



Application for Planning Approval

Land Use Planning and Approvals Act 1993

APPLICATION NO.

DA2023/222

LOCATION OF AFFECTED AREA

2 WEILY PLACE, BRIDGEWATER

DESCRIPTION OF DEVELOPMENT PROPOSAL

MULTIPLE DWELLINGS (1 EXISTING, 1 ADDITIONAL UNIT)

A COPY OF THE DEVELOPMENT APPLICATION MAY BE VIEWED AT www.brighton.tas.gov.au AND AT THE COUNCIL OFFICES, 1 TIVOLI ROAD, OLD BEACH, BETWEEN 8:15 A.M. AND 4:45 P.M., MONDAY TO FRIDAY OR VIA THE QR CODE BELOW. ANY PERSON MAY MAKE WRITTEN REPRESENTATIONS CONCERNING AN APPLICATION UNTIL 4:45 P.M. ON **24/01/2024**. ADDRESSED TO THE GENERAL MANAGER AT 1 TIVOLI ROAD, OLD BEACH, 7017 OR BY EMAIL AT development@brighton.tas.gov.au.

REPRESENTATIONS SHOULD INCLUDE A DAYTIME TELEPHONE NUMBER TO ALLOW COUNCIL OFFICERS TO DISCUSS, IF NECESSARY, ANY MATTERS RAISED.

JAMES DRYBURGH
General Manager

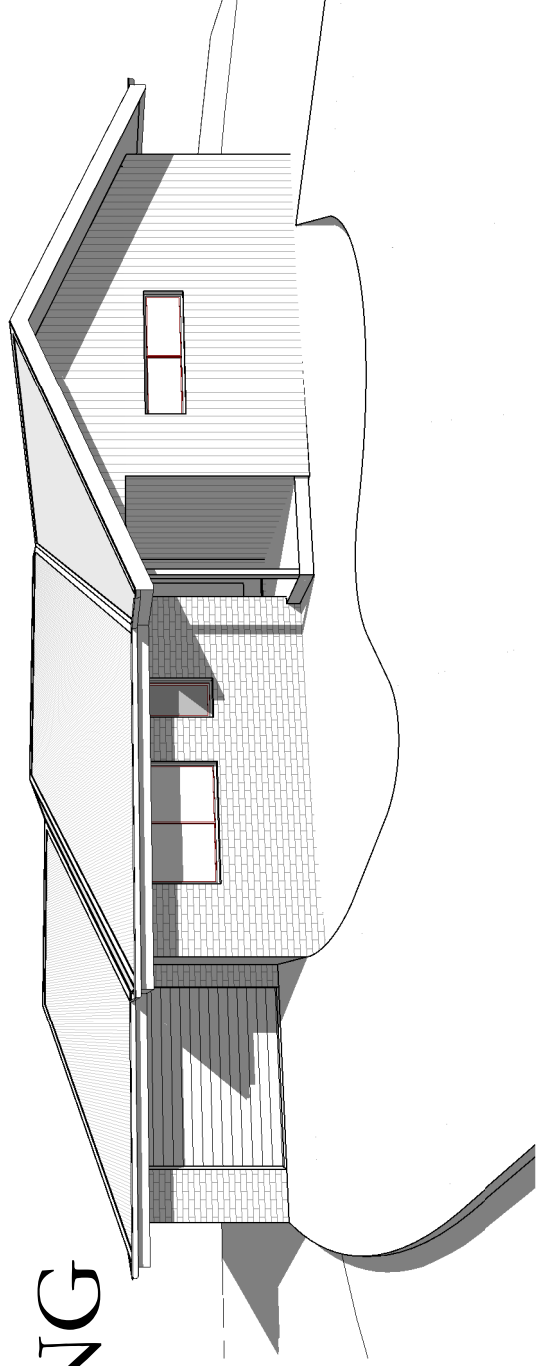


Brighton
going places

PROPOSED UNIT 2 WEILLY PLACE, BRIDGEWATER CENTACARE EVOLVE HOUSING PD23405

BUILDING DRAWINGS

No	DRAWING
01	SITE DEMOLITION PLAN
02	SITE PLAN
03	SITE DRAINAGE PLAN
04	SITE LANDSCAPING PLAN
05	SOIL & WATER MANAGEMENT PLAN
06	TURNING CIRCLE PLAN
07	DRIVEWAY PLAN
08	LOCALITY PLAN
09	BULK EXCAVATION PLAN
10	FLOOR PLAN
11	LHA PLAN
12	DOOR AND WINDOW SCHEDULES
13	ELEVATIONS
14	ELEVATIONS
15	ROOF PLAN
16	SHADOW DIAGRAMS
17	PERSPECTIVES
E01	EXISTING DWELLING FLOOR PLAN



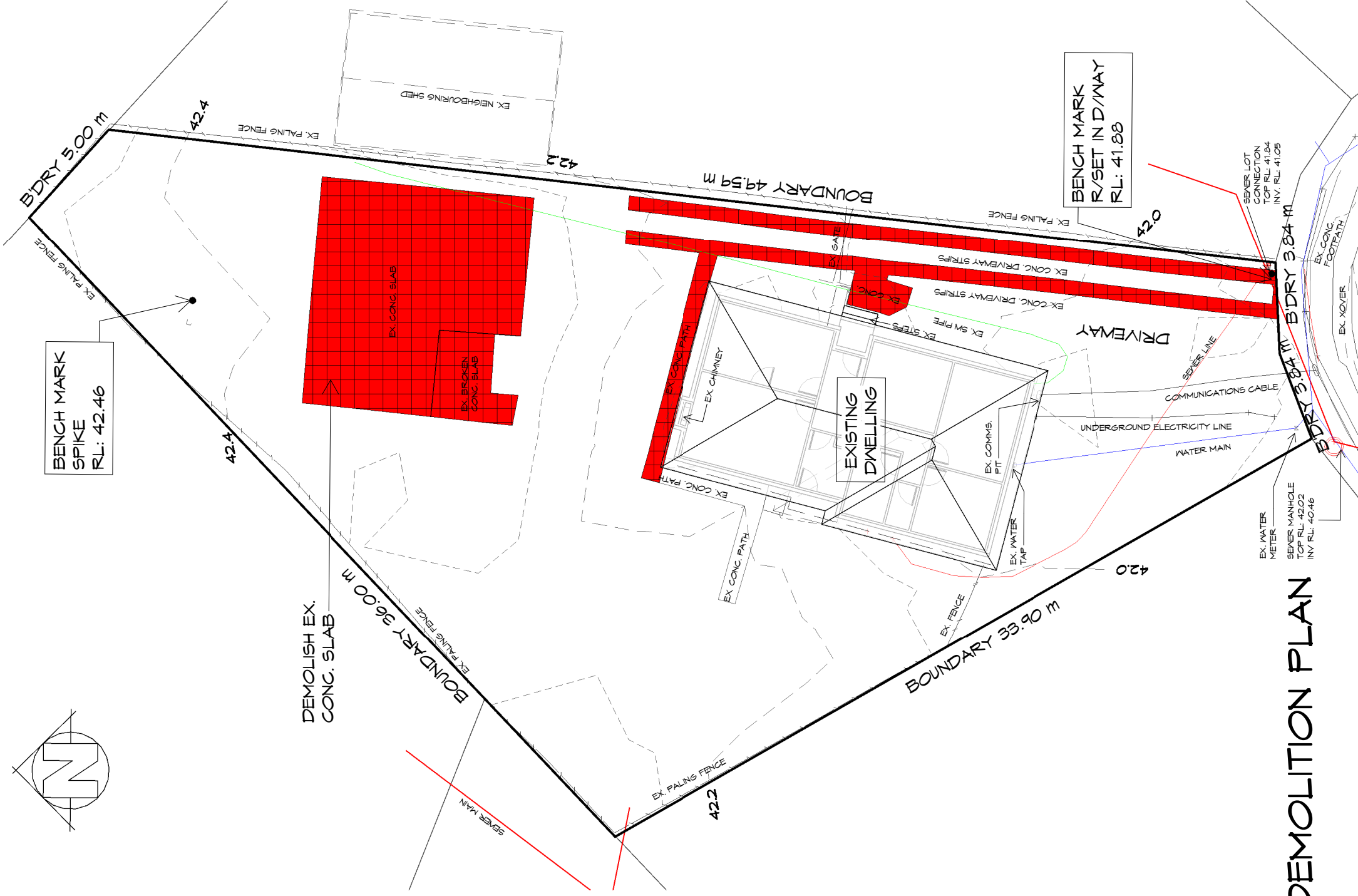
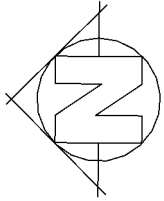
PLANNING



10 Goodman Court , Invermay Launceston 7248
p(0) +03 6332 3790
Shop 9, 105-111 Main Road, Moonah Hobart 7009
p(6) +03 6228 4575
info@primedesigntas.com.au primedesigntas.com.au
Accredited Building Practitioner: Frank Gekus -No CC246A

GARAGE AREA	25.82 m ²	(	2.78	SQUARES)
FLOOR AREA	99.56 m ²	(	10.72	SQUARES)
PORCH AREA	3.16 m ²	(	0.34	SQUARES)
TOTAL AREA	128.54 m ²		13.84	

DECEMBER 2023



DEMOLITION NOTE:

