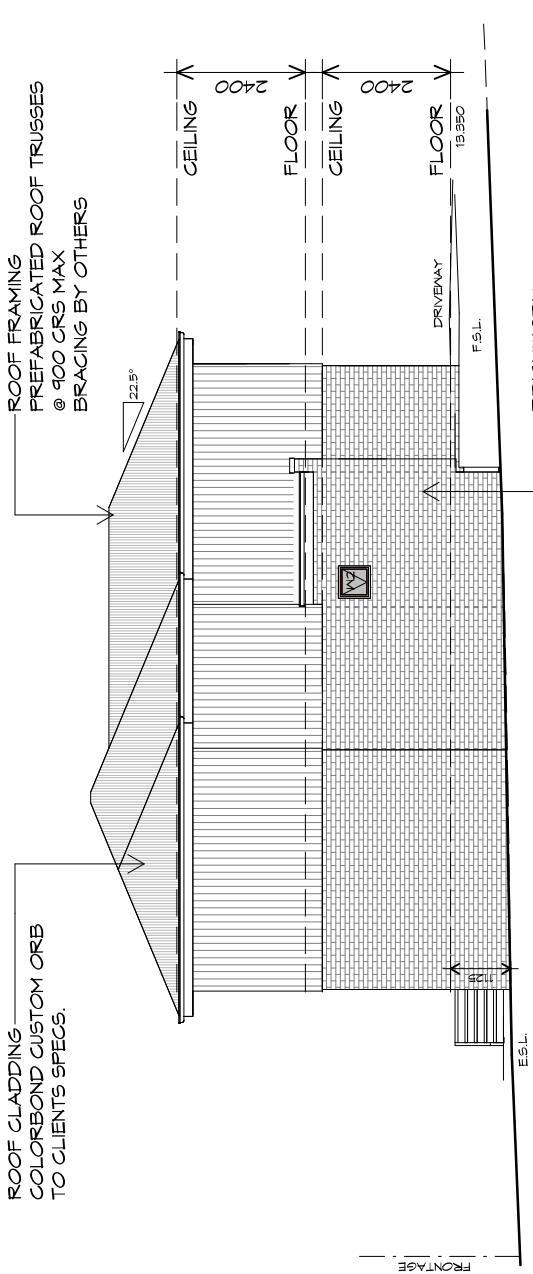
Revision:

05

Accredited building practitioner: Frank Geskus -No CC246A



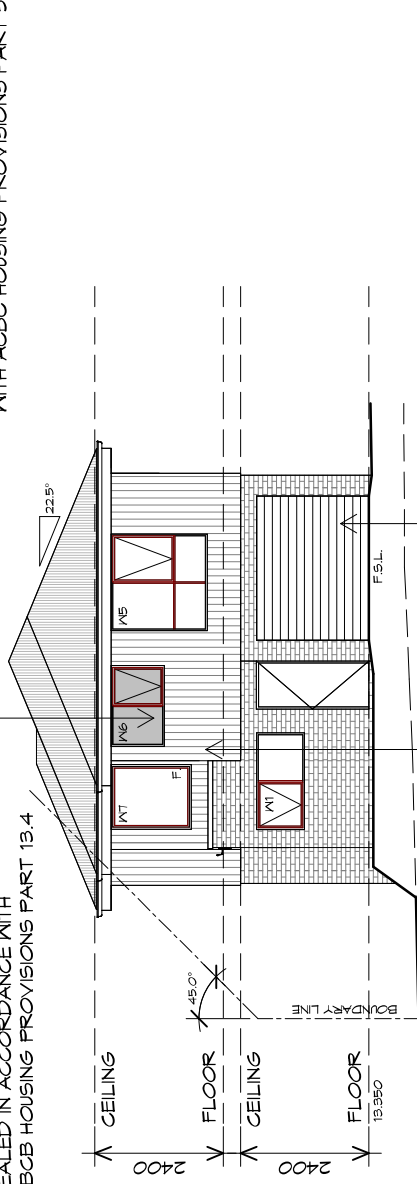
TYPE A1 - UNIT 1



## U1 SOUTHERN ELEVATION

1 : 100

DOORS AND WINDOWS TO BE SEALED IN ACCORDANCE WITH ABCB HOUSING PROVISIONS PART 13.4



## U1 EASTERN ELEVATION

1 : 100

SCYON AXON 133 VERTICAL (ON BATTENS) INSTALL AND COAT TO MANUFACTURERS SPECIFICATIONS.

ROLLER DOOR 2700 WIDE x 2100 HIGH FIXED IN ACCORDANCE WITH MANUFACTURERS SPEC

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS



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info@primedesigntas.com.au primedesigntas.com.au

Project:

PROPOSED UNIT DEVELOPMENT  
38 JETTY ROAD,  
OLD BEACH

Client name:

GIC ESTATES PTY LTD

Drawing:

ELEVATIONS

Drafted by:  
Author

Approved by:  
Approver

Date:

20.05.2024

Scale:

1 : 100

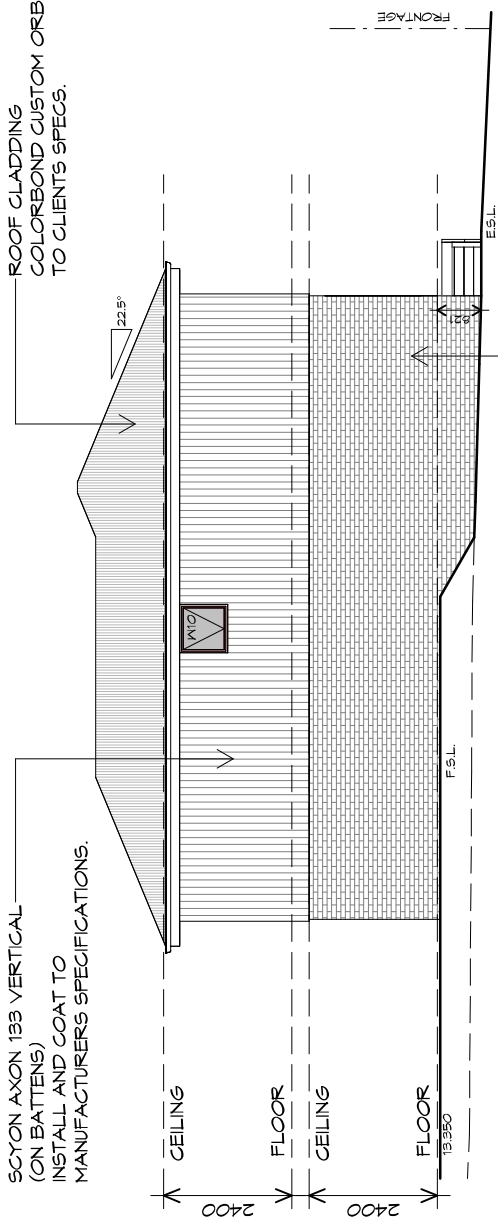
Project/Drawing no:

PD23405 -A1-04

Revision:

05

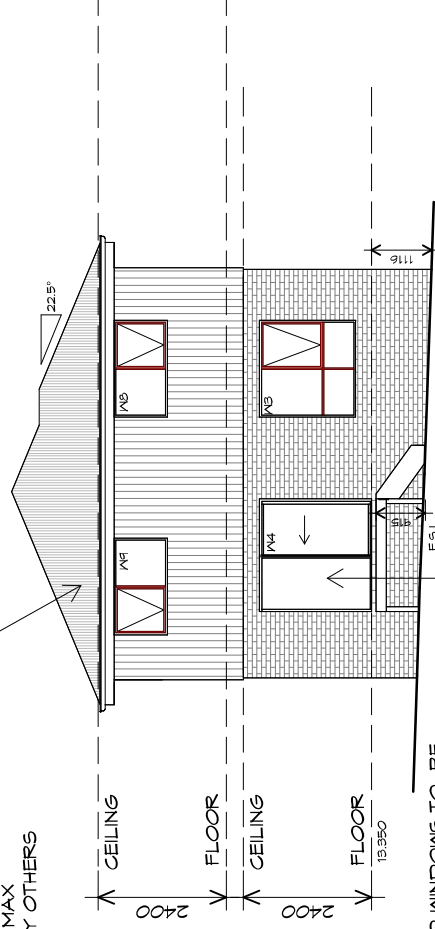
Accredited building practitioner: Frank Geskus -No CC246A



U1 NORTHERN ELEVATION

1 : 100

ROOF FRAMING  
PREFABRICATED ROOF TRUSSES  
@ 900 CRS MAX  
BRACING BY OTHERS



DOORS AND WINDOWS TO BE  
SEALED IN ACCORDANCE WITH  
ABCBC HOUSING PROVISIONS PART 13.4

U1 WESTERN ELEVATION

1 : 100

ROOF PLUMBING NOTES:

GUTTER INSTALLATION  
TO BE IN ACCORDANCE WITH  
ABCB HOUSING PROVISIONS PART 7.4.4  
WITH FALL NO LESS THAN  
1:100 FOR BOX GUTTERS  
1:500 FOR EAVES GUTTER

UNLESS FIXED TO METAL FASCIA  
EAVES GUTTER TO BE FIXED  
@ 1200 CRS MAX.

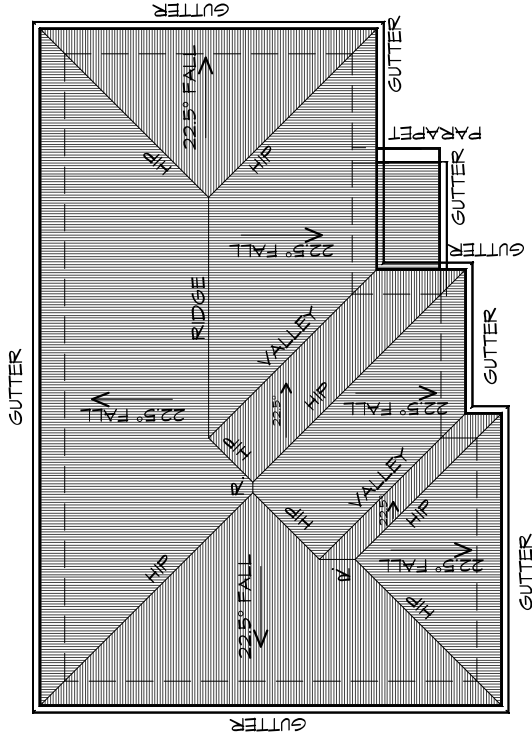
VALLEY GUTTERS ON A ROOF WITH A PITCH:  
A) MORE THAN 12.5° DEGREES - MUST  
HAVE A WIDTH OF NOT LESS THAN  
400mm AND ROOF OVERHANG OF NOT  
LESS THAN 150mm EACH SIDE OF VALLEY  
GUTTER.  
B) LESS THAN 12.5° DEGREES, MUST BE  
DESIGNED AS A BOX GUTTER.

LAP GUTTERS 75mm IN THE DIRECTION  
OF FLOW, RIVET & SEAL WITH AN  
APPROVED SILICONE SEALANT.

DOWNPIPE POSITIONS SHOWN ON THIS  
PLAN ARE NOMINAL ONLY.  
EXACT LOCATION & NUMBER OF D.P.'S  
REQUIRED ARE TO BE IN ACCORDANCE  
WITH ABCB HOUSING PROVISIONS PART 7.4.5  
REQUIREMENTS.

SPACING BETWEEN DOWNPIPES MUST NOT  
BE MORE THAN 12m & LOCATED AS CLOSE AS  
POSSIBLE TO VALLEY GUTTERS

METAL ROOF  
METAL SHEETING ROOF TO BE INSTALLED IN  
ACCORDANCE WITH ABCB HOUSING PROVISIONS PART  
7.2. REFER TO TABLE 7.2.2a FOR ACCEPTABLE  
CORROSION PROTECTION FOR SHEET ROOFING,  
REFER TO TABLE 7.2.2b-7.2.2e FOR ACCEPTABILITY  
OF CONTACT BETWEEN DIFFERENT ROOFING  
MATERIALS, FOR FIXING, SHEET LAYING SEQUENCE,  
FASTENER FREQUENCY FOR TRANSVERSE FLASHINGS  
AND CAPPINGS, ANTI CAPILLARY BREAKS, FLASHING  
DETAILS REFER TO ABCB HOUSING PROVISIONS PART  
7.2.5- 7.2.7. ROOF PENETRATION FLASHING DETAILS.  
REFER TO TO ABCB HOUSING PROVISIONS PART  
7.2.5- 7.2.7. ROOF SHEETING MUST OVERHANG MIN  
35mm AS PER ABCB HOUSING PROVISIONS PART 7.2.8



ROOF PLAN

1 : 100

ADDITIONAL ROOF LOAD  
NO SOLAR P.V. SYSTEM HAS BEEN ALLOWED FOR,  
NO SOLAR HOT WATER HAS BEEN ALLOWED FOR.

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS



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info@primedesigntas.com.au primedesigntas.com.au

Project:  
PROPOSED UNIT DEVELOPMENT  
38 JETTY ROAD,  
OLD BEACH

Client name:  
GIC ESTATES PTY LTD

Drawing:  
ROOF PLAN

Drafted by:  
Author  
Approved by:  
Approver

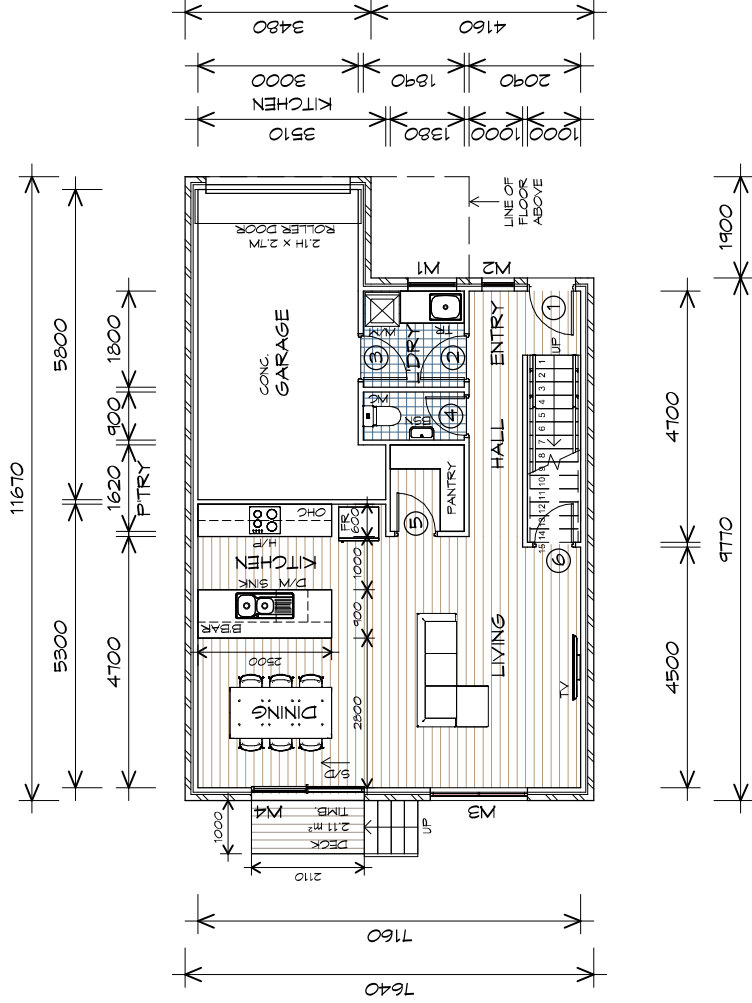
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20.05.2024  
Scale:  
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Project/Drawing no:  
PD23405 -A1-06  
Revision:  
05

Accredited building practitioner: Frank Geskus -No CC246A







## LEGEND

- CSD CAVITY SLIDING DOOR
- S/D SLIDING DOOR
- S/L SIDELIGHT
- COL COLUMN
- G.S. GLASS SCREEN
- HWC HOT WATER CYLINDER

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS



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Project:

PROPOSED UNIT DEVELOPMENT  
38 JETTY ROAD,  
OLD BEACH

Client name:

GIC ESTATES PTY LTD

Drawing:

GROUND FLOOR PLAN

Drafted by:

Author

Approved by:

Approver

Date:

20.05.2024

Scale:

1 : 100

Project/Drawing no:

PD23405 -A2-01

Revision:

05

Accredited building practitioner: Frank Geskus -No CC246A



## GROUND FLOOR PLAN

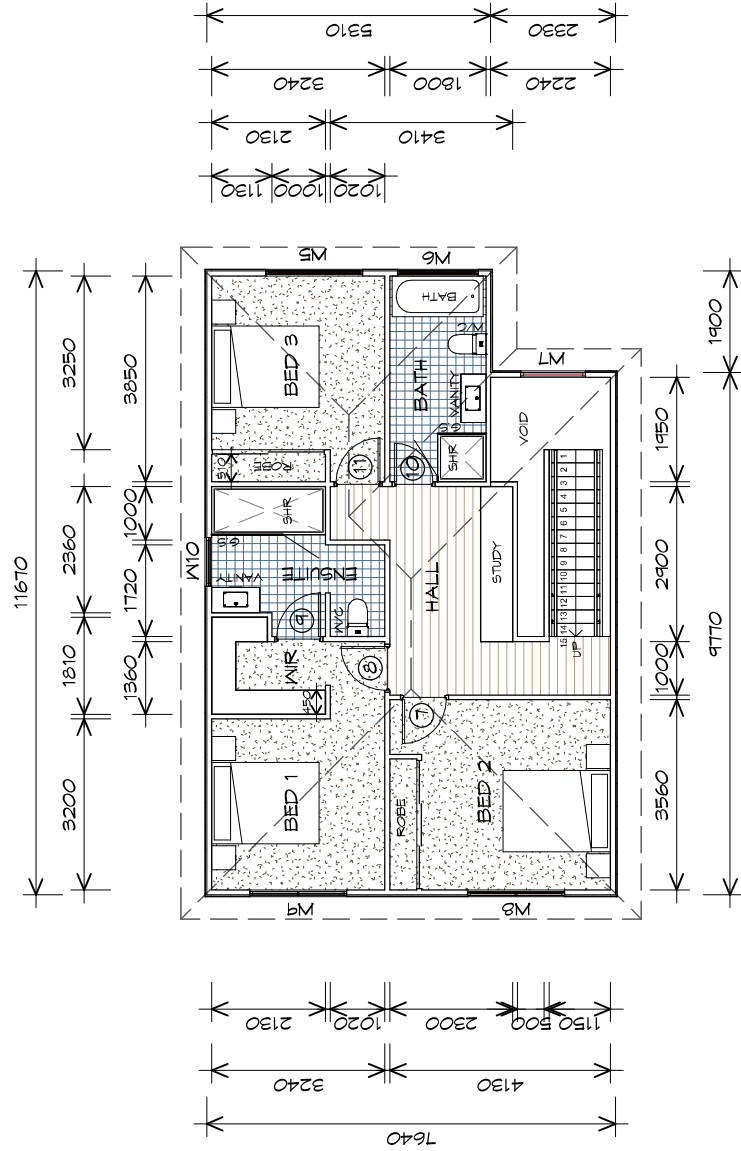
1 : 100

GROUND FLOOR AREA	60.33	m <sup>2</sup>	( 6.49	SQUARES )
FIRST FLOOR AREA	86.05	m <sup>2</sup>	( 9.26	SQUARES )
GARAGE AREA	20.95	m <sup>2</sup>	( 2.26	SQUARES )
TOTAL AREA	167.33		18.01	

NOTE:  
FLOOR AREAS INCLUDE TO EXTERNAL FACE OF  
BUILDING AND GARAGE, UNLESS OTHERWISE STATED.  
DECKS AND OUTDOOR AREAS ARE CALCULATED  
SEPARATELY.



TYPE A2 - UNIT 2



## FIRST FLOOR PLAN

1 : 100

GROUND FLOOR AREA	60.33	m <sup>2</sup>	( 6.49	SQUARES )
FIRST FLOOR AREA	86.05	m <sup>2</sup>	( 9.26	SQUARES )
GARAGE AREA	20.95	m <sup>2</sup>	( 2.26	SQUARES )
TOTAL AREA	167.33	m <sup>2</sup>	( 18.01	SQUARES )

**NOTE:**  
FLOOR AREAS INCLUDE TO EXTERNAL FACE OF BUILDING AND GARAGE, UNLESS OTHERWISE STATED. DECKS AND OUTDOOR AREAS ARE CALCULATED SEPARATELY.

- ### LEGEND
- CSD CAVITY SLIDING DOOR
  - S/D SLIDING DOOR
  - S/L SIDELIGHT
  - COL COLUMN
  - G.S. GLASS SCREEN
  - HWC HOT WATER CYLINDER

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS



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Project:

PROPOSED UNIT DEVELOPMENT  
38 JETTY ROAD,  
OLD BEACH

Client name:

GIC ESTATES PTY LTD

Drawing:

FIRST FLOOR PLAN

Drafted by:

Author

Approved by:

Approver

Date:

20.05.2024 1 : 100



Project/Drawing no:

PD23405 -A2-02

Revision:

05

Accredited building practitioner: Frank Geskus -No CC246A

GROUND FLOOR DOOR SCHEDULE				
MARK	WIDTH	TYPE	REMARKS	
1	820	EXTERNAL SOLID DOOR		
2	820	INTERNAL TIMBER DOOR		
3	820	INTERNAL TIMBER DOOR		
4	720	INTERNAL TIMBER DOOR		
5	720	INTERNAL TIMBER DOOR		
6	720	INTERNAL TIMBER DOOR		

GROUND FLOOR WINDOW SCHEDULE				
MARK	HEIGHT	WIDTH	TYPE	REMARKS
W1	900	910	AWNING WINDOW	
W2	1800	610	AWNING WINDOW	
W3	1800	1810	AWNING WINDOW	
W4	2100	2110	SLIDING DOOR	

ALUMINIUM WINDOWS DOUBLE **GLAZING** COMPLETE  
WITH FLY SCREENS TO SUIT **??? BAL** RATING.  
ALL WINDOW MEASUREMENTS TO BE VERIFIED ON SITE  
PRIOR TO ORDERING

FIRST FLOOR DOOR SCHEDULE				
MARK	WIDTH	TYPE	REMARKS	
7	820	INTERNAL TIMBER DOOR		
8	820	INTERNAL TIMBER DOOR		
9	820	INTERNAL TIMBER DOOR		
10	720	INTERNAL TIMBER DOOR		
11	820	INTERNAL TIMBER DOOR		

FIRST FLOOR WINDOW SCHEDULE				
MARK	HEIGHT	WIDTH	TYPE	REMARKS
W5	1800	1810	AWNING WINDOW	
W6	1000	1510	AWNING WINDOW	OPAQUE
W7	1500	1210	FIXED WINDOW	
W8	1000	1810	AWNING WINDOW	
W9	1000	1810	AWNING WINDOW	
W10	900	910	AWNING WINDOW	OPAQUE

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS



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info@primedesigntas.com.au primedesigntas.com.au

Project:

PROPOSED UNIT DEVELOPMENT  
38 JETTY ROAD,  
OLD BEACH

Client name:

GIC ESTATES PTY LTD

Drawing:

DOOR AND WINDOW  
SCHEDULES

Drafted by:

Author

Approved by:

Approver

Scale:

Date: 20.05.2024

Project/Drawing no:

PD23405 -A2-03

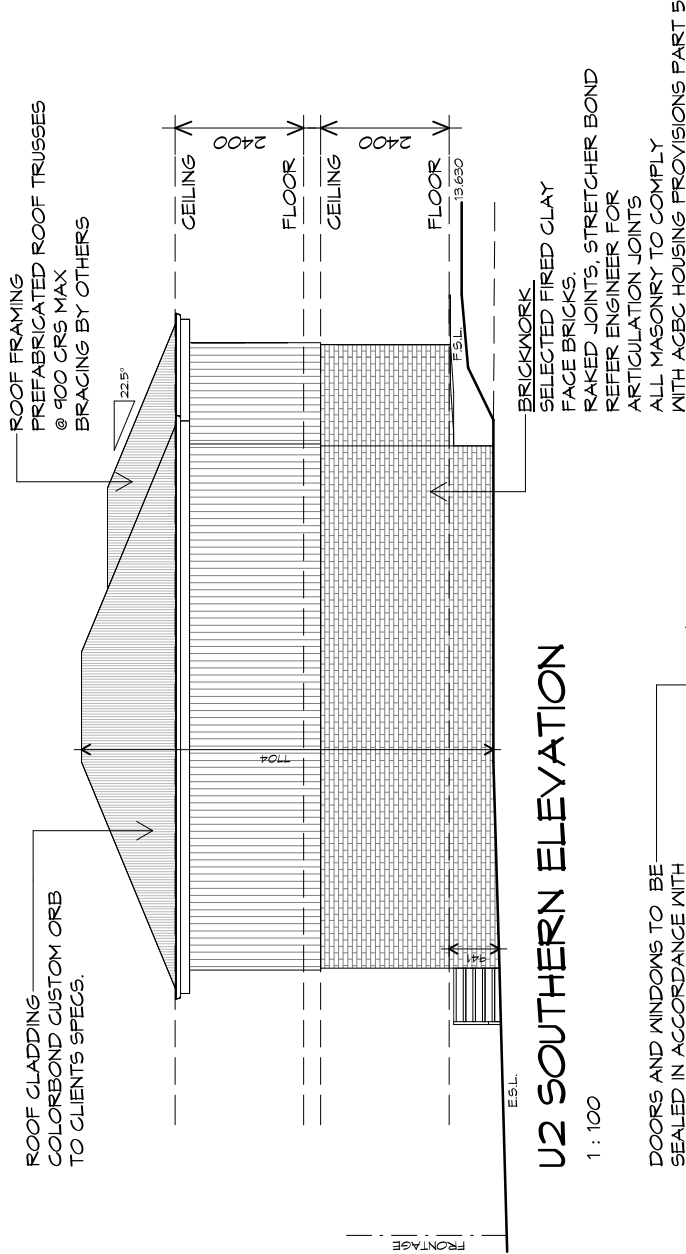
Revision:

05

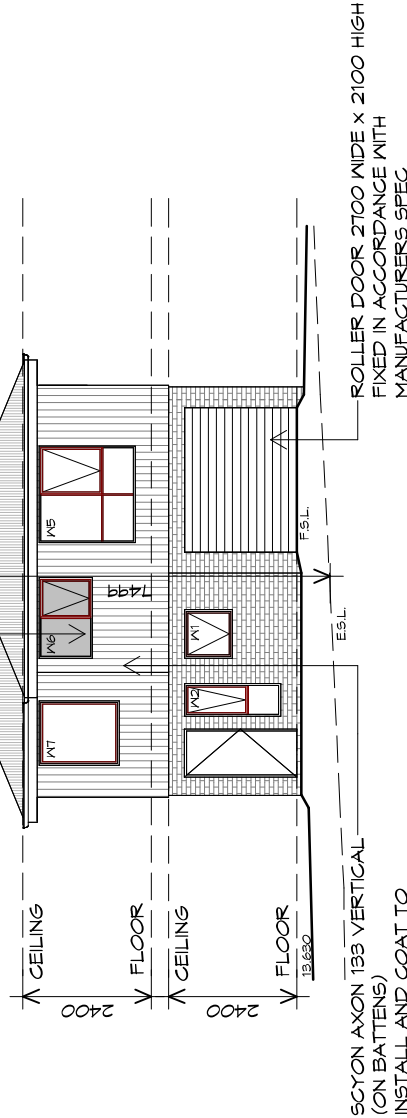
Accredited building practitioner: Frank Geskus -No CC246A



TYPE A2 - UNIT 2



DOORS AND WINDOWS TO BE SEALED IN ACCORDANCE WITH ABCB HOUSING PROVISIONS PART 13.4



U2 EASTERN ELEVATION

1 : 100

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS



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Project:  
PROPOSED UNIT DEVELOPMENT  
38 JETTY ROAD,  
OLD BEACH

Client name:  
GIC ESTATES PTY LTD  
Drawing:  
ELEVATIONS

Drafted by:  
Author  
Approved by:  
Approver  
Date:  
20.05.2024  
Scale:  
1 : 100

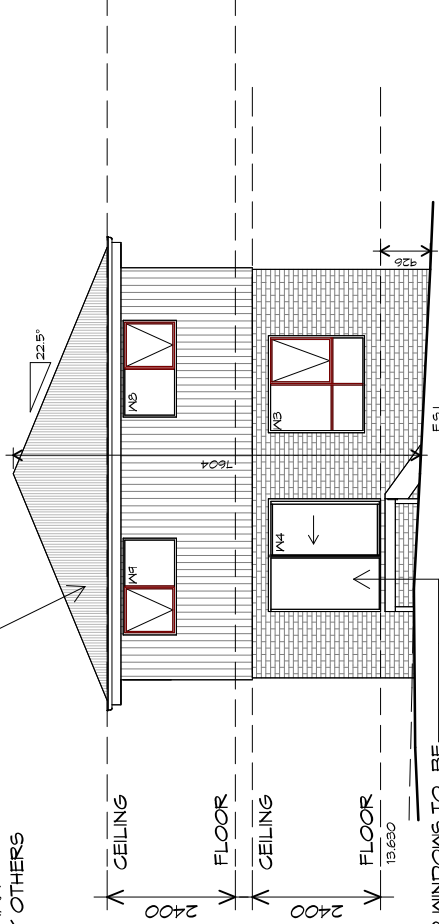
Project/Drawing no:  
PD23405 -A2-04  
Revision:  
05  
Accredited building practitioner: Frank Geskus -No CC246A



U2 WESTERN ELEVATION

1 : 100

DOORS AND WINDOWS TO BE  
SEALED IN ACCORDANCE WITH  
ABCB HOUSING PROVISIONS PART 13.4

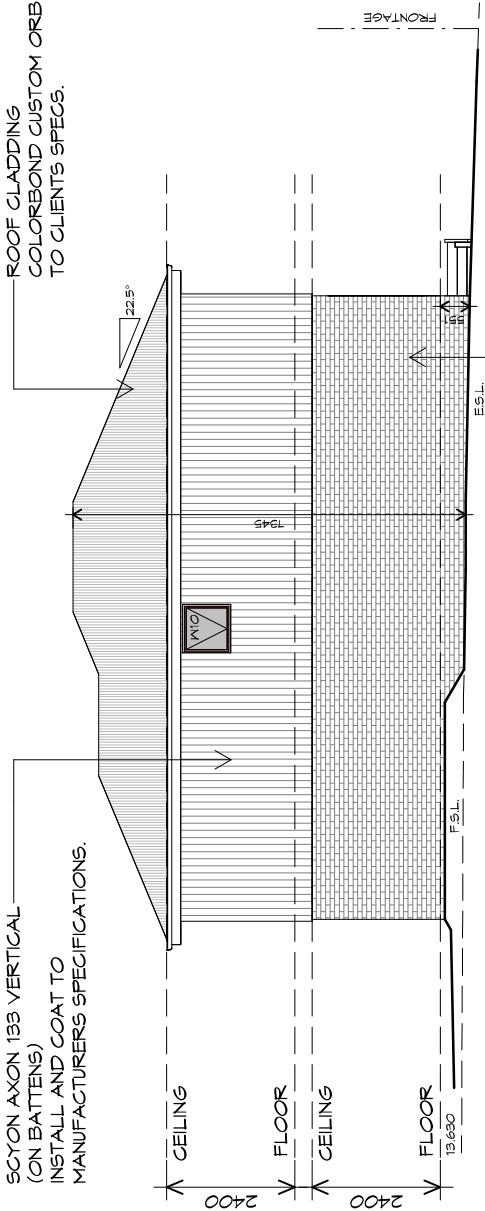


ROOF FRAMING  
PREFABRICATED ROOF TRUSSES  
@ 900 CRS MAX  
BRACING BY OTHERS

U2 NORTHERN ELEVATION

1 : 100

BRICKWORK  
SELECTED FIRED CLAY  
FACE BRICKS.  
RAKED JOINTS, STRETCHER BOND  
REFER ENGINEER FOR  
ARTICULATION JOINTS  
ALL MASONRY TO COMPLY  
WITH ACBC HOUSING PROVISIONS PART 5



SCYON AXON 133 VERTICAL  
(ON BATTENS)  
INSTALL AND COAT TO  
MANUFACTURERS SPECIFICATIONS.

ROOF CLADDING  
COLORBOND CUSTOM ORE  
TO CLIENTS SPECS.

