



# Application for Planning Approval

## *Land Use Planning and Approvals Act 1993*

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APPLICATION NO.

**DA2024/047**

LOCATION OF AFFECTED AREA

**971 BOYER ROAD, DROMEDARY**

DESCRIPTION OF DEVELOPMENT PROPOSAL

**FARM SHED X 2 (1 RETROSPECTIVE & 1 NEW)**

A COPY OF THE DEVELOPMENT APPLICATION MAY BE VIEWED AT [www.brighton.tas.gov.au](http://www.brighton.tas.gov.au) AND AT THE COUNCIL OFFICES, 1 TIVOLI ROAD, OLD BEACH, BETWEEN 8:15 A.M. AND 4:45 P.M, MONDAY TO FRIDAY OR VIA THE QR CODE BELOW. ANY PERSON MAY MAKE WRITTEN REPRESENTATIONS IN ACCORDANCE WITH S.57(5) OF THE LAND USE PLANNING AND APPROVALS ACT 1993 CONCERNING THIS APPLICATION UNTIL 4:45 P.M. ON **22/04/2024**. ADDRESSED TO THE GENERAL MANAGER AT 1 TIVOLI ROAD, OLD BEACH, 7017 OR BY EMAIL AT [development@brighton.tas.gov.au](mailto:development@brighton.tas.gov.au). REPRESENTATIONS SHOULD INCLUDE A DAYTIME TELEPHONE NUMBER TO ALLOW COUNCIL OFFICERS TO DISCUSS, IF NECESSARY, ANY MATTERS RAISED.