- IT IS THE BUILDERS RESPONSIBILITY THAT ALL WORKS TO BE DONE IN A SAFE MANNER.
- BUILDER TO PROP WHERE REQUIRED. IF UNSURE CONTACT ENGINEER OR DESIGNER.
- CAP ALL PLUMBING.
- ALL ELECTRICAL TO BE DISCONNECTED AT MAINS BOARD/STREET 1 OF FEED INTO SITE.
- BUILDERS RESPONSIBILITY TO KEEP SITE CLEAN TO ENSURE NO CONTAMINATES GO INTO STORM WATER/SEWER WATER LINES.
- BUILDER TO HAVE SITE INSPECTED/TESTED FOR ASBESTOS PRIOR TO ANY WORKS

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS



10 Goodman Court, Invermay Tasmania 7248,
p(0) + 03 6332 3790
Shop 9, 105-111 Main Road, Moonah Hobart 7009
p(h) + 03 6228 4575
info@primedesigntas.com.au primedesigntas.com.au

Project:

PROPOSED UNIT
2 WEILY PLACE,
BRIDGEWATER

Client name:

CENTACARE EVOLVE HOUSING

Drawing:

SITE DEMOLITION PLAN

Drafted by:

Author

Approved by:

Approver

Date:

20-12-2023

Scale:

1 : 200

Project/Drawing no:

PD23405 -01

Revision:

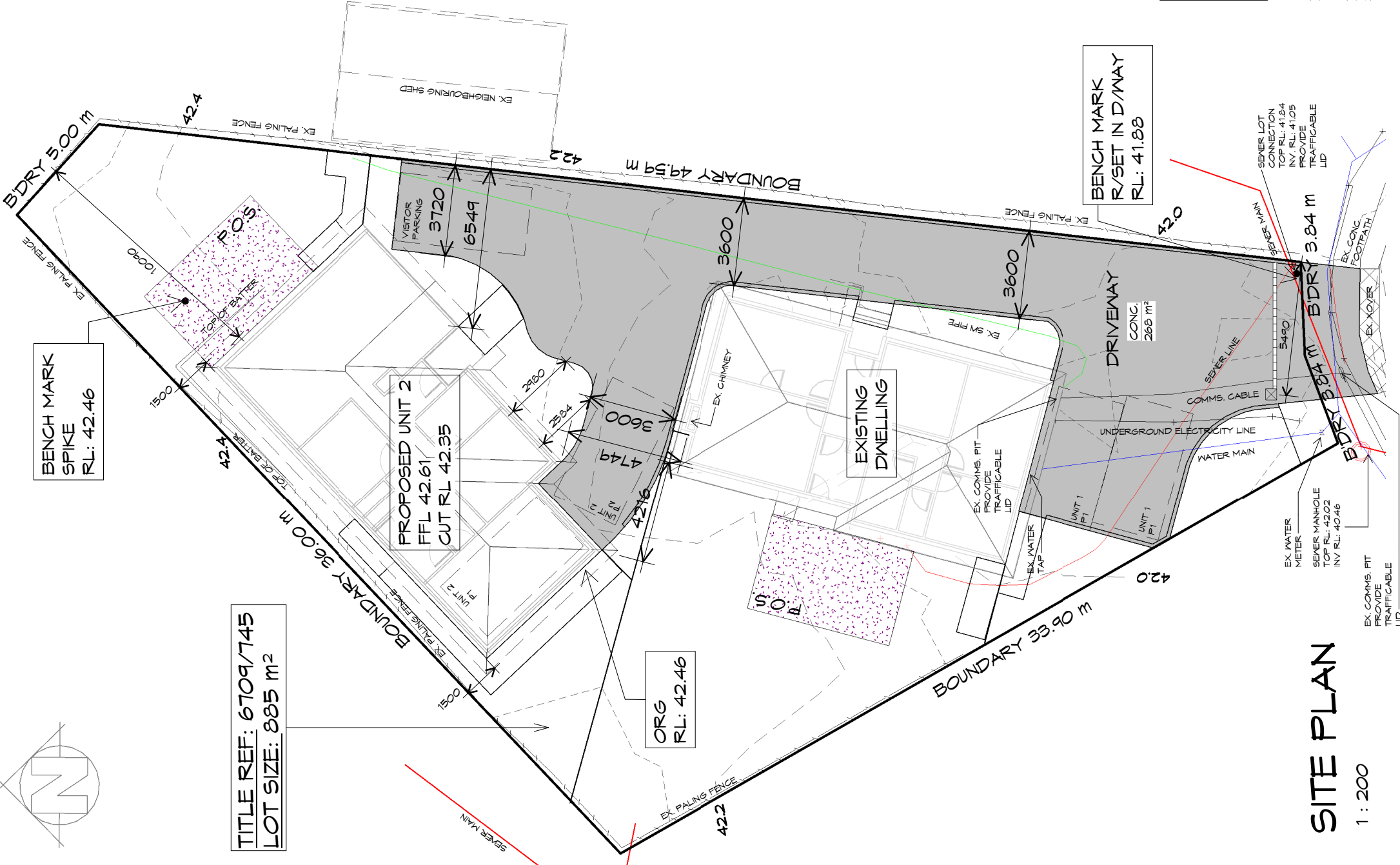
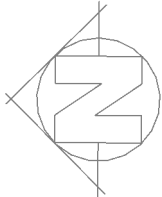
04

Accredited building practitioner: Frank Geskus -No CC246A



SITE DEMOLITION PLAN

1 : 200



TITLE REF: 6709/745
LOT SIZE: 885 m²

ORG
RL: 42.46

PROPOSED UNIT 2
FFL 42.61
CUT RL 42.35

BENCH MARK
SPIKE
RL: 42.46

BENCH MARK
R/SET IN D/WAY
RL: 41.88

SITE PLAN

1 : 200

GENERAL NOTES

- CHECK & VERIFY ALL DIMENSIONS & LEVELS ON SITE
- WRITTEN DIMENSIONS TO TAKE PREFERENCE OVER SCALED
- ALL WORK TO BE STRICTLY IN ACCORDANCE WITH NCC 2022, ALL S.A.A., CODES & LOCAL AUTHORITY BY-LAWS
- ALL DIMENSIONS INDICATED ARE FRAME TO FRAME AND DO NOT ALLOW FOR WALL LININGS
- CONFIRM ALL FLOOR AREAS
- ALL PLUMBING WORKS TO BE STRICTLY IN ACCORDANCE WITH A.S. 3500, NCC 2022 & APPROVED BY COUNCIL INSPECTOR
- BUILDER/PLUMBER TO ENSURE ADEQUATE FALL TO SITE CONNECTION POINTS IN ACCORDANCE WITH A.S. 3500 FOR STORMWATER AND SEWER BEFORE CONSTRUCTION COMMENCES
- THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE ENGINEER'S STRUCTURAL DRAWINGS
- ALL WINDOWS AND GLAZING TO COMPLY WITH A.S. 1288 & A.S. 2047
- ALL SET OUT OF BUILDINGS & STRUCTURES TO BE CARRIED OUT BY A REGISTERED LAND SURVEYOR AND CHECKED PRIOR TO CONSTRUCTION
- IF CONSTRUCTION OF THE DESIGN IN THIS SET OF DRAWINGS DIFFER FROM THE DESIGN AND DETAIL IN THESE AND ANY ASSOCIATED DOCUMENTS BUILDER AND OWNER ARE TO NOTIFY DESIGNER
- BUILDER'S RESPONSIBILITY TO COMPLY WITH ALL PLANNING CONDITIONS
- BUILDER TO HAVE STAMPED BUILDING APPROVAL DRAWINGS AND PERMITS PRIOR TO COMMENCEMENT OF CONSTRUCTION
- CONSTRUCTION TO COMPLY WITH AS 3959, READ IN CONJUNCTION WITH BUSHFIRE ATTACK LEVEL (BAL) ASSESSMENT REPORT.

SURVEYOR'S NOTES:

- THIS PLAN HAS BEEN PREPARED BY SURVEY PLUS FROM A COMBINATION OF EXISTING RECORDS AND FIELD SURVEY FOR THE PURPOSES OF SHOWING THE PHYSICAL FEATURES OF THE LAND AND SHOULD NOT BE USED FOR ANY OTHER PURPOSE.
- TITLE BOUNDARIES SHOWN WERE NOT VERIFIED OR MARKED BY SURVEY PLUS AT THE TIME OF THIS SURVEY. SERVICES SHOWN ON THIS PLAN WERE LOCATED WHERE POSSIBLE BY FIELD SURVEY. THEY ARE NOT A COMPLETE PICTURE OF SERVICES ON SITE. ALL SERVICE LOCATIONS ARE TO BE VERIFIED BEFORE COMMENCEMENT OF ANY WORK ON SITE, IN PARTICULAR THOSE SERVICES NOT PREVIOUSLY LOCATED THROUGH FIELD SURVEY.
- SURVEY PLUS CAN NOT ACCEPT LIABILITY WHATSOEVER FOR LOSS OR DAMAGE CAUSED TO ANY UNDERGROUND SERVICE WHETHER SHOWN BY OUR SURVEY OR NOT.
- THIS NOTE IS AN INTEGRAL PART OF THIS PLAN/DATA. REPRODUCTION OF THIS PLAN OR ANY PART OF IT WITHOUT THIS NOTE BEING INCLUDED IN FULL WILL RENDER THE INFORMATION SHOWN ON SUCH A REPRODUCTION INVALID AND NOT SUITABLE FOR USE WITHOUT PRIOR AUTHORITY OF SURVEY PLUS.
- HORIZONTAL DATUM IS MGA (GDA94).
- VERTICAL DATUM IS AHD.
- CONTOUR INTERVAL IS 0.1 METRES, INDEX IS 0.2 METRES. SURVEY BY ROBOTIC TOTAL STATION AND GPS.
- DUE TO THE AGE OF TITLE SURVEY IF ANY CONSTRUCTION WORKS ARE TO BE UNDERTAKEN ON OR NEAR THE TITLE BOUNDARY OR PRESCRIBED SETBACKS A RE-MARK SURVEY WILL BE REQUIRED.
- IMPORTED DATA SHOWN ON THIS PLAN WAS OBTAINED FOR PUBLIC AVAILABLE DATA FROM VARIOUS GOVERNMENT AUTHORITIES. THIS INFORMATION IS PROVIDED FOR GUIDANCE ONLY. THE ACCURACY OF ANY IMPORTED DATA IS PER THE ACCURACY QUOTED BY THE SOURCE AND IS IN NO WAY GUARANTEED BY SURVEY PLUS. USERS MUST NOT RELY ON THIS DATA FOR ON-GROUND LOCATION OF BOUNDARIES AND/OR SERVICES.
- LIST DATA IMPORT
 - TasWater-SewerLateralLine
 - TasWater-SewerMain
 - TasWater-SewerMaintenanceHole
 - TasWater-SewerPressurisedMain
 - TasWater-WaterHydrant
 - TasWater-WaterLateralLine
 - TasWater-WaterMain
 - CadastralParcel-OwnerInformation
 - LOCAL COUNCIL IMPORT
 - LocalAuthority-StormwaterMain
- BOUNDARIES ARE COMPILED ONLY FROM SP6709 AND RELEVANT SURVEY INFORMATION OBTAINED FROM LAND TITLES OFFICE AND ARE APPROXIMATE AND SUBJECT TO SURVEY.
- 3D DATA TURNED OFF IN LAYER CONTROL.
 - 3D TIN
 - MAJOR CONTOUR 3D
 - MINOR CONTOUR 3D