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS



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Project:

PROPOSED UNIT DEVELOPMENT  
38 JETTY ROAD,  
OLD BEACH

Client name:

GIC ESTATES PTY LTD

Drawing:

ELEVATIONS

Drafted by:

Author

Approved by:

Approver

Date:

20.05.2024 1 : 100

Project/Drawing no:

PD23405 -A2-05

Revision:

05

Accredited building practitioner: Frank Geskus -No CC246A

ROOF PLUMBING NOTES:

GUTTER INSTALLATION  
TO BE IN ACCORDANCE WITH  
ABC&B HOUSING PROVISIONS PART 7.4.4  
WITH FALL NO LESS THAN  
1:100 FOR BOX GUTTERS  
1:500 FOR EAVES GUTTER

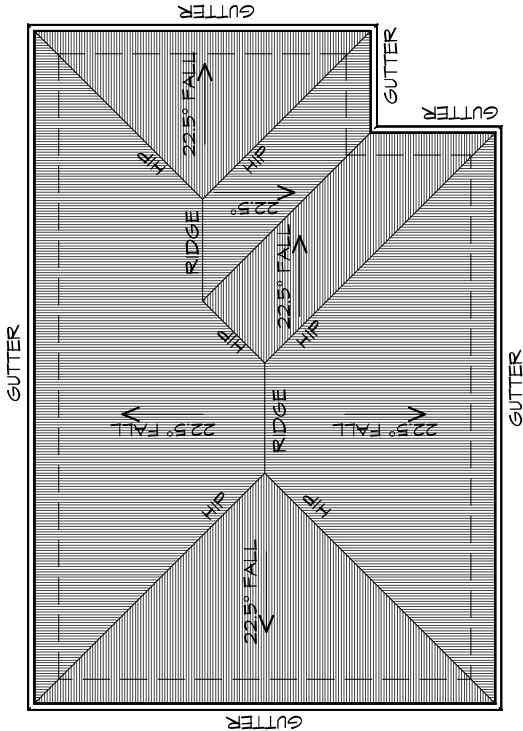
UNLESS FIXED TO METAL FASCIA  
EAVES GUTTER TO BE FIXED  
@ 1200 CRS MAX.

VALLEY GUTTERS ON A ROOF WITH A PITCH:  
A) MORE THAN 12.5° DEGREES - MUST  
HAVE A WIDTH OF NOT LESS THAN  
400mm AND ROOF OVERHANG OF NOT  
LESS THAN 150mm EACH SIDE OF VALLEY  
GUTTER.  
B) LESS THAN 12.5° DEGREES, MUST BE  
DESIGNED AS A BOX GUTTER.

LAP GUTTERS 75mm IN THE DIRECTION  
OF FLOW, RIVET & SEAL WITH AN  
APPROVED SILICONE SEALANT.

DOWNPIPE POSITIONS SHOWN ON THIS  
PLAN ARE NOMINAL ONLY.  
EXACT LOCATION & NUMBER OF D.P.'S  
REQUIRED ARE TO BE IN ACCORDANCE  
WITH ABC&B HOUSING PROVISIONS PART 7.4.5  
REQUIREMENTS.  
SPACING BETWEEN DOWNPIPES MUST NOT  
BE MORE THAN 12m & LOCATED AS CLOSE AS  
POSSIBLE TO VALLEY GUTTERS

METAL ROOF  
METAL SHEETING ROOF TO BE INSTALLED IN  
ACCORDANCE WITH ABC&B HOUSING PROVISIONS PART  
7.2. REFER TO TABLE 7.2.2a FOR ACCEPTABLE  
CORROSION PROTECTION FOR SHEET ROOFING,  
REFER TO TABLE 7.2.2b-7.2.2e FOR ACCEPTABILITY  
OF CONTACT BETWEEN DIFFERENT ROOFING  
MATERIALS, FOR FIXING, SHEET LAYING SEQUENCE,  
FASTENER FREQUENCY FOR TRANSVERSE FLASHINGS  
AND CAPPINGS, ANTI CAPILLARY BREAKS, FLASHING  
DETAILS REFER TO ABC&B HOUSING PROVISIONS PART  
7.2.5- 7.2.7. ROOF PENETRATION FLASHING DETAILS.  
REFER TO ABC&B HOUSING PROVISIONS PART  
7.2.5- 7.2.7. ROOF SHEETING MUST OVERHANG MIN  
35mm AS PER ABC&B HOUSING PROVISIONS PART 7.2.8



ROOF PLAN

1 : 100

ADDITIONAL ROOF LOAD  
NO SOLAR P.V. SYSTEM HAS BEEN ALLOWED FOR,  
NO SOLAR HOT WATER HAS BEEN ALLOWED FOR.

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS



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Project:  
PROPOSED UNIT DEVELOPMENT  
38 JETTY ROAD,  
OLD BEACH

Client name:  
GIC ESTATES PTY LTD

Drawing:  
ROOF PLAN

Drafted by:  
Author  
Approved by:  
Approver

Date:  
20.05.2024

Scale:  
1 : 100

Project/Drawing no:  
PD23405 -A2-06

Revision:  
05

Accredited building practitioner: Frank Geskus -No CC246A



LEGEND

- CSD CAVITY SLIDING DOOR
- S/D SLIDING DOOR
- S/L SIDELIGHT
- COL COLUMN
- G.S. GLASS SCREEN
- HWC HOT WATER CYLINDER
- S.Q. SQUARE STOP
- M/W MICROWAVE
- DA DISHWASHER

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS



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Shop 9, 105-111 Main Road, Moonah Hobart 7009  
p(0)+ 03 6228 4575  
info@primedesigntas.com.au primedesigntas.com.au

Project:  
**PROPOSED UNIT DEVELOPMENT**  
**38 JETTY ROAD,**  
**OLD BEACH**

Client name:  
**GIC ESTATES PTY LTD**

Drawing:  
**FLOOR PLAN**

Drafted by:  
**Author**

Approved by:  
**Approver**

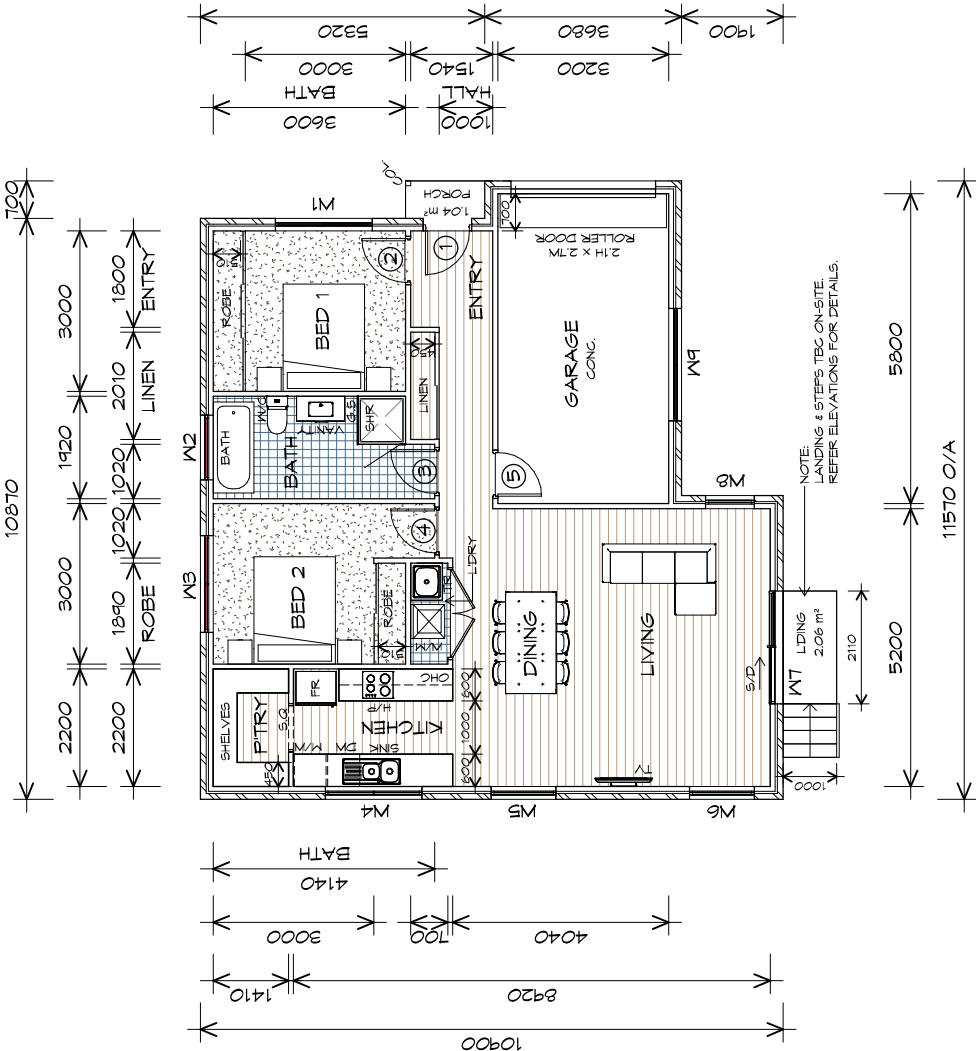
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Scale:  
**1 : 100**

Project/Drawing no:  
**PD23405 -B1-01**

Revision:  
**05**

Accredited building practitioner: Frank Geskus -No CC246A



FLOOR PLAN

1 : 100

FLOOR AREA	84.88	M2	( 9.67 SQUARES )
GARAGE AREA	21.37	M2	( 2.30 SQUARES )
TOTAL AREA	111.24		11.97

NOTE:  
FLOOR AREAS INCLUDE TO EXTERNAL FACE OF  
BUILDING AND GARAGE, UNLESS OTHERWISE STATED.  
DECKS AND OUTDOOR AREAS ARE CALCULATED  
SEPARATELY.

TYPE B1 - UNIT 3, 6-7, 9



DOOR SCHEDULE			
MARK	WIDTH	TYPE	REMARKS
1	820	EXTERNAL SOLID DOOR	
2	820	INTERNAL TIMBER DOOR	
3	820	INTERNAL TIMBER DOOR	
4	820	INTERNAL TIMBER DOOR	
5	820	INTERNAL TIMBER DOOR	

WINDOW SCHEDULE			
MARK	HEIGHT	WIDTH	REMARKS
W1	1800	1810	AWNING WINDOW
W2	1000	1210	AWNING WINDOW
W3	1000	1810	AWNING WINDOW
W4	1000	1810	AWNING WINDOW
W5	1800	1210	AWNING WINDOW
W6	1800	1210	AWNING WINDOW
W7	2100	2110	SLIDING DOOR
W8	1800	910	AWNING WINDOW
W9	900	2110	AWNING WINDOW

ALUMINIUM WINDOWS **DOUBLE GLAZING** COMPLETE  
WITH FLY SCREENS TO SUIT **TBC BAL** RATING.  
ALL WINDOW MEASUREMENTS TO BE VERIFIED ON SITE  
PRIOR TO ORDERING

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS



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p(0)+ 03 6332 3790  
Shop 9, 105-111 Main Road, Moonah Hobart 7009  
p(0)+ 03 6228 4575  
info@primedesigntas.com.au primedesigntas.com.au

Project:  
**PROPOSED UNIT DEVELOPMENT**  
**38 JETTY ROAD,**  
**OLD BEACH**

Client name:  
**GIC ESTATES PTY LTD**

Drawing:  
**DOOR AND WINDOW**  
**SCHEDULES**

Drafted by:  
**Author**  
Approved by:  
**Approver**  
Date:  
**20.05.2024**  
Scale:

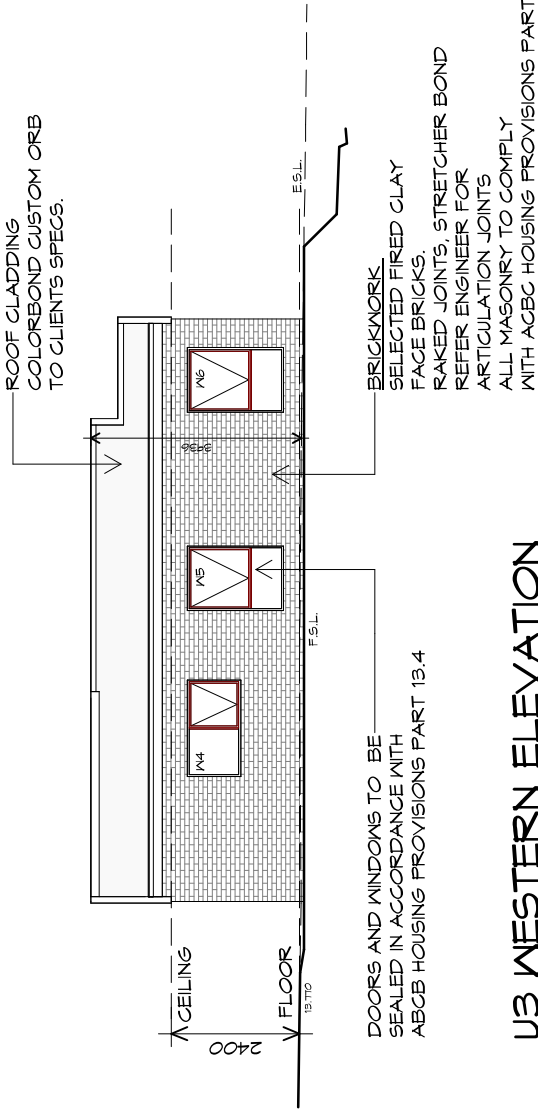
Project/Drawing no:  
**PD23405 -B1-02**  
Revision:  
**05**  
Accredited building practitioner: Frank Geskus -No CC246A





1 : 100

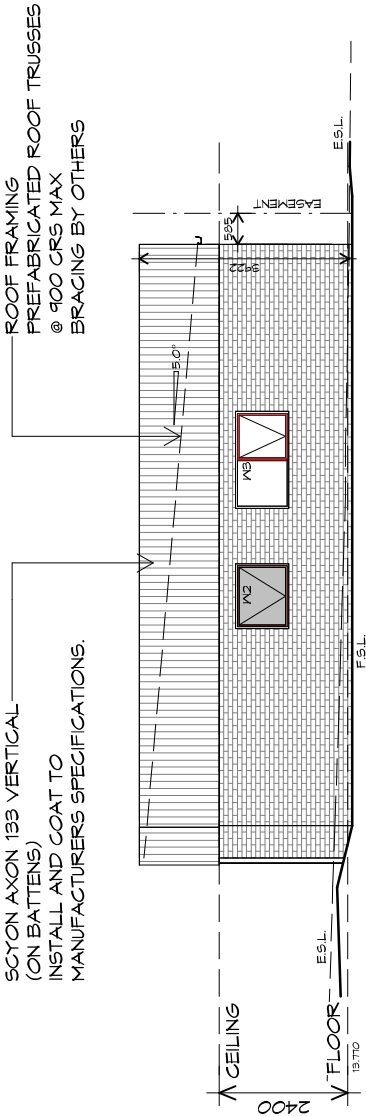
U3 WESTERN ELEVATION



DOORS AND WINDOWS TO BE SEALED IN ACCORDANCE WITH ABCB HOUSING PROVISIONS PART 13.4

1 : 100

U3 NORTHERN ELEVATION



SCYON AXON 133 VERTICAL (ON BATTENS) INSTALL AND COAT TO MANUFACTURERS SPECIFICATIONS.

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS



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p(0)+ 03 6228 4575  
info@primedesigntas.com.au primedesigntas.com.au

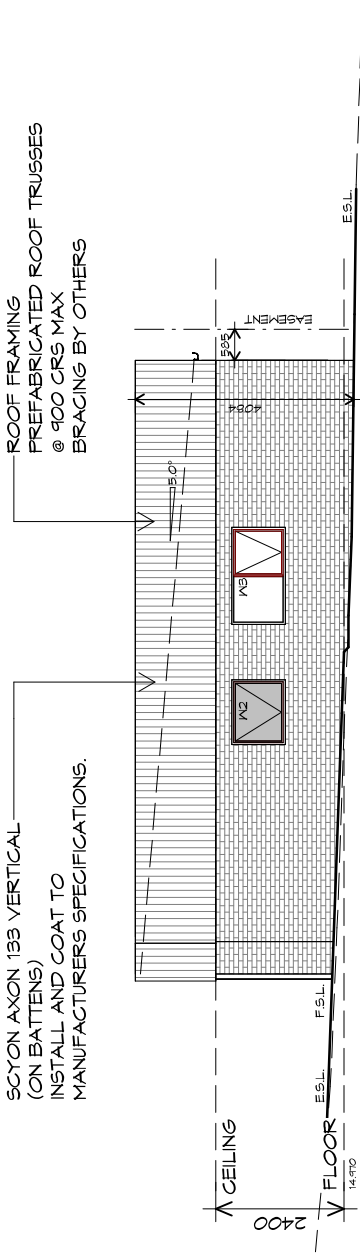
Project:  
PROPOSED UNIT DEVELOPMENT  
38 JETTY ROAD,  
OLD BEACH

Client name:  
GIC ESTATES PTY LTD  
Drawing:  
ELEVATIONS

Drafted by:  
Author  
Approved by:  
Approver  
Date:  
20.05.2024  
Scale:  
1 : 100

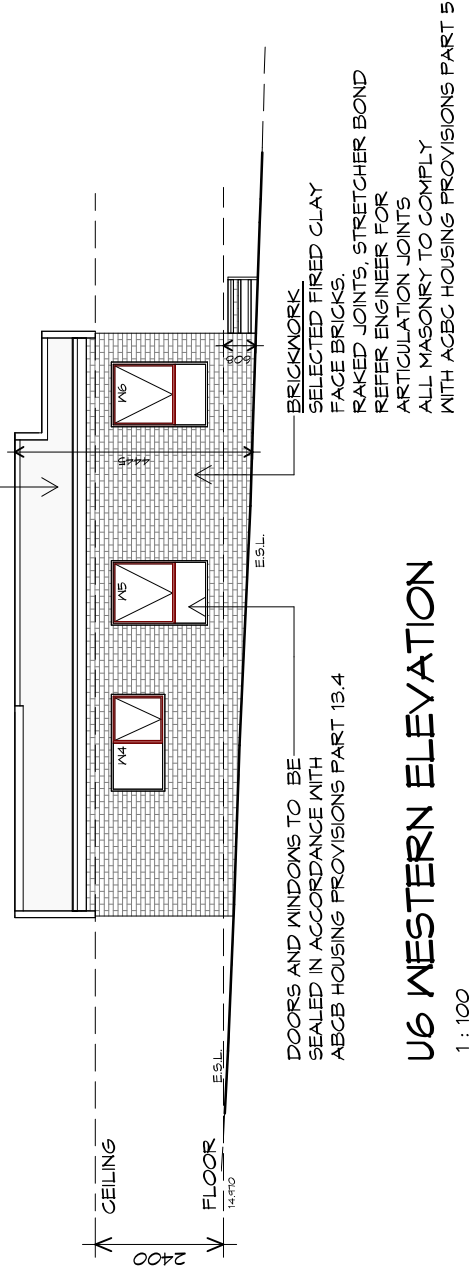
Project/Drawing no:  
PD23405 -B1-03  
Revision:  
05  
Accredited building practitioner: Frank Geskus -No CC246A





U6 NORTHERN ELEVATION

1 : 100



U6 WESTERN ELEVATION

1 : 100

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS



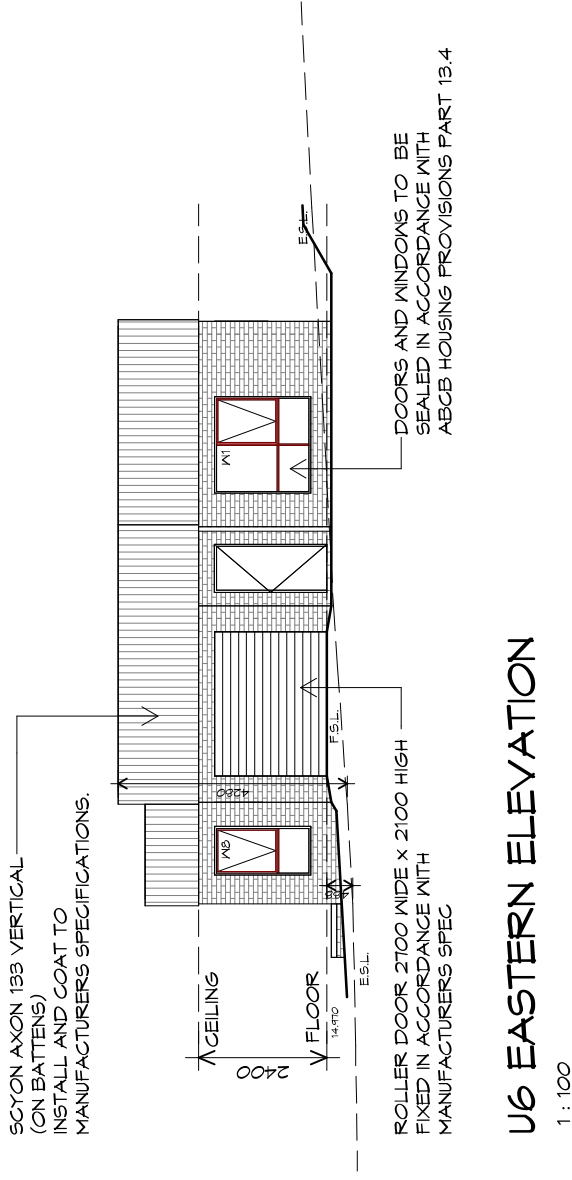
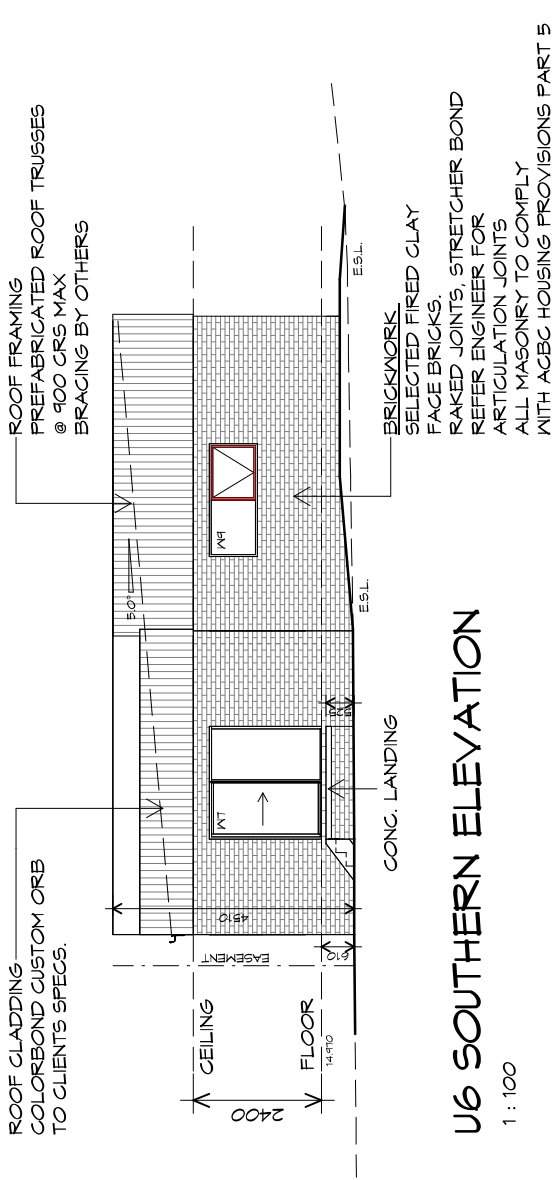
10 Goodman Court, Invermay Tasmania 7248,  
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Shop 9, 105-111 Main Road, Moonah Hobart 7009  
p(0)+ 03 6228 4575  
info@primedesigntas.com.au primedesigntas.com.au

Project:  
PROPOSED UNIT DEVELOPMENT  
38 JETTY ROAD,  
OLD BEACH

Client name:  
GIC ESTATES PTY LTD  
Drawing:  
ELEVATIONS

Drafted by:	Approved by:
Author	Approver
Date:	Scale:
20.05.2024	1 : 100
Project/Drawing no:	Revision:
PD23405 -B1-05	05
Accredited building practitioner: Frank Geskus -No CC246A	





PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS



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p(0)+ 03 6228 4575  
info@primedesigntas.com.au primedesigntas.com.au

Project:  
PROPOSED UNIT DEVELOPMENT  
38 JETTY ROAD,  
OLD BEACH

Client name:  
GIC ESTATES PTY LTD

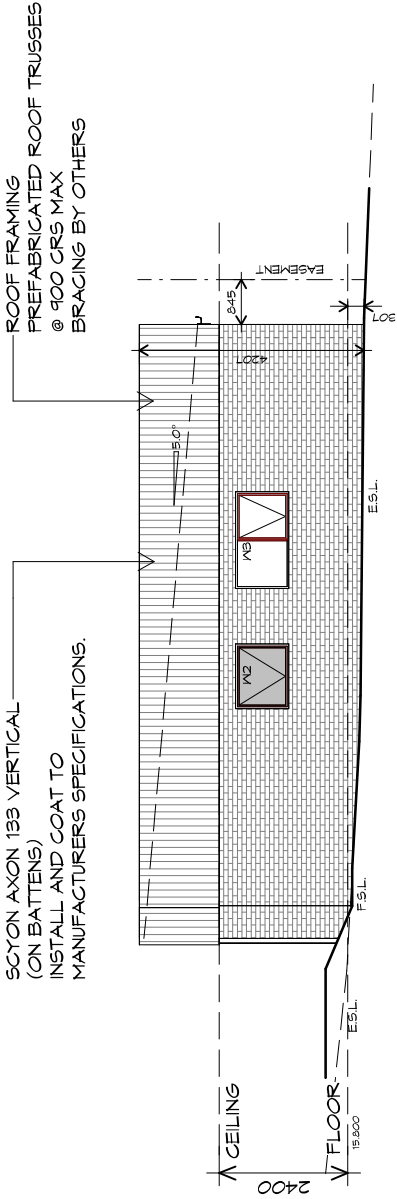
Drawing:  
ELEVATIONS

Drafted by:	Approved by:
Author	Approver
Date:	Scale:
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Project/Drawing no:	Revision:
PD23405 -B1-06	05
Accredited building practitioner: Frank Geskus -No CC246A	



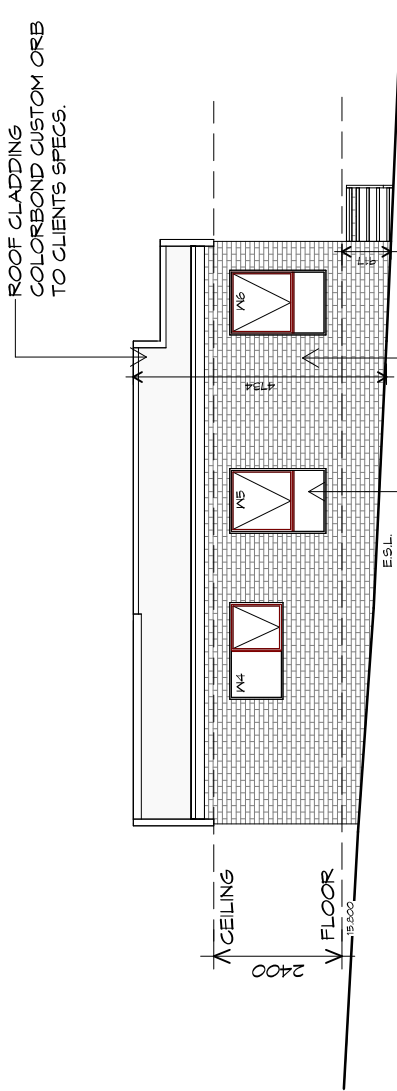
TYPE B1 - UNIT 6





UT NORTHERN ELEVATION

1 : 100



UT WESTERN ELEVATION

1 : 100

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS



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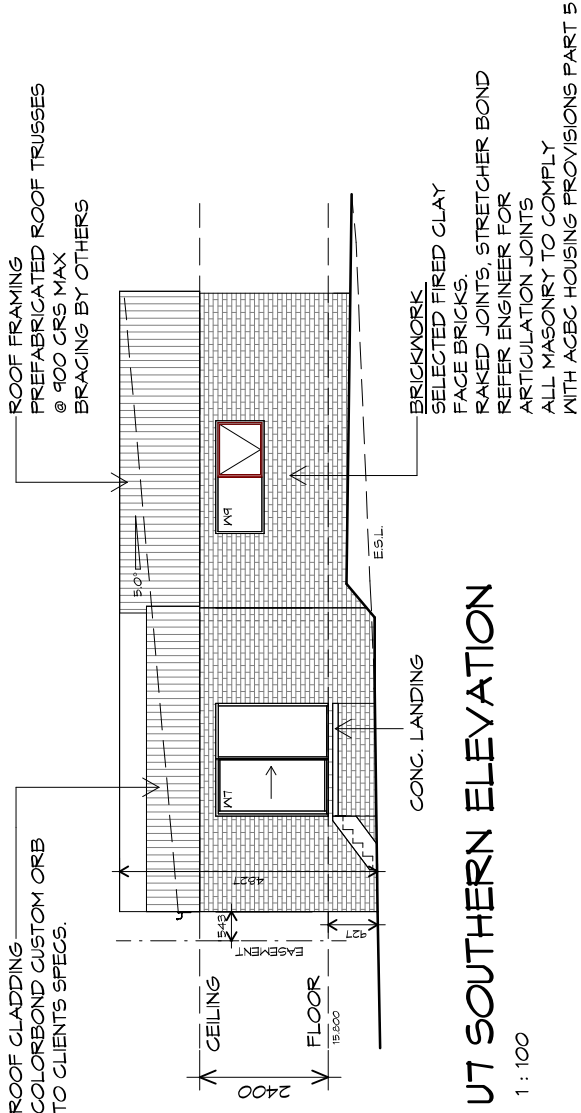
Project:  
PROPOSED UNIT DEVELOPMENT  
38 JETTY ROAD,  
OLD BEACH

Client name:  
GIC ESTATES PTY LTD

Drawing:  
ELEVATIONS

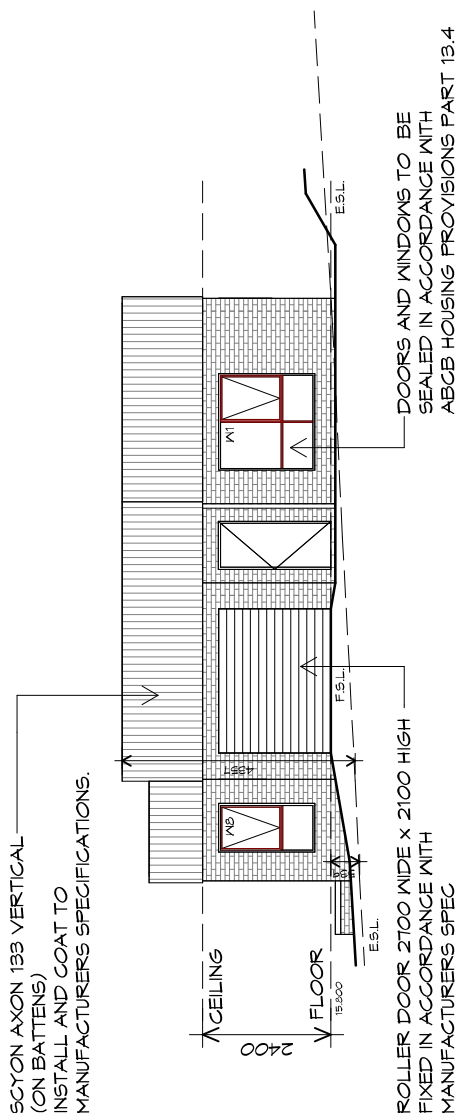
Drafted by:  
Author  
Approved by:  
Approver  
Date:  
20.05.2024  
Scale:  
1 : 100

Project/Drawing no:  
PD23405 -B1-07  
Revision:  
05  
Accredited building practitioner: Frank Geskus -No CC246A



U7 SOUTHERN ELEVATION

1 : 100



U7 EASTERN ELEVATION

1 : 100

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS



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Project:  
PROPOSED UNIT DEVELOPMENT  
38 JETTY ROAD,  
OLD BEACH

Client name:  
GIC ESTATES PTY LTD

Drawing:  
ELEVATIONS

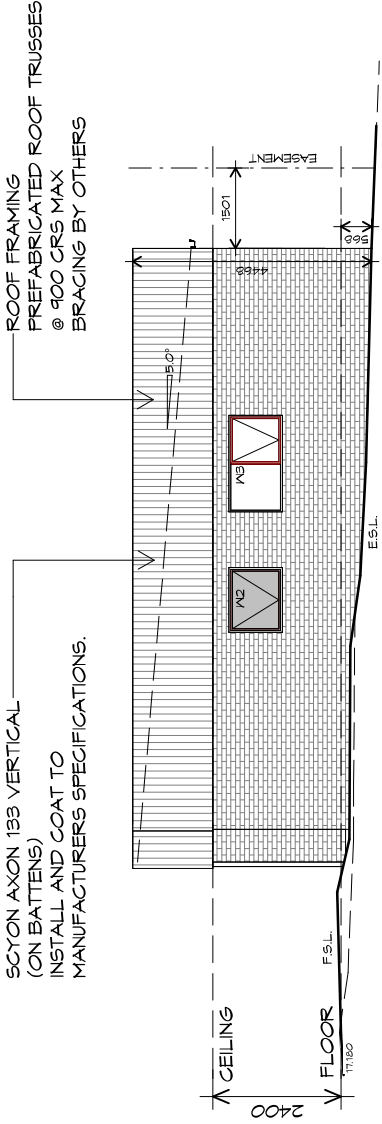
Drafted by:  
Author  
Approved by:  
Approver

