



# Application for Planning Approval

## *Land Use Planning and Approvals Act 1993*

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APPLICATION NO.

**SA2023/025**

LOCATION OF AFFECTED AREA

**9 MUNDAY STREET, BRIGHTON**

DESCRIPTION OF DEVELOPMENT PROPOSAL

**SUBDIVISION (2 LOTS)**

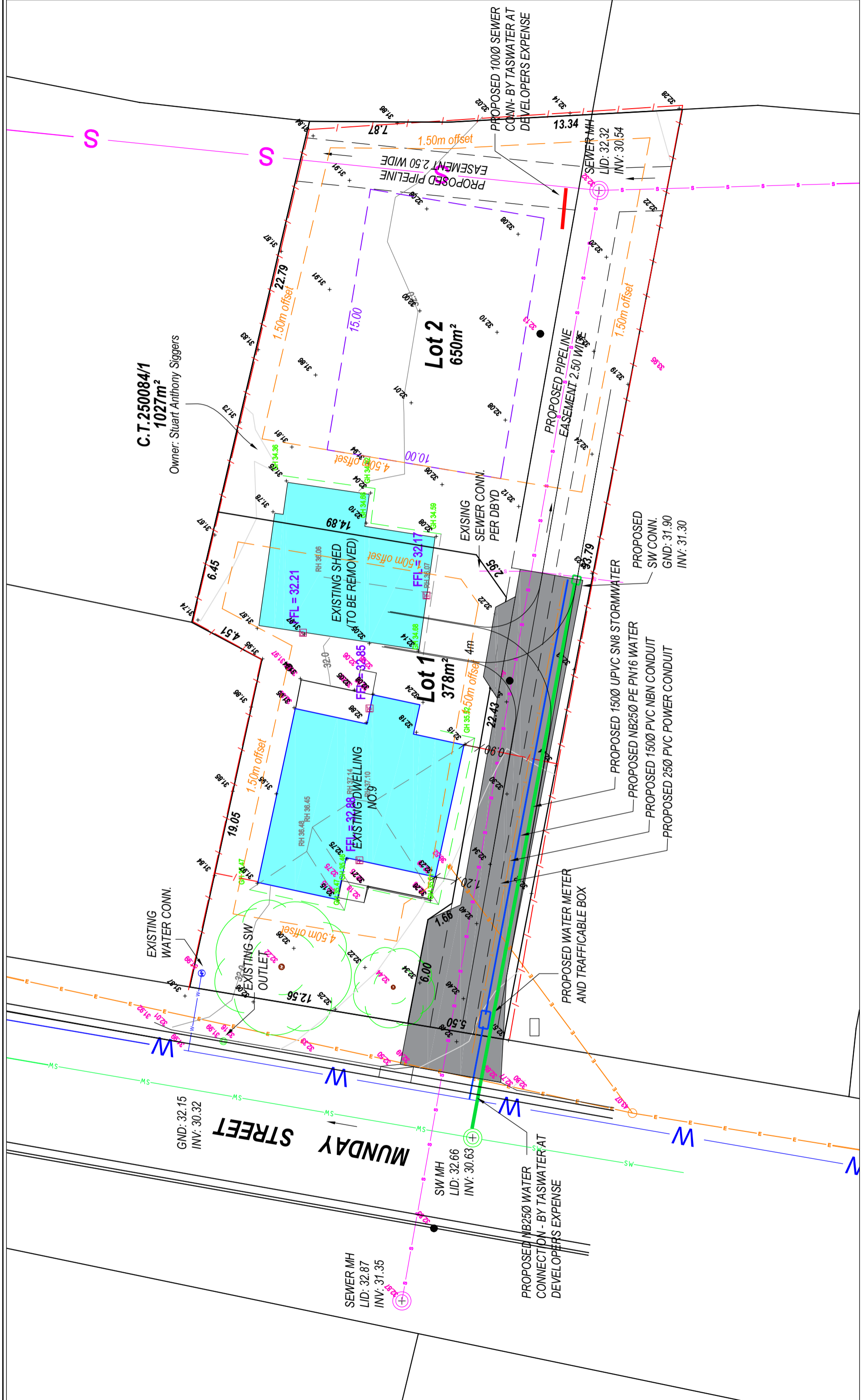
A COPY OF THE DEVELOPMENT APPLICATION MAY BE VIEWED AT [www.brighton.tas.gov.au](http://www.brighton.tas.gov.au) AND AT THE COUNCIL OFFICES, 1 TIVOLI ROAD, OLD BEACH, BETWEEN 8:15 A.M. AND 4:45 P.M., MONDAY TO FRIDAY OR VIA THE QR CODE BELOW. ANY PERSON MAY MAKE WRITTEN REPRESENTATIONS CONCERNING AN APPLICATION UNTIL 4:45 P.M. ON **04/03/2024**. ADDRESSED TO THE GENERAL MANAGER AT 1 TIVOLI ROAD, OLD BEACH, 7017 OR BY EMAIL AT [development@brighton.tas.gov.au](mailto:development@brighton.tas.gov.au).