**JAMES DRYBURGH**  
**General Manager**



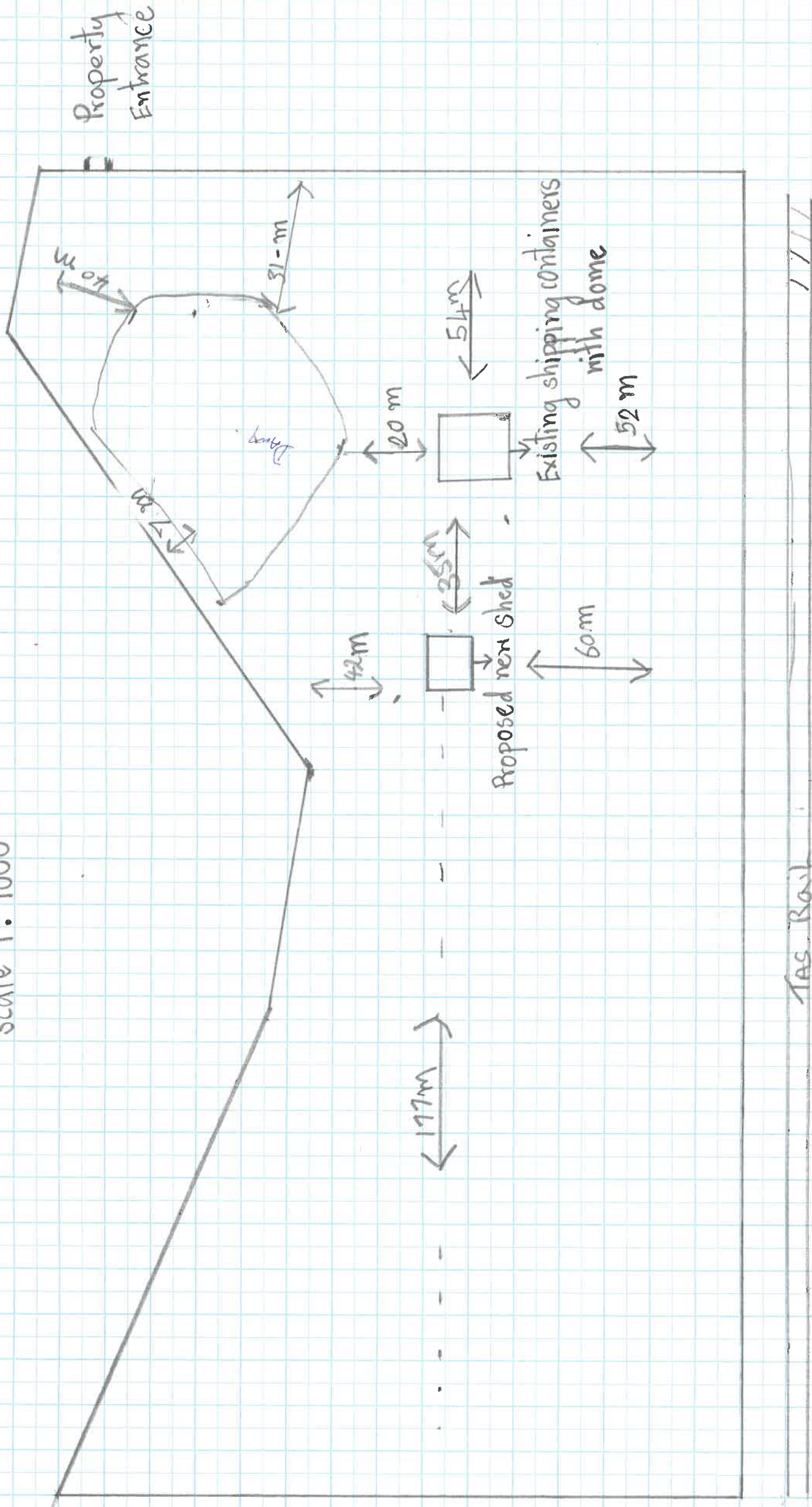
**Brighton**  
going places

FOIIO Reference FR. 162999/2j

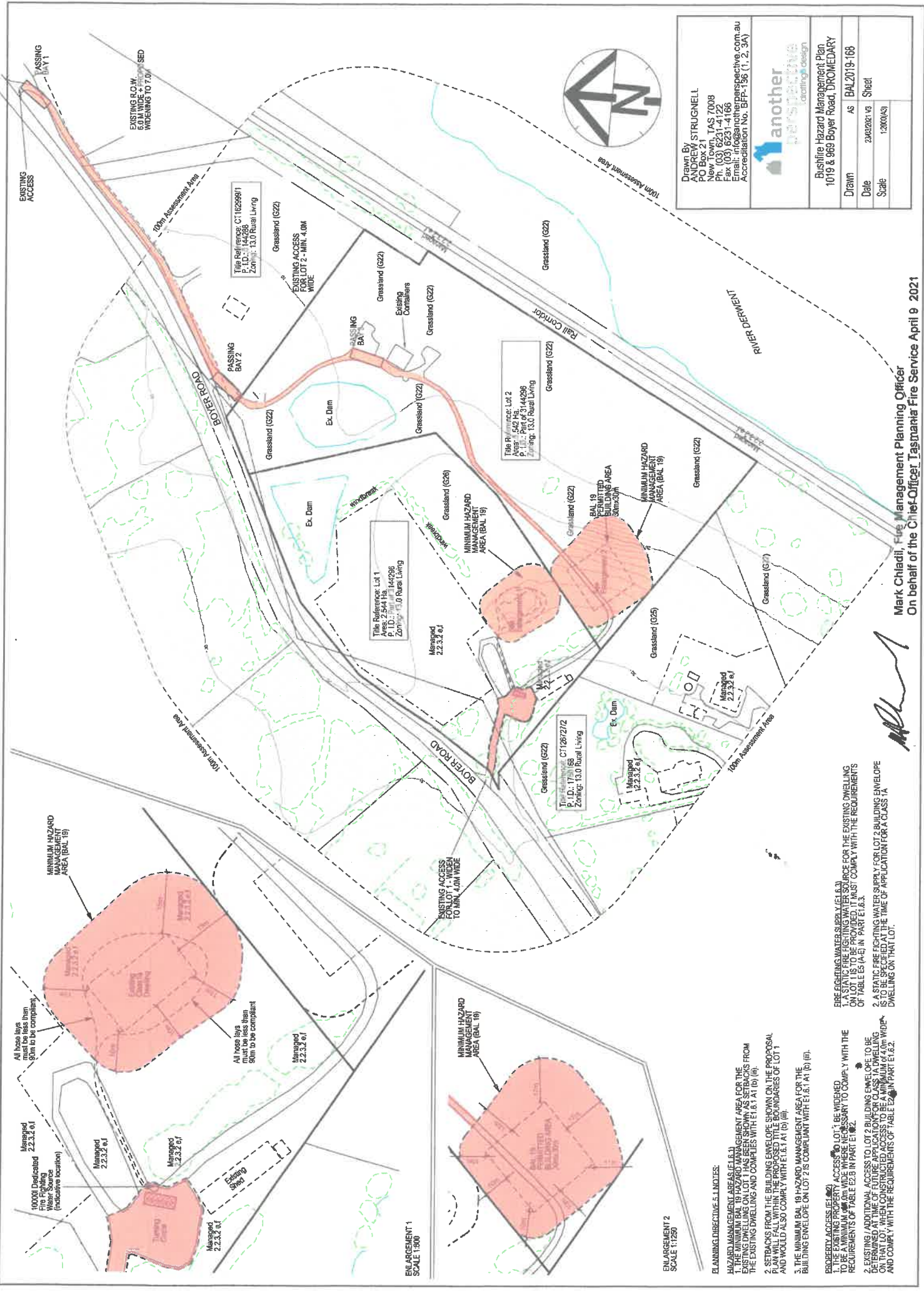
owner Brendan Geard

Existing shipping containers with covering  
 container dome 14.8m x 12m 177. m<sup>2</sup>  
 Proposed new shed 9.4 x 11m 103 m<sup>2</sup>

scale 1:1000







ENLARGEMENT 1  
SCALE 1:250

ENLARGEMENT 2  
SCALE 1:250

**ZONING DISCRETE E.1.1 NOTES:**

- HAZARD MANAGEMENT AREAS (E.1.6.1) 1. THE MINIMUM BAL 19 HAZARD MANAGEMENT AREA FOR THE EXISTING DWELLING ON LOT 1 HAS BEEN SHOWN AS SETBACKS FROM THE EXISTING DWELLING AND COMPLIES WITH E.1.6.1 (b). 2. SETBACKS FROM THE BUILDING ENVELOPE SHOWN ON THE PROPOSAL PLAN WILL FALL WITHIN THE PROPOSED TITLE BOUNDARIES OF LOT 1 AND WOULD ALSO COMPLY WITH E.1.6.1 (b). 3. THE MINIMUM BAL 19 HAZARD MANAGEMENT AREA FOR THE BUILDING ENVELOPE ON LOT 2 IS COMPLIANT WITH E.1.6.1 (b) (ii).