Date:  
20.05.2024  
Scale:  
1 : 100

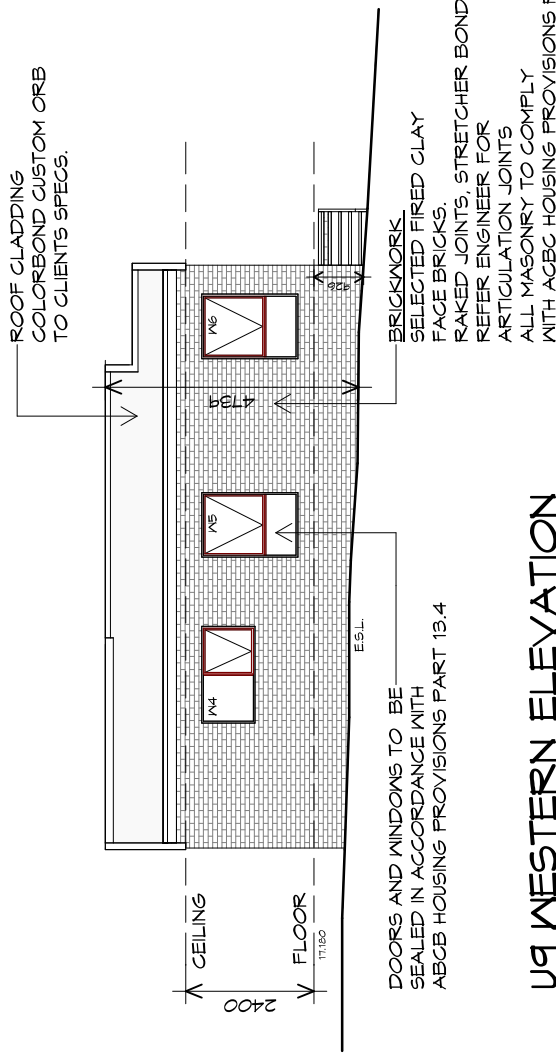
Project/Drawing no:  
PD23405 -B1-08  
Revision:  
05

Accredited building practitioner: Frank Geskus -No CC246A





U9 NORTHERN ELEVATION  
1 : 100



U9 WESTERN ELEVATION  
1 : 100

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS



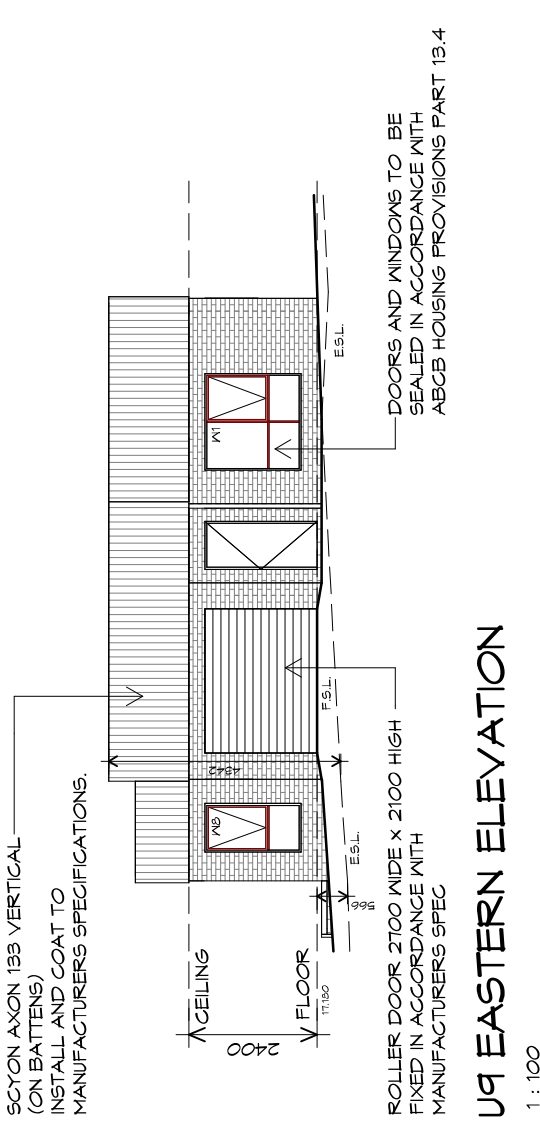
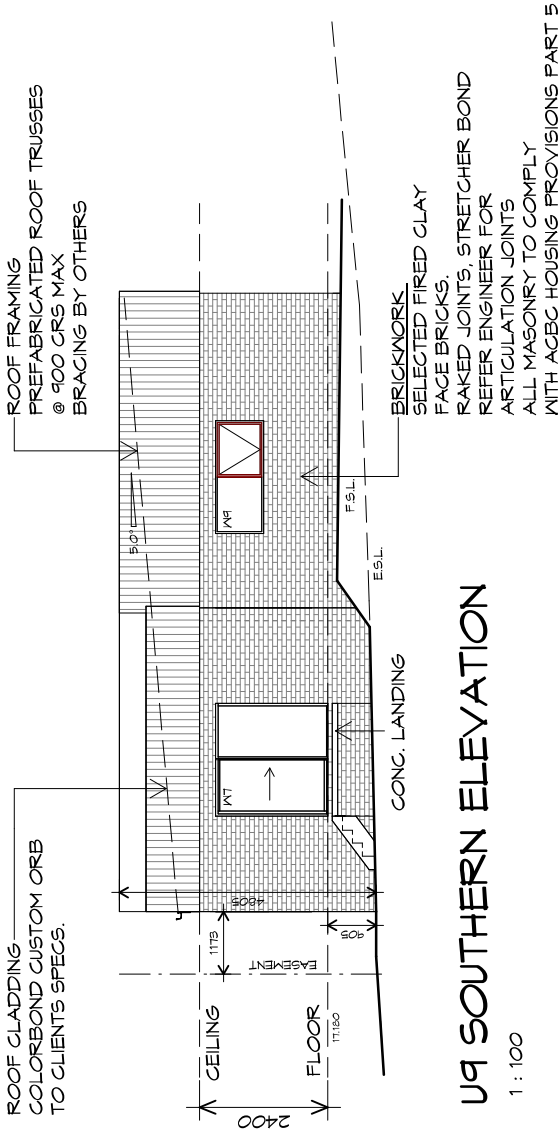
10 Goodman Court, Invermay Tasmania 7248,  
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Shop 9, 105-111 Main Road, Moonah Hobart 7009  
p(0)+ 03 6228 4575  
info@primedesigntas.com.au primedesigntas.com.au

Project:  
**PROPOSED UNIT DEVELOPMENT**  
**38 JETTY ROAD,**  
**OLD BEACH**  
Client name:  
**GIC ESTATES PTY LTD**

Drawing:  
**ELEVATIONS**

Drafted by:	Approved by:
Author	Approver
Date:	Scale:
20.05.2024	1 : 100
Project/Drawing no:	Revision:
PD23405 -B1-09	05
Accredited building practitioner: Frank Geskus -No CC246A	





PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS



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Project:  
PROPOSED UNIT DEVELOPMENT  
38 JETTY ROAD,  
OLD BEACH

Client name:  
GIC ESTATES PTY LTD  
Drawing:  
ELEVATIONS

Drafted by:  
Author  
Approved by:  
Approver  
Date:  
20.05.2024  
Scale:  
1 : 100

Project/Drawing no:  
PD23405 -B1-10  
Revision:  
05  
Accredited building practitioner: Frank Geskus -No CC246A





ROOF PLUMBING NOTES:

GUTTER INSTALLATION  
TO BE IN ACCORDANCE WITH  
ABCB HOUSING PROVISIONS PART 7.4.4  
WITH FALL NO LESS THAN  
1:100 FOR BOX GUTTERS  
1:500 FOR EAVES GUTTER

UNLESS FIXED TO METAL FASCIA  
EAVES GUTTER TO BE FIXED  
@ 1200 CRS MAX.

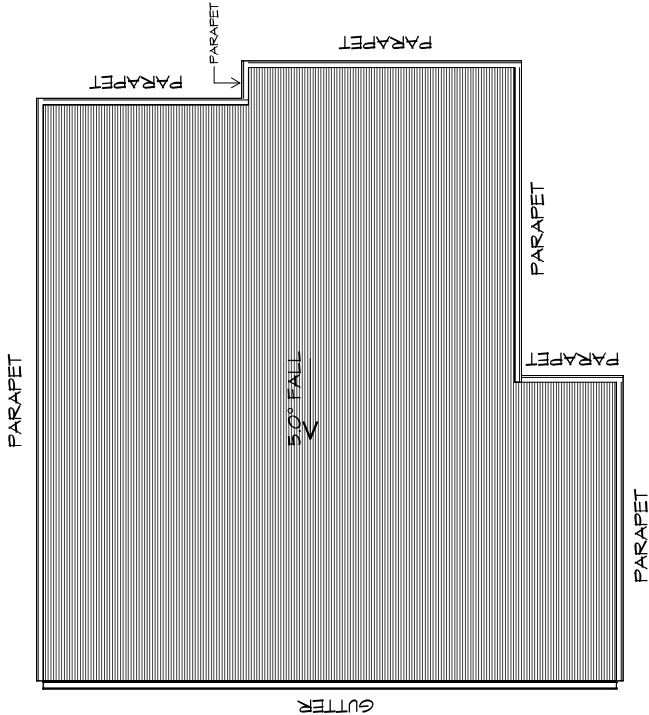
VALLEY GUTTERS ON A ROOF WITH A PITCH:  
A) MORE THAN 12.5° DEGREES - MUST  
HAVE A WIDTH OF NOT LESS THAN  
400mm AND ROOF OVERHANG OF NOT  
LESS THAN 150mm EACH SIDE OF VALLEY  
GUTTER.  
B) LESS THAN 12.5° DEGREES, MUST BE  
DESIGNED AS A BOX GUTTER.

LAP GUTTERS 75mm IN THE DIRECTION  
OF FLOW, RIVET & SEAL WITH AN  
APPROVED SILICONE SEALANT.

DOWNPipe POSITIONS SHOWN ON THIS  
PLAN ARE NOMINAL ONLY.  
EXACT LOCATION & NUMBER OF D.P.'S  
REQUIRED ARE TO BE IN ACCORDANCE  
WITH ABCB HOUSING PROVISIONS PART 7.4.5  
REQUIREMENTS.

SPACING BETWEEN DOWNPIPES MUST NOT  
BE MORE THAN 12m & LOCATED AS CLOSE AS  
POSSIBLE TO VALLEY GUTTERS

METAL ROOF  
METAL SHEETING ROOF TO BE INSTALLED IN  
ACCORDANCE WITH ABCB HOUSING PROVISIONS PART  
7.2. REFER TO TABLE 7.2.2a FOR ACCEPTABLE  
CORROSION PROTECTION FOR SHEET ROOFING.  
REFER TO TABLE 7.2.2b-7.2.2e FOR ACCEPTABILITY  
OF CONTACT BETWEEN DIFFERENT ROOFING  
MATERIALS, FOR FIXING, SHEET LAYING SEQUENCE,  
FASTENER FREQUENCY FOR TRANSVERSE FLASHINGS  
AND CAPPINGS, ANTI CAPILLARY BREAKS, FLASHING  
DETAILS REFER TO ABCB HOUSING PROVISIONS PART  
7.2.5- 7.2.7. ROOF PENETRATION FLASHING DETAILS.  
REFER TO TO ABCB HOUSING PROVISIONS PART  
7.2.5- 7.2.7. ROOF SHEETING MUST OVERHANG MIN  
35mm AS PER ABCB HOUSING PROVISIONS PART 7.2.8



ROOF PLAN

1 : 100

ADDITIONAL ROOF LOAD  
NO SOLAR P.V. SYSTEM HAS BEEN ALLOWED FOR,  
NO SOLAR HOT WATER HAS BEEN ALLOWED FOR.

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS



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Project:

PROPOSED UNIT DEVELOPMENT  
38 JETTY ROAD,  
OLD BEACH

Client name:

GIC ESTATES PTY LTD

Drawing:

ROOF PLAN

Drafted by:

Author

Approved by:

Approver

Date:

20.05.2024

Scale:

1 : 100

Project/Drawing no:

PD23405 -B1-11

Revision:

05

Accredited building practitioner: Frank Geskus -No CC246A



LEGEND

- CSD CAVITY SLIDING DOOR
- S/D SLIDING DOOR
- S/L SIDELIGHT
- COL COLUMN
- G.S. GLASS SCREEN
- HWC HOT WATER CYLINDER
- S.Q. SQUARE STOP

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS



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Project:

PROPOSED UNIT DEVELOPMENT  
38 JETTY ROAD,  
OLD BEACH

Client name:

GIC ESTATES PTY LTD

Drawing:

FLOOR PLAN

Drafted by:

Author

Approved by:

Approver

Date:

20.05.2024 1 : 100

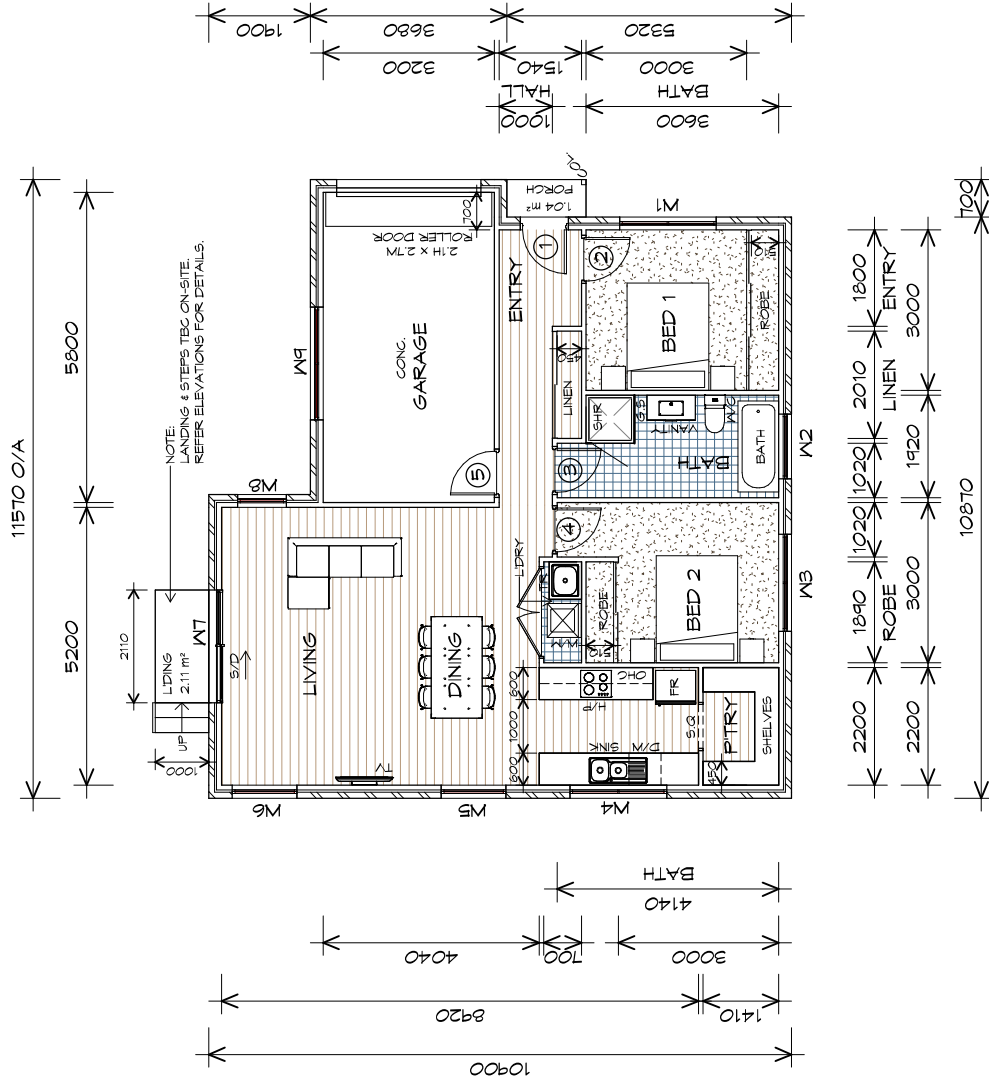
Project/Drawing no:

PD23405 -B2-01

Revision:

05

Accredited building practitioner: Frank Geskus -No CC246A



FLOOR PLAN

1 : 100

FLOOR AREA	89.88	m <sup>2</sup>	( 9.67 SQUARES )
GARAGE AREA	21.37	m <sup>2</sup>	( 2.30 SQUARES )
TOTAL AREA	111.24		11.97

NOTE:  
FLOOR AREAS INCLUDE TO EXTERNAL FACE OF  
BUILDING AND GARAGE, UNLESS OTHERWISE STATED.  
DECKS AND OUTDOOR AREAS ARE CALCULATED  
SEPARATELY.

TYPE B2 - UNIT 4-5, 8



DOOR SCHEDULE			
MARK	WIDTH	TYPE	REMARKS
1	820	EXTERNAL SOLID DOOR	
2	820	INTERNAL TIMBER DOOR	
3	820	INTERNAL TIMBER DOOR	
4	820	INTERNAL TIMBER DOOR	
5	820	INTERNAL TIMBER DOOR	

WINDOW SCHEDULE				
MARK	HEIGHT	WIDTH	TYPE	REMARKS
W1	1800	1810	AWNING WINDOW	
W2	1000	1210	AWNING WINDOW	OPAQUE
W3	1000	1810	AWNING WINDOW	
W4	1000	1810	AWNING WINDOW	
W5	1800	1210	AWNING WINDOW	
W6	1800	1210	AWNING WINDOW	
W7	2100	2110	SLIDING DOOR	
W8	1800	910	AWNING WINDOW	
W9	900	2110	AWNING WINDOW	

ALUMINIUM WINDOWS **DOUBLE GLAZING** COMPLETE  
WITH FLY SCREENS TO SUIT **TBC BAL** RATING.  
ALL WINDOW MEASUREMENTS TO BE VERIFIED ON SITE  
PRIOR TO ORDERING



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info@primedesigntas.com.au primedesigntas.com.au

Project:  
PROPOSED UNIT DEVELOPMENT  
38 JETTY ROAD,  
OLD BEACH

Client name:  
GIC ESTATES PTY LTD  
  
Drafted by:  
Author  
  
Approved by:  
Approver



Drawing:  
DOOR AND WINDOW  
SCHEDULES

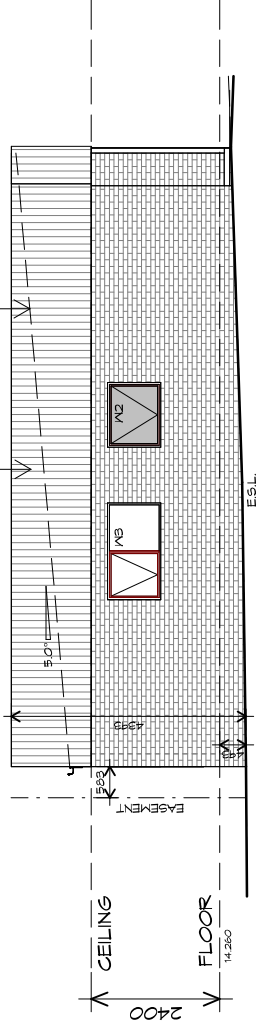
Date:  
20.05.2024  
Scale:

Project/Drawing no:  
PD23405 -B2-02  
Revision:  
05

Accredited building practitioner: Frank Geskus -No CC246A

SCYON AXON 133 VERTICAL  
(ON BATTENS)  
INSTALL AND COAT TO  
MANUFACTURERS SPECIFICATIONS.

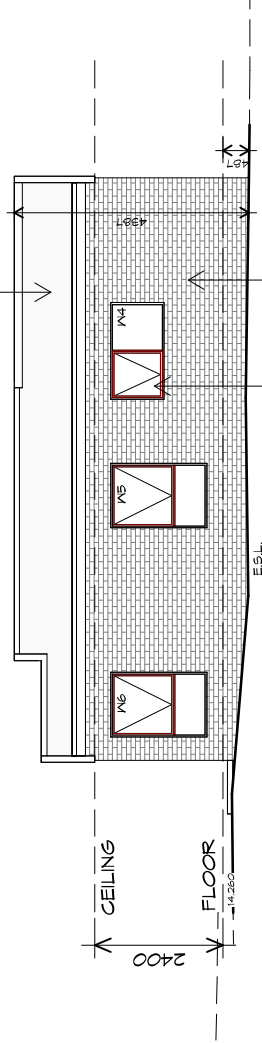
ROOF FRAMING  
PREFABRICATED ROOF TRUSSES  
@ 900 CRS MAX  
BRACING BY OTHERS



## U4 SOUTHERN ELEVATION

1 : 100

ROOF CLADDING  
COLORBOND CUSTOM ORB  
TO CLIENTS SPECS.

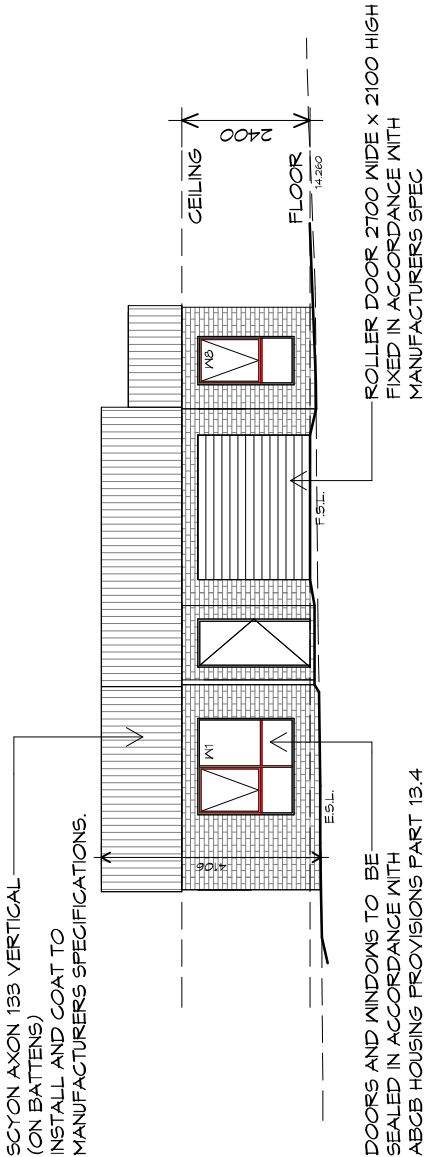
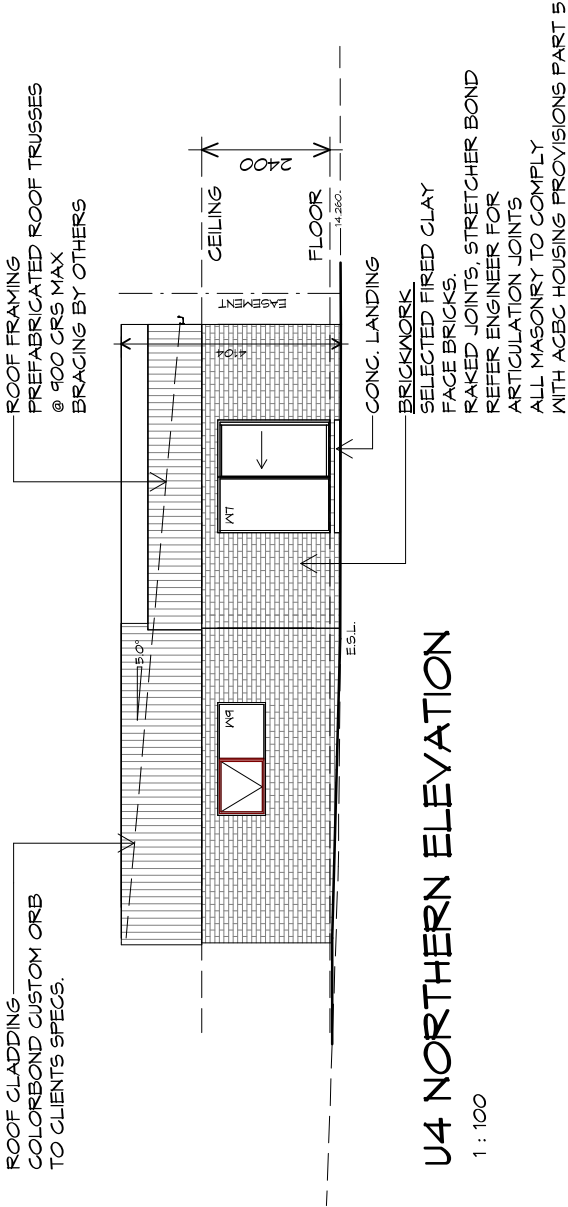


DOORS AND WINDOWS TO BE  
SEALED IN ACCORDANCE WITH  
ACBC HOUSING PROVISIONS PART 13.4

## U4 WESTERN ELEVATION

1 : 100





PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS



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Project:  
PROPOSED UNIT DEVELOPMENT  
38 JETTY ROAD,  
OLD BEACH

Client name:  
GIC ESTATES PTY LTD

Drawing:  
ELEVATIONS

Drafted by:  
Author

Approved by:  
Approver

Date:  
20.05.2024

Scale:  
1 : 100

Project/Drawing no:  
PD23405 -B2-04

Revision:  
05

Accredited building practitioner: Frank Geskus -No CC246A



TYPE B2 - UNIT 4

Drafted by:  
**Author**

Approved by:  
**Approver**

Date:

20.05.2024

Scale:

1 : 100

Project/Drawing no:

PD23405 -B2-05

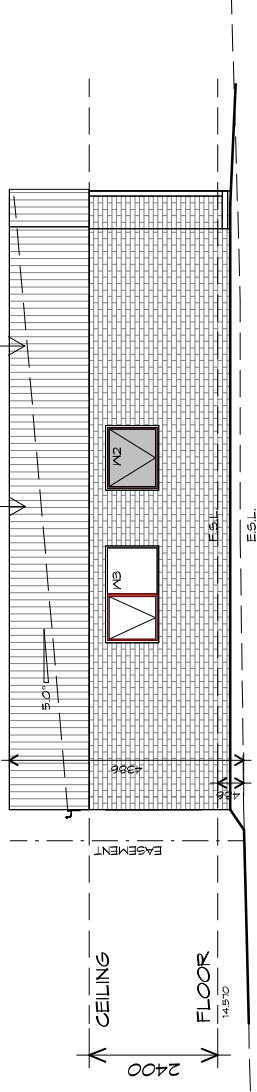
Revision:

05

Accredited building practitioner: Frank Geskus -No CC246A

SCYON AXON 133 VERTICAL  
(ON BATTENS)  
INSTALL AND COAT TO  
MANUFACTURERS SPECIFICATIONS.

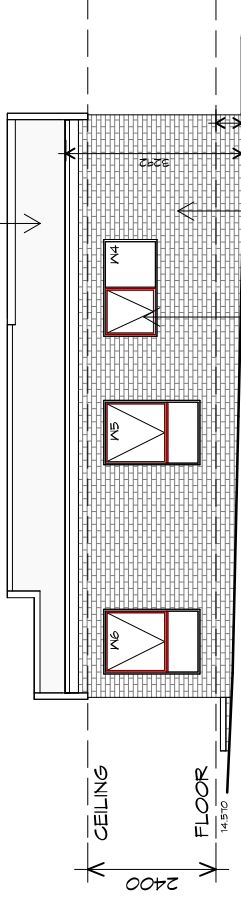
ROOF FRAMING  
PREFABRICATED ROOF TRUSSES  
@ 900 CRS MAX  
BRACING BY OTHERS



U5 SOUTHERN ELEVATION

1 : 100

ROOF CLADDING  
COLORBOND CUSTOM ORB  
TO CLIENTS SPECS.



DOORS AND WINDOWS TO BE  
SEALED IN ACCORDANCE WITH  
ABCB HOUSING PROVISIONS PART 13.4

U5 WESTERN ELEVATION

1 : 100



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Project:

PROPOSED UNIT DEVELOPMENT  
38 JETTY ROAD,  
OLD BEACH

Client name:

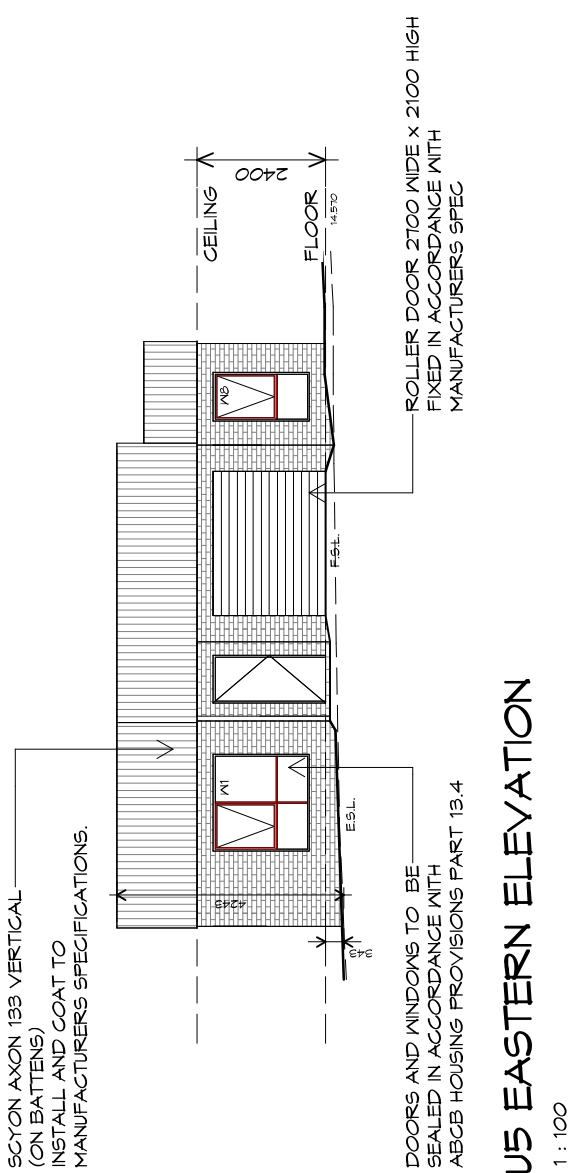
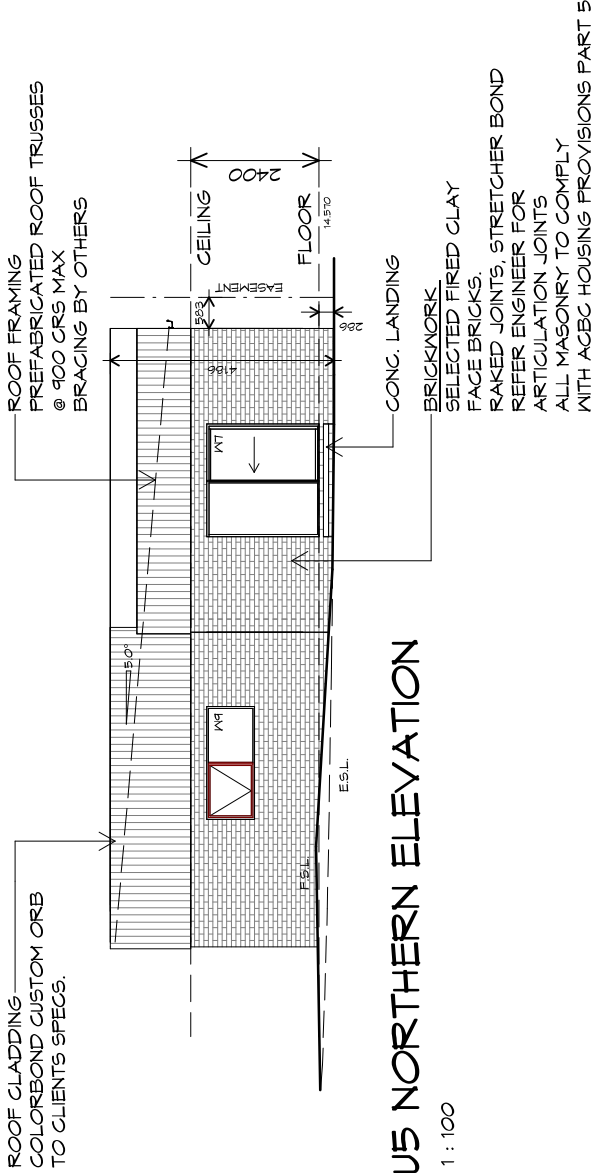
GIC ESTATES PTY LTD

Drawing:

ELEVATIONS

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS



PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS



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info@primedesigntas.com.au primedesigntas.com.au

Project:  
PROPOSED UNIT DEVELOPMENT  
38 JETTY ROAD,  
OLD BEACH

Client name:  
GIC ESTATES PTY LTD

Drawing:  
ELEVATIONS

Drafted by:  
Author

Approved by:  
Approver

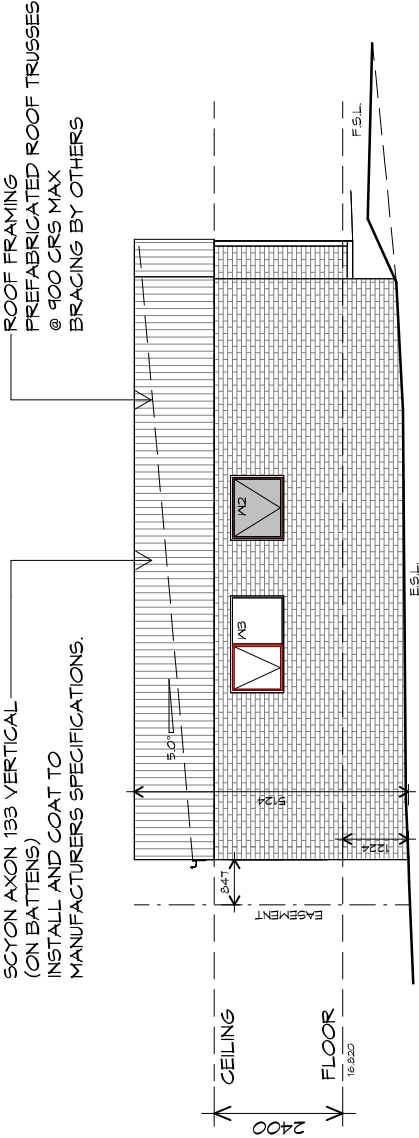
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20.05.2024