Project:

PROPOSED UNIT
2 WEILY PLACE,
BRIDGEWATER

Drawing:

SITE PLAN

Client name:

CENTACARE EVOLVE HOUSING

Date:

20-12-2023

Scale:

1 : 200

Drafted by:

Author

Approved by:

Approver

Project/Drawing no:

PD23405 -02

Revision:

04

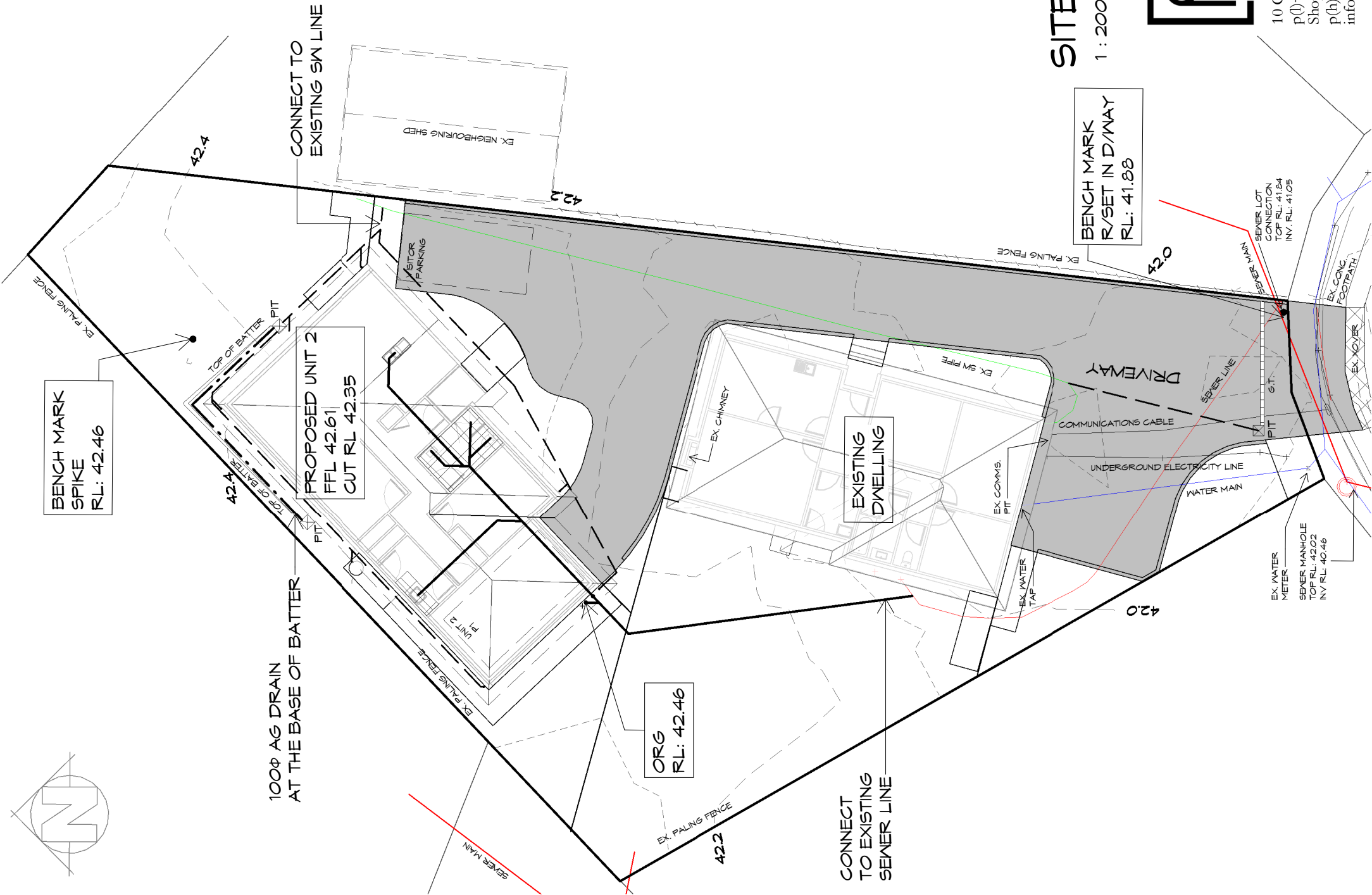
10 Goodman Court, Invermay Tasmania 7248,
p(0)+ 03 6332 3790
Shop 9, 105-111 Main Road, Moonah Hobart 7009
p(h)+ 03 6228 4575
info@primedesigntas.com.au primedesigntas.com.au



Accredited building practitioner: Frank Gekus -No CC246A

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS



	PIT
	WET AREAS
	SEWER LINE
	STORMWATER LINE
	100φ AG DRAIN

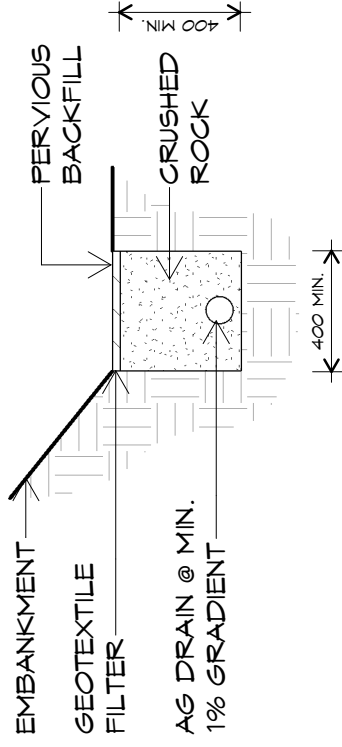
PITS: ALL GRATED PITS SIZED AND INSTALLED PER AS/NZS 3500.2021 PART 3

ORGS: OVERFLOW RELIEF GULLYS TO BE BRANCHED SEPERATE AND NOT PASS THROUGH. REFER AS/NZS 3500.2021 PART 2

S/W: STORMWATER PIPES TO BE SIZED PER ASNZS 3500.2021 PART 3

VENTS: DRAINAGE VENTS TO BE LOCATED BEFORE LAST FITTING AT THE END OF THE LINE PER AS/NZS 3500.2021 PART 2

- ALL WORKS IN ACCORDANCE WITH WATER SUPPLY CODE OF AUSTRALIA AND TASNATER SUPPLEMENTS
- WORKS TO BE DONE BY TASNATER AT DEVELOPERS COST



