



Application for Planning Approval

Land Use Planning and Approvals Act 1993

APPLICATION NO.

DA2024/065

LOCATION OF AFFECTED AREA

48 TARQUIN ROAD, HONEYWOOD

DESCRIPTION OF DEVELOPMENT PROPOSAL

OUTBUILDING

A COPY OF THE DEVELOPMENT APPLICATION MAY BE VIEWED AT www.brighton.tas.gov.au AND AT THE COUNCIL OFFICES, 1 TIVOLI ROAD, OLD BEACH, BETWEEN 8:15 A.M. AND 4:45 P.M, MONDAY TO FRIDAY OR VIA THE QR CODE BELOW. ANY PERSON MAY MAKE WRITTEN REPRESENTATIONS IN ACCORDANCE WITH S.57(5) OF THE LAND USE PLANNING AND APPROVALS ACT 1993 CONCERNING THIS APPLICATION UNTIL 4:45 P.M. ON **29/04/2024**. ADDRESSED TO THE GENERAL MANAGER AT 1 TIVOLI ROAD, OLD BEACH, 7017 OR BY EMAIL AT development@brighton.tas.gov.au. REPRESENTATIONS SHOULD INCLUDE A DAYTIME TELEPHONE NUMBER TO ALLOW COUNCIL OFFICERS TO DISCUSS, IF NECESSARY, ANY MATTERS RAISED.

JAMES DRYBURGH
General Manager



Brighton
going places

- PAGE 1 - SITE INFORMATION
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ADDITIONAL DRAWINGS / ENGINEERING
BY NORTHERN CONSULTING ENGINEERS

JOB NO - 72116



SITE INFORMATION
CERTIFICATE OF TITLE:
VOLUME - 127627 FOLIO - 4
LAND AREA: 8082m2

EXISTING DWELLING AREA: 150M2

PROPOSED OUTBUILDING
FLOOR AREA: 28M2

TASMANIAN PLANNING SCHEME
ZONE: RURAL LIVING

OVERLAYS: BUSHFIRE PRONE AREA
PRIORITY VEGETATION AREA

SOIL CLASSIFICATION: ASSUMED M
WIND REGION: A
TERRAIN CATEGORY: TC2
IMPORTANCE LEVEL: 2 (DOMESTIC)
SHIELDING: 1
TOPOGRAPHY: 1
BUSHFIRE ATTACK LEVEL : N/A

SITE PLAN 1:500

INTENDED USE
THE PROPOSED OUTBUILDING IS FOR DOMESTIC USE ONLY.
GENERAL VEHICLE STORAGE.

PROPOSAL : NEW OUTBUILDING
OWNER : T NORRIS (FOULKES)
ADDRESS: 48 TARQUIN ROAD HONEYWOOD
SCALE: 1:500 (A3)
DATE: 30th MARCH 2024
AMENDED:
DRAWN BY: DARRYN WHITE CC1623W
PAGE: 01/03
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CONSTRUCTION GENERALLY:
ALL CONSTRUCTION TO BE IN ACCORDANCE WITH CURRENT BUILDING REGULATIONS,
NATIONAL CONSTRUCTION CODE (NCC), RELEVANT AUSTRALIAN STANDARDS AND LOCAL AUTHORITY REQUIREMENTS.