Scale:  
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Project/Drawing no:  
PD23405 -B2-06

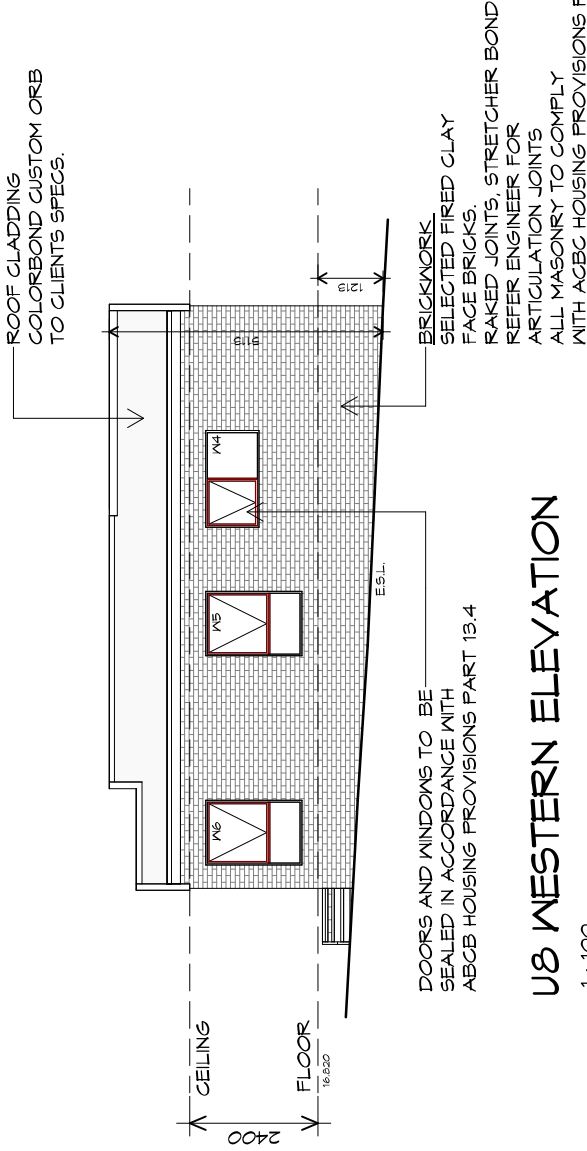
Revision:  
05

Accredited building practitioner: Frank Geskus -No CC246A



U8 SOUTHERN ELEVATION

1 : 100



U8 WESTERN ELEVATION

1 : 100

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS



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info@primedesigntas.com.au primedesigntas.com.au

Project:  
PROPOSED UNIT DEVELOPMENT  
38 JETTY ROAD,  
OLD BEACH

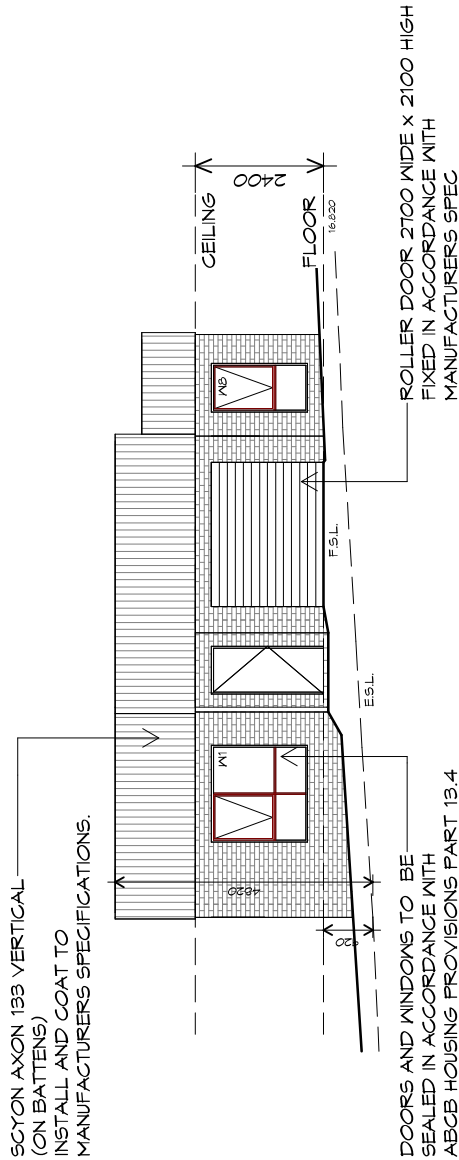
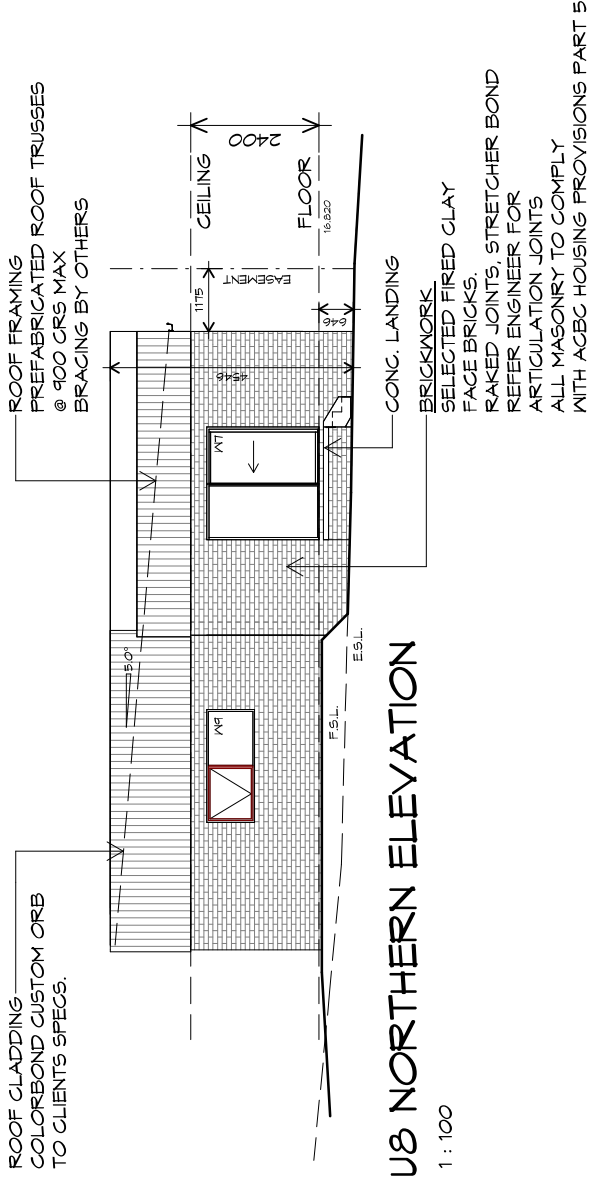
Client name:  
GIC ESTATES PTY LTD

Drawing:  
ELEVATIONS

Drafted by:  
Author  
Approved by:  
Approver  
Date:  
20.05.2024  
Scale:  
1 : 100

Project/Drawing no:  
PD23405 -B2-07  
Revision:  
05  
Accredited building practitioner: Frank Geskus -No CC246A





Drafted by: <b>Author</b>	Approved by: <b>Approver</b>
Date: 20.05.2024	Scale: 1 : 100
Project/Drawing no: <b>PD23405 -B2-08</b>	Revision: <b>05</b>
Accredited building practitioner: Frank Geskus -No CC246A	

ROOF PLUMBING NOTES:

GUTTER INSTALLATION  
TO BE IN ACCORDANCE WITH  
ABCB HOUSING PROVISIONS PART 7.4.4  
WITH FALL NO LESS THAN  
1:100 FOR BOX GUTTERS  
1:500 FOR EAVES GUTTER

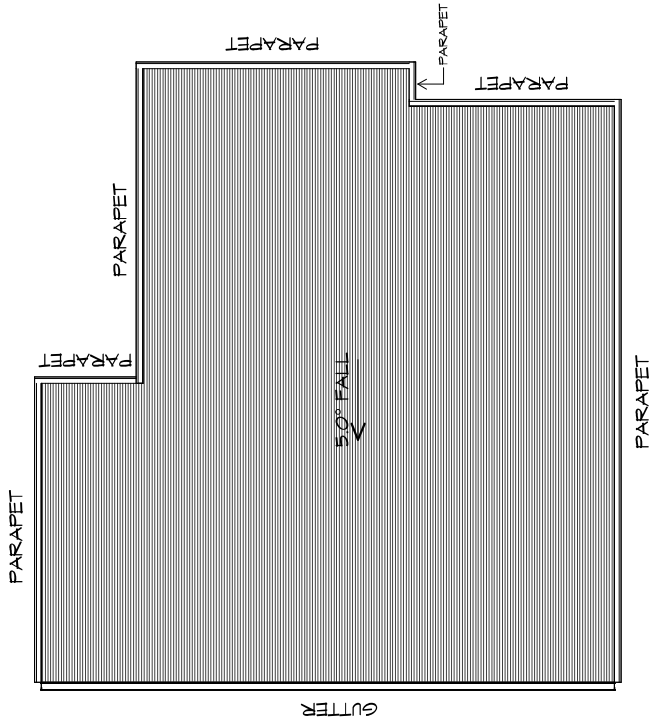
UNLESS FIXED TO METAL FASCIA  
EAVES GUTTER TO BE FIXED  
@ 1200 CRS MAX.

VALLEY GUTTERS ON A ROOF WITH A PITCH:  
A) MORE THAN 12.5° DEGREES - MUST  
HAVE A WIDTH OF NOT LESS THAN  
400mm AND ROOF OVERHANG OF NOT  
LESS THAN 150mm EACH SIDE OF VALLEY  
GUTTER.  
B) LESS THAN 12.5° DEGREES, MUST BE  
DESIGNED AS A BOX GUTTER.

LAP GUTTERS 75mm IN THE DIRECTION  
OF FLOW, RIVET & SEAL WITH AN  
APPROVED SILICONE SEALANT.

DOWNPipe POSITIONS SHOWN ON THIS  
PLAN ARE NOMINAL ONLY.  
EXACT LOCATION & NUMBER OF D.P.'S  
REQUIRED ARE TO BE IN ACCORDANCE  
WITH ABCB HOUSING PROVISIONS PART 7.4.5  
REQUIREMENTS.  
SPACING BETWEEN DOWNPIPES MUST NOT  
BE MORE THAN 12m & LOCATED AS CLOSE AS  
POSSIBLE TO VALLEY GUTTERS

METAL ROOF  
METAL SHEETING ROOF TO BE INSTALLED IN  
ACCORDANCE WITH ABCB HOUSING PROVISIONS PART  
7.2. REFER TO TABLE 7.2.2a FOR ACCEPTABLE  
CORROSION PROTECTION FOR SHEET ROOFING.  
REFER TO TABLE 7.2.2b-7.2.2e FOR ACCEPTABILITY  
OF CONTACT BETWEEN DIFFERENT ROOFING  
MATERIALS, FOR FIXING, SHEET LAYING SEQUENCE,  
FASTENER FREQUENCY FOR TRANSVERSE FLASHINGS  
AND CAPPINGS, ANTI-CAPILLARY BREAKS, FLASHING  
DETAILS REFER TO ABCB HOUSING PROVISIONS PART  
7.2.5- 7.2.7. ROOF PENETRATION FLASHING DETAILS.  
REFER TO TO ABCB HOUSING PROVISIONS PART  
7.2.5- 7.2.7. ROOF SHEETING MUST OVERHANG MIN  
35mm AS PER ABCB HOUSING PROVISIONS PART 7.2.8



ROOF PLAN

1 : 100

ADDITIONAL ROOF LOAD  
NO SOLAR P.V. SYSTEM HAS BEEN ALLOWED FOR,  
NO SOLAR HOT WATER HAS BEEN ALLOWED FOR.

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS



10 Goodman Court, Invermay Tasmania 7248,  
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info@primedesigntas.com.au primedesigntas.com.au

Project:

PROPOSED UNIT DEVELOPMENT  
38 JETTY ROAD,  
OLD BEACH

Client name:

GIC ESTATES PTY LTD

Drawing:

ROOF PLAN

Drafted by:

Author

Approved by:

Approver

Date:

20.05.2024

Scale:

1 : 100

Project/Drawing no:

PD23405 -B2-09

Revision:

05

Accredited building practitioner: Frank Geskus -No CC246A



LEGEND

- CSD CAVITY SLIDING DOOR
- S/D SLIDING DOOR
- S/L SIDELIGHT
- COL COLUMN
- G.S. GLASS SCREEN
- HWC HOT WATER CYLINDER

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS



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info@primedesigntas.com.au primedesigntas.com.au

Project:

PROPOSED UNIT DEVELOPMENT  
38 JETTY ROAD,  
OLD BEACH

Client name:

GIC ESTATES PTY LTD

Drawing:

FLOOR PLAN

Drafted by:

Author

Approved by:

Approver

Date:

20.05.2024

Scale:

1 : 100

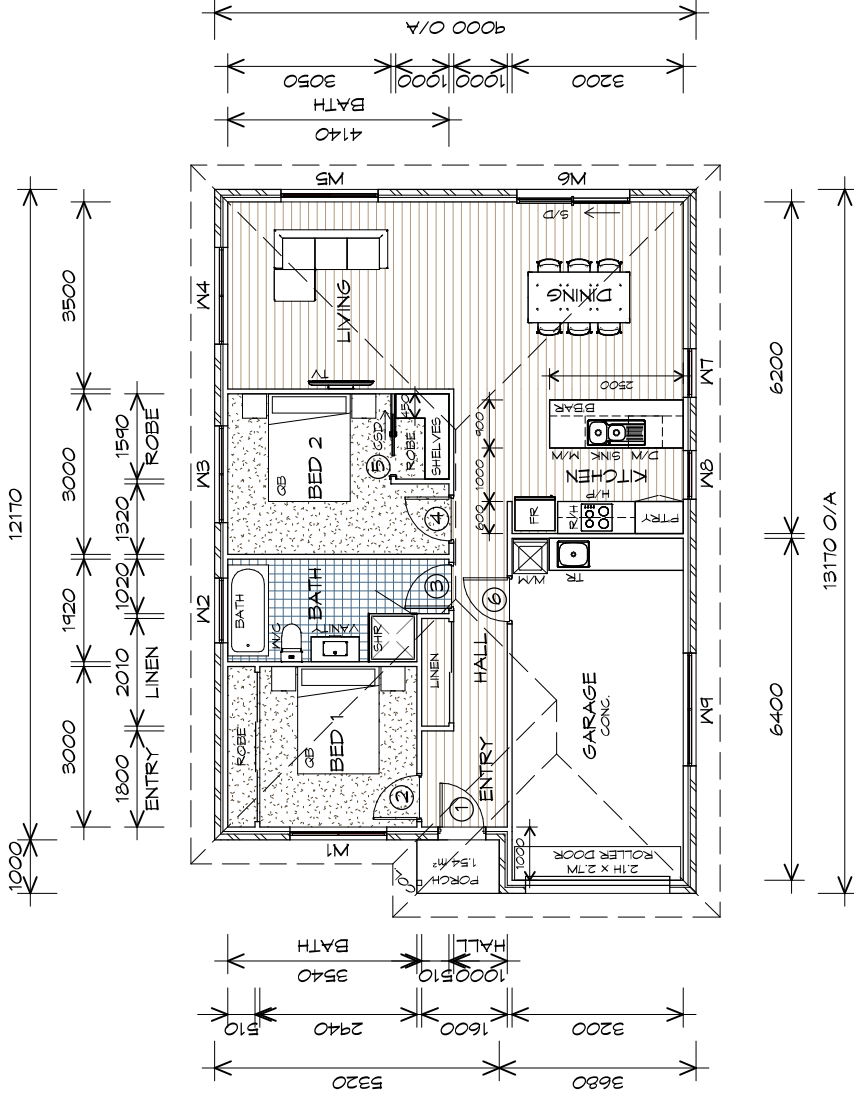
Project/Drawing no:

PD23405 -C1-01

Revision:

05

Accredited building practitioner: Frank Geskus -No CC246A



FLOOR PLAN

1 : 100

FLOOR AREA	84.72	m2	(9.66 SQUARES )
GARAGE AREA	23.52	m2	(2.59 SQUARES )
TOTAL AREA	113.23	m2	12.19

NOTE:

FLOOR AREAS INCLUDE TO EXTERNAL FACE OF BUILDING AND GARAGE, UNLESS OTHERWISE STATED. DECKS AND OUTDOOR AREAS ARE CALCULATED SEPARATELY.

DOOR SCHEDULE			
MARK	WIDTH	TYPE	REMARKS
1	820	EXTERNAL SOLID DOOR	
2	820	INTERNAL TIMBER DOOR	
3	820	INTERNAL TIMBER DOOR	
4	820	INTERNAL TIMBER DOOR	
5	770	CAVITY SLIDING DOOR	
6	820	INTERNAL TIMBER DOOR	

WINDOW SCHEDULE			
MARK	HEIGHT	WIDTH	TYPE
W1	1800	1810	AWNING WINDOW
W2	1000	1210	AWNING WINDOW
W3	1000	1810	AWNING WINDOW
W4	1000	1810	AWNING WINDOW
W5	1800	1810	AWNING WINDOW
W6	2100	2110	SLIDING DOOR
W7	1800	910	AWNING WINDOW
W8	1800	910	AWNING WINDOW
W9	900	2110	AWNING WINDOW

ALUMINIUM WINDOWS **DOUBLE GLAZING** COMPLETE  
WITH FLY SCREENS TO SUIT **BAL-TBC** RATING.  
ALL WINDOW MEASUREMENTS TO BE VERIFIED ON SITE  
PRIOR TO ORDERING

Project:  
PROPOSED UNIT DEVELOPMENT  
38 JETTY ROAD,  
OLD BEACH

Client name:  
GIC ESTATES PTY LTD

Drafted by:  
Author

Approved by:  
Approver

Drawing:  
DOOR AND WINDOW  
SCHEDULES

Date:  
20.05.2024

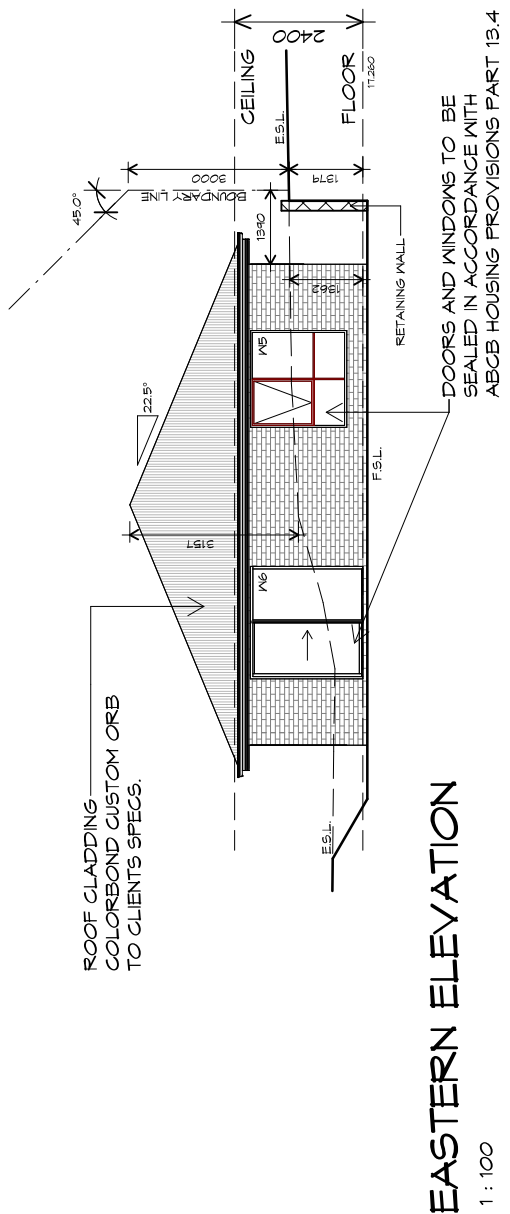
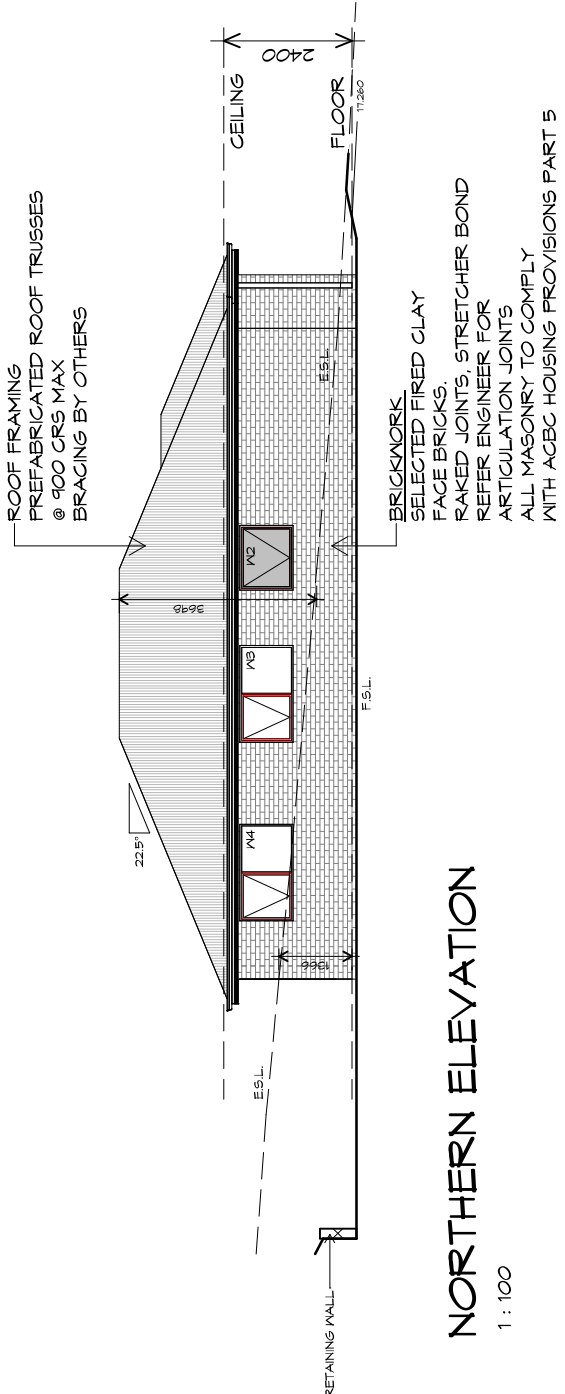
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Project/Drawing no:  
PD23405 -C1-02

Revision:  
05

Accredited building practitioner: Frank Geskus -No CC246A





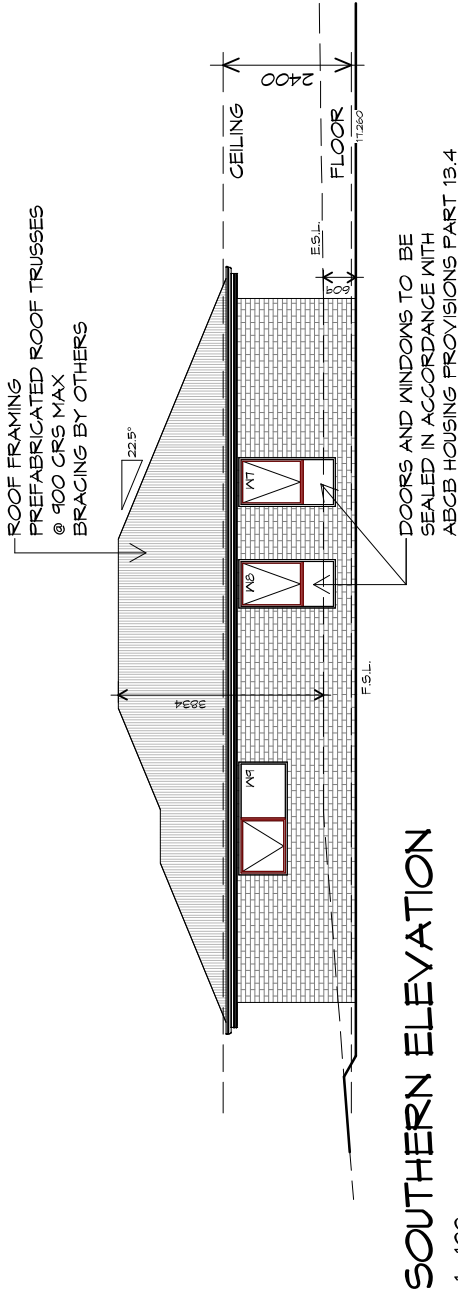
10 Goodman Court, Invermay Tasmania 7248,  
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Shop 9, 105-111 Main Road, Moonah Hobart 7009  
p(0)+ 03 6228 4575  
info@primedesigntas.com.au primedesigntas.com.au

Project:  
**PROPOSED UNIT DEVELOPMENT**  
**38 JETTY ROAD,**  
**OLD BEACH**

Client name:  
**GIC ESTATES PTY LTD**  
Drawing:  
**ELEVATIONS**

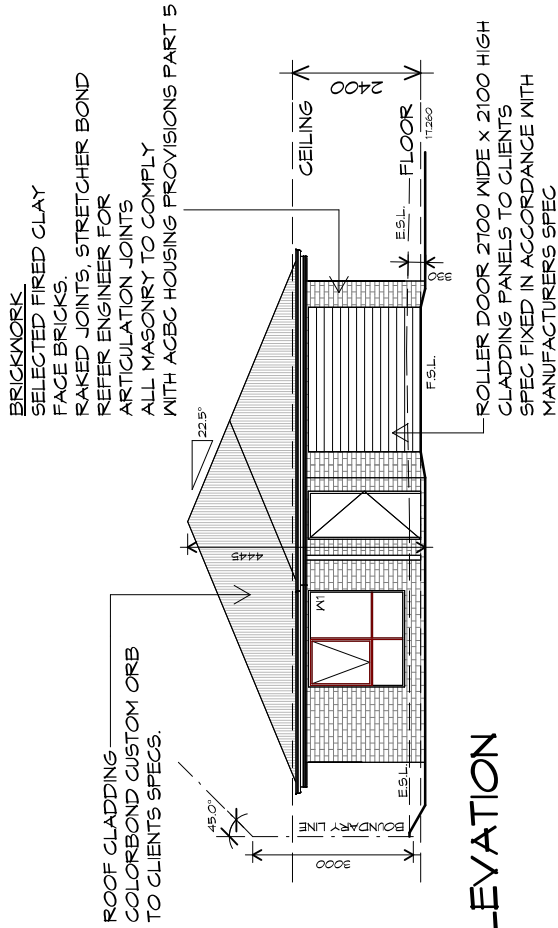
Drafted by:	Approved by:
Author	Approver
Date:	Scale:
20.05.2024	1 : 100
Project/Drawing no:	Revision:
PD23405 -C1-03	05
Accredited building practitioner: Frank Geskus -No CC246A	





SOUTHERN ELEVATION

1 : 100



WESTERN ELEVATION

1 : 100



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Project:  
PROPOSED UNIT DEVELOPMENT  
38 JETTY ROAD,  
OLD BEACH

Client name:  
GIC ESTATES PTY LTD  
Drawing:  
ELEVATIONS

Drafted by:  
Author  
Approved by:  
Approver  
Date:  
20.05.2024  
Scale:  
1 : 100

Project/Drawing no:  
PD23405 -C1-04  
Revision:  
05  
Accredited building practitioner: Frank Geskus -No CC246A



ROOF PLUMBING NOTES:

GUTTER INSTALLATION  
TO BE IN ACCORDANCE WITH  
ABCB HOUSING PROVISIONS PART 7.4.4  
WITH FALL NO LESS THAN  
1:100 FOR BOX GUTTERS  
1:500 FOR EAVES GUTTER

UNLESS FIXED TO METAL FASCIA  
EAVES GUTTER TO BE FIXED  
@ 1200 CRS MAX.

VALLEY GUTTERS ON A ROOF WITH A PITCH:

A) MORE THAN 12.5° DEGREES - MUST  
HAVE A WIDTH OF NOT LESS THAN  
400mm AND ROOF OVERHANG OF NOT  
LESS THAN 150mm EACH SIDE OF VALLEY  
GUTTER.  
B) LESS THAN 12.5° DEGREES, MUST BE  
DESIGNED AS A BOX GUTTER.

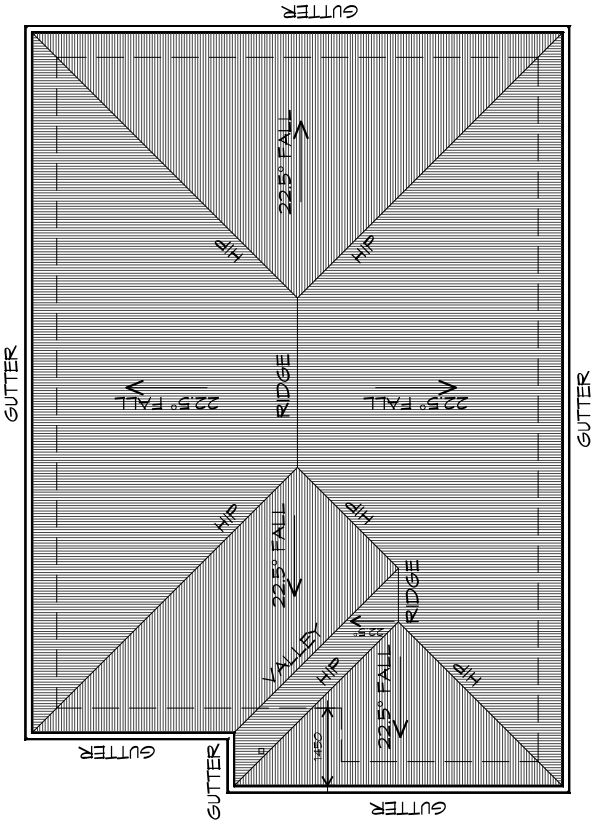
LAP GUTTERS 75mm IN THE DIRECTION  
OF FLOW, RIVET & SEAL WITH AN  
APPROVED SILICONE SEALANT.

DOWNPipe POSITIONS SHOWN ON THIS  
PLAN ARE NOMINAL ONLY.  
EXACT LOCATION & NUMBER OF D/P'S  
REQUIRED ARE TO BE IN ACCORDANCE  
WITH ABCB HOUSING PROVISIONS PART 7.4.5  
REQUIREMENTS.  
SPACING BETWEEN DOWNPIPES MUST NOT  
BE MORE THAN 12m & LOCATED AS CLOSE AS  
POSSIBLE TO VALLEY GUTTERS

METAL ROOF

METAL SHEETING ROOF TO BE INSTALLED IN  
ACCORDANCE WITH ABCB HOUSING PROVISIONS PART  
7.2. REFER TO TABLE 7.2.2a FOR ACCEPTABLE  
CORROSION PROTECTION FOR SHEET ROOFING,  
REFER TO TABLE 7.2.2b-7.2.2e FOR ACCEPTABILITY  
OF CONTACT BETWEEN DIFFERENT ROOFING  
MATERIALS. FOR FIXING, SHEET LAYING SEQUENCE,  
FASTENER FREQUENCY FOR TRANSVERSE FLASHINGS  
AND CAPPINGS, ANTI CAPILLARY BREAKS, FLASHING  
DETAILS REFER TO ABCB HOUSING PROVISIONS PART  
7.2.5- 7.2.7. ROOF PENETRATION FLASHING DETAILS.  
REFER TO TO ABCB HOUSING PROVISIONS PART  
7.2.5- 7.2.7. ROOF SHEETING MUST OVERHANG MIN  
35mm AS PER ABCB HOUSING PROVISIONS PART 7.2.8

ADDITIONAL ROOF LOAD  
NO SOLAR P.V. SYSTEM HAS BEEN ALLOWED FOR,  
NO SOLAR HOT WATER HAS BEEN ALLOWED FOR.



ROOF PLAN

1 : 100



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Project:

PROPOSED UNIT DEVELOPMENT  
38 JETTY ROAD,  
OLD BEACH

Client name:

GIC ESTATES PTY LTD

Drawing:

ROOF PLAN

Drafted by:

Author

Approved by:

Approver

Date:

20.05.2024

Scale:

1 : 100

Project/Drawing no:

PD23405 -C1-05

Revision:

05

Accredited building practitioner: Frank Geskus -No CC246A

LEGEND

- CSD CAVITY SLIDING DOOR
- S/D SLIDING DOOR
- S/L SIDELIGHT
- COL COLUMN
- G.S. GLASS SCREEN
- HWC HOT WATER CYLINDER

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS



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info@primedesigntas.com.au primedesigntas.com.au

Project:  
PROPOSED UNIT DEVELOPMENT  
38 JETTY ROAD,  
OLD BEACH

Client name:  
GIC ESTATES PTY LTD

Drawing:  
FLOOR PLAN

Drafted by:  
D.D.H.