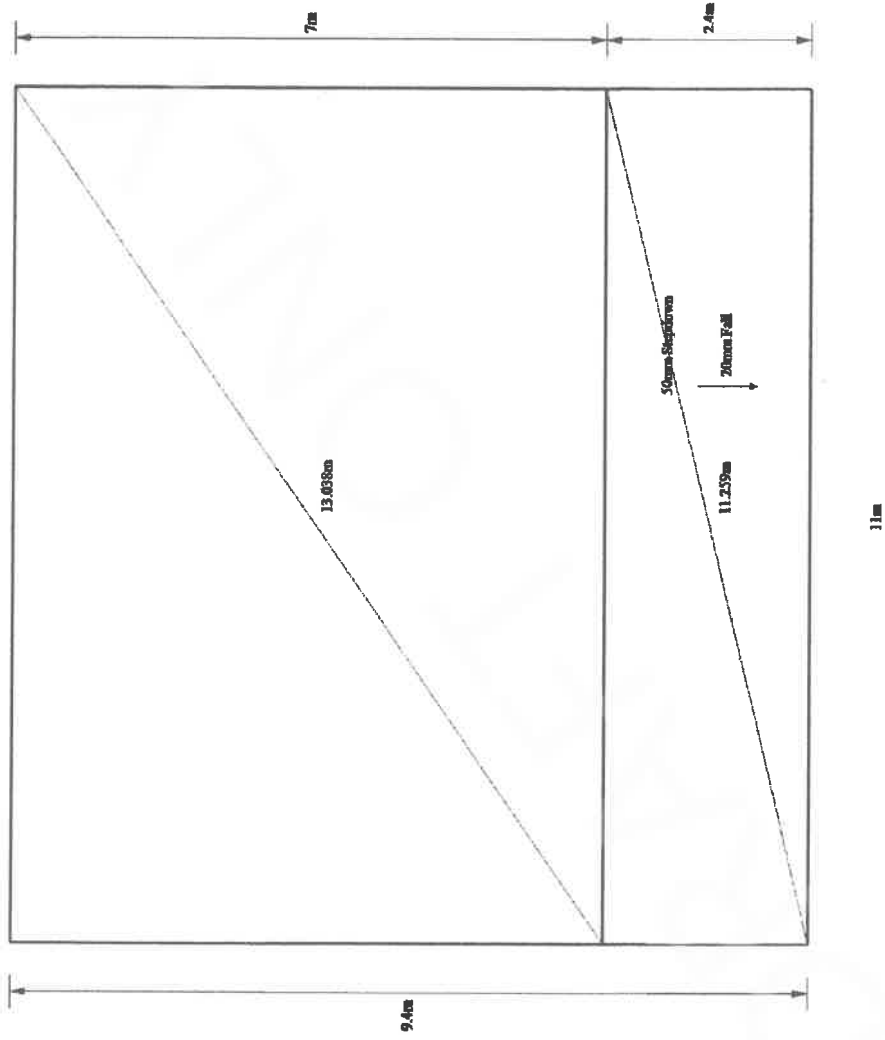
- PROPERTY ACCESS (E.2) 1. THE EXISTING PROPERTY ACCESS TO LOT 1 BE WIDENED TO BE A MINIMUM 4.0m WIDE WHERE NECESSARY TO COMPLY WITH THE REQUIREMENTS OF TABLE E.2.3 IN PART E.1.6.2. 2. EXISTING / ADDITIONAL ACCESS TO LOT 2 BUILDING ENVELOPE TO BE DETERMINED AT TIME OF FUTURE APPLICATION FOR CLASS 1A DWELLING ON THAT LOT. WHEN CONSTRUCTED ACCESS TO BE A MINIMUM 4.0m WIDE AND COMPLY WITH THE REQUIREMENTS OF TABLE E.2.3 IN PART E.1.6.2.