REPRESENTATIONS SHOULD INCLUDE A DAYTIME TELEPHONE NUMBER TO ALLOW COUNCIL OFFICERS TO DISCUSS, IF NECESSARY, ANY MATTERS RAISED.

**JAMES DRYBURGH**  
**General Manager**



**Brighton**  
going places



**C.T.250084/1**  
**1027m<sup>2</sup>**  
 Owner: Stuart Anthony Siggers

**Lot 2**  
**650m<sup>2</sup>**

**Lot 1**  
**378m<sup>2</sup>**

**MUNDAY STREET**

EXISTING WATER CONN.  
 EXISTING SW OUTLET  
 EXISTING DWELLING NO. 9/37-10  
 EXISTING SHED TO BE REMOVED  
 EXISTING SEWER CONN. PER DBVD

SEWER MH  
 LID: 32.87  
 INV: 31.35

SW MH  
 LID: 32.66  
 INV: 30.63

PROPOSED NB250 WATER CONNECTION - BY TAsWATER AT DEVELOPERS EXPENSE

PROPOSED WATER METER AND TRAFFICABLE BOX

PROPOSED 1500 UPVC SN8 STORMWATER  
 PROPOSED NB250 PE PN16 WATER  
 PROPOSED 1500 PVC NBN CONDUIT  
 PROPOSED 250 PVC POWER CONDUIT

PROPOSED SW CONN.  
 GND: 31.90  
 INV: 31.30

PROPOSED 1000 SEWER CONN - BY TAsWATER AT DEVELOPERS EXPENSE  
 PROPOSED PIPELINE EASEMENT 2.50 WIDE  
 PROPOSED PIPELINE EASEMENT 2.50 WIDE