Approved by:  
Approver

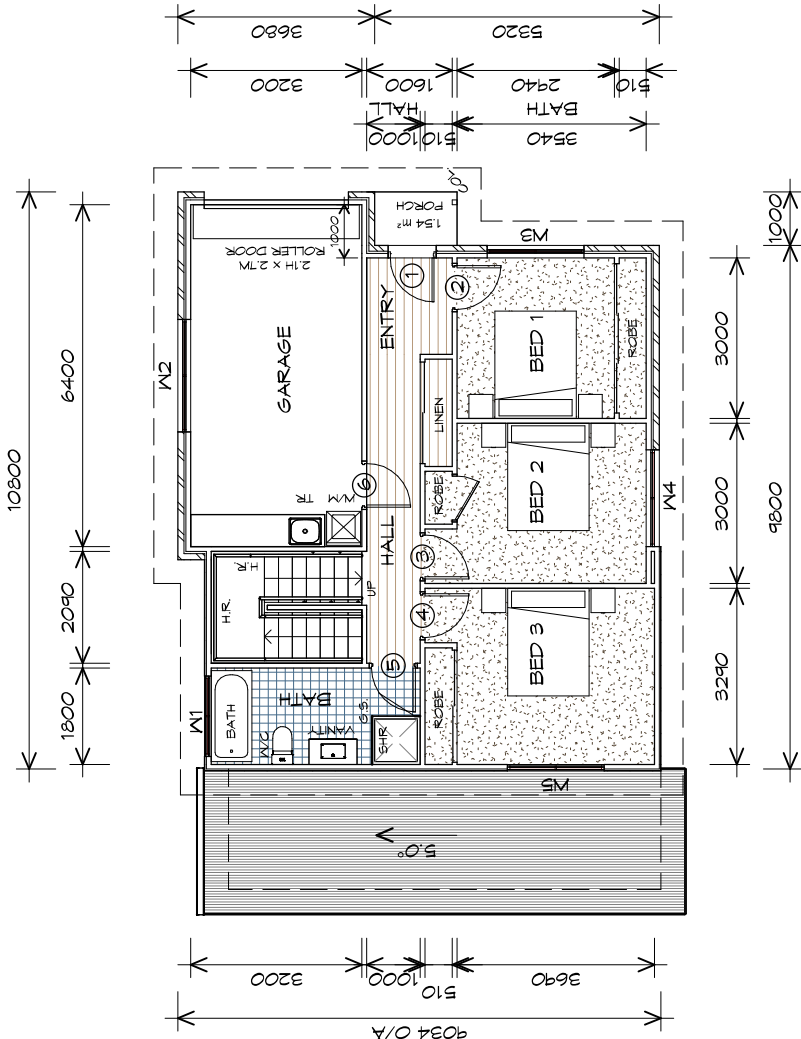
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Date: 20.05.2024 1 : 100

Project/Drawing no: PD23405 -C2-01

Revision: 05

Accredited building practitioner: Frank Geskus -No CC246A



FLOOR PLAN

1 : 100

FLOOR AREA	66.97	m2	(7.21	SQUARES )
GARAGE AREA	23.62	m2	(2.54	SQUARES )
LOWER FLOOR AREA	52.91	m2	(5.70	SQUARES )
TOTAL AREA	143.50		15.45	

NOTE:  
FLOOR AREAS INCLUDE TO EXTERNAL FACE OF  
BUILDING AND GARAGE, UNLESS OTHERWISE STATED.  
DECKS AND OUTDOOR AREAS ARE CALCULATED  
SEPARATELY.



TYPE C2 - UNIT 21

LEGEND

- CSD CAVITY SLIDING DOOR
- S/D SLIDING DOOR
- S/L SIDELIGHT
- COL COLUMN
- G.S. GLASS SCREEN
- HWC HOT WATER CYLINDER

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS



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info@primedesigntas.com.au primedesigntas.com.au

Project:

PROPOSED UNIT DEVELOPMENT  
38 JETTY ROAD,  
OLD BEACH

Client name:

GIC ESTATES PTY LTD

Drawing:

LOWER FLOOR PLAN

Drafted by:

D.D.H.

Approved by:

Approver

Date:

20.05.2024

Scale:

1 : 100

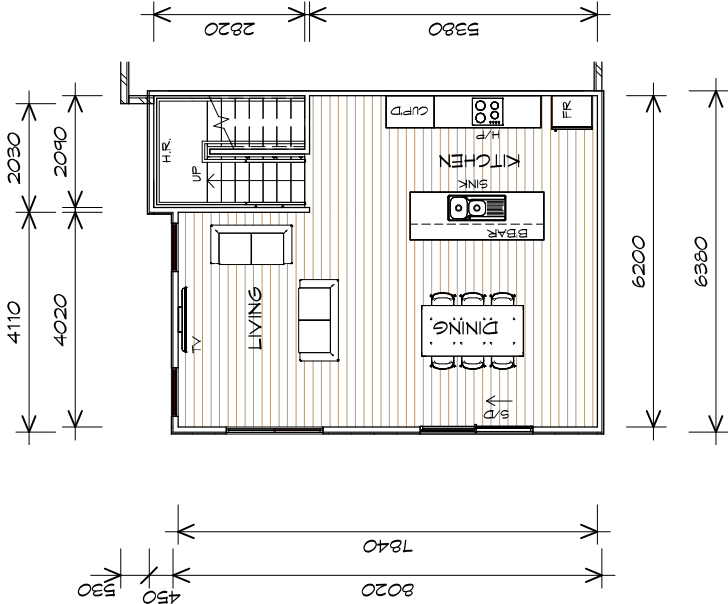
Project/Drawing no:

PD23405 -C2-02

Revision:

05

Accredited building practitioner: Frank Geskus -No CC246A



LOWER FLOOR

1 : 100

FLOOR AREA	66.97	m2	(7.21	SQUARES )
GARAGE AREA	23.62	m2	(2.54	SQUARES )
LOWER FLOOR AREA	52.91	m2	(5.70	SQUARES )
TOTAL AREA	143.50		15.45	

NOTE:  
FLOOR AREAS INCLUDE TO EXTERNAL FACE OF  
BUILDING AND GARAGE, UNLESS OTHERWISE STATED.  
DECKS AND OUTDOOR AREAS ARE CALCULATED  
SEPARATELY.

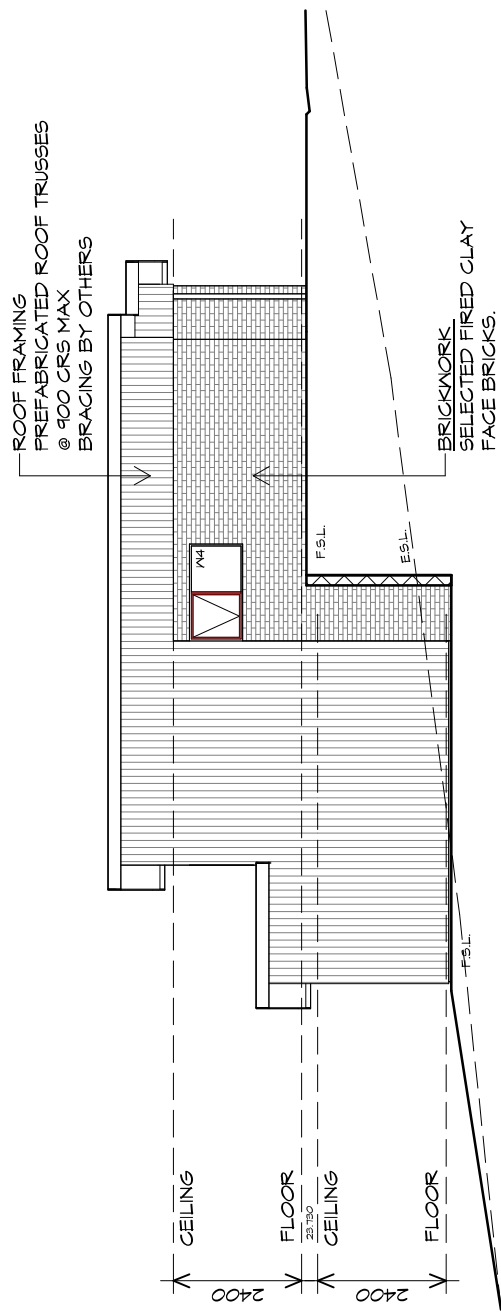


DOOR SCHEDULE			
MARK	WIDTH	TYPE	REMARKS
1	820	EXTERNAL SOLID DOOR	
2	820	INTERNAL TIMBER DOOR	
3	820	INTERNAL TIMBER DOOR	
4	820	INTERNAL TIMBER DOOR	
5	820	INTERNAL TIMBER DOOR	
6	820	INTERNAL TIMBER DOOR	

WINDOW SCHEDULE			
MARK	HEIGHT	WIDTH	REMARKS
W1	900	1510	AWNING WINDOW OFAQUE
W2	900	2110	AWNING WINDOW
W3	1800	1810	AWNING WINDOW
W4	1000	1810	AWNING WINDOW
W5	1200	1810	AWNING WINDOW

LOWER FLOOR WINDOW SCHEDULE			
MARK	HEIGHT	WIDTH	REMARKS
W6	2100	2110	SLIDING DOOR
W7	1800	1810	AWNING WINDOW
W8	1800	910	AWNING WINDOW
W9	1800	910	AWNING WINDOW

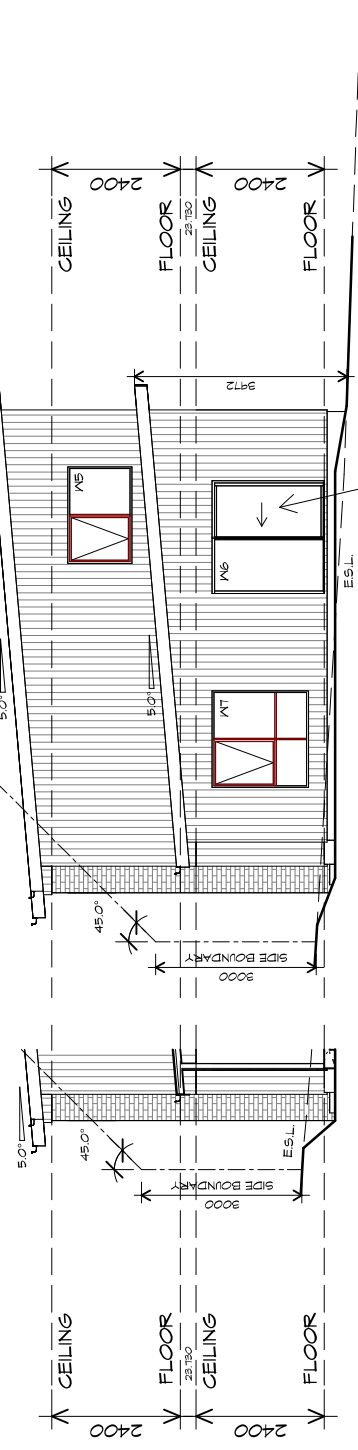
ALUMINIUM WINDOWS **DOUBLE GLAZING** COMPLETE  
WITH FLY SCREENS TO SUIT **BAL-TBC** RATING.  
ALL WINDOW MEASUREMENTS TO BE VERIFIED ON SITE  
PRIOR TO ORDERING



SOUTHERN ELEVATION

1 : 100

ROOF CLADDING  
COLORBOND CUSTOM ORB  
TO CLIENTS SPECS.



WESTERN ELEVATION

1 : 100

DOORS AND WINDOWS TO BE  
SEALED IN ACCORDANCE WITH  
ABCBC HOUSING PROVISIONS PART 13.4

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS



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Shop 9, 105-111 Main Road, Moonah Hobart 7009  
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info@primedesigntas.com.au primedesigntas.com.au

Project:  
PROPOSED UNIT DEVELOPMENT  
38 JETTY ROAD,  
OLD BEACH

Client name:  
GIC ESTATES PTY LTD

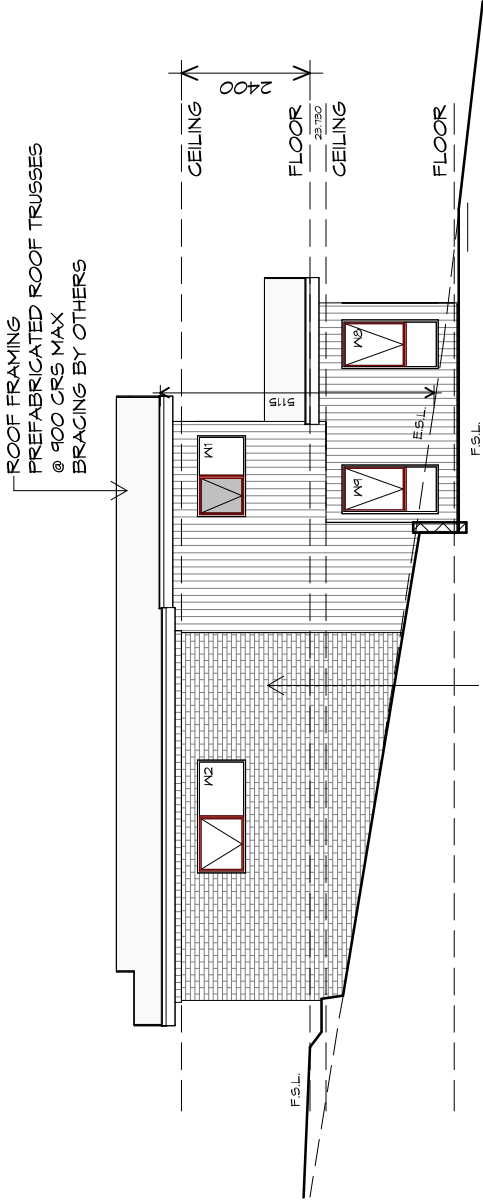
Drawing:  
ELEVATIONS

Drafted by:  
D.D.H.  
Approved by:  
Approver

Date:  
20.05.2024  
Scale:  
1 : 100

Project/Drawing no:  
PD23405 -C2-04  
Revision:  
05

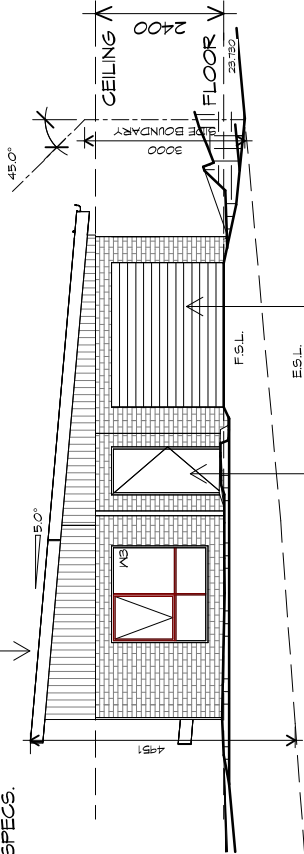
Accredited building practitioner: Frank Geskus -No CC246A



## NORTHERN ELEVATION

1 : 100

ROOF CLADDING COLORBOND CUSTOM ORB TO CLIENTS SPECS.



DOORS AND WINDOWS TO BE SEALED IN ACCORDANCE WITH ABCB HOUSING PROVISIONS PART 13.4

ROLLER DOOR 2700 WIDE x 2100 HIGH CLADDING PANELS TO CLIENTS SPEC FIXED IN ACCORDANCE WITH MANUFACTURERS SPEC

## EASTERN ELEVATION

1 : 100



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info@primedesigntas.com.au primedesigntas.com.au

Project:  
**PROPOSED UNIT DEVELOPMENT**  
**38 JETTY ROAD,**  
**OLD BEACH**

Client name:  
**GIC ESTATES PTY LTD**  
Drawing:  
**ELEVATIONS**

Drafted by:  
**D.D.H.**  
Approved by:  
**Approver**  
Date:  
**20.05.2024**  
Scale:  
**1 : 100**

Project/Drawing no:  
**PD23405 -C2-05**  
Revision:  
**05**  
Accredited building practitioner: Frank Geskus -No CC246A



ROOF PLUMBING NOTES:

GUTTER INSTALLATION  
TO BE IN ACCORDANCE WITH  
ABCB HOUSING PROVISIONS PART 7.4.4  
WITH FALL NO LESS THAN  
1:100 FOR BOX GUTTERS  
1:500 FOR EAVES GUTTER

UNLESS FIXED TO METAL FASCIA  
EAVES GUTTER TO BE FIXED  
@ 1200 CRS MAX.

VALLEY GUTTERS ON A ROOF WITH A PITCH:

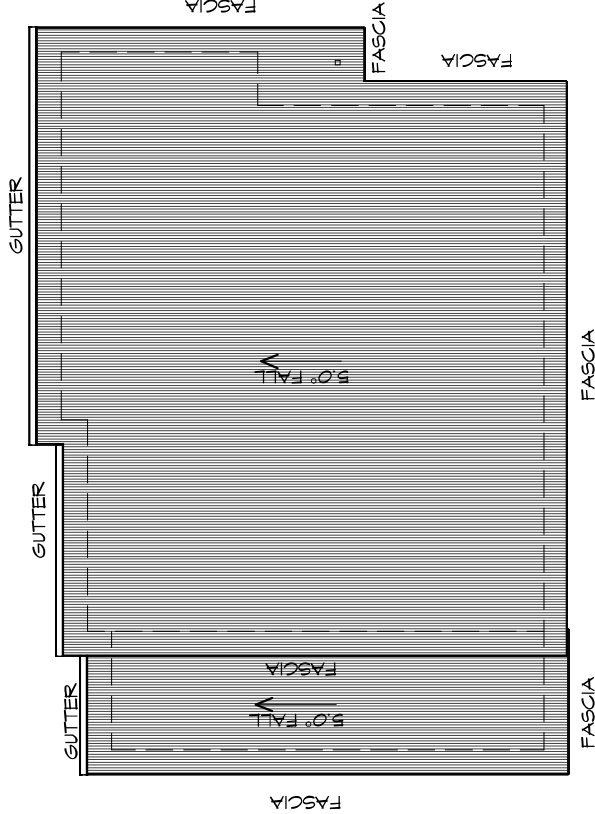
- A) MORE THAN 12.5° DEGREES - MUST HAVE A WIDTH OF NOT LESS THAN 400mm AND ROOF OVERHANG OF NOT LESS THAN 150mm EACH SIDE OF VALLEY GUTTER.
- B) LESS THAN 12.5° DEGREES, MUST BE DESIGNED AS A BOX GUTTER.

LAP GUTTERS 75mm IN THE DIRECTION OF FLOW, RIVET & SEAL WITH AN APPROVED SILICONE SEALANT.

DOWNPipe POSITIONS SHOWN ON THIS PLAN ARE NOMINAL ONLY.  
EXACT LOCATION & NUMBER OF D.P'S REQUIRED ARE TO BE IN ACCORDANCE WITH ABCB HOUSING PROVISIONS PART 7.4.5 REQUIREMENTS.  
SPACING BETWEEN DOWNPIPES MUST NOT BE MORE THAN 12m & LOCATED AS CLOSE AS POSSIBLE TO VALLEY GUTTERS

METAL ROOF  
METAL SHEETING ROOF TO BE INSTALLED IN ACCORDANCE WITH ABCB HOUSING PROVISIONS PART 7.2. REFER TO TABLE 7.2.2a FOR ACCEPTABLE CORROSION PROTECTION FOR SHEET ROOFING, REFER TO TABLE 7.2.2b-7.2.2e FOR ACCEPTABILITY OF CONTACT BETWEEN DIFFERENT ROOFING MATERIALS. FOR FIXING, SHEET LAYING SEQUENCE, FASTENER FREQUENCY FOR TRANSVERSE FLASHINGS AND CAPPINGS, ANTI CAPILLARY BREAKS, FLASHING DETAILS REFER TO ABCB HOUSING PROVISIONS PART 7.2.5- 7.2.7. ROOF PENETRATION FLASHING DETAILS. REFER TO TO ABCB HOUSING PROVISIONS PART 7.2.5- 7.2.7. ROOF SHEETING MUST OVERHANG MIN 35mm AS PER ABCB HOUSING PROVISIONS PART 7.2.8

ADDITIONAL ROOF LOAD  
NO SOLAR P.V. SYSTEM HAS BEEN ALLOWED FOR.  
NO SOLAR HOT WATER HAS BEEN ALLOWED FOR.



ROOF PLAN

1 : 100

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS



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Project:

PROPOSED UNIT DEVELOPMENT  
38 JETTY ROAD,  
OLD BEACH

Client name:

GIC ESTATES PTY LTD

Drawing:

ROOF PLAN

Drafted by:

D.D.H.

Approved by:

Approver

Date:

20.05.2024

Scale:

1 : 100

Project/Drawing no:

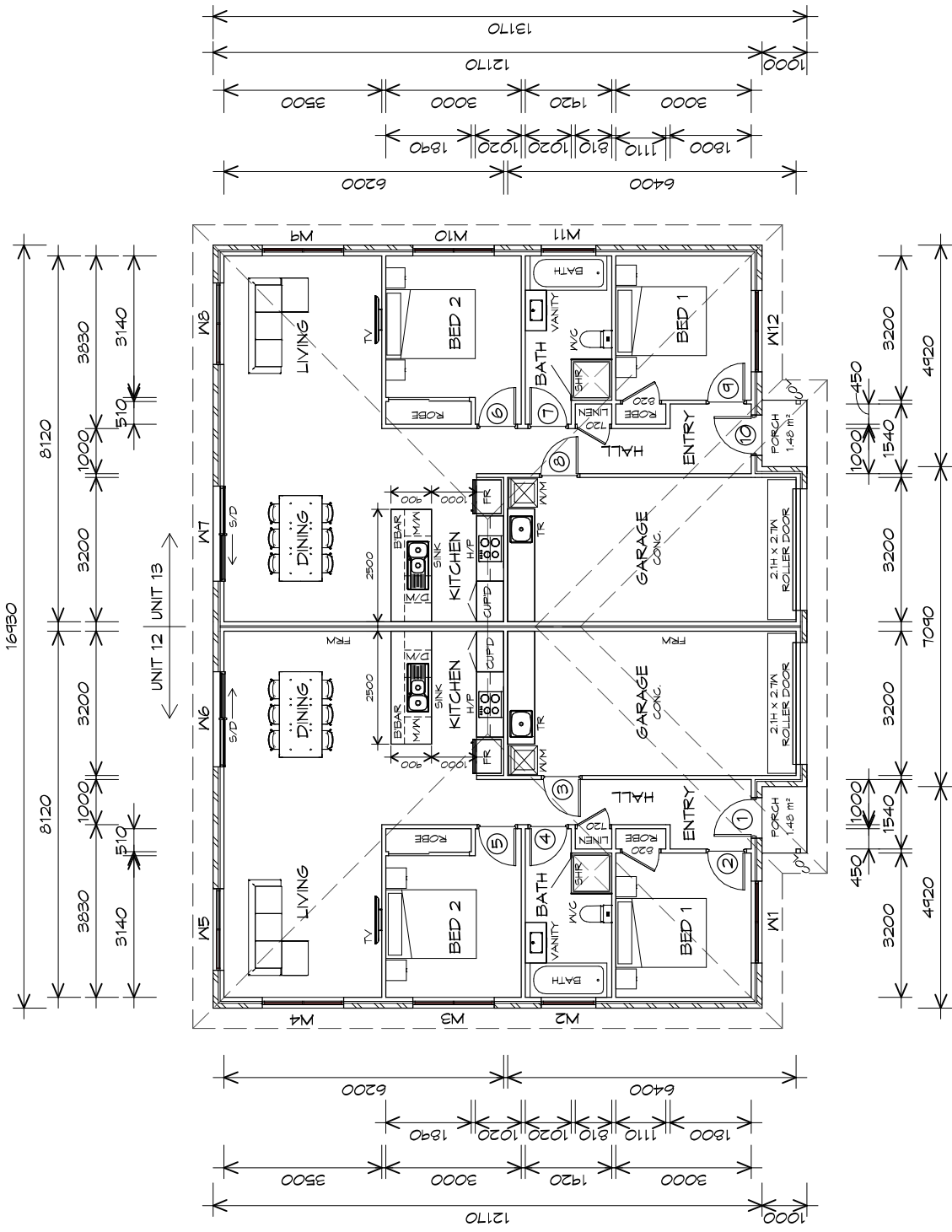
PD23405 -C2-06

Revision:

05

Accredited building practitioner: Frank Geskus -No CC246A





FLOOR PLAN

1 : 100

U12 FLOOR AREA	83.97	m2	( 9.04 SQUARES )
U12 GARAGE AREA	22.61	m2	( 2.43 SQUARES )
U13 FLOOR AREA	83.97	m2	( 9.04 SQUARES )
U13 GARAGE AREA	22.61	m2	( 2.43 SQUARES )
TOTAL AREA	213.17		22.95

NOTE:  
FLOOR AREAS INCLUDE TO EXTERNAL FACE OF BUILDING AND GARAGE, UNLESS OTHERWISE STATED. DECKS AND OUTDOOR AREAS ARE CALCULATED SEPARATELY.

TYPE D - UNIT 12 & 13

LEGEND

- CSD CAVITY SLIDING DOOR
- S/D SLIDING DOOR
- COL COLUMN
- G.S. GLASS SCREEN
- HWC HOT WATER CYLINDER
- FRM FIRE RATED WALL

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS



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info@primedesigntas.com.au primedesigntas.com.au

Project:  
**PROPOSED UNIT DEVELOPMENT**  
**38 JETTY ROAD,**  
**OLD BEACH**

Client name:  
**GIC ESTATES PTY LTD**

Drawing:  
**FLOOR PLAN**

Drafted by:  
**Author**

Approved by:  
**Approver**

Date:  
**20.05.2024**

Scale:  
**1 : 100**

Project/Drawing no:  
**PD23405 -D-01**

Revision:  
**05**

Accredited building practitioner: Frank Geskus -No CC246A



DOOR SCHEDULE			
MARK	WIDTH	TYPE	REMARKS
1	820	EXTERNAL SOLID DOOR	
2	820	INTERNAL TIMBER DOOR	
3	820	INTERNAL TIMBER DOOR	
4	820	INTERNAL TIMBER DOOR	
5	820	INTERNAL TIMBER DOOR	
6	820	INTERNAL TIMBER DOOR	
7	820	INTERNAL TIMBER DOOR	
8	820	INTERNAL TIMBER DOOR	
9	820	INTERNAL TIMBER DOOR	
10	820	EXTERNAL SOLID DOOR	

WINDOW SCHEDULE			
MARK	HEIGHT	WIDTH	TYPE
W1	1800	1810	ANNING WINDOW
W2	1000	1210	ANNING WINDOW
W3	1000	1810	ANNING WINDOW
W4	1800	1810	ANNING WINDOW
W5	1800	1810	ANNING WINDOW
W6	2100	2110	SLIDING DOOR
W7	2100	2110	SLIDING DOOR
W8	1800	1810	ANNING WINDOW
W9	1800	1810	ANNING WINDOW
W10	1000	1810	ANNING WINDOW
W11	1000	1210	ANNING WINDOW
W12	1800	1810	ANNING WINDOW

ALUMINIUM WINDOWS **DOUBLE GLAZING** COMPLETE  
WITH FLY SCREENS TO SUIT **??? BAL** RATING.  
ALL WINDOW MEASUREMENTS TO BE VERIFIED ON SITE  
PRIOR TO ORDERING

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS

Prime  
Design

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info@primedesigntas.com.au primedesigntas.com.au

Project:  
PROPOSED UNIT DEVELOPMENT  
38 JETTY ROAD,  
OLD BEACH

Client name:  
GIC ESTATES PTY LTD

Drawing:  
DOOR AND WINDOW  
SCHEDULES

Drafted by:  
Author

Approved by:  
Approver

Date:  
20.05.2024

Project/Drawing no:  
PD23405 -D-02

Revision:  
05

Accredited building practitioner: Frank Geskus -No CC246A



Drafted by: Author  
Approved by: Approver

Date: 20.05.2024 Scale: 1 : 100

Client name:

GIC ESTATES PTY LTD

Drawing:

ELEVATIONS

Project:

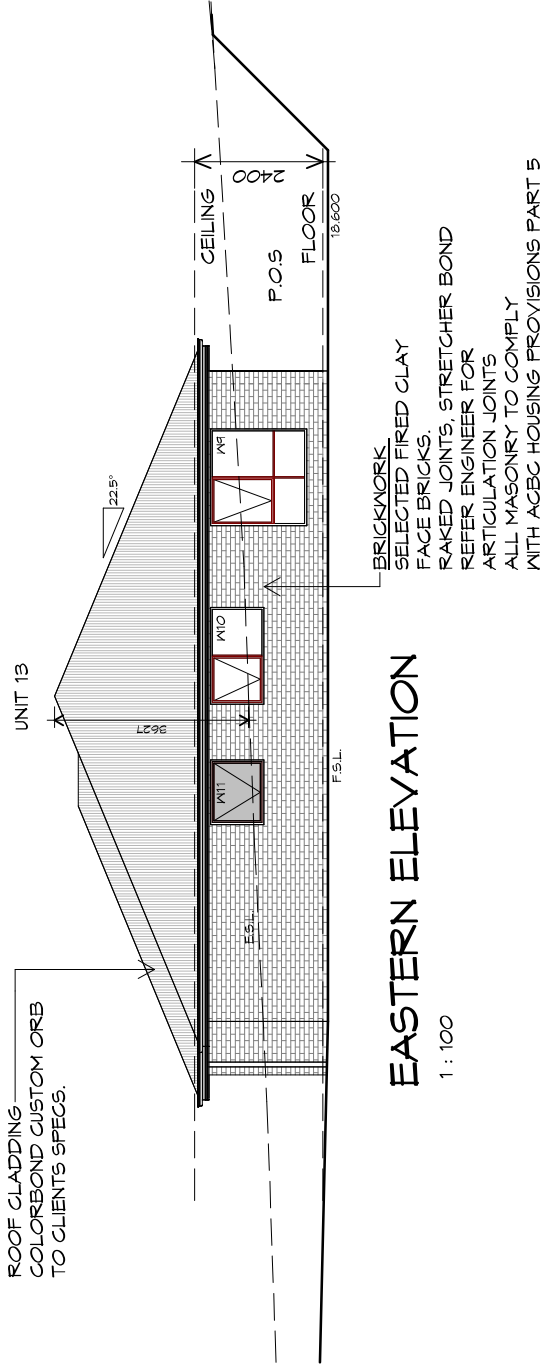
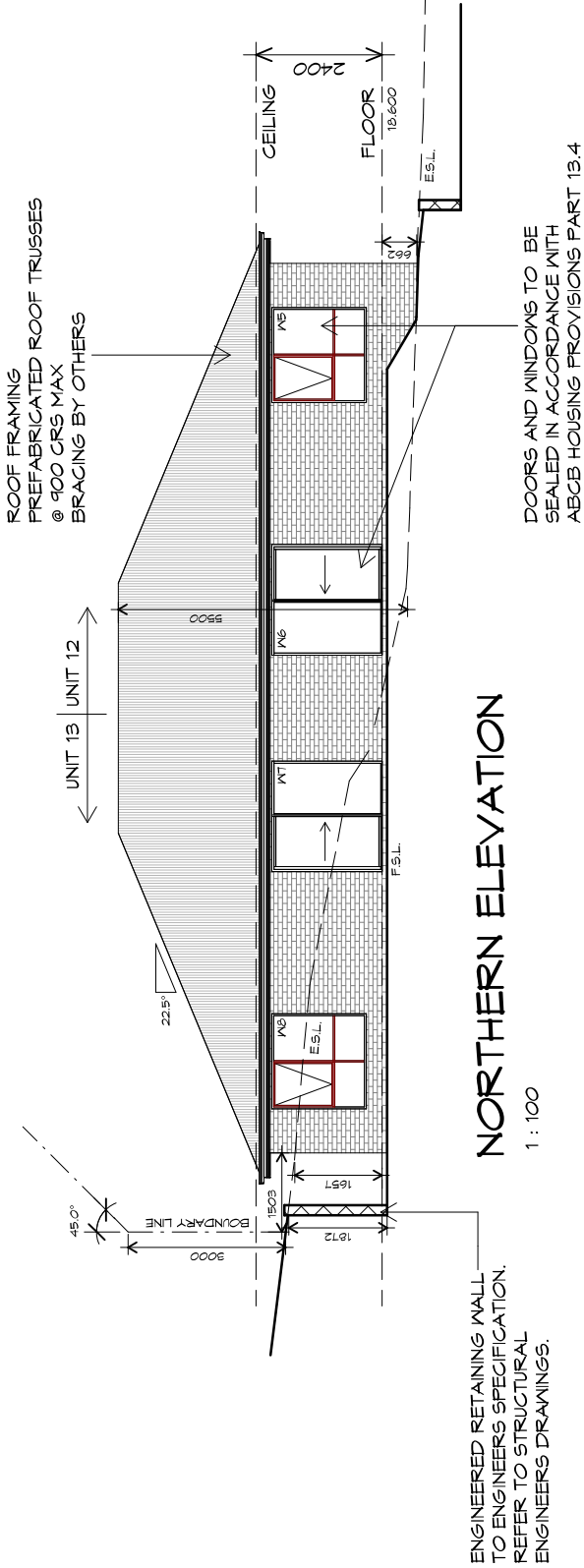
PROPOSED UNIT DEVELOPMENT  
38 JETTY ROAD,  
OLD BEACH

