



Application for Planning Approval

Land Use Planning and Approvals Act 1993

APPLICATION NO.

DA2024/057

LOCATION OF AFFECTED AREA

17 SHELDUCK DRIVE, OLD BEACH

DESCRIPTION OF DEVELOPMENT PROPOSAL

DWELLING

A COPY OF THE DEVELOPMENT APPLICATION MAY BE VIEWED AT www.brighton.tas.gov.au AND AT THE COUNCIL OFFICES, 1 TIVOLI ROAD, OLD BEACH, BETWEEN 8:15 A.M. AND 4:45 P.M, MONDAY TO FRIDAY OR VIA THE QR CODE BELOW. ANY PERSON MAY MAKE WRITTEN REPRESENTATIONS IN ACCORDANCE WITH S.57(5) OF THE LAND USE PLANNING AND APPROVALS ACT 1993 CONCERNING THIS APPLICATION UNTIL 4:45 P.M. ON **22/04/2024**. ADDRESSED TO THE GENERAL MANAGER AT 1 TIVOLI ROAD, OLD BEACH, 7017 OR BY EMAIL AT development@brighton.tas.gov.au. REPRESENTATIONS SHOULD INCLUDE A DAYTIME TELEPHONE NUMBER TO ALLOW COUNCIL OFFICERS TO DISCUSS, IF NECESSARY, ANY MATTERS RAISED.

JAMES DRYBURGH
General Manager



Brighton
going places

SHEET INDEX

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BUILDING INFORMATION

GROUND FLOOR TOP OF WALL HEIGHT(S): 2445mm (CEILING HEIGHT 45mm LOWER THAN TOP OF WALL)
ROOF PITCH (U.N.O.): 23.0°
ELECTRICITY SUPPLY: SINGLE PHASE
GAS SUPPLY: NONE
ROOF MATERIAL: SHEET METAL
ROOF COLOUR: N/A
WALL MATERIAL: BRICK VENEER

INSULATION

INSULATION TO BE INSTALLED IN ACCORDANCE WITH N.C.C. AND RELEVANT AUSTRALIAN STANDARDS

CEILING: R4.1 BATTS (EXCL. GARAGE, ALFRESCO & PATIO)

EXTERIOR WALLS: R2.0 BATTS (EXCL. GARAGE)
WALL WRAP TO ENTIRE HOUSE
INTERIOR WALLS: R2.0 BATTS WHERE SHOWN ON PLANS AND WHERE ADJACENT TO GARAGE / SUBFLOOR / ROOF SPACES / SKYLIGHTS

B/A/X SLAB
FLOOR INSULATION: R2.0 BATTS TO FLOOR SPACES ABOVE PORCH /ALFRESCO / GARAGE AREAS, IF APPLICABLE

SITE & ENGINEERING INFORMATION

DESIGN WIND CLASSIFICATION: N2	ZONE 7 - COOL TEMPERATE
CLIMATE ZONE: A	
WIND REGION: TC2.5	
TERRAIN CATEGORY: NS - NO SHIELDING	
SHIELDING FACTOR: T1	
TOPOGRAPHIC CLASSIFICATION: 40 m/sec	
DESIGN WIND SPEED:	

SITE CLASSIFICATION: M
SLAB CLASSIFICATION: TBC

SLAB TO BE IN ACCORDANCE WITH AS 2870. REFER TO ENGINEER'S DRAWINGS FOR ALL SLAB DETAILS.

PROVIDE BRICK CONTROL JOINTS IN ACCORDANCE WITH N.C.C.

ALL TIMBER FRAMING TO BE DESIGNED TO AS1684-2010

PRELIMINARY PLAN SET

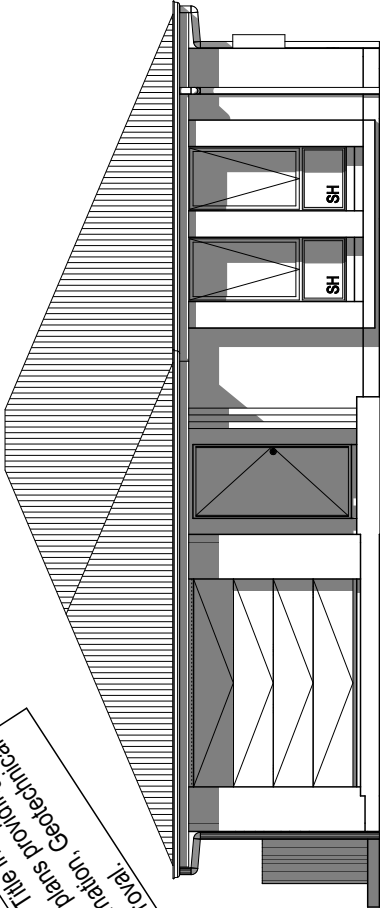
2	PRELIMINARY PLAN SET - INITIAL ISSUE	ALL	2024.02.29	HMI	DKZ
No.	AMENDMENT	SHEET	DATE	DRAWN	CHECK