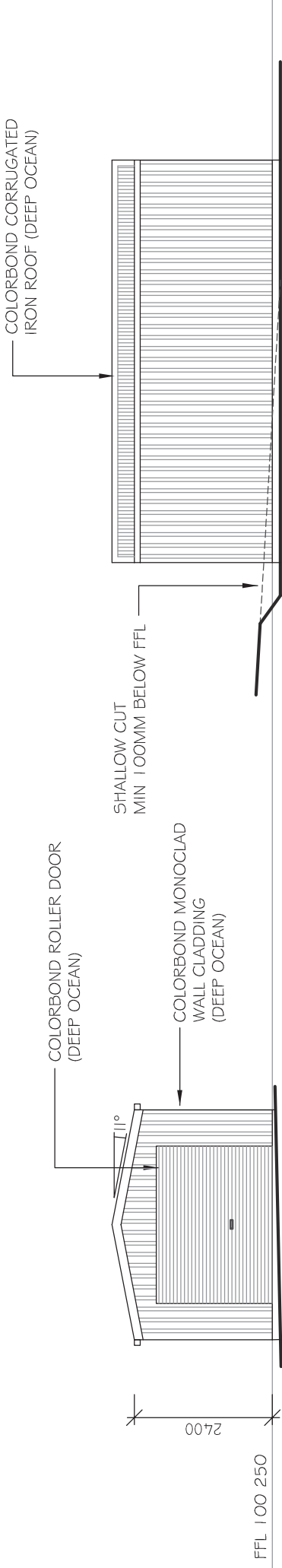
SITE PREPARATION, EXCAVATION AND EARTHWORKS TO COUNCIL REQUIREMENTS AND IN ACCORDANCE WITH PART 3.1.1 OF NCC.
CONCRETE FOOTINGS TO AS 2870.1 AND ENGINEER SPECIFICATIONS.
UNLESS OTHERWISE SPECIFIED, FOOTINGS 20MPA / SLAB 25MPA.

OUTBUILDING STRUCTURAL; DETAILS AND CERTIFICATION AS PER 'FAIR DINKUM SHEDS' DOCUMENTATION.

BUILDER TO VERIFY ALL DIMENSIONS AND DETAILS ON THIS SET OF PLANS PRIOR TO COMMENCEMENT OF WORK ON SITE.

USE WRITTEN DIMENSIONS IN PREFERENCE TO MEASURING OFF THE PLAN.

COUNCIL / CONTRACTOR TO CONTACT P&J SHEDS IF NECESSARY INFORMATION IS NOT PROVIDED ON THIS SET OF PLANS.



WEST ELEVATION

NORTH ELEVATION

COLOURS (COLORBOND®):

- EXT. WALLS
 - DEEP OCEAN
- ROOF
 - DEEP OCEAN
- ROLLER DOOR
 - DEEP OCEAN
- GUTTER
 - DEEP OCEAN
- CORNER FLASH
 - DEEP OCEAN
- BARGE FLASHING
 - DEEP OCEAN
- OPENING FLASH
 - DEEP OCEAN



EAST ELEVATION

SOUTH ELEVATION

PLUMBING GENERALLY:

ALL PLUMBING TO BE IN ACCORDANCE WITH AS 3500.
TAS PLUMBING CODE AND LOCAL AUTHORITY REQUIREMENTS.

90dia PVC STORM WATER TO APPROVED ABSORPTION AREA.
PLUMBER TO VERIFY CONNECTION LOCATION WITH OWNER.
STORMWATER RUNOFF TO BE CONTAINED WITHIN THE PROPERTY BOUNDARY

FIRST INSPECTION OPENING TO BE RAISED TO FINISHED GROUND LEVEL.

NOTE:
SITE LEVELS TO BE CONFIRMED ON SITE.

CONCRETE PIERS MAY BE REQUIRED THROUGH EXISTING COMPACT FILL TO NATURAL BASE.
ASSESS ON SITE, ENGINEER TO VERIFY.