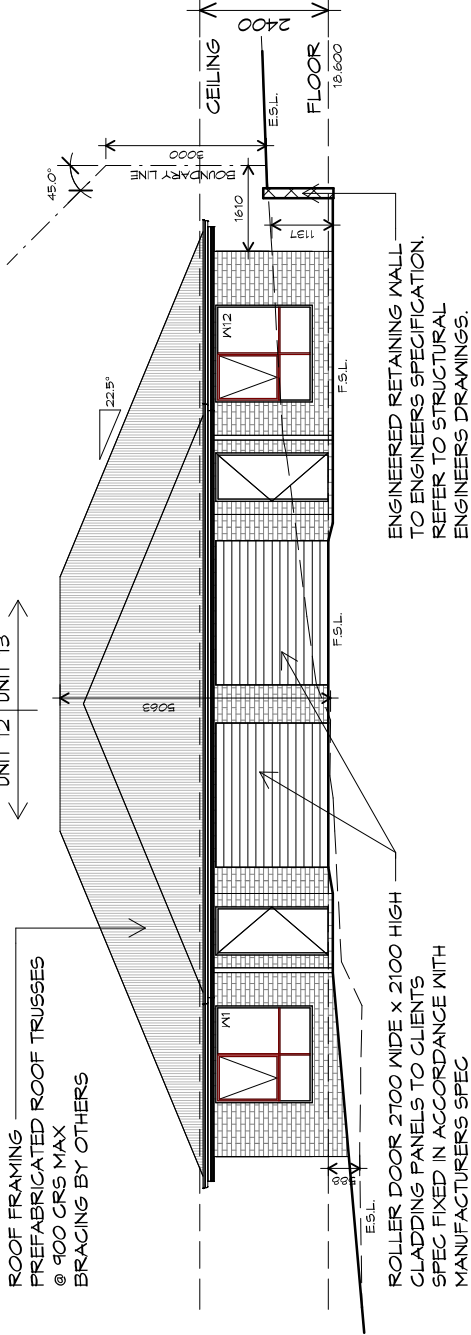
10 Goodman Court, Invermay Tasmania 7248,  
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Shop 9, 105-111 Main Road, Moonah Hobart 7009  
p(0)+ 03 6228 4575  
info@primedesigntas.com.au primedesigntas.com.au



PLANNING

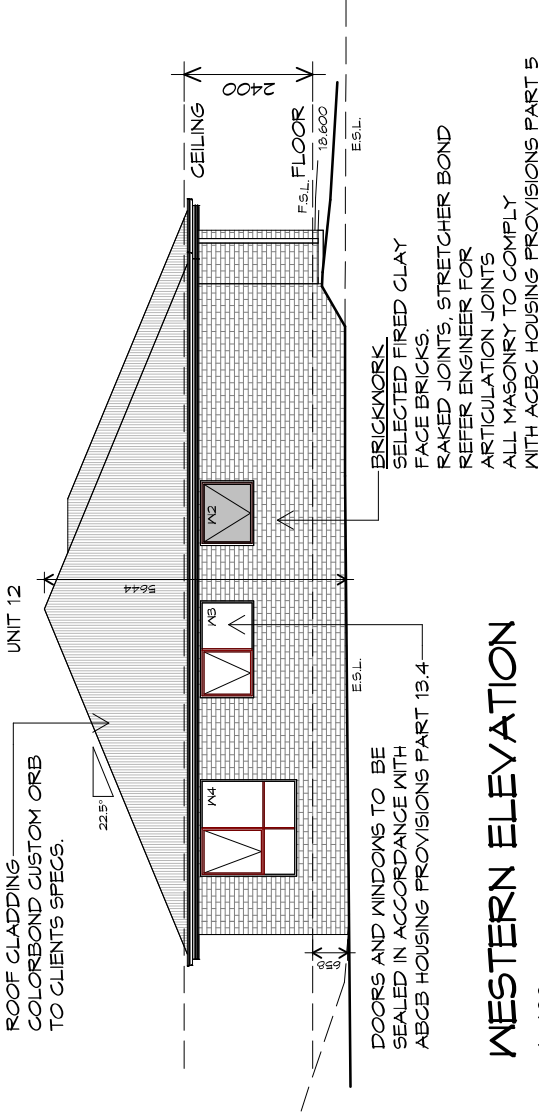
NOTE: DO NOT SCALE OFF DRAWINGS





## SOUTHERN ELEVATION

1 : 100



## WESTERN ELEVATION

1 : 100

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS



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Project:  
**PROPOSED UNIT DEVELOPMENT**  
**38 JETTY ROAD,**  
**OLD BEACH**

Client name:  
**GIC ESTATES PTY LTD**

Drawing:  
**ELEVATIONS**

Drafted by:  
**Author**

Approved by:  
**Approver**

Date:  
**20.05.2024**

Scale:  
**1 : 100**

Project/Drawing no:  
**PD23405 -D-04**

Revision:  
**05**

Accredited building practitioner: Frank Geskus -No CC246A



TYPE D - UNIT 12 & 13

ROOF PLUMBING NOTES:

GUTTER INSTALLATION  
TO BE IN ACCORDANCE WITH  
ABCB HOUSING PROVISIONS PART 7.4.4  
WITH FALL NO LESS THAN  
1:100 FOR BOX GUTTERS  
1:500 FOR EAVES GUTTER

UNLESS FIXED TO METAL FASCIA  
EAVES GUTTER TO BE FIXED  
@ 1200 CRS MAX.

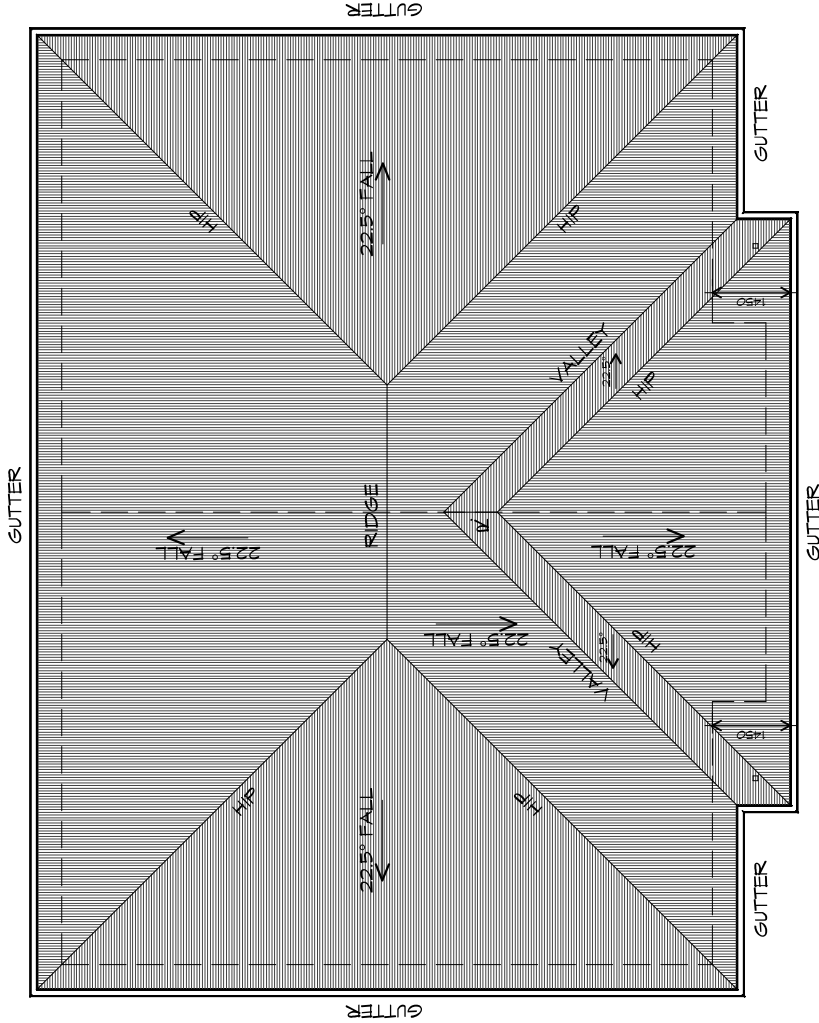
VALLEY GUTTERS ON A ROOF WITH A PITCH:  
A) MORE THAN 12.5° DEGREES - MUST  
HAVE A WIDTH OF NOT LESS THAN  
400mm AND ROOF OVERHANG OF NOT  
LESS THAN 150mm EACH SIDE OF VALLEY  
GUTTER.  
B) LESS THAN 12.5° DEGREES, MUST BE  
DESIGNED AS A BOX GUTTER.

LAP GUTTERS 75mm IN THE DIRECTION  
OF FLOW, RIVET & SEAL WITH AN  
APPROVED SILICONE SEALANT.

DOWNPipe POSITIONS SHOWN ON THIS  
PLAN ARE NOMINAL ONLY.  
EXACT LOCATION & NUMBER OF D.P.'S  
REQUIRED ARE TO BE IN ACCORDANCE  
WITH ABCB HOUSING PROVISIONS PART 7.4.5  
REQUIREMENTS.  
SPACING BETWEEN DOWNPIPES MUST NOT  
BE MORE THAN 12m & LOCATED AS CLOSE AS  
POSSIBLE TO VALLEY GUTTERS

METAL ROOF  
METAL SHEETING ROOF TO BE INSTALLED IN  
ACCORDANCE WITH ABCB HOUSING PROVISIONS PART  
7.2. REFER TO TABLE 7.2.2a FOR ACCEPTABLE  
CORROSION PROTECTION FOR SHEET ROOFING,  
REFER TO TABLE 7.2.2b-7.2.2e FOR ACCEPTABILITY  
OF CONTACT BETWEEN DIFFERENT ROOFING  
MATERIALS, FOR FIXING, SHEET LAYING SEQUENCE,  
FASTENER FREQUENCY FOR TRANSVERSE FLASHINGS  
AND CAPPINGS, ANTI CAPILLARY BREAKS, FLASHING  
DETAILS REFER TO ABCB HOUSING PROVISIONS PART  
7.2.5-7.2.7. ROOF PENETRATION FLASHING DETAILS.  
REFER TO TO ABCB HOUSING PROVISIONS PART  
7.2.5-7.2.7. ROOF SHEETING MUST OVERHANG MIN  
35mm AS PER ABCB HOUSING PROVISIONS PART 7.2.8

UNIT 12 | UNIT 13



ROOF PLAN

1 : 100

ADDITIONAL ROOF LOAD  
NO SOLAR P.V. SYSTEM HAS BEEN ALLOWED FOR,  
NO SOLAR HOT WATER HAS BEEN ALLOWED FOR.

PLANNING

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Project:  
PROPOSED UNIT DEVELOPMENT  
38 JETTY ROAD,  
OLD BEACH

Client name:  
GIC ESTATES PTY LTD

Drawing:  
ROOF PLAN

Drafted by:  
Author  
Approved by:  
Approver

Date:  
20.05.2024  
Scale:  
1 : 100

Project/Drawing no:  
PD23405 -D-05  
Revision:  
05

Accredited building practitioner: Frank Geskus -No CC246A



TYPE D - UNIT 12 & 13

LEGEND

- CSD CAVITY SLIDING DOOR
- S/D SLIDING DOOR
- G.S. GLASS SCREEN
- HWC HOT WATER CYLINDER

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS



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Project:  
PROPOSED UNIT DEVELOPMENT  
38 JETTY ROAD,  
OLD BEACH

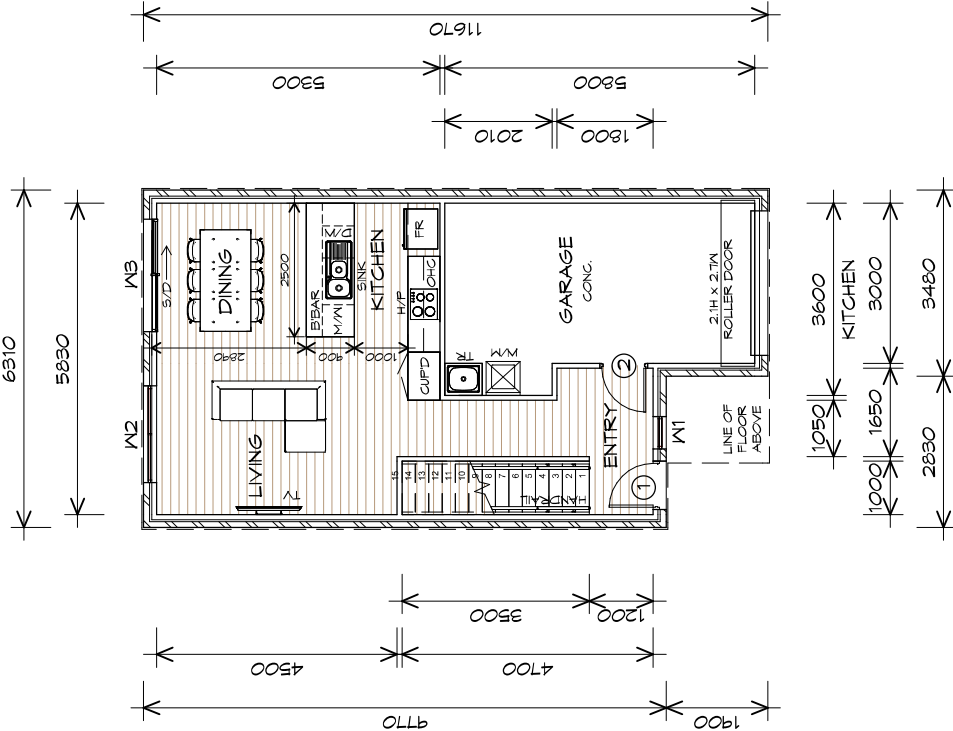
Client name:  
GIC ESTATES PTY LTD

Drawing:  
GROUND FLOOR PLAN

Drafted by:  
Author  
Approved by:  
Approver  
Date:  
20.05.2024  
Scale:  
1 : 100

Project/Drawing no:  
PD23405 -E-01  
Revision:  
05

Accredited building practitioner: Frank Geskus -No CC246A



GROUND FLOOR PLAN

1 : 100

STAIRS

STAIR	NO RISERS	RISER HT	TREAD DEPTH
15	15	181	250

NON SLIP TO COMPLY NCC 2022

GROUND FLOOR AREA	46.42	m2	( 5.00	SQUARES )
FIRST FLOOR AREA	72.51	m2	( 7.81	SQUARES )
GARAGE AREA	20.53	m2	( 2.21	SQUARES )
TOTAL AREA	139.46		15.01	

NOTE:  
FLOOR AREAS INCLUDE TO EXTERNAL FACE OF BUILDING  
AND GARAGE, UNLESS OTHERWISE STATED. DECKS AND  
OUTDOOR AREAS ARE CALCULATED SEPARATELY.



LEGEND

- CSD CAVITY SLIDING DOOR
- S/D SLIDING DOOR
- G.S. GLASS SCREEN
- HWC HOT WATER CYLINDER

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS



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info@primedesigntas.com.au primedesigntas.com.au

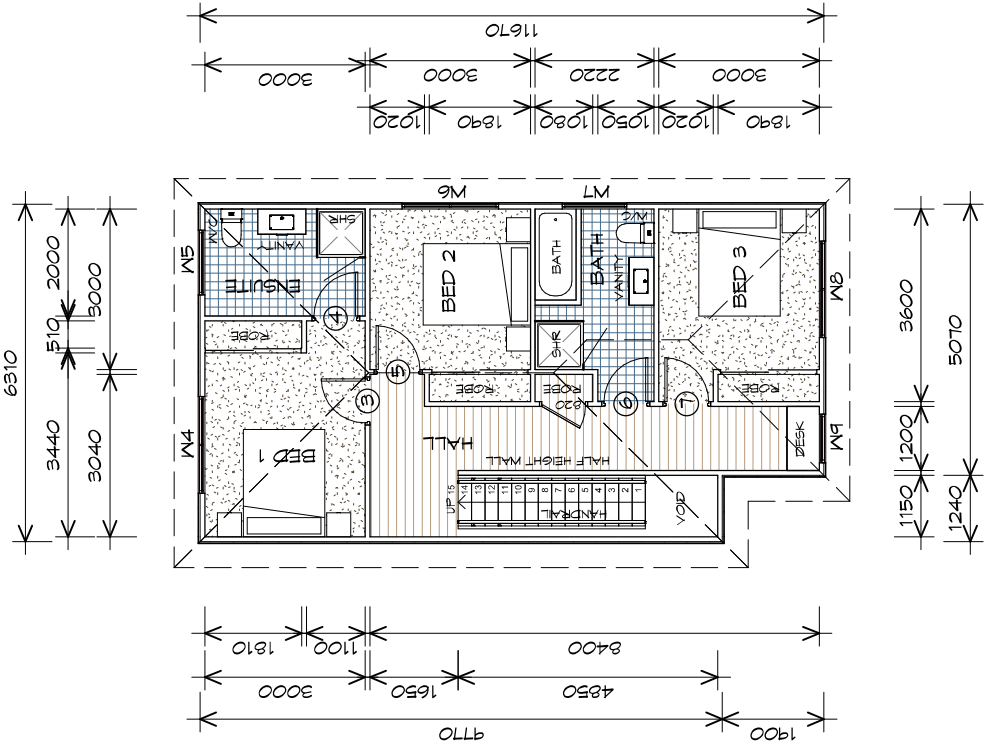
Project:  
PROPOSED UNIT DEVELOPMENT  
38 JETTY ROAD,  
OLD BEACH

Client name:  
GIC ESTATES PTY LTD

Drawing:  
FIRST FLOOR PLAN

Drafted by:  
Author  
Approved by:  
Approver  
Date:  
20.05.2024  
Scale:  
1 : 100

Project/Drawing no:  
PD23405 -E-02  
Revision:  
05  
Accredited building practitioner: Frank Geskus -No CC246A



FIRST FLOOR PLAN

1 : 100

STAIRS			
STAIR	No RISERS	RISER HT	TREAD DEPTH
	15	181	250

NON SLIP TO COMPLY NCC 2022

GROUND FLOOR AREA	46.42	m2	( 5.00	SQUARES )
FIRST FLOOR AREA	72.51	m2	( 7.81	SQUARES )
GARAGE AREA	20.53	m2	( 2.21	SQUARES )
TOTAL AREA	139.46		15.01	

NOTE:  
FLOOR AREAS INCLUDE TO EXTERNAL FACE OF BUILDING  
AND GARAGE, UNLESS OTHERWISE STATED. DECKS AND  
OUTDOOR AREAS ARE CALCULATED SEPARATELY.



TYPE E - UNIT 14-19

GROUND FLOOR DOOR SCHEDULE			
MARK	WIDTH	TYPE	REMARKS
1	820	EXTERNAL SOLID DOOR	
2	820	INTERNAL TIMBER DOOR	

FIRST FLOOR DOOR SCHEDULE			
MARK	WIDTH	TYPE	REMARKS
3	820	INTERNAL TIMBER DOOR	
4	820	INTERNAL TIMBER DOOR	
5	820	INTERNAL TIMBER DOOR	
6	820	INTERNAL TIMBER DOOR	
7	820	INTERNAL TIMBER DOOR	

GROUND FLOOR WINDOW SCHEDULE				
MARK	HEIGHT	WIDTH	TYPE	REMARKS
W1	1800	610	AWNING WINDOW	
W2	1800	1810	AWNING WINDOW	
W3	2100	2110	SLIDING DOOR	

FIRST FLOOR WINDOW SCHEDULE				
MARK	HEIGHT	WIDTH	TYPE	REMARKS
W4	1800	1810	AWNING WINDOW	
W5	1000	1210	AWNING WINDOW	OPAQUE
W6	1200	1810	AWNING WINDOW	
W7	1000	1210	AWNING WINDOW	OPAQUE
W8	1000	1810	AWNING WINDOW	
W9	1000	910	AWNING WINDOW	

ALUMINIUM WINDOWS **DOUBLE GLAZING** COMPLETE  
 WITH FLY SCREENS TO SUIT **???** BAL RATING,  
 ALL WINDOW MEASUREMENTS TO BE VERIFIED ON SITE  
 PRIOR TO ORDERING



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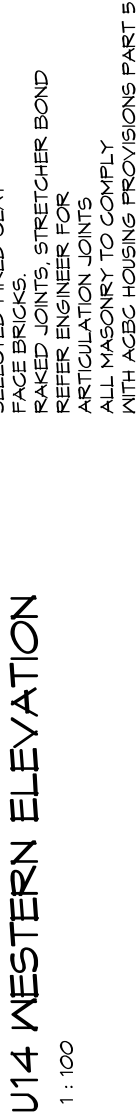
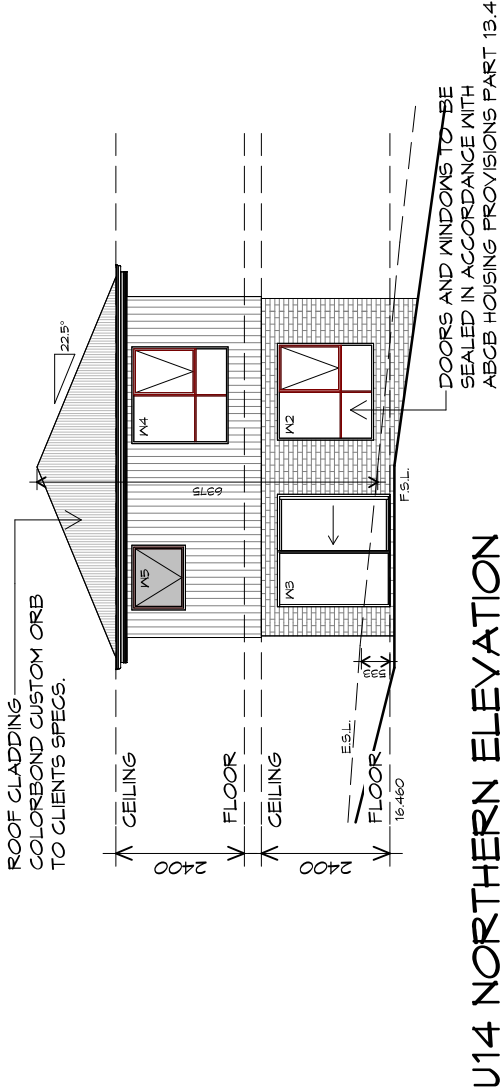
Project:  
 PROPOSED UNIT DEVELOPMENT  
 38 JETTY ROAD,  
 OLD BEACH

Client name:  
 GIC ESTATES PTY LTD

Drawing:  
 DOOR AND WINDOW  
 SCHEDULES

Drafted by:  
 Author  
 Approved by:  
 Approver  
 Date:  
 20.05.2024  
 Scale:

Project/Drawing no:  
 PD23405 -E-03  
 Revision:  
 05  
 Accredited building practitioner: Frank Geskus -No CC246A



PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS



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info@primedesigntas.com.au primedesigntas.com.au

Project:  
PROPOSED UNIT DEVELOPMENT  
38 JETTY ROAD,  
OLD BEACH

Client name:  
GIC ESTATES PTY LTD

Drawing:  
ELEVATIONS

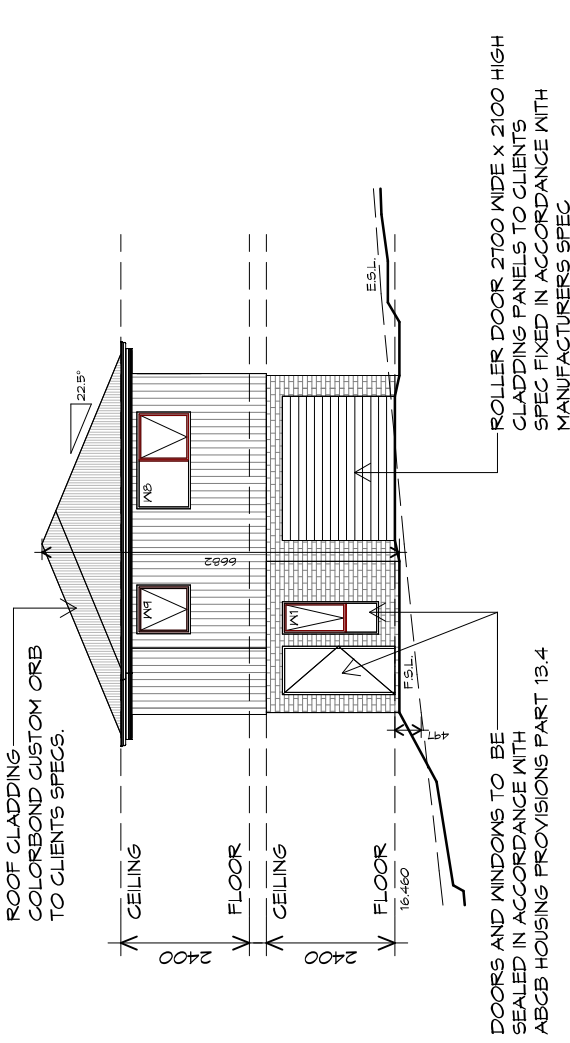
Drafted by:  
Author  
Approved by:  
Approver  
Date:  
20.05.2024  
Scale:  
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Project/Drawing no:  
PD23405 -E-04  
Revision:  
05

Accredited building practitioner: Frank Geskus -No CC246A

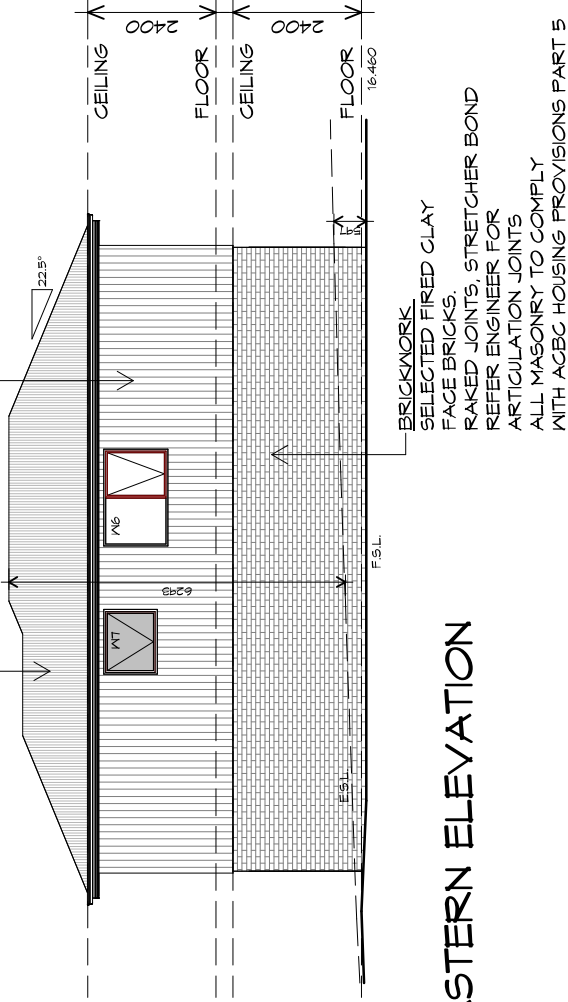


TYPE E - UNIT 14



U14 SOUTHERN ELEVATION

1 : 100



U14 EASTERN ELEVATION

1 : 100

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS



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Project:  
PROPOSED UNIT DEVELOPMENT  
38 JETTY ROAD,  
OLD BEACH

Client name:  
GIC ESTATES PTY LTD

Drawing:  
ELEVATIONS

Drafted by:  
Author  
Approved by:  
Approver

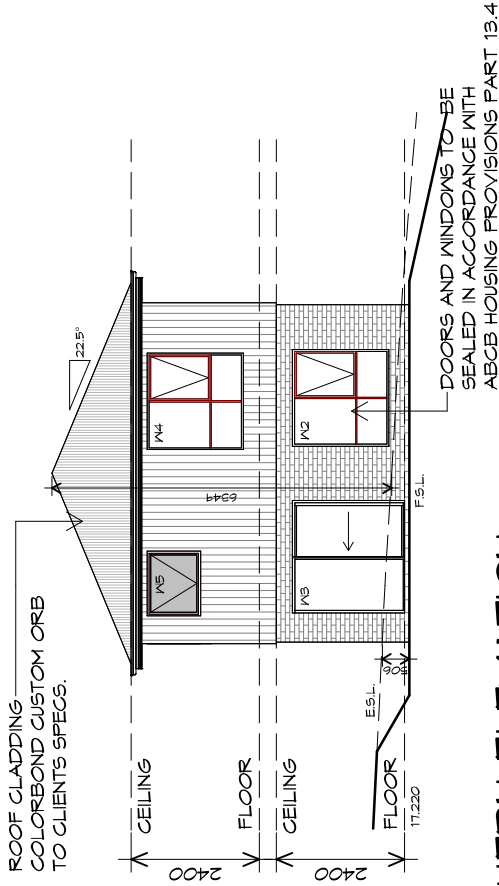
Date:  
20.05.2024  
Scale:  
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Project/Drawing no:  
PD23405 -E-05  
Revision:  
05

Accredited building practitioner: Frank Geskus -No CC246A

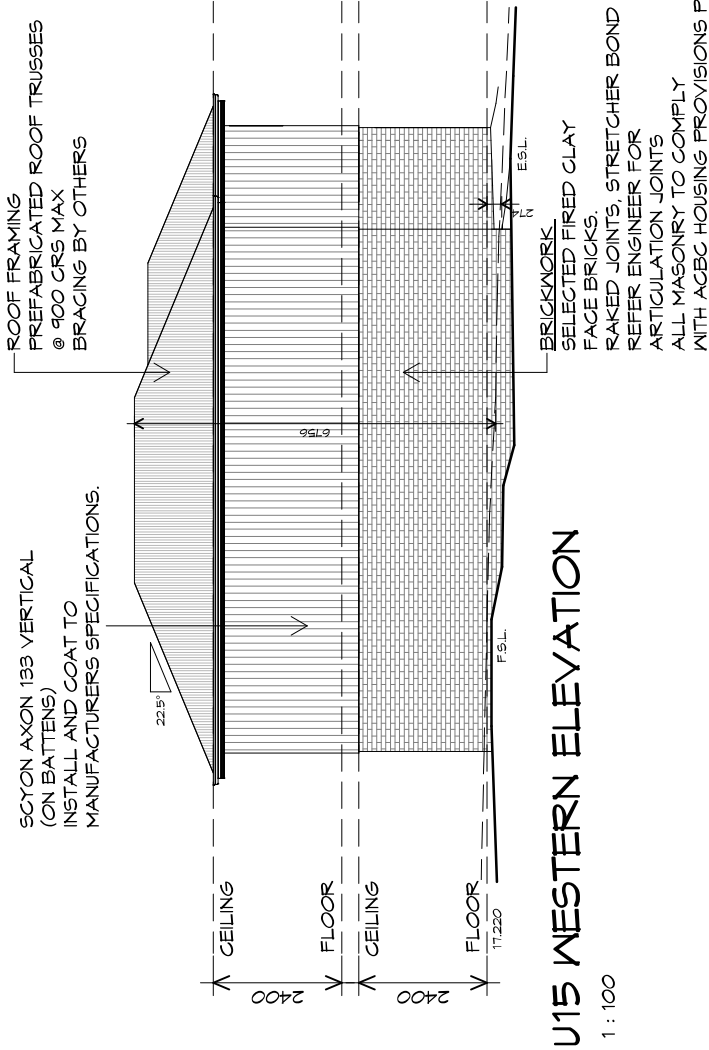


TYPE E - UNIT 14



U15 NORTHERN ELEVATION

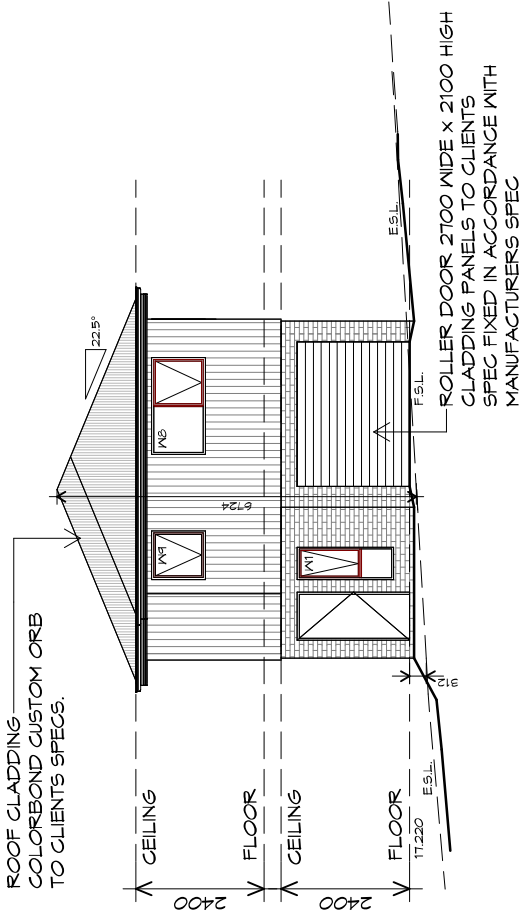
1 : 100



U15 WESTERN ELEVATION

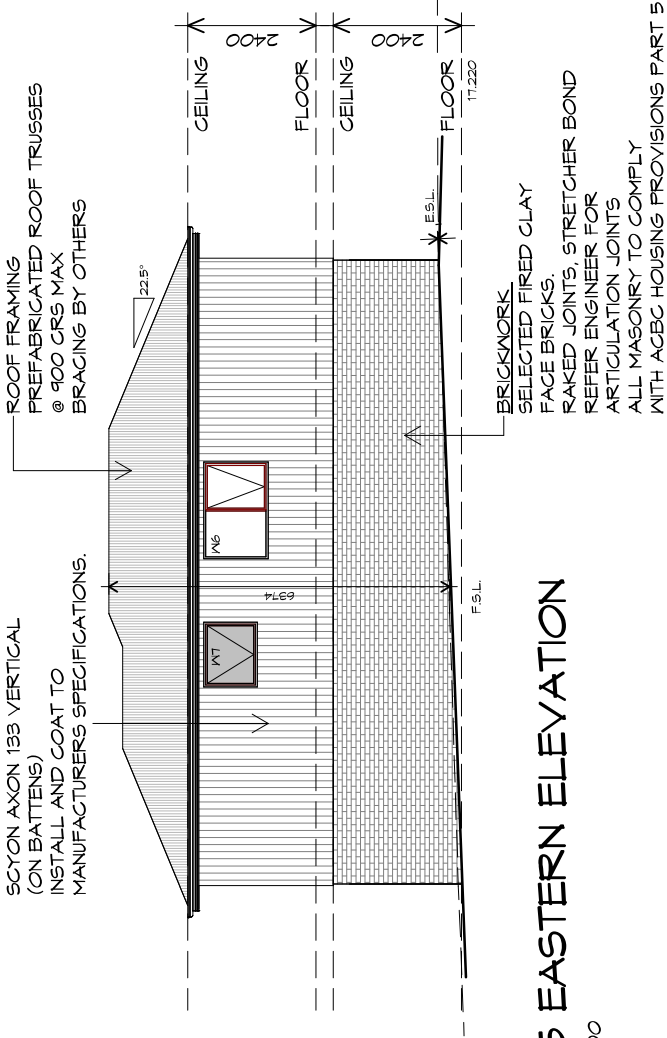
1 : 100





U15 SOUTHERN ELEVATION

1 : 100



U15 EASTERN ELEVATION

1 : 100

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS



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Project:  
**PROPOSED UNIT DEVELOPMENT**  
**38 JETTY ROAD,**  
**OLD BEACH**