1:200

5.
T.
Z.

Drawing:
SITE DRAINAGE PLAN

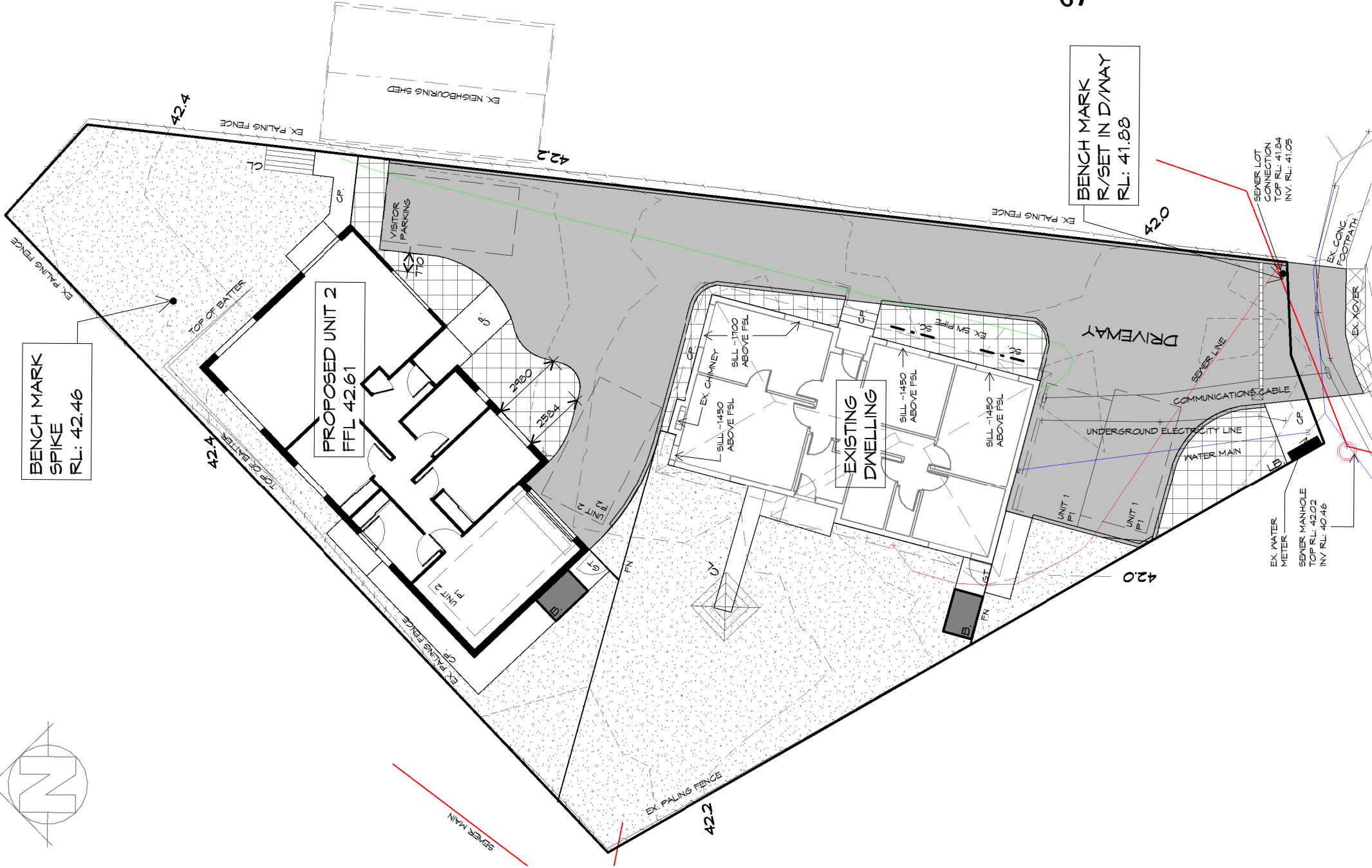
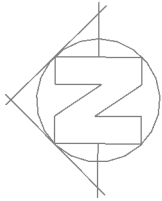
10 Goodman Court, Invermay Tasmania 7248,
p(l)+ 03 6332 3790
Shop 9, 105-111 Main Road, Moonah Hobart 7009
p(h)+03 6228 4575
info@primedesigntas.com.au primedesigntas.com.au

Drafted by:
Author

Approved by:
Approver

bdg
BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA

Accredited building practitioner: Frank Geskus -No CC246A



LEGEND

- PROPOSED GROUNDCOVER/GRASS
- Jf, Lf, Ln, Mp
- LAWN
- CP.

CONCRETE PATH/PAVING
- CONCRETE DRIVEWAY
- LB.

LETTER BOX
- WASTE STORAGE 1.5m2
- GT

GATE
- FN

FENCE 1.8m HIGH
- SECURITY LIGHTS
- CLOTHES LINES - WALL MOUNT
- CLOTHES LINES
- SC

PRIVACY SCREEN 1.7m HIGH

SITE COVERAGE
BUILDING FOOTPRINT 234.32 /SITE AREA 855 = 0.274
TOTAL SITE COVERAGE 27.4%

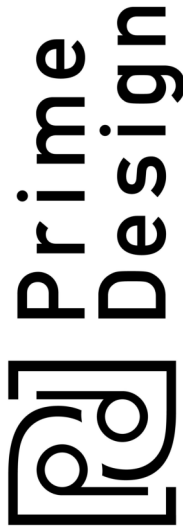
PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS

PLANTING SCHEDULE						
ABB	BOTANICAL NAME	COMMON NAME	MATURE HEIGHT & SPREAD	POT SIZE	DENSITY	COUNT
GRASSES / GROUNDCOVERS						
Jr	JUNIPERUS 'REPANDA'	COMMON JUNIPER	300mm x 300mm	140mm	1 per 1m2	
Lf	LOMANDRA 'FROSTY TOPS'	FROSTY TOP	600mm x 600mm	140mm	3 per 1m2	
Ln	LOMANDRA 'TANKIKA'	TANKIKA	600mm x 600mm	140mm	3 per 1m2	
Mp	MYOPORIUM PARVIFOLIUM	GREIPPING BOOBIALLA	300mm x 300mm	140mm	1 per 1m2	

SITE LANDSCAPING PLAN

1 : 200



10 Goodman Court, Invermay Tasmania 7248,
p(0)+ 03 6332 3790
Shop 9, 105-111 Main Road, Moonah Hobart 7009
p(h)+ 03 6228 4575
info@primedesigntas.com.au primedesigntas.com.au

Project:
PROPOSED UNIT
2 WEILY PLACE,
BRIDGEWATER

Client name:
CENTACARE EVOLVE HOUSING

Drafted by:
Author

Approved by:
Approver



BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA

Drawing:
SITE LANDSCAPING PLAN

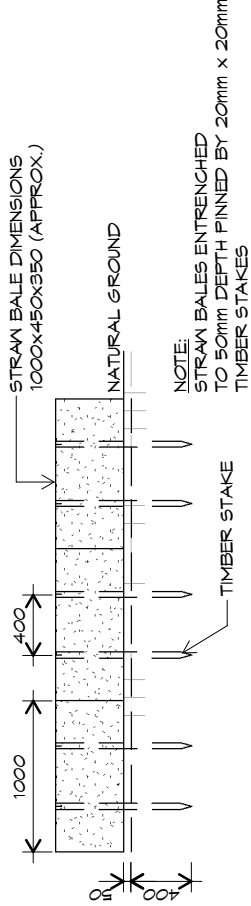
Date:
20-12-2023

Scale:
1 : 200

Project/Drawing no:
PD23405 -04

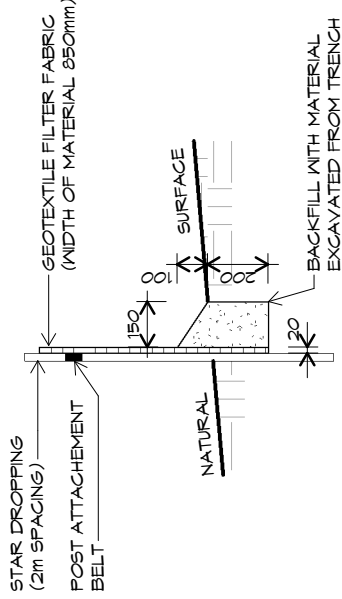
Revision:
04

Accredited building practitioner: Frank Gekus -No CC246A



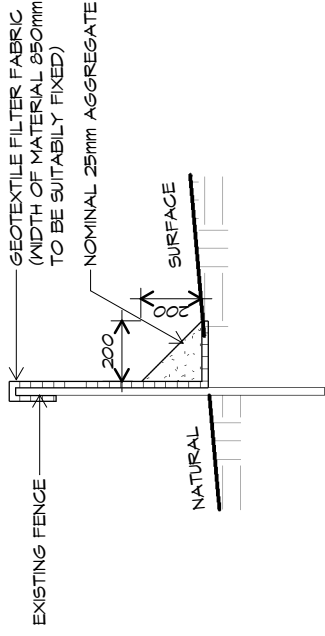
STRAW BALE SEDIMENT TRAP SECTION DETAILS

NTS



SILT STOP TYPE 1

TEMPORARY FENCE

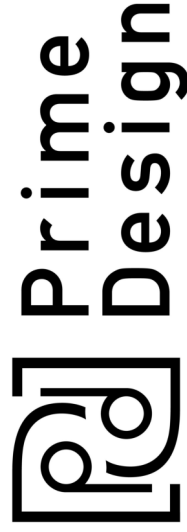


SILT STOP TYPE 2

EXISTING FENCE

SOIL & WATER MANAGEMENT PLAN

1 : 200



10 Goodman Court, Invermay Tasmania 7248,
p(0)+ 03 6332 3790
Shop 9, 105-111 Main Road, Moonah Hobart 7009
p(h)+ 03 6228 4575
info@primedesigntas.com.au primedesigntas.com.au

Client name:
CENTACARE EVOLVE HOUSING

Project:
PROPOSED UNIT
2 WEILY PLACE,
BRIDGEWATER

Drafted by:
Author

Approved by:
Approver



Accredited building practitioner: Frank Gekus -No CC246A

NOTES: SEDIMENT & EROSION CONTROL MEASURES SUFFICIENT TO PREVENT SEDIMENT FROM LEAVING THE SITE MUST BE INSTALLED PRIOR TO ANY DISTURBANCE TO SITE	NOTES: 1. ALL EROSION & SEDIMENT CONTROL STRUCTURES TO BE INSPECTED EACH WORKING DAY & MAINTAINED IN GOOD WORKING ORDER. 2. ALL GROUND COVER VEGETATION OUTSIDE THE IMMEDIATE BUILDING AREA TO BE PRESERVED DURING BUILDING PHASE. 3. ALL EROSION AND SEDIMENT CONTROL MEASURE TO BE INSTALL PRIOR TO COMMENCEMENT OF MAJOR EARTHWORKS. 4. STOCKPILES OF CLAYEY MATERIAL TO BE COVERED WITH AN IMPERVIOUS SHEET. 5. ROOF WATER DOWNPIES TO BE CONNECTED TO THE WATER CONNECTION AS SOON AS PRACTICABLE AFTER THE ROOF IS LAID	NOTES: 1. DIVERSION DRAINS ARE TO BE CONNECTED TO LEGAL DISCHARGE POINT (COUNCIL STORMWATER SYSTEM) 2. SEDIMENT RETENTION TRAPS INSTALLED AROUND THE INLETS TO THE STORMWATER SYSTEM TO PREVENT SEDIMENT & OTHER DEBRIS BLOCKING THE DRAINS
---	--	---