PROPOSED PIPELINE EASEMENT 2.50 WIDE

SEWER MH  
 LID: 32.32  
 INV: 30.54

EXISTING WATER CONN.  
 EXISTING SW OUTLET

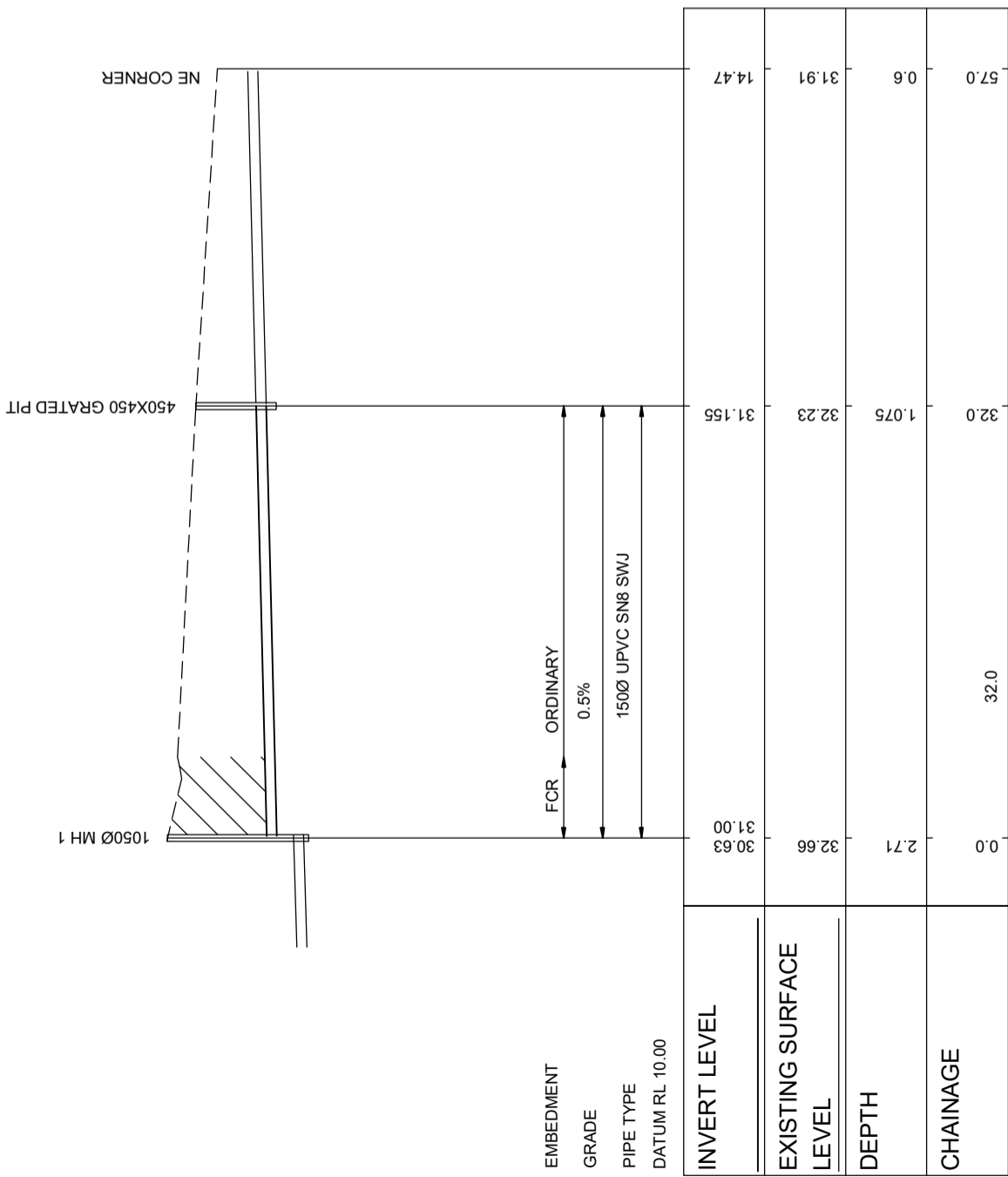
| Rev No | Revision note | Date  | Approved |
|--------|---------------|-------|----------|
| A      | FOR APPROVAL  | FEB24 | HJP      |

|             |   |
|-------------|---|
| Client      | STUART TUSIGGERS                              |
| Project     | 9 MUNDAY STREET, BRIGHTON - 1 LOT SUBDIVISION |
| Title       | GENERAL ARRANGEMENT                           |
| Scale       | 1:200 A3                                      |
| Designed By | H. POORTENAAAR                                |
| Date        | FEB24   |
| Drawing No. | A1  |
| Rev         | A   |

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| POORTENAAAR CONSULTING<br>ABN 40 672 032 737<br>PH 02694 708<br>hen@poortenaarconsulting.com |  |



**SEWER LONG SECTION**

SCALE 1:1000 HORIZONTAL A3.  
SCALE 1:200 VERTICAL A3.

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**POORTENNAAR CONSULTING**  
 ABN 40 672 032 737  
 PH 02694708  
 hen@poortenaarconsulting.com

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|-------------|---|
| Client      | STUART TUSIGGERS                              |
| Project     | 9 MUNDAY STREET, BRIGHTON - 1 LOT SUBDIVISION |
| Title       | STORMWATER LONGITUDINAL SECTION               |
| Scale       | 1:200 A3                                      |
| Designed By | H. POORTENNAAR                                |
| Date        | FEB24   |
| Drawing No. | A1  |
| Rev         | A   |