- EXISTING WATER SUPPLY (E.1.6.3)
- A STATIC FIRE FIGHTING WATER SOURCE FOR THE EXISTING DWELLING ON LOT 1 IS TO BE PROVIDED. IT MUST COMPLY WITH THE REQUIREMENTS OF TABLE E.5 (A-E) IN PART E.1.6.3.
  - A STATIC FIRE FIGHTING WATER SUPPLY FOR LOT 2 BUILDING ENVELOPE IS TO BE SPECIFIED AT THE TIME OF APPLICATION FOR A CLASS 1A DWELLING ON THAT LOT.

|   |                     |
|---|---------------------|
| Drawn By<br><b>ANDREW STRUGHNELL</b><br>PO Box 21 TAS 7008<br>New Norfolk<br>Ph: (03) 6231-4120<br>Fax: (03) 6231-4166<br>Email: info@anotherperspective.com.au<br>Accreditation No. BFP-136 (1, 2, 3A) |                     |
|   |                     |
| Bushfire Hazard Management Plan<br>1019 & 969 Boyer Road, DRUMEDARY   |                     |
| Drawn   | AS BAL2019-168      |
| Date  | 28/02/2021 V3 Sheet |
| Scale   | 1:2000(A3)          |

Mark Chladil, Fire Management Planning Officer  
 On behalf of the Chief-Officer Tasmania Fire Service April 9 2021

These dimensions are provided as a guide only. It is the responsibility of the contractor to confirm that all dimensions are correct.



Purchaser Name: Brendan Grant

Site Address: 1019 Boyer Road Dromedary TAS 7180 Australia

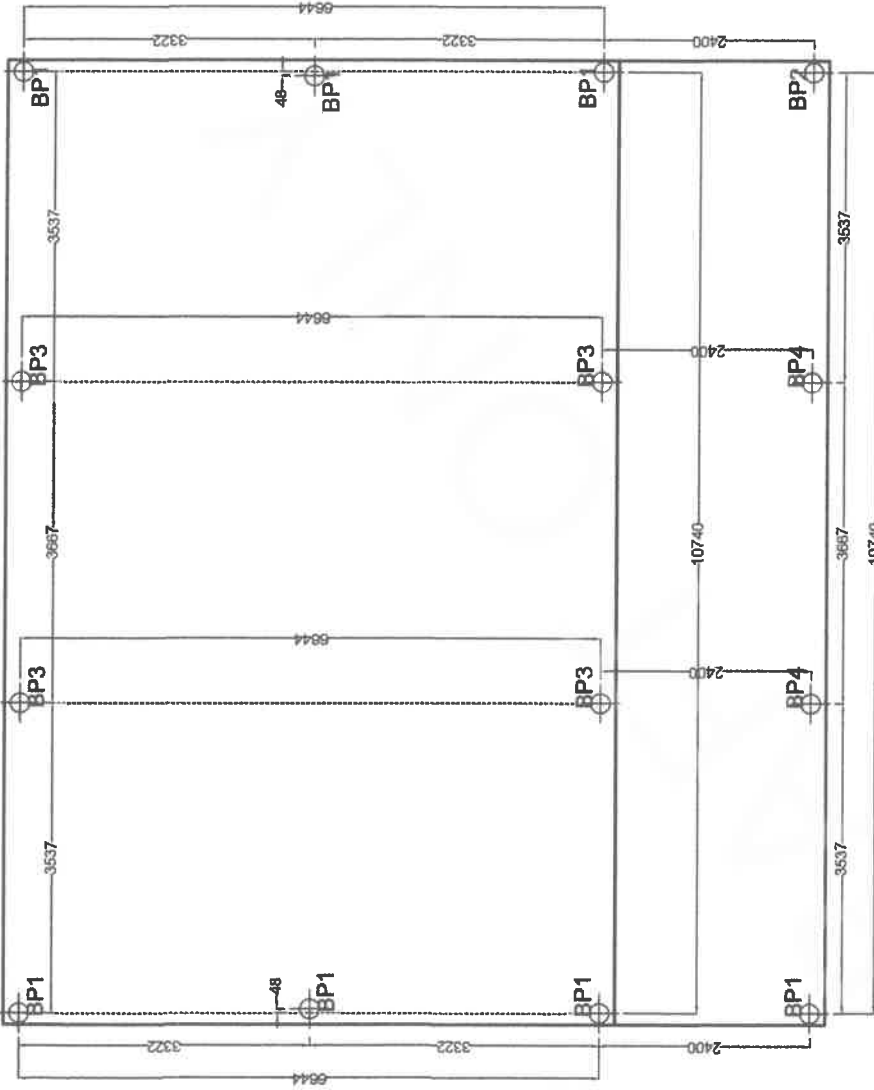
Drawing # 761333b-4ac2-429-851a-d8a646a12

Print Date: 14/02/24

**Slab Dimensions**  
Also refer to Concrete Piers Plan. NOT FOR CONSTRUCTION  
Not to Scale  
© Copyright Steep P Pty Ltd

Seller: Steep P Homes Hobart  
Name: Dillon Affie  
Phone: 0428 489 245  
Fax:  
Email: dillon.affie@steephomes.com.au

These dimensions are provided as a guide only. It is the responsibility of the concreter to confirm that all dimensions are correct.  
 Refer to Material Specifications Plan for BP dimensions.  
 Refer to Slab Plan for concrete stepdowns.