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS

Drawing:
SOIL & WATER MANAGEMENT
PLAN

Date:
20-12-2023

Scale:

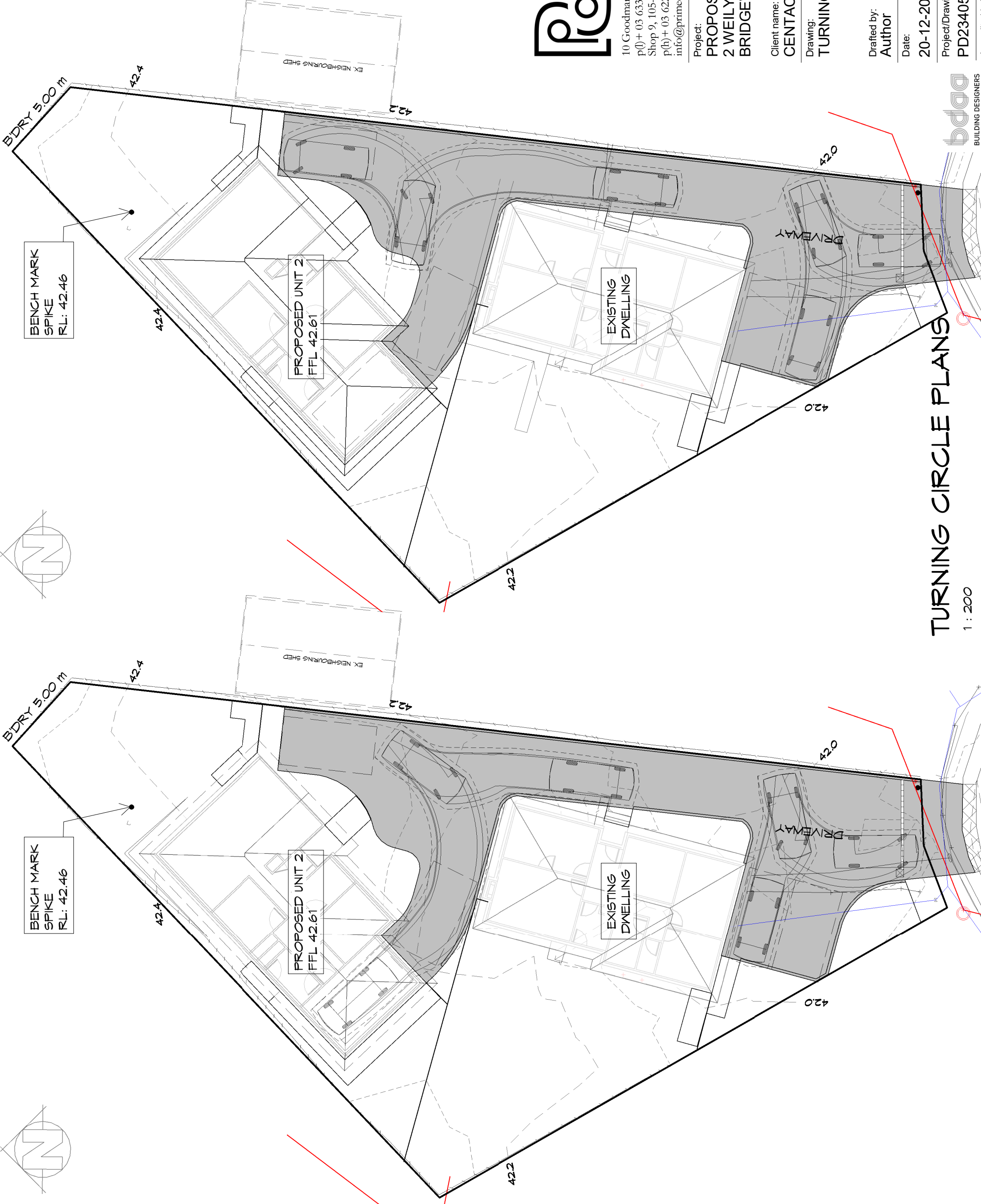
As indicated

Project/Drawing no:

PD23405 -05

Revision:

04



PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS



10 Goodman Court, Invermay Tasmania 7248,
p(0) + 03 6332 3790
Shop 9, 105-111 Main Road, Moonah Hobart 7009
p(h) + 03 6228 4575
info@primedesigntas.com.au primedesigntas.com.au