### GENERAL

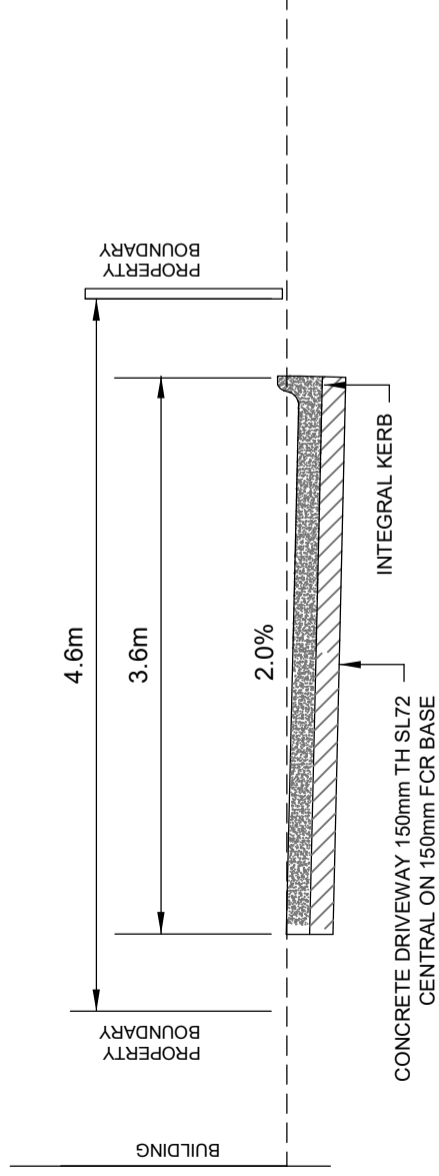
1. LOCATE ALL SERVICES PRIOR TO COMMENCEMENT.
2. ALL CONCRETE TO BE GRADE N25 UNLESS NOTED OTHERWISE

### ROADS

1. ALL ROAD WORKS TO BE IN ACCORDANCE WITH IPWEA TASMANIAN STANDARD DRAWINGS AND SPECIFICATIONS AND IPWEA TASMANIAN SUBDIVISION GUIDELINES. RELEVANT DRAWINGS INCLUDE:  
TSD-R09-V3 URBAN ROADS DRIVEWAYS
2. ALL ROAD AND STORMWATER WORKS ARE TO BE IN ACCORDANCE WITH DSG (FORMERLY DIER) SPECIFICATIONS:  
R23 SUBGRADE ZONE  
R32 DRAINAGE: CULVERTS, PIPELINES AND RELATED STRUCTURES  
R33 SUBSURFACE DRAINAGE  
R80 MISCELLANEOUS CONCRETE SLABS  
R81 MINOR CONCRETE STRUCTURES  
R92 UNDERGROUND SERVICE FACILITIES
3. WHERE THERE IS A CONFLICT BETWEEN STANDARD DRAWINGS AND SPECIFICATIONS AND THE DESIGN DRAWINGS REFER TO THE ENGINEER.
4. THE CONTRACTOR SHALL ARRANGE FOR A TRAFFIC MANAGEMENT PLAN (PREPARED BY A SUITABLY QUALIFIED PERSON) IN ACCORDANCE WITH A51742.3 (2019) AND AUSTRROADS GUIDE TO TEMPORARY TRAFFIC MANAGEMENT. THE TMP SHALL BE SUBMITTED TO COUNCIL FOR REVIEW PRIOR TO COMMENCING WORKS.

### STORMWATER

1. ALL STORMWATER TO BE IN ACCORDANCE WITH IPWEA TASMANIAN STANDARD DRAWINGS AND SPECIFICATIONS. RELEVANT DRAWINGS INCLUDE:  
TSD-SW02-V3 - STORMWATER - MANHOLES - GENERAL ARRANGEMENTS  
TSD-SW03-V3 - STORMWATER - MANHOLES - BENCHING DETAILS  
TSD-SW25-V3 - STORMWATER PROPERTY CONNECTIONS TO MAINS
3. ALL BRANCHES ARE TO BE CAPPED.
4. FCR BACKFILL UNDER ROADS AND DRIVEWAYS IS TO BE PLACED AND COMPACTED IN 150MM LAYERS.
5. ALL STORMWATER LOT CONNECTIONS TO BE 150MM.
6. 2X65DN WEEPHOLES TO BE PLACED IN ALL MANHOLES AND SEPS WHERE NO SUBSOIL DRAIN CONNECTIONS.
7. LOT CONNECTIONS ARE TO BE RAISED TO THE SURFACE AND CAPPED WITH AN IO RISER, BOX PAINTED TO COUNCIL REQUIREMENTS, AND STAKED.