| Revision | Date | Initial |
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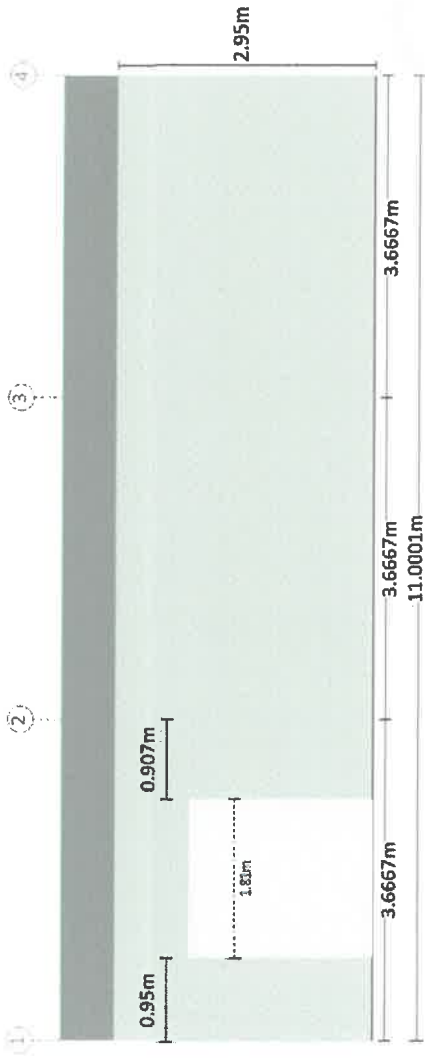
Purchaser Name: Brendan Beard  
 Site Address: 1018 Boyer Road Dromedary TAS 7030 Australia  
 Drawing # DRAFT  
 Print Date: 14/02/2024

**Concrete Piers**  
**PIER MEASUREMENT ONLY. NOT FOR CONSTRUCTION**  
**NOT TO SCALE**  
 Page 1 of 1  
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Seller: Sheila N Holmes Hobart  
 Name: Dillon Allie  
 Phone: 0428 499 245  
 Fax:  
 Email: dillon.allie@sheelaholmes.com.au

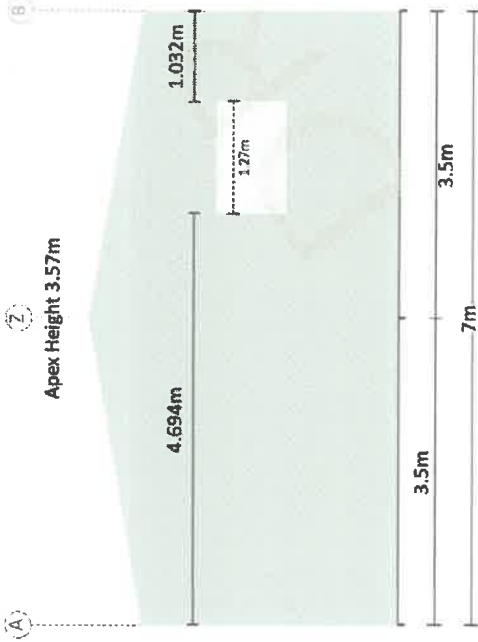
This section is provided as a guide only. It is the responsibility of the concrete/erector to confirm that all dimensions are correct.

### Right Side



Measurements are from the outside of end girts (end bays) and/or centre of columns (mid bays) to inside of component opening size.

### Left End



Measurements are from the outside of side girts to the inside of component opening size.

Purchaser Name: Brendan Geard

Site Address: 1019 Boyer Road Dromedary TAS 7030 Australia

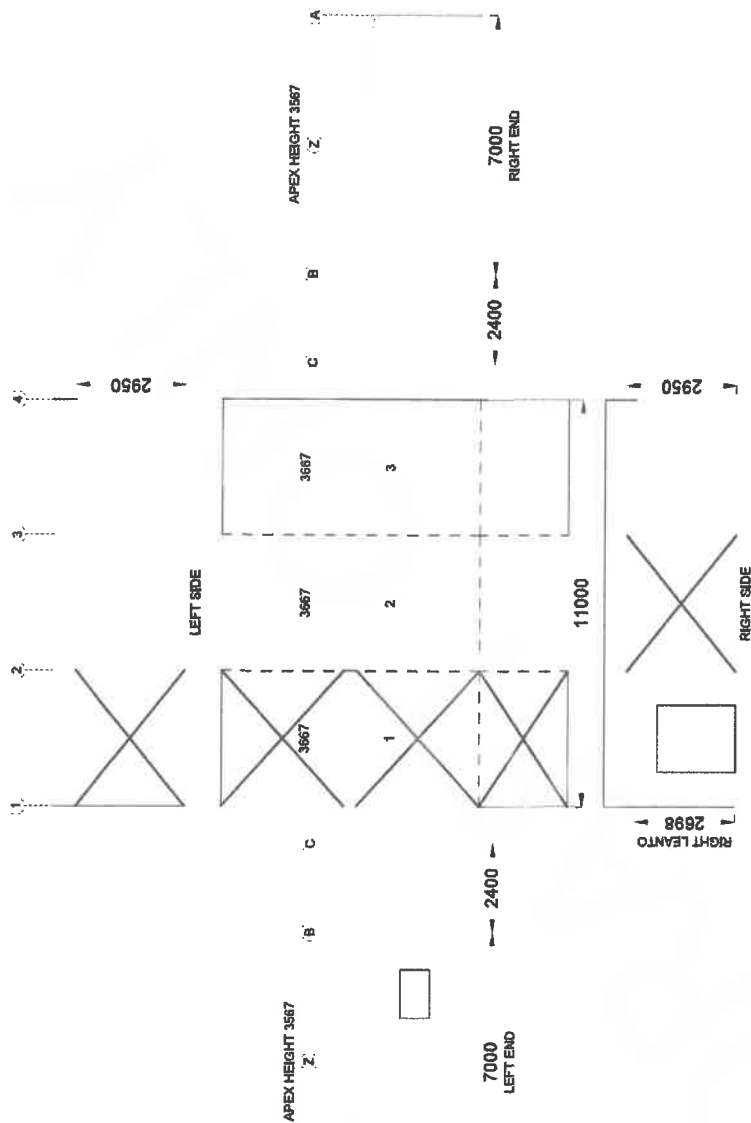
Drawing # 71a1333b-4ac2-4f2b-851a-df8a634612