Project:
**PROPOSED UNIT
2 WEILY PLACE,
BRIDGEWATER**

Client name:
CENTACARE EVOLVE HOUSING

Drawing:
TURNING CIRCLE PLAN

Drafted by:
Author

Approved by:
Approver

Date:
20-12-2023

Scale:
1 : 200

Project/Drawing no:
PD23405 -06

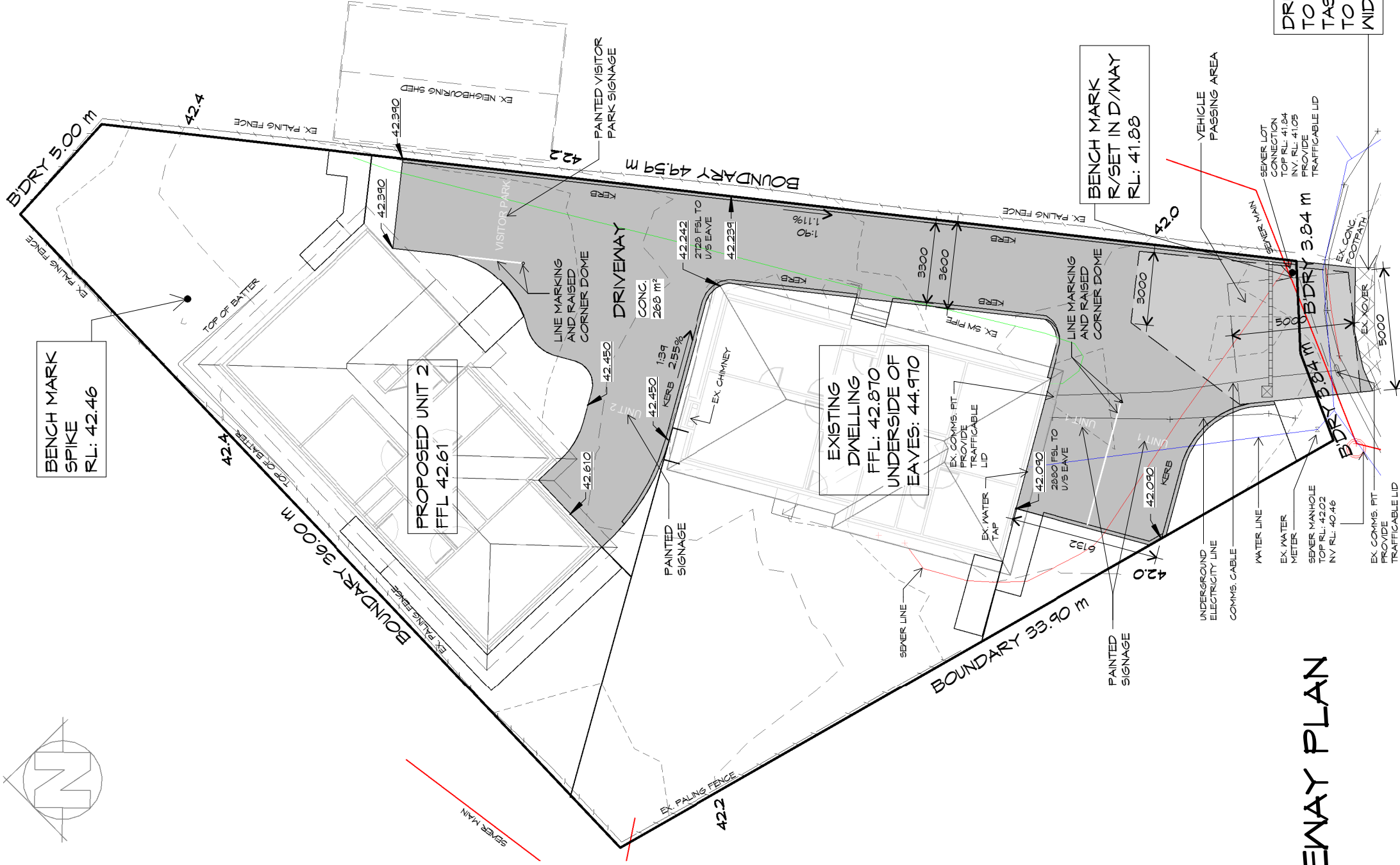
Revision:
04

Accredited building practitioner: Frank Geskus -No CC246A

TURNING CIRCLE PLANS

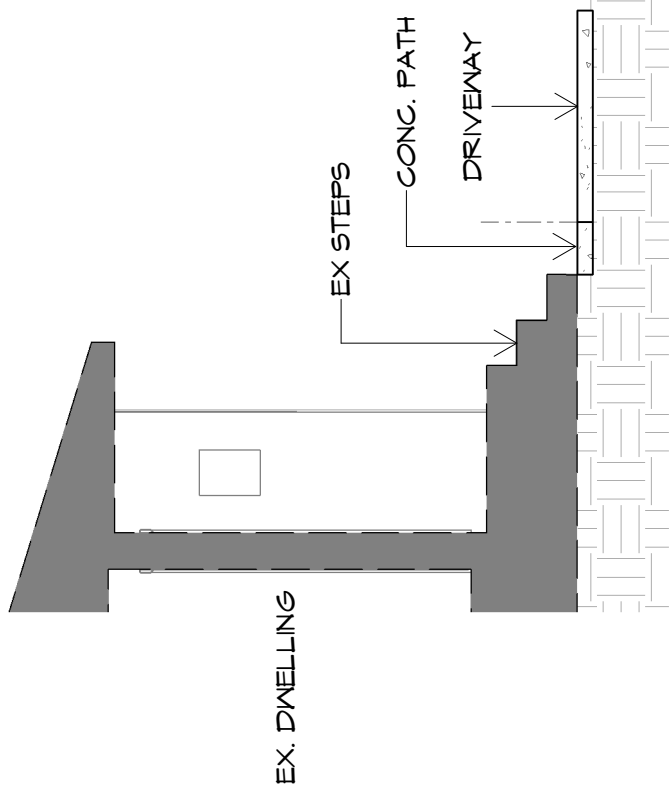
1 : 200





DRIVENWAY PLAN

1 : 200



FRONT STEPS

1 : 50

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS



10 Goodman Court, Invermay Tasmania 7248,
p(0) + 03 6332 3790
Shop 9, 105-111 Main Road, Moonah Hobart 7009
p(h) + 03 6228 4575
info@primedesigntas.com.au primedesigntas.com.au

Project:
**PROPOSED UNIT
2 WEILY PLACE,
BRIDGEWATER**

Client name:
CENTACARE EVOLVE HOUSING
Drawing:
DRIVEWAY PLAN

Drafted by:
Author

Approved by:
Approver

Date:

20-12-2023

Scale: **As indicated**

Project/Drawing no:

PD23405 -07

Revision:

04

Accredited building practitioner: Frank Gekus -No CC246A



DRIVEWAY APRON & CROSSEVER
TO BE REINSTATED AS PER LGAT
TASMANIAN STANDARD DRAWINGS
TO SUIT THE REQUIRED ACCESS
WIDTH



LOCALITY PLAN
1 : 1000

THIS SITE IS ZONED **GENERAL RESIDENTIAL** AND **DOES NOT REQUIRE** A BUSHFIRE ASSESSMENT.
RESIDENCE IS OVER 100m FROM UNMANAGED BUSH/GRASSLANDS GREATER THAN 1 HECTARE.



PROPOSED UNIT
2 WEILY PLACE, BRIDGEWATER



10 Goodman Court, Invermay Tasmania 7248,
p(0) + 03 6332 3790
Shop 9, 105-111 Main Road, Moonah Hobart 7009
p(h) + 03 6228 4575
info@primedesigntas.com.au primedesigntas.com.au

Project:
**PROPOSED UNIT
2 WEILY PLACE,
BRIDGEWATER**

Client name:
CENTACARE EVOLVE HOUSING

Drawing:
LOCALITY PLAN

Drafted by:
Author

Approved by:
Approver

Date: Scale: 1 : 1000

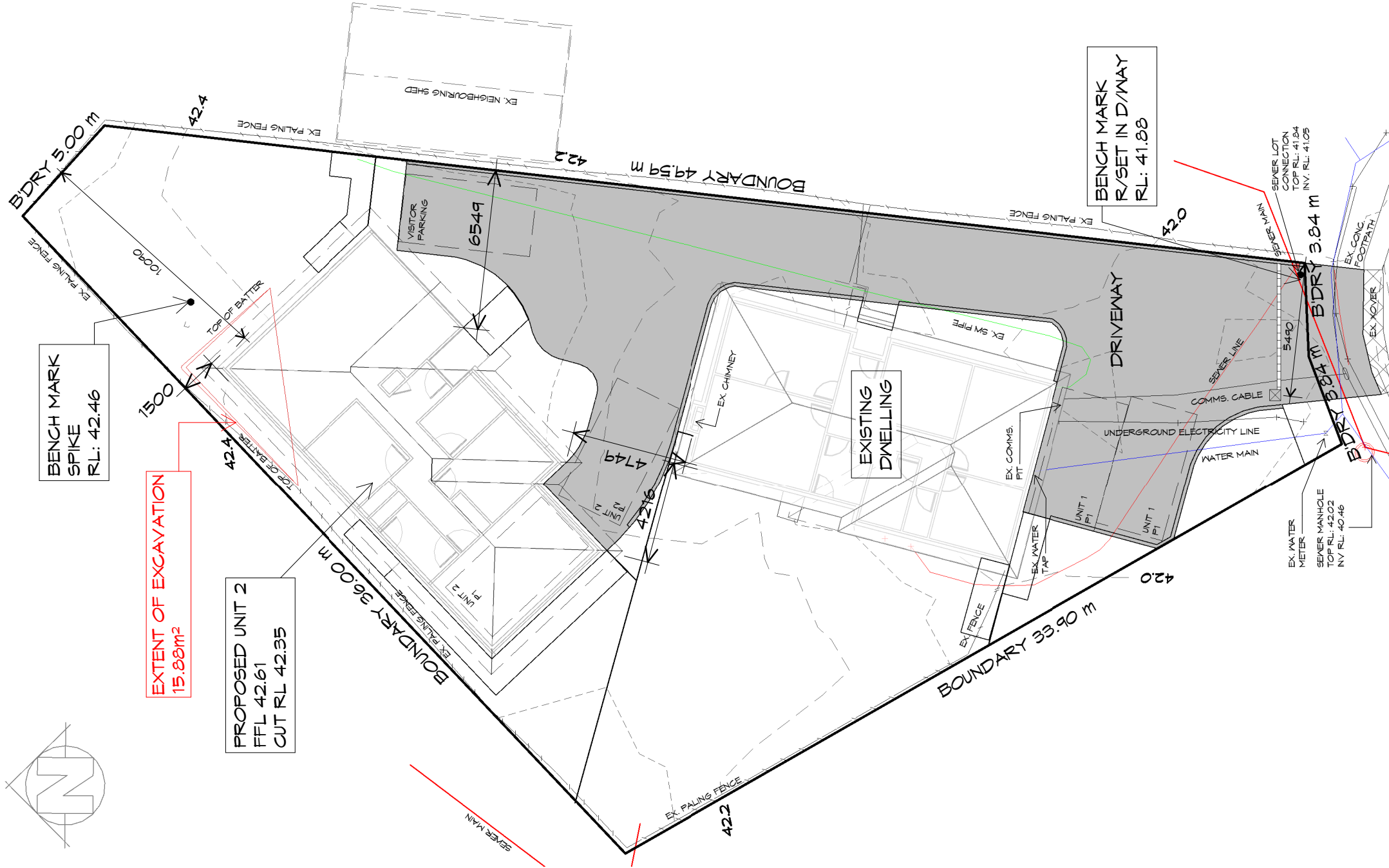
20-12-2023 1 : 1000

Project/Drawing no: Revision:
PD23405 -08 04

Accredited building practitioner: Frank Gekus -No CC246A

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS



IMPORTANT NOTE:
DRAWINGS CAN BE READ IN BLACK & WHITE.
HOWEVER ARE BEST PRINTED IN FULL COLOUR
FOR OPTIMUM CLARITY. A COLOUR COPY
SHOULD BE RETAINED ON SITE AT ALL TIMES
FOR CONTRACTORS COMPLETING WORKS.

BULK EXCAVATION PLAN

1 : 200



10 Goodman Court, Invermay Tasmania 7248,
p(0) + 03 6332 3790
Shop 9, 105-111 Main Road, Moonah Hobart 7009
p(h) + 03 6228 4575
info@primedesigntas.com.au primedesigntas.com.au

Project:

PROPOSED UNIT
2 WEILY PLACE,
BRIDGEWATER

Client name:

CENTACARE EVOLVE HOUSING

Drawing:

BULK EXCAVATION PLAN

Drafted by:

Author

Approved by:

Approver

Date:

20-12-2023

Scale:

1 : 200

Project/Drawing no:

PD23405 -09

Revision:

04

Accredited building practitioner: Frank Gekus -No CC246A



PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS

LEGEND

- S/D SLIDING DOOR
- COL COLUMN
- G.S. GLASS SCREEN;
TO BE REMOVABLE
- HWC HOT WATER CYLINDER
- R/H RANGE HOOD VENT TO
OUTSIDE AIR
- H.P. HEAT PUMP

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS



10 Goodman Court, Invermay Tasmania 7248,
p(l) + 03 6332 3790
Shop 9, 105-111 Main Road, Moonah Hobart 7009
p(h) + 03 6228 4575
info@primedesigntas.com.au primedesigntas.com.au