PROPOSAL : NEW OUTBUILDING

OWNER : T NORRIS (FOULKES)

ADDRESS: 48 TARQUIN ROAD HONEYWOOD

SCALE: 1:100 (A3)

DATE: 30th MARCH 2024

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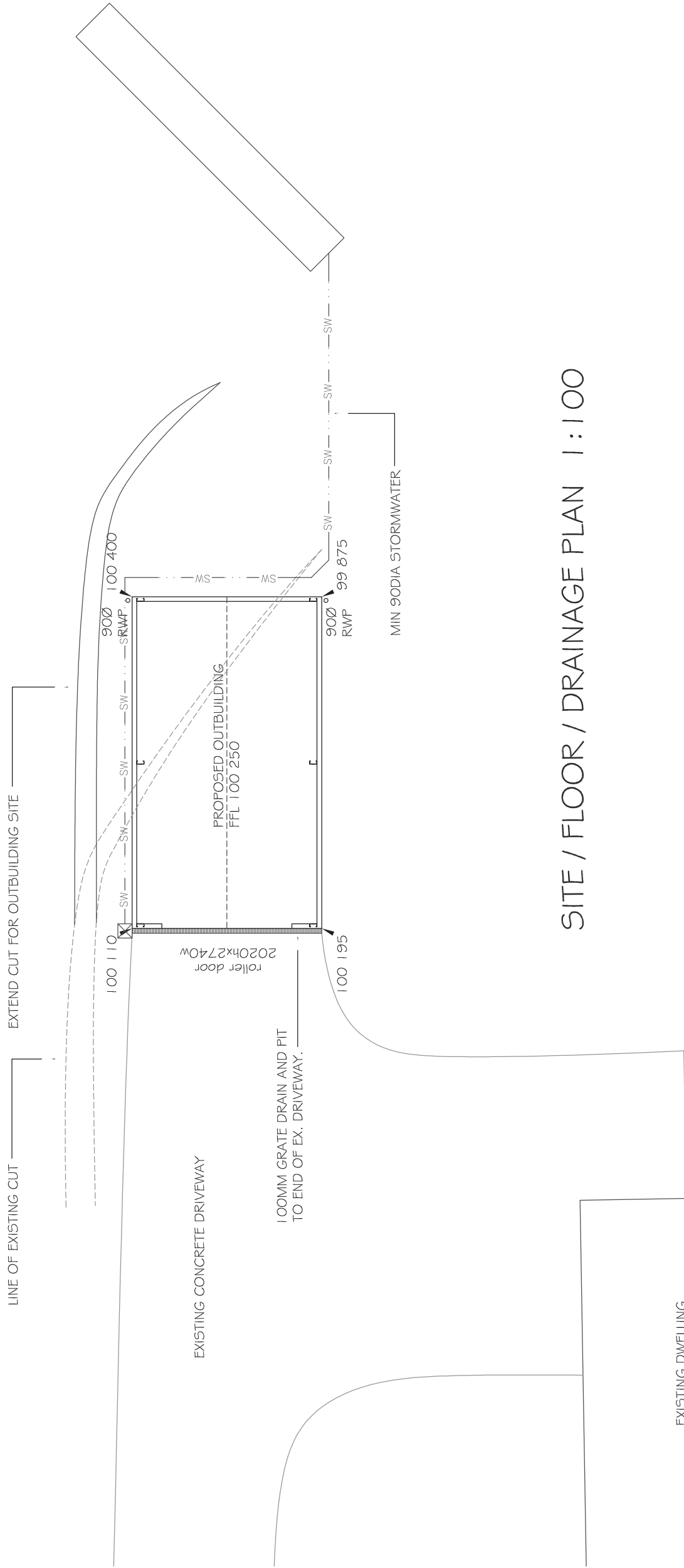
JOB NO : 72116

REFER TO DRAWINGS BY NORTHERN CONSULTING FOR ALL MEMBER AND MATERIAL DETAILS AS WELL AS FOOTING DESIGN AND SPECIFICATIONS.

NOTE: MINIMUM FOUNDATION DEPTH SHOULD BE 100mm INTO NATURAL GROUND.
IF FILL IS TO BE USED UNDER SLAB COMPACT IN 150mm LAYERS TO A MAXIMUM DEPTH OF 900mm.

ALL EARTHWORKS & EXCAVATION TO BE IN ACCORDANCE WITH PART 3.1.1 OF CURRENT NCC.





SITE / FLOOR / DRAINAGE PLAN 1:100

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