Print Date: 14/02/24

**Component Position**  
**NOT FOR CONSTRUCTION**  
Not to Scale  
Page 1 of 1  
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Seller: Steads N Homes Hobart  
Name: Dillon Allen  
Phone: 0428 488 245  
Fax:  
Email: dillon.allen@steadshomes.com.au

Cross Bracing is achieved with 1.2mm Strap. Refer to Connection Details.



| Revision | Date | Initial |
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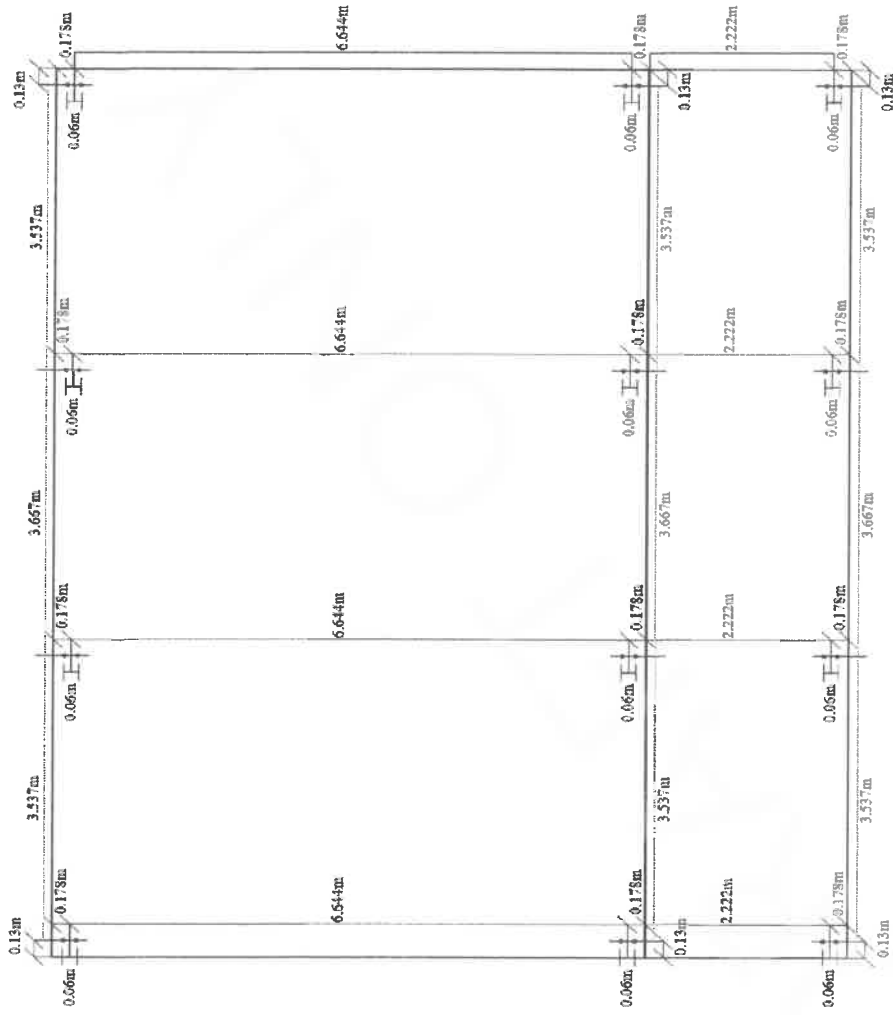
|  |
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| Purchaser Name: Brendan Geard                              |
| Site Address: 1019 Boyer Road Dromedary TAS 7030 Australia |
| Drawing # DRAFT  |
| Print Date: 14/02/2024                                     |

**Bracing**  
**NOT FOR CONSTRUCTION**  
**NOT TO SCALE**  
 Page 1 of 1  
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Seller: Sheds N Homes Hobart  
 Name: Dillon Allie  
 Phone: 0428 489 245  
 Fax:  
 Email: dillon.allie@sahedehomes.com.au



This setout is provided as a guide only. It is the responsibility of the concreter/erector to confirm that all dimensions are correct.