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SITE LOCATION

This Plan has been prepared prior to the receipt of one or more of the following documents:- Certificate of Title inclusive of lot specific zoning, easement and covenant documents, BAL report and rating, approved subdivision plans providing crossover locations and service connection points, power and communications connection point information, Planning Approval, Site Investigation, Contour Survey, Dial Before You Dig Information, Planting Approval.



THIS PLAN ACCEPTED BY:

THE OWNERS ACKNOWLEDGE THAT THESE CONTRACT PLANS MAY NOT REFLECT ALL THE SELECTIONS THAT HAVE BEEN MADE OR CHANGES REQUESTED. THE OWNERS AGREE THAT FOLLOWING THE COLOUR SELECTIONS VARIATION OR UPDATING OF PLANS, THEY WILL BE PROVIDED WITH CONSTRUCTION PLANS FOR SIGNATURE PRIOR TO COMMENCEMENT OF CONSTRUCTION.

SIGNATURE: DATE:

SIGNATURE:

DATE:

SPECIFICATION:
DESIGNER
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	REVISION	DRAWN
1	DRAFT SALES PLAN - CT1	JOL 2023.12.18
2	PRELIM PLAN - INITIAL ISSUE	HMI 2024.02.29

CLIENT: DARYN BRAIN & JODI LEA SPLANN	
ADDRESS: TIVOLI GREEN ESTATE, OLD BEACH TAS 7017	
LOT / SECTION / CT: 449 / - / NYR	COUNCIL: BRIGHTON COUNCIL

HOUSE DESIGN: CORSICA	HOUSE CODE: H-WDNCSC10SB
FACADE DESIGN: GRANGE	FACADE CODE: F-WDNCSC10GRNGA
SHEET TITLE: COVER SHEET	SHEET No.: 1 / 13
	SCALES: 713910