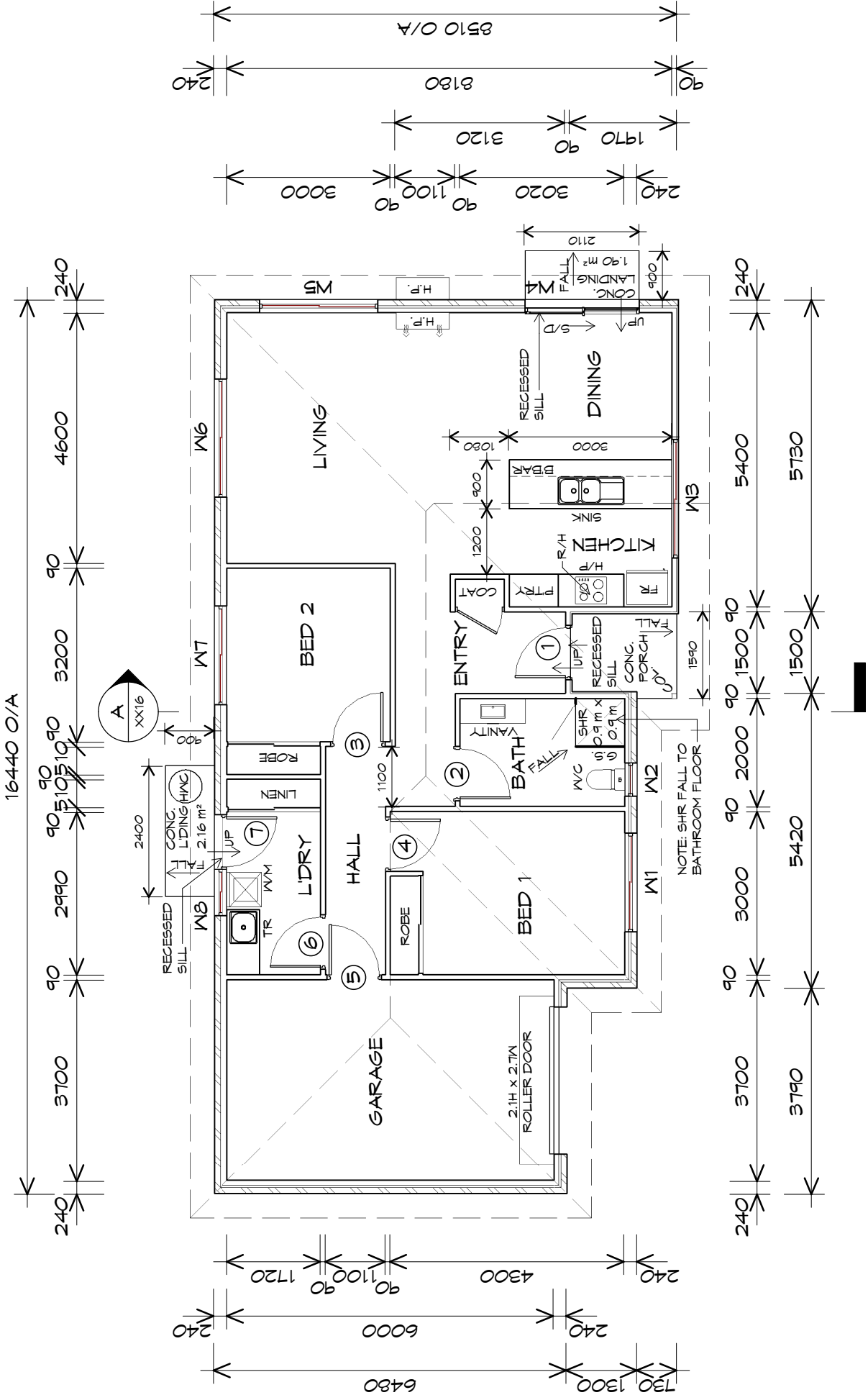
Project:
PROPOSED UNIT
2 WEILY PLACE,
BRIDGEWATER

Client name:
CENTACARE EVOLVE HOUSING
Drawing:
FLOOR PLAN

Drafted by:
Author
Approved by:
Approver
Date:
20-12-2023
Scale:
1 : 100

Project/Drawing no:
PD23405 -10
Revision:
04

Accredited building practitioner: Frank Geskus -No CC246A



FLOOR PLAN

1 : 100

GARAGE AREA	25.82 m ²	(2.78 SQUARES)
FLOOR AREA	99.56 m ²	(10.72 SQUARES)
PORCH AREA	3.16 m ²	(0.34 SQUARES)
TOTAL AREA	128.54 m ²	13.84

NOTE:
FLOOR AREAS INCLUDE TO EXTERNAL FACE OF
BUILDING AND GARAGE, UNLESS OTHERWISE STATED.
DECKS AND OUTDOOR AREAS ARE CALCULATED
SEPARATELY.

NOTE:
WHERE LIGHT WEIGHT CLADDING IS
USED DIMENSIONS ARE TO FRAME ONLY
AND DO NOT INCLUDE LIGHT WEIGHT
CLADDING

TO COMPLY WITH LHA GUIDELINES - SILVER LEVEL.
REFER TO LIVABLE HOUSING AUSTRALIA PLAN FOR
DETAILS

SANITARY COMPARTMENTS
MAINTAIN A CLEAR SPACE OF AT LEAST
1.2m BETWEEN THE CLOSET PAN AND
NEAREST PART OF THE DOORWAY.
OTHERWISE ENSURE REMOVABLE
HINGES ARE INSTALLED TO SWING
DOORS TO COMPLY ABCB HOUSING
PROVISIONS PART 10.4

WINDOW WITHIN NET AREA
C/W SAFETY GLASS AS PER AS1288.2021
BEVEL WINDOW SEAL
RETURN TILES OR LAMPANEL TO WINDOW (TYPICAL)

LEGEND

- 1

1.2m x 1.2m LEVEL LANDING
STEP FREE THRESHOLD
OR RAMPED THRESHOLD MAX
56mm HIGH, MAX 1:8, MAX
LENGTH 450mm
SIL RECESSED INTO FLOOR
- 2

CARPARKING
MAX 1:40 FALL
- LINE WALL WITH 18mm
PLYWOOD BEHIND
PLASTER
- BATHROOM FIXTURE
CIRCULATION SPACE
- REFER TO DETAILS
ON BDO7 & BDO8

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS



10 Goodman Court, Invermay Tasmania 7248,
p(0) + 03 6332 3790
Shop 9, 105-111 Main Road, Moonah Hobart 7009
p(h) + 03 6228 4575
info@primedesign.com.au primedesign.com.au

Project:
PROPOSED UNIT
2 WEILY PLACE,
BRIDGEWATER

Client name:
CENTACARE EVOLVE HOUSING

Drawing:
LHA PLAN

Drafted by:
Author

Approved by:
Approver

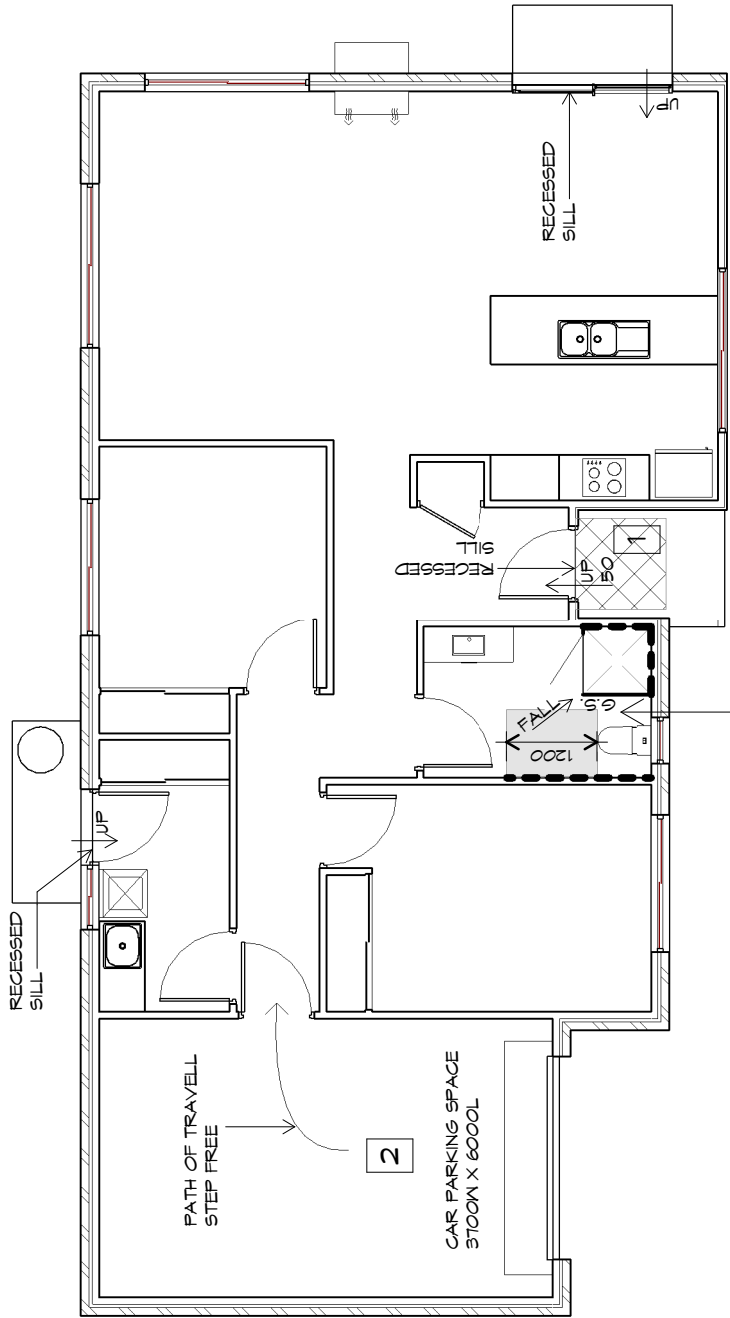
Date:
20-12-2023

Scale:
1 : 100

Project/Drawing no:
PD23405 -11

Revision:
04

Accredited building practitioner: Frank Geskus -No CC246A



BATHROOM
NON- SLIP GRADED WALK IN SHOWER WITH LEVEL
THRESHOLD. SHOWER SCREEN IF INSTALLED TO BE
REMOVEABLE

GENERAL NOTES
MAXIMUM 5mm VERTICAL TOLERANCE BETWEEN
FLOOR FINISHES AND TRANSITIONS THROUGHOUT

LHA PLAN

1 : 100

TO COMPLY WITH LHA GUIDELINES - SILVER LEVEL.