### WATER

1. ALL WATER WORKS ARE TO BE IN ACCORDANCE WITH WSA 03-2011-3.1 MRWA ED V2.0 AND TASWATER'S SUPPLEMENT.
2. PROPERTY CONNECTIONS ARE TO BE IN ACCORDANCE WITH TW-SD-W-0002 SHEET 5&6 WITH METER WITH INTEGRAL DUAL CHECK VALVE, GATE VALVE AND PVC BOX AS SPECIFIED BY TASWATER
3. DETECTOR TAPE IS TO BE INSTALLED OVER ALL NON-METALLIC WATER MAINS
4. ALL WATER WORKS MUST BE TESTED AND INSPECTED BY TASWATER PRIOR TO BACKFILL

### SEWERAGE

1. ALL SEWERAGE WORKS ARE TO BE IN ACCORDANCE WITH WSA 02-2014-3.1 MRWA V2 (THE CODE) AND TASWATER'S SUPPLEMENT.
2. ALL MAINTENANCE STRUCTURES ARE TO BE IN ACCORDANCE WITH SECTIONS 4.13 AND 7.6 OF THE CODE.
3. PROVIDE 150mm INSPECTION SHAFTS IN ACCORDANCE WITH SECTION 7.8 OF THE CODE.
4. LOT CONNECTIONS MUST BE IN ACCORDANCE WITH SECTION 6 OF THE CODE AND TASWATER'S SUPPLEMENT. I.O'S MUST BE RAISED TO SURFACE AND PROTECTED WITH A POLY COVER TO TASWATER APPROVAL.
5. ALL SEWER MAINS PIPES MUST BE DN150UPVC SN8 SOLVENT WELD JOINT UNO.
6. EMBEDMENT TO BE AS PER MRWA-S-202 - TYPE B FOR SEWERS OVER 10%, 20mm CEMENT TREATED CLASS 3 FCR TO WSA PRODUCT SPEC WSA PS 352. PLANT MIXED WITH 3% CEMENT
7. ALL SEWER WORKS MUST BE TESTED AND INSPECTED BY TASWATER PRIOR TO BACKFILL.

### SCHEDULE OF WORKS BY TASWATER

1. ALL LIVE CONNECTIONS WATER AND SEWER INFRASTRUCTURE ARE TO BE PERFORMED BY TASWATER AT THE DEVELOPERS COST.

### SOIL AND WATER MANAGEMENT

1. THE CONTRACTOR IS TO PREPARE A SOIL AND WATER MANAGEMENT PLAN FOR COUNCILS APPROVAL PRIOR TO WORKS COMMENCING.
2. SOIL AND WATER MANAGEMENT IS TO COMPLY WITH DERWENT ESTUARY PROGRAM GUIDELINE

| Rev No | Revision note | Date  | Approved |
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|-------------|---|
| Client      | STUART TUSIGGERS                              |
| Project     | 9 MUNDAY STREET, BRIGHTON - 1 LOT SUBDIVISION |
| Title       | NOTES AND DRIVEWAY SECTION                    |
| Scale       | NTS   |
| Designed By | H.POORTENHAAR                                 |
| Date        | FEB24   |
| Drawing No. | A1  |
| Rev         | A   |

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| <br><b>POORTENHAAR CONSULTING</b><br>ABN 40 672 032 737<br>PH 02694 708<br>hen@poortenaarconsulting.com |
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13 February 2024

Brighton Council

By email: [development@brighton.tas.gov.au](mailto:development@brighton.tas.gov.au)

Dear Sir/madam,

**9 MUNDAY STREET, BRIGHTON - PROPOSED SUBDIVISION SA 2023/00025  
RFI DATED 5 SEPTEMBER**

I refer to your RFI dated 5 September.

- The stormwater has been designed down the driveway to the existing pit in the road.
- Lot 1 will have a right of way over the access to lot 2 to access its rear.

Regarding the Tasrail comments:

- Tasrail were concerned about the 1.5m offset shown from their boundary. The actual closest a build could be to the boundary is 4m due to the pipeline easement.
- Tasrail were concerned at the sewer easement close to the boundary. The sewer is already there. The excavation for the connection is 4m from the boundary.
- The requirement for a 1.8m high fence it noted. It is believed it is already 1.8m high.

Yours Faithfully



**Hein Poortenaar**  
**Poortenaar Consulting Pty Ltd**

Attachments

Drawing