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ZONE: 8.0 GENERAL RESIDENTIAL
>23km DISTANCE FROM CALM MARINE

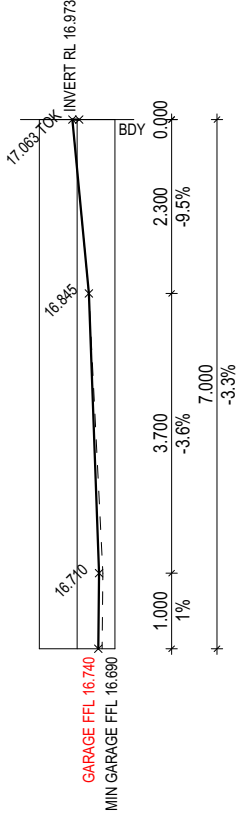
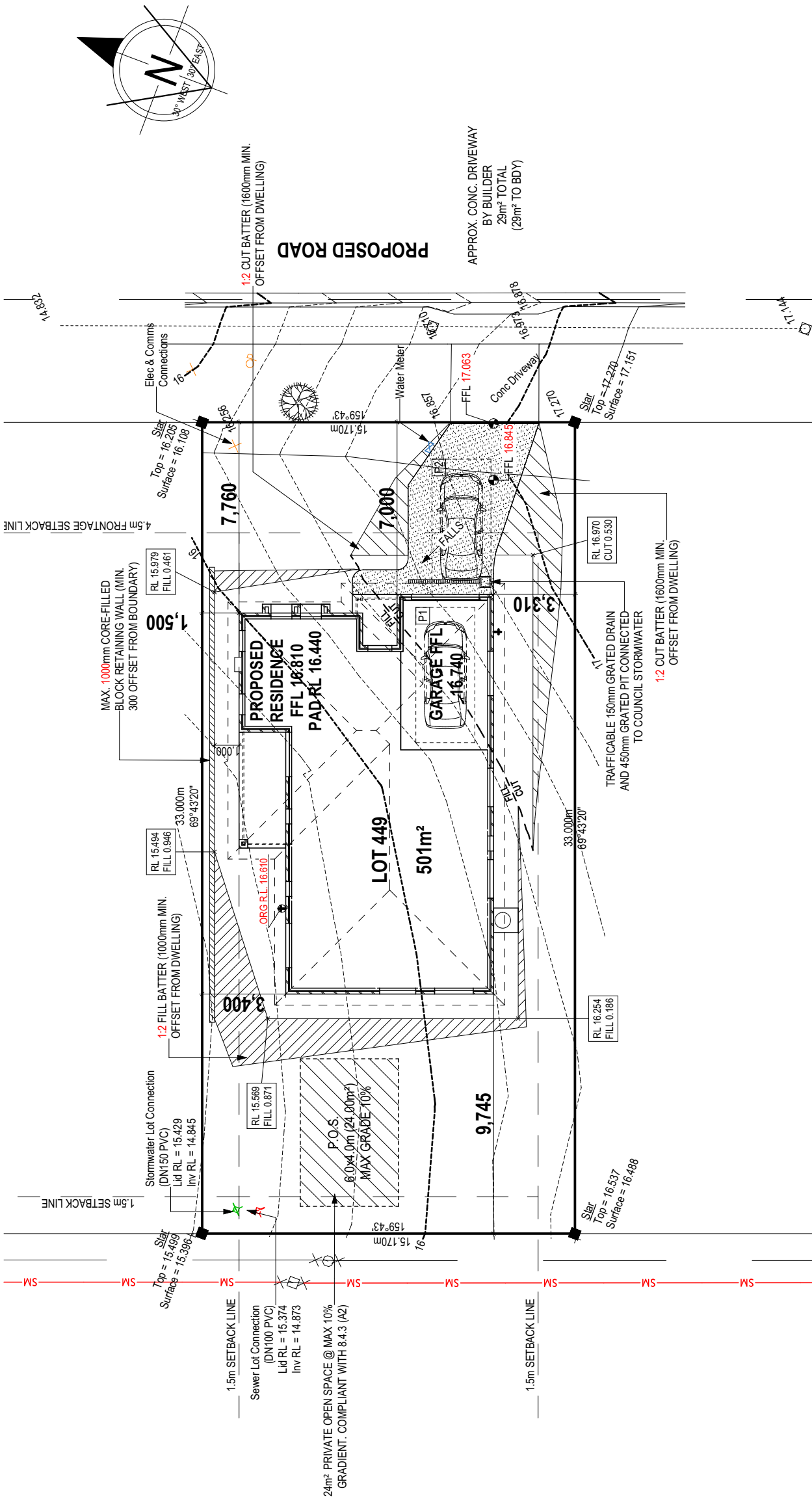
REFER TO SHEET 1 (COVER SHEET) FOR ALL
BUILDING INFORMATION REGARDING:
- SUSTAINABILITY REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

WIND CLASSIFICATION	N2
WITHIN 1 KM. OF BREAKING SALT WATER	NO
WITHIN 100 M. OF SALT WATER	NO
MINIMUM AHD FLOOR LEVEL APPLICABLE	NO
SURVEY AREA	NEW
LATITUDE	0° 00' 00" S
LONGITUDE	0° 00' 00" E

APPROX. IMPORT/EXPORT FILL	
CUT VOLUME	9.33m³
FILL VOLUME	93.81m³
DIFFERENCE	84.48m³

TONNAGE: 84.48m³ x 2.25 = 190.08t
190 TONNES OF IMPORT FILL

LOT SIZE: 501m²
HOUSE (COVERED AREA): 154.66m²
SITE COVERAGE: 30.87%



DRIVEWAY DETAILS

Scale: 1:100

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GRANDE	F-WDNCSC10GRNGA	
SHEET TITLE:	SHEET No.:	SCALES:
SITE PLAN	2 / 13	1:200