Purchaser Name: Brendan Geard

Site Address: 1019 Boyer Road Dromedary TAS 7030 Australia

Drawing # 7161333b-4ac2-42b-4851a-d8a834e12

Print Date: 14/02/24

**Bolt Setout**  
**NOT FOR CONSTRUCTION**  
 Not to Scale  
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Seller: Sheehy N Homes Hobart  
 Name: Dillon Ayle  
 Phone: 0428 485 245  
 Fax:  
 Email: dillon.ayle@sheehynhomes.com.au

### GENERAL NOTES

These documents show the general arrangement of the building and include some items not supplied (refer to the quotation for nomination of all items to be provided). All items not nominated therein shall be supplied and installed by others.

The plans provided here are the latest at the time of print. Earlier plans provided may have become outdated due to engineering changes and should not be used. The plans and drawings are extensive and give all the information needed for a competent person to erect the building. The building is not designed to stand up by itself when it is partially complete. Consequently, construction bracing is critical during erection.

The owner has been requested to check off the BOM after the building delivery. You should check that you are able to locate all materials nominated in the BOM. You should also confirm that the length and size (including thickness), nominated in the BOM is what has been provided. Any missing items are the responsibility of the client once correct delivery has been confirmed as per Terms and Conditions of Sale.

### DESIGN CRITERIA

These building plans have been prepared to comply with the standards nominated in the engineer's letter. All plans are not to Scale.

### ADDITIONAL DOCUMENTATION TO BE SUPPLIED BY PURCHASER/OWNER

The Purchaser/Owner is responsible for:

- \*Provision of Soils Report for the site and in the building area on which the building is to be erected
- \*Site Plan and Drainage Plans
- \*Any other plans not covered by these engineering plans requested by the local Council or the authority

### RAINWATER AND DRAINAGE

All Rainwater and drainage designs are the responsibility of the purchaser/owner. Residential gutters and downpipes where supplied are based on average rainfall for the state and may not be sufficient for your building size or usage. Please speak to your building designer or contractor to ensure gutters are fit for purpose.

### BUILDING CONSTRUCTION REQUIREMENTS

The Builder and Purchaser are to ensure that all construction is carried out in accordance with the Plans, the Construction Manual and the BOM of Materials (BOM).

It is the responsibility of the builder to ensure that they are familiar with the operational risks and their obligations in carrying out construction work.

The builder must ensure that they have an appropriate Health & Safety Plan (The Plan) compliant with and as required by their local, state and federal regulations. The Plan will need to take into account the site conditions, the size of the building and the experience of the construction personnel. The Plan will, most likely, differ for each project.

The builder must ensure that The Plan is adhered to. Particular attention should be paid to the requirements to ensure that any person working at heights are properly trained and following the requirements as set out by The Plan.

It is recommended that you check with the appropriate authority in your area as to your responsibilities.

### TEMPORARY SUPPORT, LIFTING AND SHORING

The design of temporary propping shoring, lifting and support during construction has not been undertaken and is not included in our engagement. This work is the responsibility of the Contractor undertaking the construction of the building.

### SLAB AND/OR PIER DETAILS - GENERAL

- \* The minimum size of Piers under the columns and End Wall Mullions are nominated on the Material Specifications Plan. When the slab and piers are poured as one pour, the depth of the pier is to the top of the slab.
- \* Pier Reinforcement: for any piers over 1100mm, deformed bar to within 100mm of base and minimum 75mm top cover. Minimum side cover 75mm, maximum 100mm. Rod to be caged horizontally at least twice and at a maximum of 300mm spacing. Tie with a minimum of 6mm diameter cage tie. Where pier diameter is less than 450mm diameter, use 4 N12. For diameters equal to and over 450mm, use 4 N16. \* Where columns or end wall mullions have been removed, piers are not required.
- \* End wall mullion spacing may move due to location of openings or doors. Check layout and component position plan, and relocate piers as required.
- \* The Slab Plan indicates those parts of the slab which are 50mm below main slab/piers.
- \* Footings and slabs, including internal and edge beams, must be founded on natural soil with a minimum allowable bearing pressure of 100kPa. Design covers soil classifications of A, S, M, H1 or H2 for a class 10 building.
- \* The footing designs have been calculated with adhesion values of 0kPa, 25kPa and 50kPa for clay soils and dense sand soils only.
- \* A site specific geotechnical investigation has not been performed. The builder will need to verify the soil type and conditions.
- \* Site conditions different to those specified require a modified design.
- \* Sub grade shall be excavated and compacted to a minimum of 100% standard dry density ratio and within 2% of the OMC to comply with AS2159.
- \* Designs are in accordance with AS 3600:2018
- \* All concrete to be in accordance with AS 3600:2018. Minimum 25 Mpa, with 80mm slump.
- \* Concrete should be cured for 7 days before commencing construction of the building.

### Concrete Slab

For Class A, S or M Sites

- \* Slab thickness to be a minimum of 100mm with SL 72 mesh and 40mm top cover.