Client name:  
**GIC ESTATES PTY LTD**

Drawing:  
**ELEVATIONS**

Drafted by:  
**Author**

Approved by:  
**Approver**

Date:  
**20.05.2024**

Scale:  
**1 : 100**

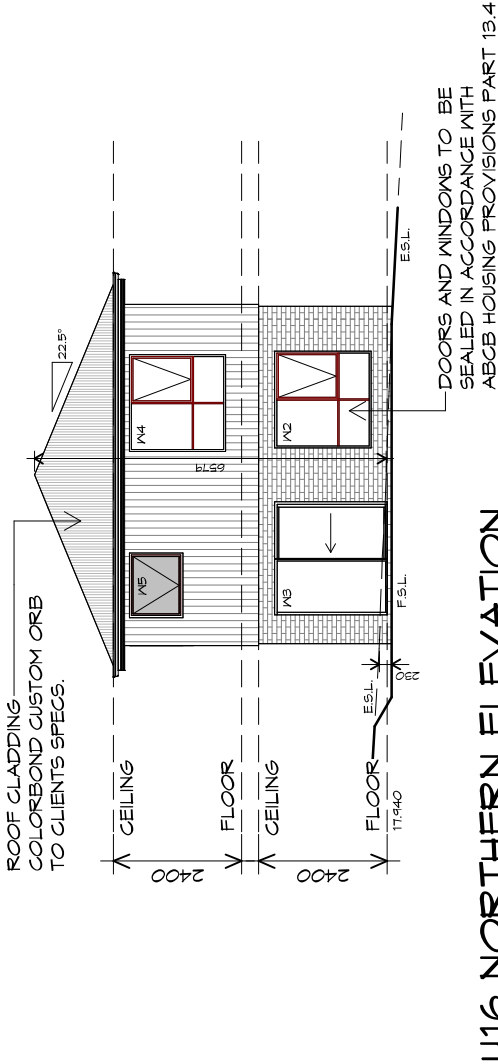
Project/Drawing no:  
**PD23405 -E-07**

Revision:  
**05**

Accredited building practitioner: Frank Geskus -No CC246A

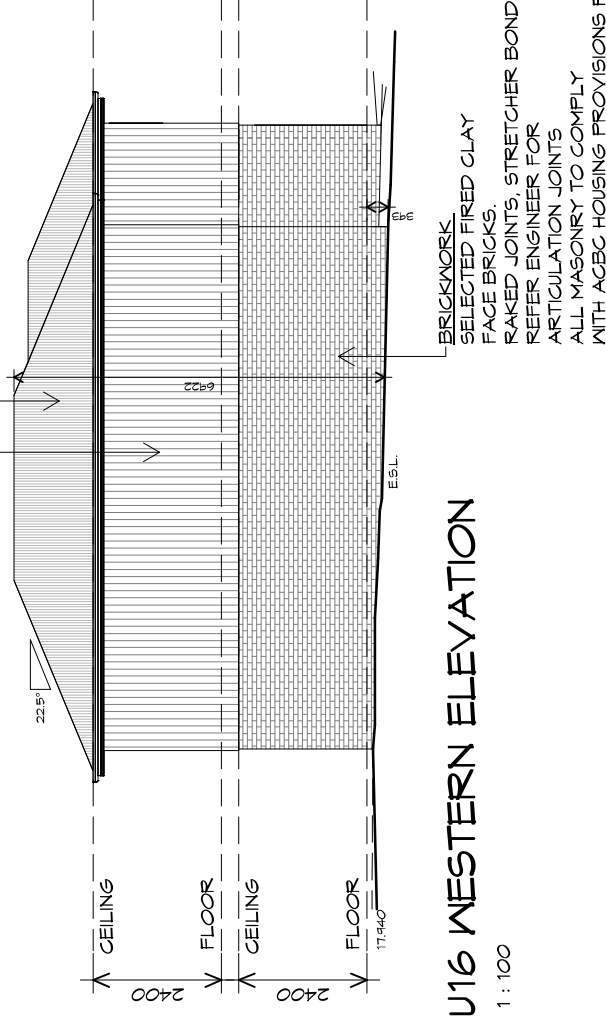


TYPE E - UNIT 15



U16 NORTHERN ELEVATION

1 : 100



U16 WESTERN ELEVATION

1 : 100

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS



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info@primedesigntas.com.au primedesigntas.com.au

Project:  
PROPOSED UNIT DEVELOPMENT  
38 JETTY ROAD,  
OLD BEACH

Client name:  
GIC ESTATES PTY LTD

Drawing:  
ELEVATIONS

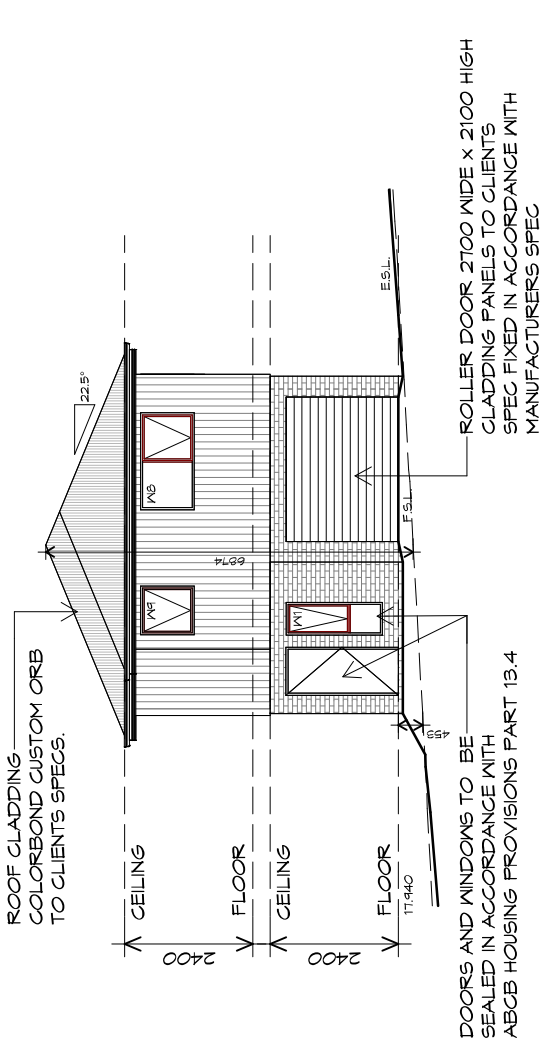
Drafted by:  
Author  
Approved by:  
Approver  
Date:  
20.05.2024  
Scale:  
1 : 100

Project/Drawing no:  
PD23405 -E-08  
Revision:  
05

Accredited building practitioner: Frank Geskus -No CC246A

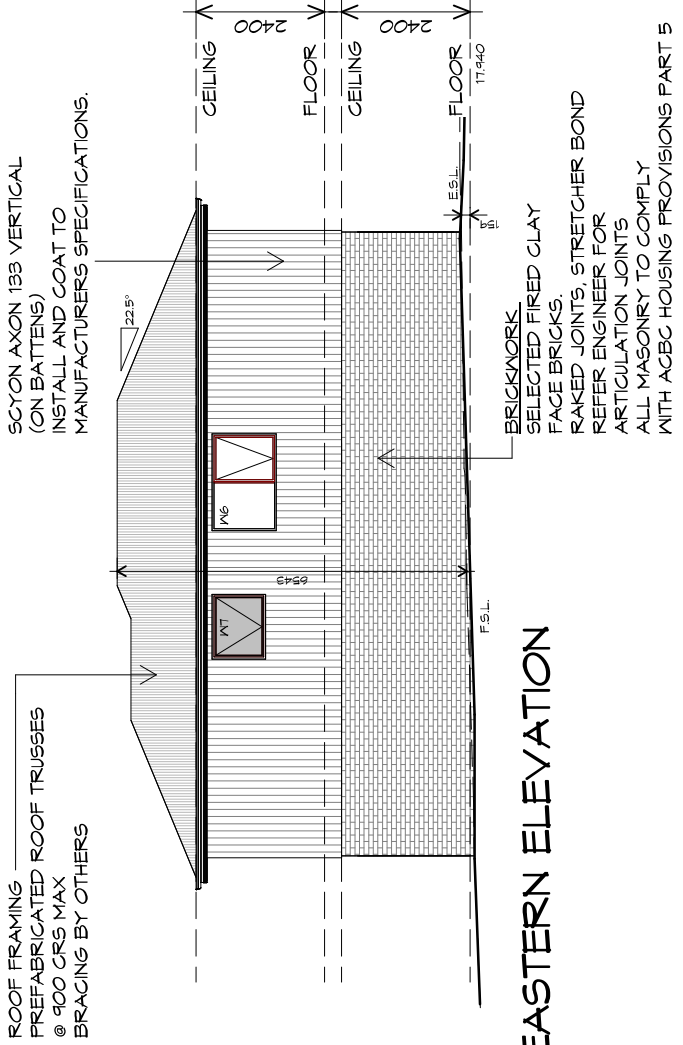


TYPE E - UNIT 16



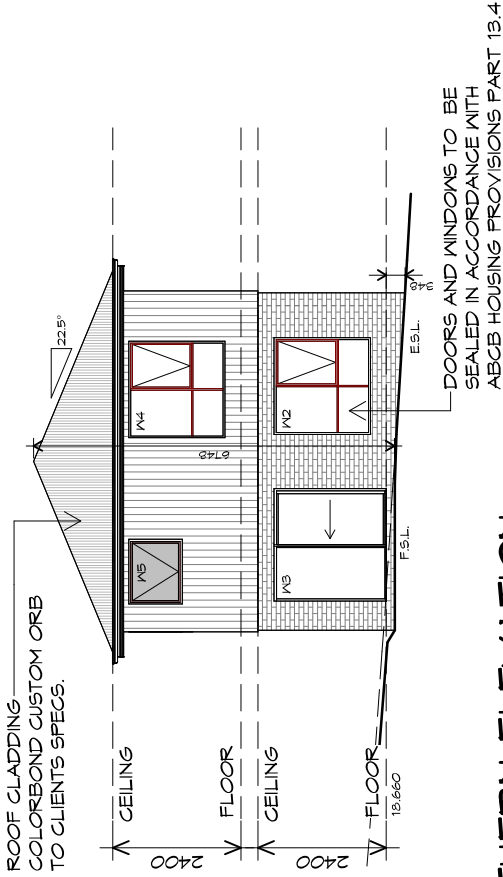
U16 SOUTHERN ELEVATION

1 : 100



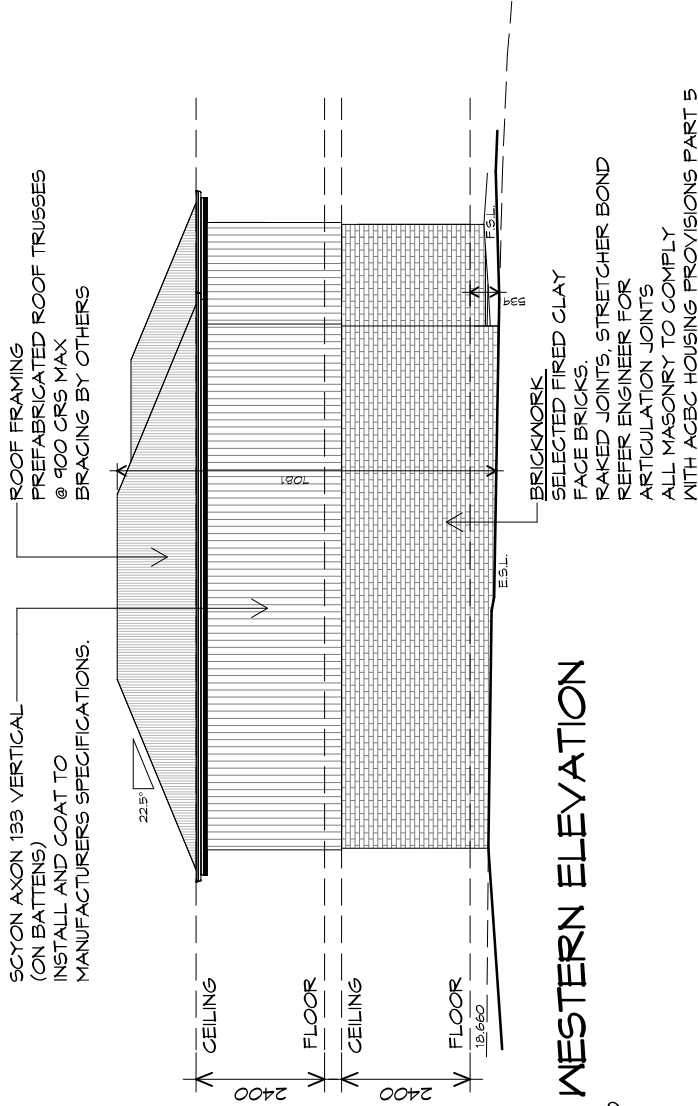
U16 EASTERN ELEVATION

1 : 100



U17 NORTHERN ELEVATION

1 : 100



U17 WESTERN ELEVATION

1 : 100

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS



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p(0)+ 03 6228 4575  
info@primedesigntas.com.au primedesigntas.com.au

Project:  
PROPOSED UNIT DEVELOPMENT  
38 JETTY ROAD,  
OLD BEACH

Client name:  
GIC ESTATES PTY LTD

Drawing:  
ELEVATIONS

Drafted by:  
Author

Approved by:  
Approver

Date:  
Scale:

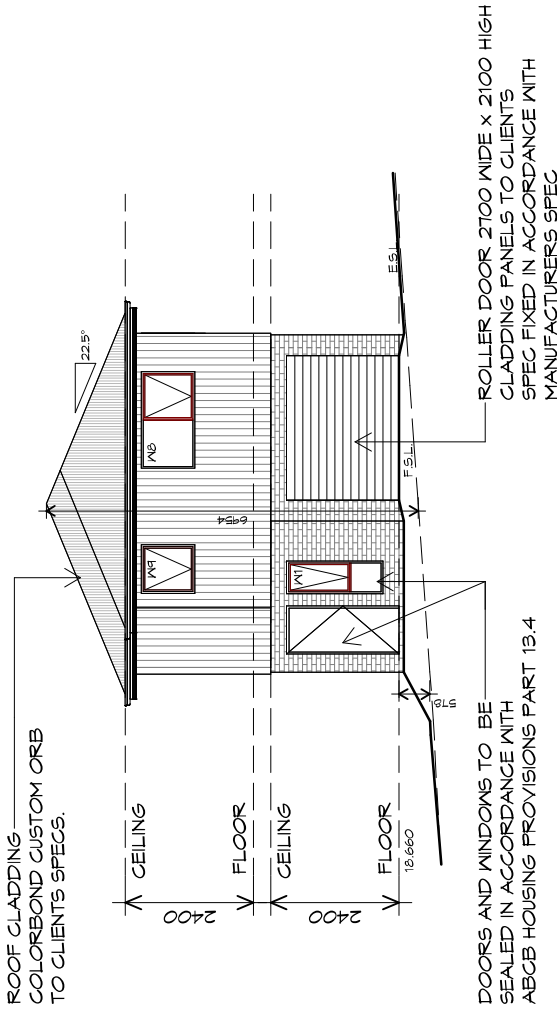
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Project/Drawing no:  
PD23405 -E-10

Revision:  
05

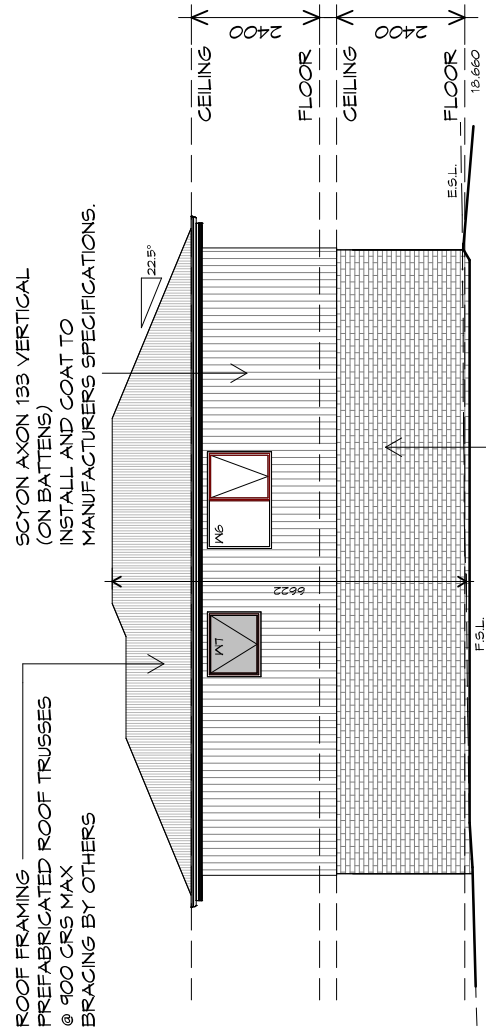
Accredited building practitioner: Frank Geskus -No CC246A





U17 SOUTHERN ELEVATION

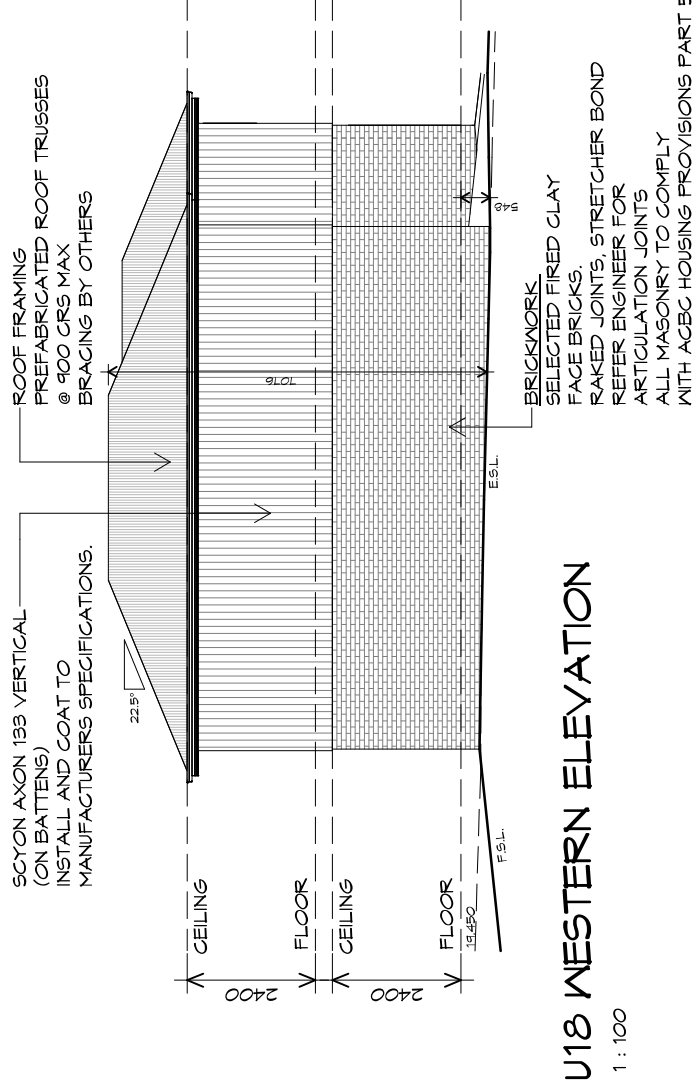
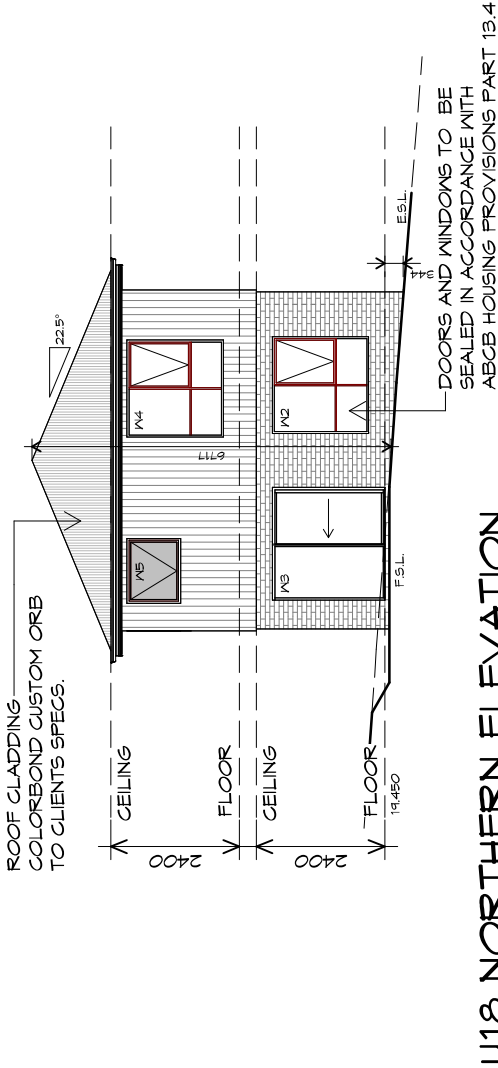
1 : 100



U17 EASTERN ELEVATION

1 : 100





PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS



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Project:  
PROPOSED UNIT DEVELOPMENT  
38 JETTY ROAD,  
OLD BEACH

Client name:  
GIC ESTATES PTY LTD

Drawing:  
ELEVATIONS

Drafted by:  
Author

Approved by:  
Approver

Date:  
Scale:

20.05.2024 1 : 100

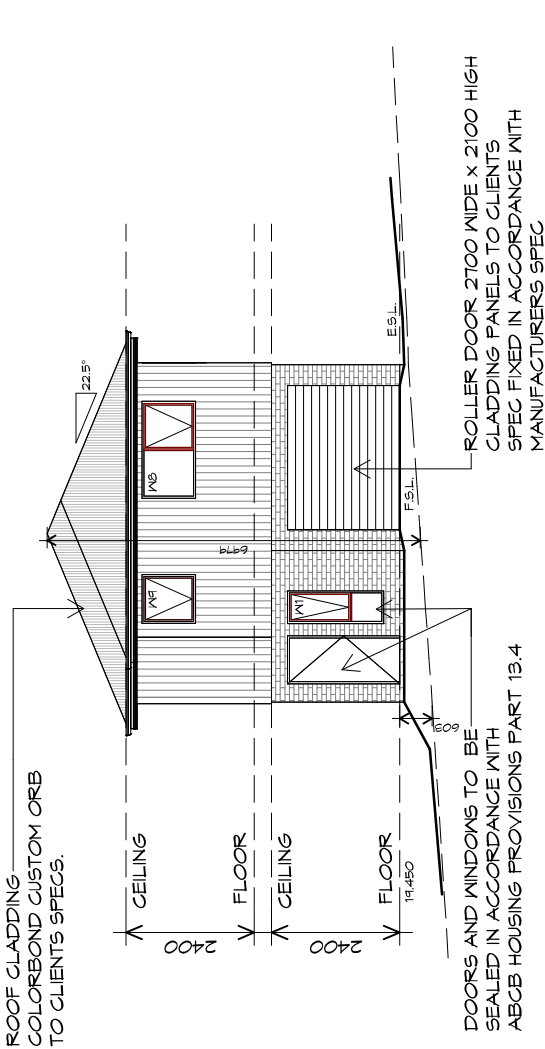
Project/Drawing no:  
PD23405 -E-12

Revision:  
05

Accredited building practitioner: Frank Geskus -No CC246A

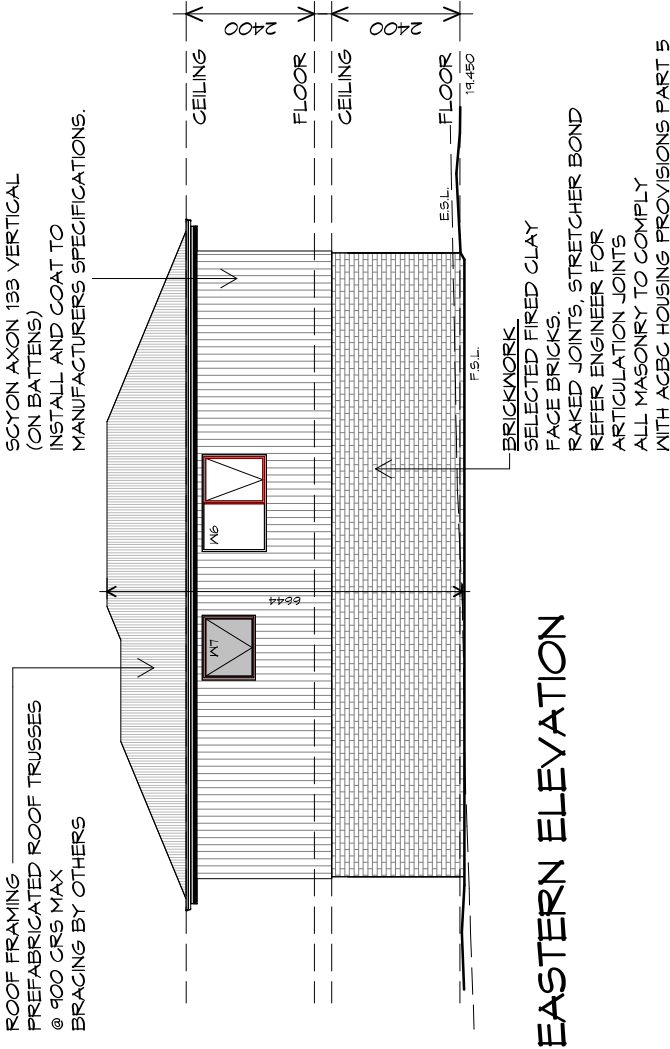


TYPE E - UNIT 18



U18 SOUTHERN ELEVATION

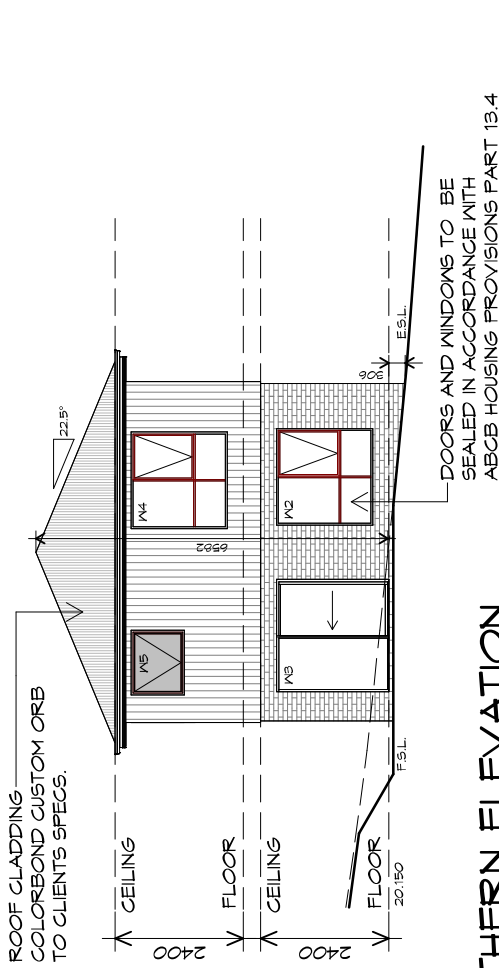
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U18 EASTERN ELEVATION

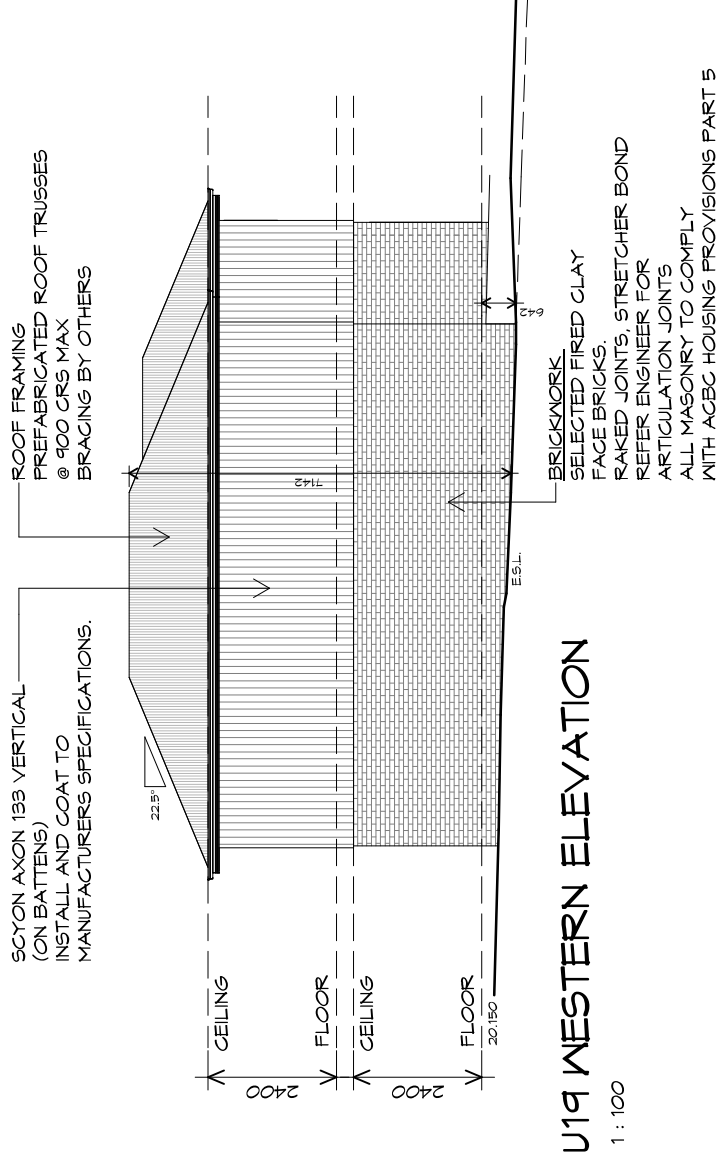
1 : 100

TYPE E - UNIT 18



U19 NORTHERN ELEVATION

1 : 100



U19 WESTERN ELEVATION

1 : 100

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS



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Project:  
PROPOSED UNIT DEVELOPMENT  
38 JETTY ROAD,  
OLD BEACH

Client name:  
GIC ESTATES PTY LTD

Drawing:  
ELEVATIONS

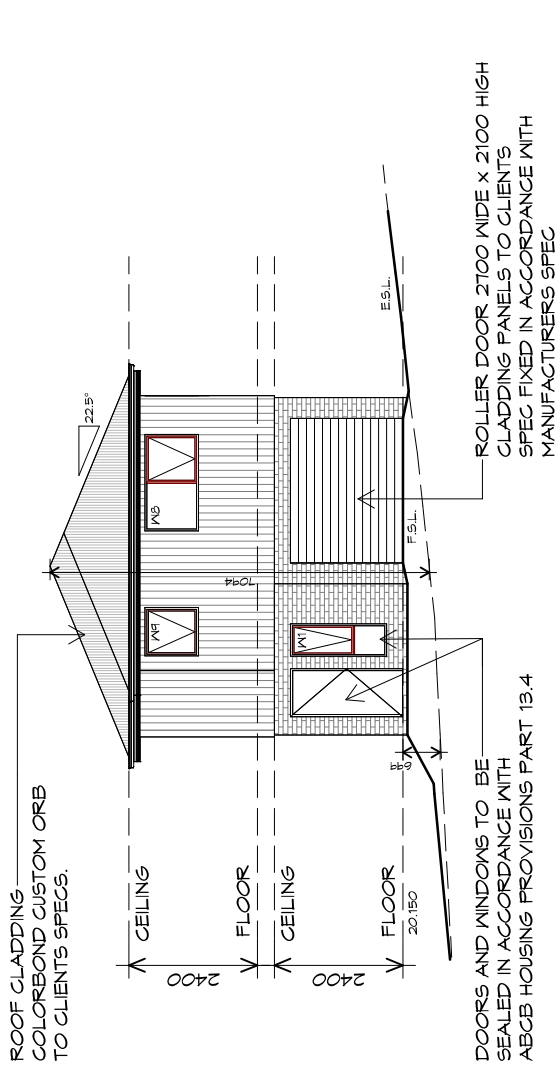
Drafted by:  
Author  
Approved by:  
Approver  
Date:  
20.05.2024  
Scale:  
1 : 100

Project/Drawing no:  
PD23405 -E-14  
Revision:  
05

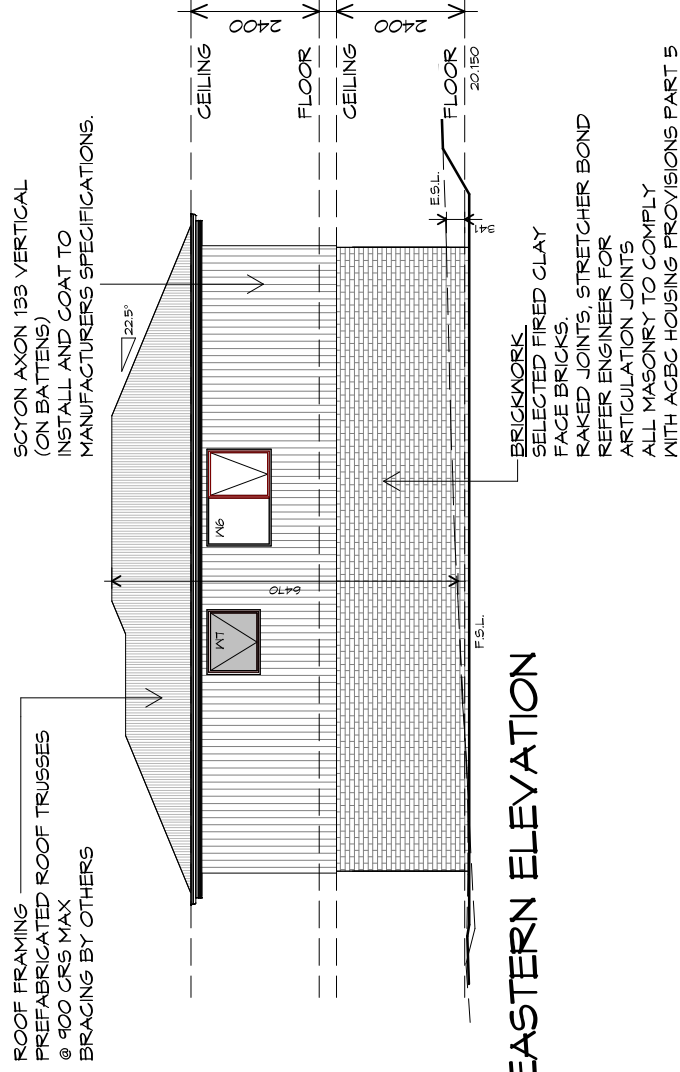
Accredited building practitioner: Frank Geskus -No CC246A



TYPE E - UNIT 19



## U19 SOUTHERN ELEVATION

 $1:100$ 

## U19 EASTERN ELEVATION

1 : 100

ROOF PLUMBING NOTES:

GUTTER INSTALLATION  
TO BE IN ACCORDANCE WITH  
ABCB HOUSING PROVISIONS PART 7.4.4  
WITH FALL NO LESS THAN  
1:100 FOR BOX GUTTERS  
1:500 FOR EAVES GUTTER

UNLESS FIXED TO METAL FASCIA  
EAVES GUTTER TO BE FIXED  
@ 1200 CRS MAX.