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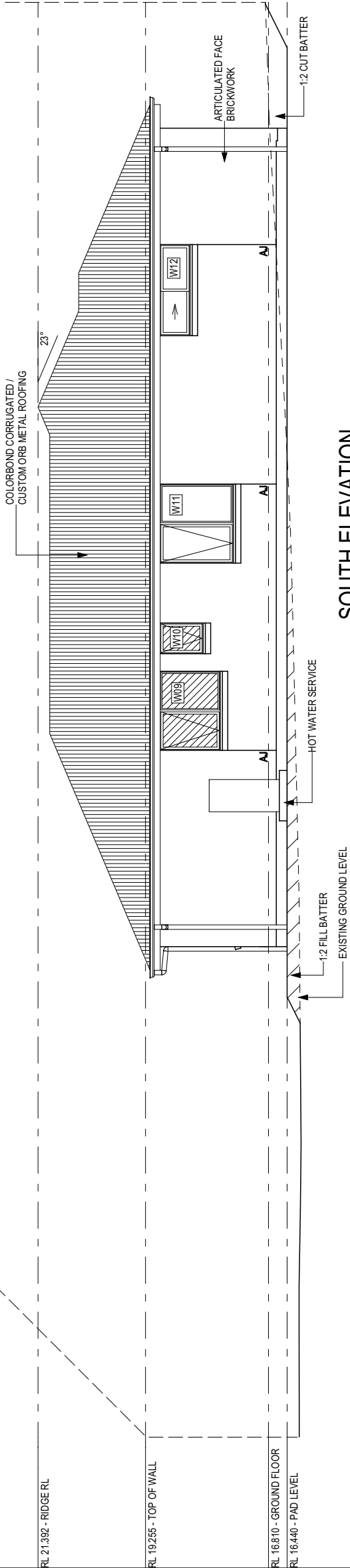
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- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

SH = SNAP HEADER SILL

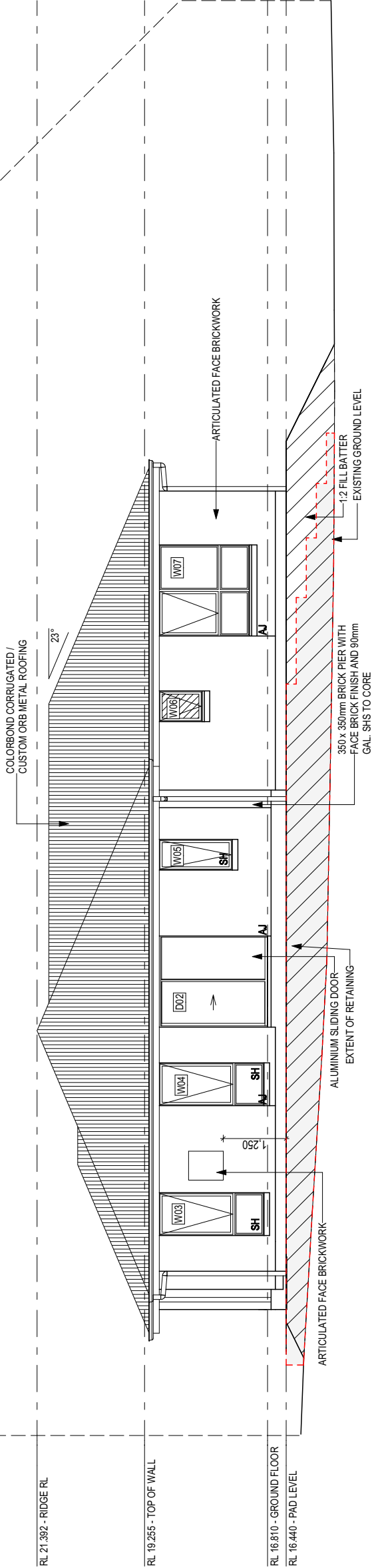
BEDROOM WINDOW OPENINGS ABOVE 2m OFF THE SURFACE BENEATH TO BE RESTRICTED AS REQUIRED BY NCC 11.3.7 (VOLUME TWO)

ROOMS OTHER THAN BEDROOM WINDOW OPENINGS ABOVE 4m OFF THE SURFACE BENEATH TO BE RESTRICTED AS REQUIRED BY NCC 11.3.7 (VOLUME TWO)

REFER TO THE FOLLOWING DETAILS:
BRICK COURSING **WB1C-001**



SOUTH ELEVATION
Scale: 1:100



NORTH ELEVATION
Scale: 1:100

CLEAR

OBSCURE

GLASS TYPE LEGEND

AWNING

DOUBLE HUNG

FIXED

LOUVRE

SLIDING

WINDOW TYPE LEGEND

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WILSON HOMES

DESIGNER

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SCALES:	1:100
ELEVATIONS	

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