For Class H1 or H2 Sites

- \* Slab thickness to be a minimum of 100mm with SL 82 mesh and 40mm top cover.
- \* Perimeter beams 550mm deep x 300mm wide with Y12 3 bar Trench Mesh to the perimeter of the building.
- \* Internal beams 550mm deep by 300mm wide with Y12 3 bar Trench Mesh at a max. spacing of 4m.

### SHEETED PORTALS AND MULLIONS

All end wall mullions provide critical support to portal frames and cannot be repositioned or removed under any circumstances without engineering approval.

### BRACING NOTES

- \* Refer to Connection Details.
- \* Knee bracing clearance from FFL is X = Main Building: 2.327m.
- \* All Cross Bracing is achieved with 1.2mm Strap G450.
- \* Cross bracing is to be fixed fast and secured with 14.20 x 22 frame screws at each end, quantity as per connection details.
- \* Fly bracing to be fixed to the purlins/girts on all mid portal rafters, columns and end wall mullions. Fly bracing is to be fitted to every second purlin/girt, or, on every one, where the spacing between fly braces would exceed the maximum specified below for the relevant column/rafter size:
  - \* C150 - maximum 1800mm spacing
  - \* C200, C250 - maximum 2200mm spacing
  - \* C300 - maximum 2800mm spacing
  - \* C350 - maximum 2800mm spacing
  - \* C400 - maximum 2800mm spacing

Initial measurement is from the haunch of the column/rafter, and from the rafter for any end wall mullions.

- \* Open bays to have fly bracing fitted to every available girt supporting the header sheets.
- \* Where windows/GSD are placed in any bay where cross bracing is shown, then

- a) this can be replaced by moving the bracing to another bay OR
  - b) due to the bracing provided by the window jambs, where space permits, bracing should be placed under and over the window.
- \* All bracing strap ends to be located as close as practical to structural member's (columns, rafters, mullions) centreline.

### BOLTS

- \* Unless otherwise nominated, all bolts are grade 4.6
- \* All tensioned bolts shall be tensioned using the part turn method (refer to AS4100). For the erector, full details are in the construction manual.

### OTHER MATERIALS NOTES

- \* All Sheeting, Flashing and framing screws are Cimaseal 4.
- \* All purlin material has Z350 zinc coating with minimum strength of 450MPa.

| Revision | Date | Initial | Purchaser Name: Brendan Geard  |
|----------|------|---------|--|
|          |      |         | Site Address: 1019 Boyer Road Dromedary TAS 7030 Australia   |
|          |      |         | Drawing # DRAFT  |
|          |      |         | Print Date: 14/02/2024   |
|          |      |         | Page 1 of 1  |
|          |      |         | ©Copyright Sheet P Pty Ltd   |
|          |      |         | General Notes<br>NOT FOR CONSTRUCTION  |
|          |      |         | Seller: Shadr N Homes Hobart<br>Name: Dillon Allie<br>Phone: 0428 499 245<br>Fax:<br>Email: dillon.allie@shadrhomes.com.au |

**P1.1**

***Buildings and works within a waterway and coastal protection area must avoid or minimise adverse impacts on natural assets, having regard to:***

*(a) impacts caused by erosion, siltation, sedimentation and runoff;*

***There is no impact .***

*(b) impacts on riparian or littoral vegetation;*

***There is no impact on vegetation***

*(c) maintaining natural streambank and streambed condition, where it exists;*

***No streambank exists***

*(d) impacts on in-stream natural habitat, such as fallen logs, bank overhangs, rocks and trailing vegetation;*

***N/A***

*(e) the need to avoid significantly impeding natural flow and drainage;*

***N/A***

*(f) the need to maintain fish passage, where known to exist;*

***N/A***

*(g) the need to avoid land filling of wetlands;*

***N/A***

*(h) the need to group new facilities with existing facilities, where reasonably practical;*

***N/A***

*(i) minimising cut and fill;*

**There was no cut or fill at all**

*(j) building design that responds to the particular size, shape, contours or slope of the land;*

*(k) minimising impacts on coastal processes, including sand movement and wave action;*

**N/A**

*(l) minimising the need for future works for the protection of natural assets, infrastructure and property;*

**N/A**

*(m) the environmental best practice guidelines in the Wetlands and Waterways Works Manual; and*

*(n) the guidelines in the Tasmanian Coastal Works Manual*

*Please find responses to the above criteria highlighted .*

In addition i would like to confirm the containers are not for residential use. Until such time that we construct a dwelling on the allocated building envelope for address 971 Boyer rd we will continue to reside at my father's residence 1019 Boyer rd ( though correspondence will be at 971 Boyer rd )

**As a further note in regards to the Waterway and coastal protection area .**

- I. There has been a dam built in that area, on the rare occasion that the dam does over flow, there is a constructed spillway that flows through four culverts that into a formed drain that allows the direction of water to a culvert drain under the Tas Rail Network subsequently out to the Derwent River marsh lands.
- II. For twenty odd years ,my parents previously owned the area in question , during that time the area was used as farming land growing Potatoes and high value crops such as seed cabbage and broccoli it now has a cherry orchard established right in the middle of the area identified as a waterway and protection area