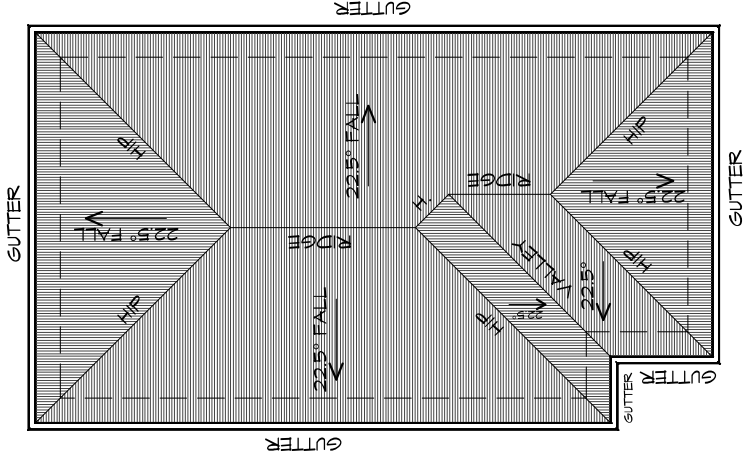
VALLEY GUTTERS ON A ROOF WITH A PITCH:  
A) MORE THAN 12.5° DEGREES - MUST  
HAVE A WIDTH OF NOT LESS THAN  
400mm AND ROOF OVERHANG OF NOT  
LESS THAN 150mm EACH SIDE OF VALLEY  
GUTTER.  
B) LESS THAN 12.5° DEGREES, MUST BE  
DESIGNED AS A BOX GUTTER.

LAP GUTTERS 75mm IN THE DIRECTION  
OF FLOW, RIVET & SEAL WITH AN  
APPROVED SILICONE SEALANT.

DOWNSPIPE POSITIONS SHOWN ON THIS  
PLAN ARE NOMINAL ONLY.  
EXACT LOCATION & NUMBER OF D.P.'S  
REQUIRED ARE TO BE IN ACCORDANCE  
WITH ABCB HOUSING PROVISIONS PART 7.4.5  
REQUIREMENTS.

SPACING BETWEEN DOWNSPIPES MUST NOT  
BE MORE THAN 12m & LOCATED AS CLOSE AS  
POSSIBLE TO VALLEY GUTTERS

**METAL ROOF**  
METAL SHEETING ROOF TO BE INSTALLED IN  
ACCORDANCE WITH ABCB HOUSING PROVISIONS PART  
7.2. REFER TO TABLE 7.2.2a FOR ACCEPTABLE  
CORROSION PROTECTION FOR SHEET ROOFING,  
REFER TO TABLE 7.2.2b-7.2.2e FOR ACCEPTABILITY  
OF CONTACT BETWEEN DIFFERENT ROOFING  
MATERIALS, FOR FIXING, SHEET LAYING SEQUENCE,  
FASTENER FREQUENCY FOR TRANSVERSE FLASHINGS  
AND CAPPIINGS, ANTI CAPILLARY BREAKS, FLASHING  
DETAILS REFER TO ABCB HOUSING PROVISIONS PART  
7.2.5- 7.2.7. ROOF PENETRATION FLASHING DETAILS.  
REFER TO TO ABCB HOUSING PROVISIONS PART  
7.2.5- 7.2.7. ROOF SHEETING MUST OVERHANG MIN  
35mm AS PER ABCB HOUSING PROVISIONS PART 7.2.8



ROOF PLAN

1 : 100

ADDITIONAL ROOF LOAD  
NO SOLAR P.V. SYSTEM HAS BEEN ALLOWED FOR,  
NO SOLAR HOT WATER HAS BEEN ALLOWED FOR.

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS



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info@primedesigntas.com.au primedesigntas.com.au

Project:

PROPOSED UNIT DEVELOPMENT  
38 JETTY ROAD,  
OLD BEACH

Client name:

GIC ESTATES PTY LTD

Drawing:

ROOF PLAN

Drafted by:  
Author

Approved by:  
Approver

Date:

20.05.2024

Scale:

1 : 100

Project/Drawing no:

PD23405 -E-16

Revision:

05

Accredited building practitioner: Frank Geskus -No CC246A





LEGEND

- CSD CAVITY SLIDING DOOR
- S/D SLIDING DOOR
- G.S. GLASS SCREEN
- HWC HOT WATER CYLINDER
- S.Q. SQUARE STOP

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS



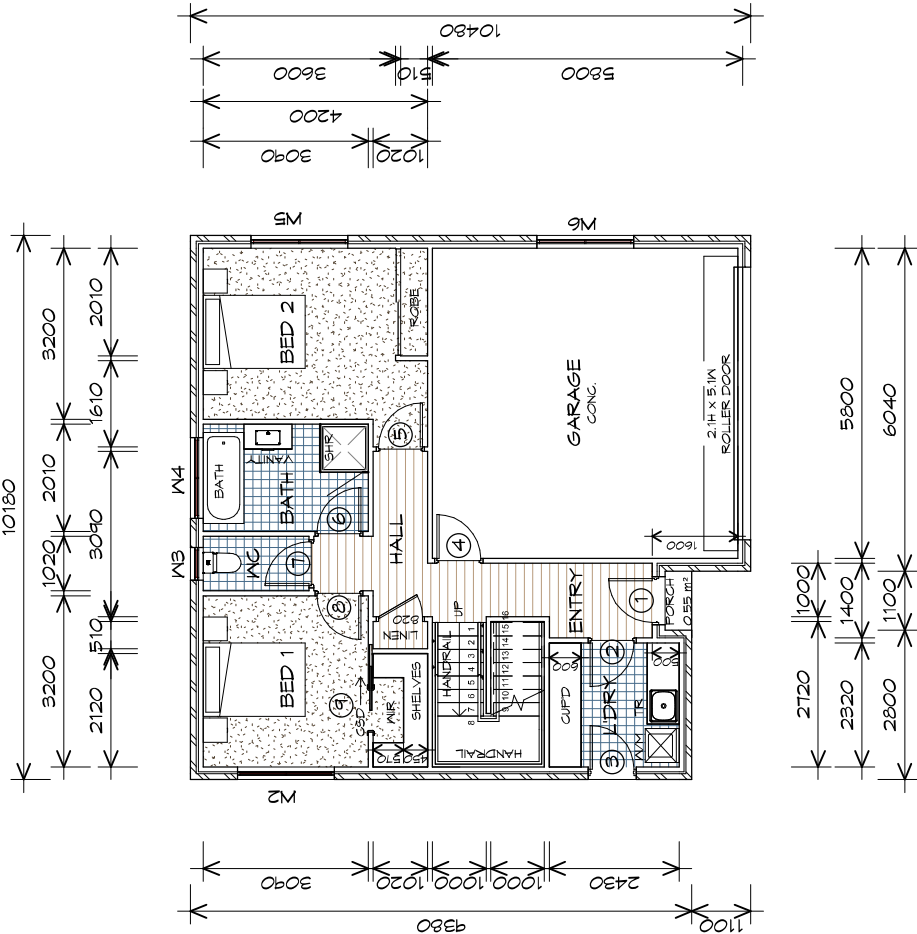
10 Goodman Court, Invermay Tasmania 7248,  
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Shop 9, 105-111 Main Road, Moonah Hobart 7009  
p(0)+ 03 6228 4575  
info@primedesigntas.com.au primedesigntas.com.au

Project:  
PROPOSED UNIT DEVELOPMENT  
38 JETTY ROAD,  
OLD BEACH

Client name:  
GIC ESTATES PTY LTD  
Drawing:  
GROUND FLOOR PLAN

Drafted by:  
Author  
Approved by:  
Approver  
Date:  
20.05.2024  
Scale:  
1 : 100

Project/Drawing no:  
PD23405 -F1-01  
Revision:  
05  
Accredited building practitioner: Frank Geskus -No CC246A



GROUND FLOOR PLAN

1 : 100

STAIRS

STAIR	NO RISERS	RISER HT	TREAD DEPTH
	16	179	250

NON SLIP TO COMPLY NCC 2022

GROUND FLOOR AREA	65.05	m2	( 7.00 SQUARES )
FIRST FLOOR AREA	79.56	m2	( 8.56 SQUARES )
GARAGE AREA	36.81	m2	( 3.96 SQUARES )
TOTAL AREA	181.43		19.53

NOTE:  
FLOOR AREAS INCLUDE TO EXTERNAL FACE OF BUILDING  
AND GARAGE, UNLESS OTHERWISE STATED. DECKS AND  
OUTDOOR AREAS ARE CALCULATED SEPARATELY.



LEGEND

- CSD CAVITY SLIDING DOOR
- S/D SLIDING DOOR
- G.S. GLASS SCREEN
- HWC HOT WATER CYLINDER
- S.Q. SQUARE STOP

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS



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Project:  
PROPOSED UNIT DEVELOPMENT  
38 JETTY ROAD,  
OLD BEACH

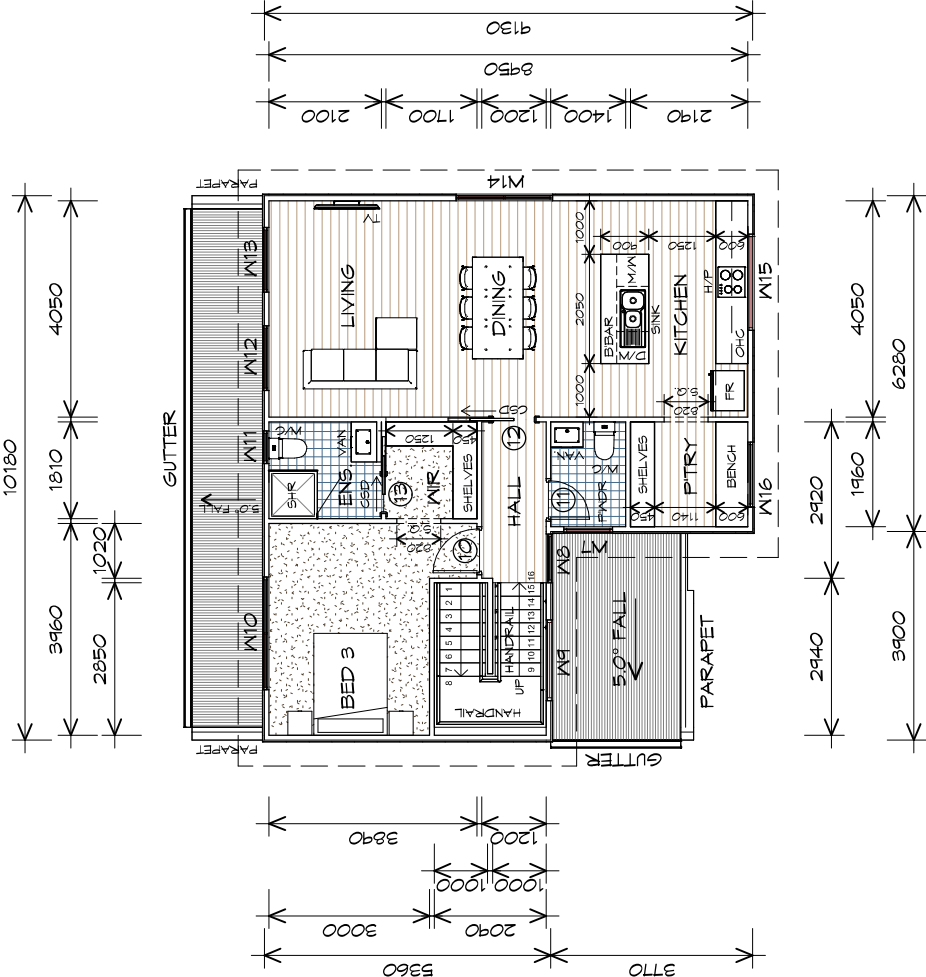
Client name:  
GIC ESTATES PTY LTD

Drawing:  
FIRST FLOOR PLAN

Drafted by:  
Author  
Approved by:  
Approver  
Date:  
20.05.2024  
Scale:  
1 : 100

Project/Drawing no:  
PD23405 -F1-02  
Revision:  
05

Accredited building practitioner: Frank Geskus -No CC246A



FIRST FLOOR PLAN

1 : 100

GROUND FLOOR AREA	65.05	m2	( 7.00 SQUARES )
FIRST FLOOR AREA	74.56	m2	( 8.56 SQUARES )
GARAGE AREA	36.81	m2	( 3.96 SQUARES )
TOTAL AREA	181.43		19.53

NOTE:  
FLOOR AREAS INCLUDE TO EXTERNAL FACE OF BUILDING  
AND GARAGE, UNLESS OTHERWISE STATED. DECKS AND  
OUTDOOR AREAS ARE CALCULATED SEPARATELY.

STAIRS

STAIR	NO RISERS	RISER HT	TREAD DEPTH
16	174	179	250

NON SLIP TO COMPLY NCC 2022



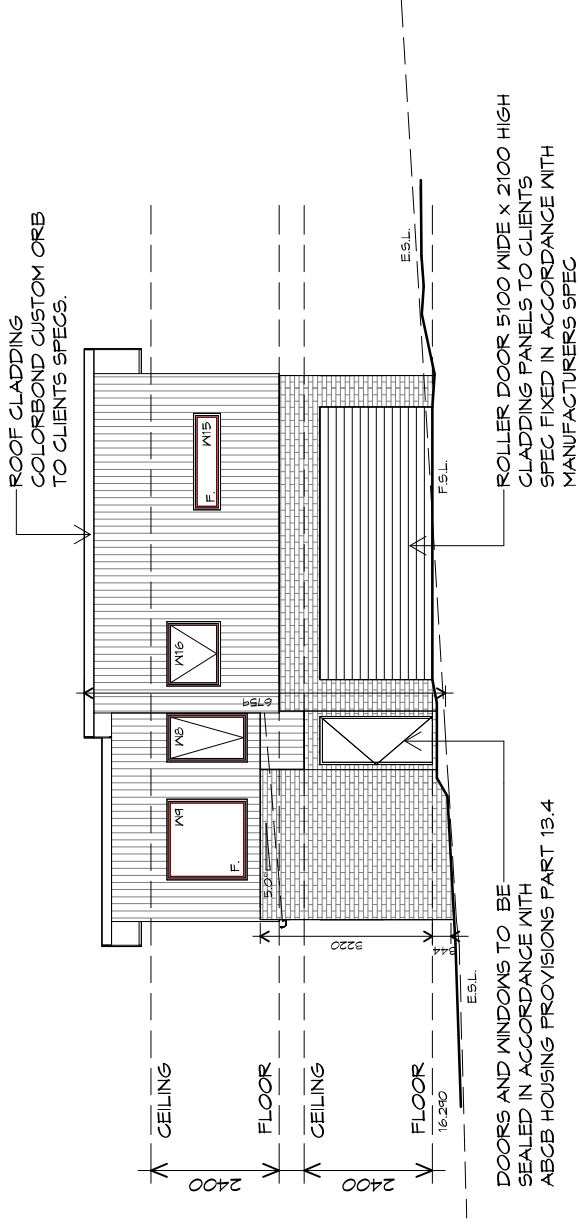
GROUND FLOOR DOOR SCHEDULE			
MARK	WIDTH	TYPE	REMARKS
1	820	EXTERNAL SOLID DOOR	
2	820	INTERNAL TIMBER DOOR	
3	820	GLAZED EXTERNAL DOOR	
4	820	INTERNAL TIMBER DOOR	
5	820	INTERNAL TIMBER DOOR	
6	820	INTERNAL TIMBER DOOR	
7	820	INTERNAL TIMBER DOOR	
8	820	INTERNAL TIMBER DOOR	
9	820	CAVITY SLIDING DOOR	

FIRST FLOOR DOOR SCHEDULE			
MARK	WIDTH	TYPE	REMARKS
10	820	INTERNAL TIMBER DOOR	
11	720	INTERNAL TIMBER DOOR	
12	820	CAVITY SLIDING DOOR	
13	720	CAVITY SLIDING DOOR	

GROUND FLOOR WINDOW SCHEDULE				
MARK	HEIGHT	WIDTH	TYPE	REMARKS
W2	1200	1810	ANNING WINDOW	
W3	1000	610	ANNING WINDOW	OPAQUE
W4	1000	1510	ANNING WINDOW	OPAQUE
W5	1200	1810	ANNING WINDOW	
W6	600	1810	ANNING WINDOW	

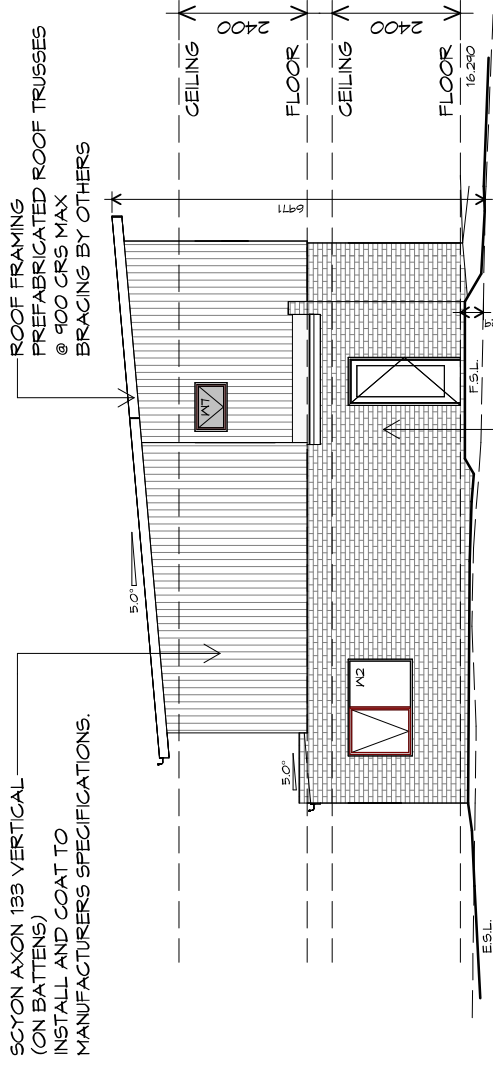
FIRST FLOOR WINDOW SCHEDULE				
MARK	HEIGHT	WIDTH	TYPE	REMARKS
W7	600	910	ANNING WINDOW	OPAQUE
W8	1500	910	ANNING WINDOW	
W9	1500	1510	FIXED WINDOW	
W10	1800	2110	ANNING WINDOW	
W11	1000	610	ANNING WINDOW	OPAQUE
W12	1800	1210	ANNING WINDOW	
W13	1800	1210	ANNING WINDOW	
W14	1800	1810	ANNING WINDOW	
W15	500	1800	FIXED WINDOW	1100mm SILL
W16	1000	1210	ANNING WINDOW	

ALUMINIUM WINDOWS **DOUBLE GLAZING** COMPLETE  
WITH FLY SCREENS TO SUIT ??? **BAL** RATING.  
ALL WINDOW MEASUREMENTS TO BE VERIFIED ON SITE  
PRIOR TO ORDERING



U32 SOUTHERN ELEVATION

1 : 100



U32 WESTERN ELEVATION

1 : 100

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS



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Project:  
PROPOSED UNIT DEVELOPMENT  
38 JETTY ROAD,  
OLD BEACH

Client name:  
GIC ESTATES PTY LTD

Drawing:  
ELEVATIONS

Drafted by:  
Author  
Approved by:  
Approver  
Date:  
Scale:

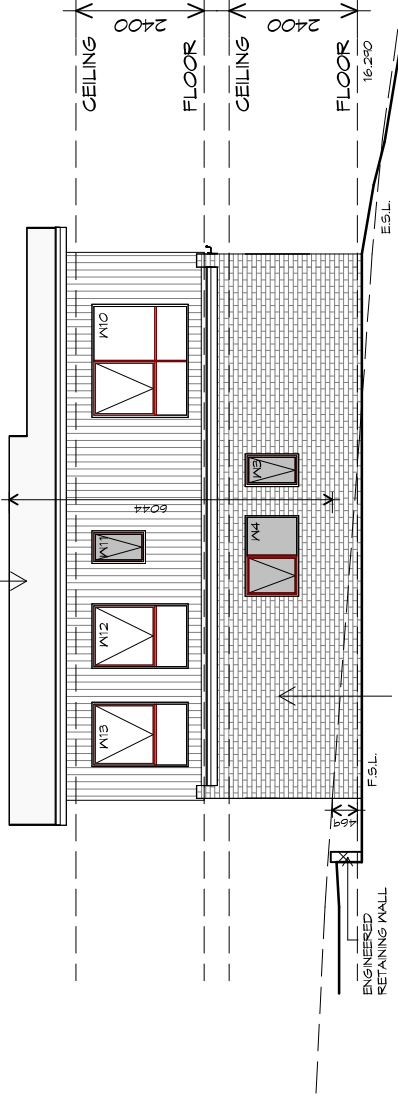
20.05.2024 1 : 100

Project/Drawing no:  
PD23405 -F1-04  
Revision:  
05

Accredited building practitioner: Frank Geskus -No CC246A



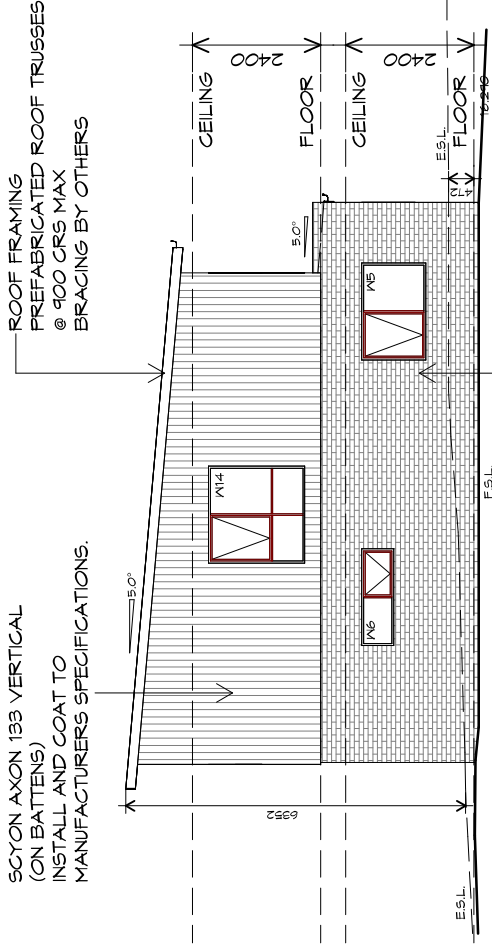
ROOF CLADDING -  
COLORBOND CUSTOM ORB  
TO CLIENT'S SPECS.



## U32 NORTHERN ELEVATION

1 : 100

SCYON AXON 133 VERTICAL  
(ON BATTENS)  
INSTALL AND COAT TO  
MANUFACTURERS SPECIFICATIONS.



## U32 EASTERN ELEVATION

1 : 100

BRICKWORK -  
SELECTED FIRED CLAY  
FACE BRICKS.  
RAKED JOINTS, STRETCHER BOND  
REFER ENGINEER FOR  
ARTICULATION JOINTS  
ALL MASONRY TO COMPLY  
WITH ACBC HOUSING PROVISIONS PART 5

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS



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Project:

PROPOSED UNIT DEVELOPMENT  
38 JETTY ROAD,  
OLD BEACH

Client name:

GIC ESTATES PTY LTD

Drawing:

ELEVATIONS

Drafted by:

Author

Approved by:

Approver

Scale:

Date: 20.05.2024 1 : 100

Project/Drawing no:

PD23405 -F1-05

Revision:

05

Accredited building practitioner: Frank Geskus -No CC246A



TYPE F1 - UNIT 32





SCYON AXON 133 VERTICAL (ON BATTENS) INSTALL AND COAT TO MANUFACTURERS SPECIFICATIONS.

ROOF FRAMING  
PREFABRICATED ROOF TRUSSES  
@ 400 CRS MAX  
BRACING BY OTHERS

CEILING  
FLOOR  
CEILING  
FLOOR

2400  
2400  
16'10"

5.0'

5.0'

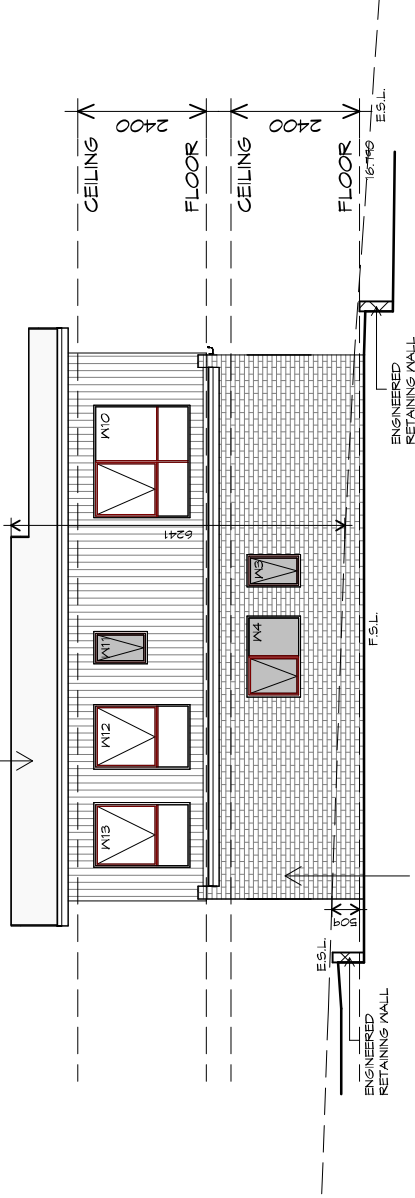
ESL.

BRICKWORK  
SELECTED FIRED CLAY  
FACE BRICKS,  
RAKED JOINTS, STRETCHER BOND  
REFER ENGINEER FOR  
ARTICULATION JOINTS

WESTERN ELEVATION

## 1:100

ROOF CLADDING  
COLORBOND CUSTOM ORB  
TO CLIENTS SPECS.

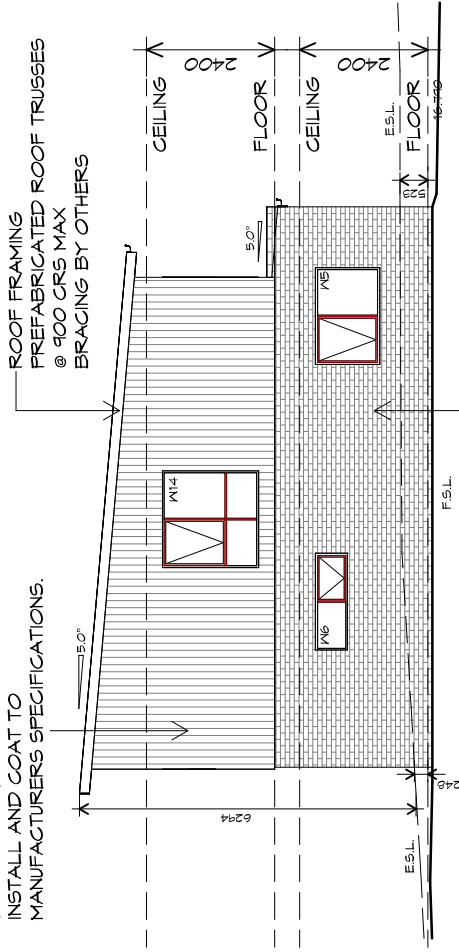


DOORS AND WINDOWS TO BE  
SEALED IN ACCORDANCE WITH  
ABC BUILDING PROVISIONS PART 13.4

## U33 NORTHERN ELEVATION

1 : 100

SCYON AXON 133 VERTICAL  
(ON BATTENS)  
INSTALL AND COAT TO  
MANUFACTURERS SPECIFICATIONS.



BRICKWORK  
SELECTED FIRED CLAY  
FACE BRICKS.  
RAKED JOINTS, STRETCHER BOND  
REFER ENGINEER FOR  
ARTICULATION JOINTS  
ALL MASONRY TO COMPLY  
WITH ABC BUILDING PROVISIONS PART 5

## U33 EASTERN ELEVATION

1 : 100

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS



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Project:  
PROPOSED UNIT DEVELOPMENT  
38 JETTY ROAD,  
OLD BEACH

Client name:  
GIC ESTATES PTY LTD

Drawing:  
ELEVATIONS

Drafted by:  
Author  
Approved by:  
Approver  
Date:  
Scale:

20.05.2024 1 : 100

Project/Drawing no:  
PD23405 -F1-07  
Revision:  
05

Accredited building practitioner: Frank Geskus -No CC246A



TYPE F1 - UNIT 33