DOOR SCHEDULE			
MARK	WIDTH	TYPE	REMARKS
1	920	GLAZED EXTERNAL DOOR	ALUMINIUM GLAZED RECESSED SILL
2	920	EXTERNAL SOLID DOOR	
3	920	INTERNAL TIMBER DOOR	
4	920	INTERNAL TIMBER DOOR	
5	920	INTERNAL TIMBER DOOR	
6	920	INTERNAL TIMBER DOOR	
7	920	EXTERNAL SOLID DOOR	RECESSED SILL

WINDOW SCHEDULE			
MARK	HEIGHT	WIDTH	TYPE REMARKS
W1	1030	1810	SLIDING WINDOW
W2	1000	610	AWNING WINDOW OPAQUE
W3	600	2170	SLIDING WINDOW
W4	2100	2110	SLIDING DOOR RECESSED SILL
W5	1800	2170	SLIDING WINDOW
W6	600	2170	SLIDING WINDOW
W7	1030	1810	SLIDING WINDOW
W8	1030	850	SLIDING WINDOW

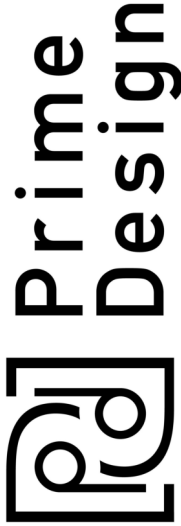
ALUMINIUM WINDOWS **DOUBLE GLAZING COMPLETE**
WITH FLY SCREENS.
ALL WINDOW MEASUREMENTS TO BE VERIFIED ON SITE
PRIOR TO ORDERING

ARTIFICIAL LIGHTING			
ROOM	FLOOR AREA	ALLOWANCE	TOTAL POWER LOAD
BATH	6.04 m²	5.00 W/m²	30.20 W
BED 1	11.76 m²	5.00 W/m²	58.80 W
BED 2	9.60 m²	5.00 W/m²	48.00 W
COAT	0.46 m²	5.00 W/m²	2.30 W
DINING	11.02 m²	5.00 W/m²	55.08 W
ENTRY	4.68 m²	5.00 W/m²	23.40 W
GARAGE	22.20 m²	3.00 W/m²	66.60 W
HALL	7.11 m²	5.00 W/m²	35.53 W
KITCHEN	10.37 m²	5.00 W/m²	51.84 W
L'DING	2.16 m²	4.00 W/m²	8.64 W
L'DRY	5.14 m²	5.00 W/m²	25.71 W
LANDING	1.90 m²	4.00 W/m²	7.60 W
LINEN	0.88 m²	5.00 W/m²	4.39 W
LIVING	19.76 m²	5.00 W/m²	98.79 W
PORCH	2.88 m²	5.00 W/m²	14.39 W
ROBE	0.88 m²	5.00 W/m²	4.39 W
ROBE	0.92 m²	5.00 W/m²	4.62 W
TOTALS	117.74 m²		540.27 W

ARTIFICIAL LIGHTING
THE ABOVE TABLE ILLUSTRATES THE MAXIMUM ALLOWANCE OF POWER LOAD TO THE TYPE OF SPACE AS PER ABCB HOUSING PROVISIONS PART 13.7.6

ARTIFICIAL LIGHTING MUST NOT EXCEED:

- 5W/m2 FOR CLASS 1 BUILDING
- 4W/m2 FOR VERANDAHS & BALCONIES
- 3W/m2 FOR CLASS 10A ASSOCIATED WITH CLASS 1 BUILDING



10 Goodman Court, Invermay Tasmania 7248,
p(0)+ 03 6332 3790
Shop 9, 105-111 Main Road, Moonah Hobart 7009
p(h)+ 03 6228 4575
info@primedesigntas.com.au primedesigntas.com.au

Project:

PROPOSED UNIT
2 WEILY PLACE,
BRIDGEWATER

Client name:

CENTACARE EVOLVE HOUSING

Drafted by:

Author

Approved by:

Approver



Drawing:

DOOR AND WINDOW
SCHEDULES

Date:

20-12-2023

Scale:

Project/Drawing no:

PD23405 -12

Revision:

04

Accredited building practitioner:

Frank Geskus -No CC246A

GLAZING
ALL GLAZING IS TO COMPLY WITH ABCB HOUSING PROVISIONS PART 8
IN PARTICULAR THAT THE GLAZING IN THE WINDOW LOCATED OVER THE BATH/ SHOWER INSTALLATION TO COMPLY WITH HUMAN IMPACT SAFETY REQUIREMENTS, SECTION 5.8 OF AS1288
WINDOWS TO BE SEALED IN ACCORDANCE WITH AS2047
ALL GLASS INSTALLATIONS INCLUDING ROOFS, WINDOW AND DOORS TO BE TAGGED ON-SITE OR GLAZIER TO SUPPLY COMPLIANCE CERTIFICATE AT FINAL INSPECTION.

BRICK TIE SPACINGS
FOR 450mm STUD SPACING
TYPICAL 600x450 SPACING 300x225 AT OPENINGS AND CONTROL JOINTS
REFER TO ABCB HOUSING PROVISIONS PART 5.6.5 / AS2699.1 FOR FURTHER DETAILS

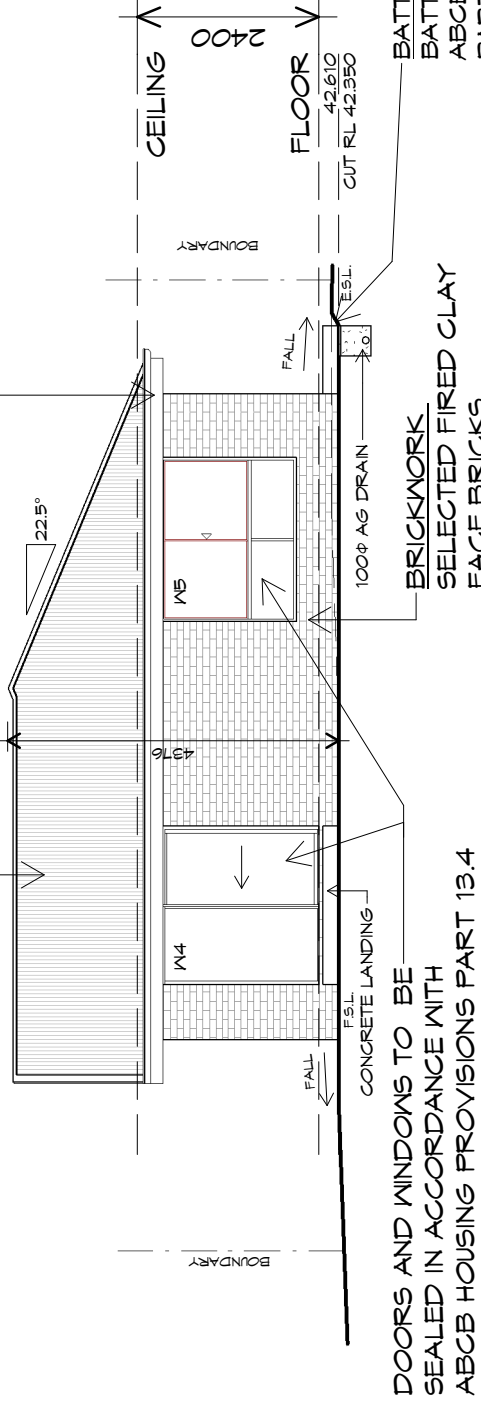
CAVITY VENTILATION AND DRAINAGE-
OPEN WEEPHOLES TO BRICK COURSE IMMEDIATELY ABOVE ANY DPC
OR FLASHING AT NOT MORE THAN 1200 CRS. SILL
AND HEAD FLASHING INSTALLED
IN ACCORDANCE WITH ABCB HOUSING PROVISIONS PART 5.7.4 & 5.7.5

WINDOWS
POWDER COATED ALUMINIUM WINDOW FRAMES
SLIDING OPENING
REVEALS AND TRIMS TO CLIENTS SPEC.
ALL FLASHING TO MANUFACTURERS SPECIFICATION
BRICK ON EDGE EXTERNAL SILLS
REFER AS 1288, AS 2047 & ABCB HOUSING PROVISIONS PART 8.2

EAVES
OVER HANG ROOF 450mm U.N.O.
FRAME FOR LEVEL EAVES
LINE ALL SOFFITS
WITH HARDIFLEX SHEETING.
IN ACCORDANCE WITH ABCB HOUSING PROVISIONS PART 7.5.5

FASCIA
COLORBOND FOLDED METAL
-GUTTER TO CLIENTS SPEC
-FASCIA TRIM ALL ROUND
INSTALLED IN ACCORDANCE
WITH THE MANUFACTURER'S
INSTRUCTIONS.
COLOUR TO BE SELECTED

ROOF FRAMING
PREFABRICATED ROOF TRUSSES
@ 900 CRS MAX
BRACING BY OTHERS

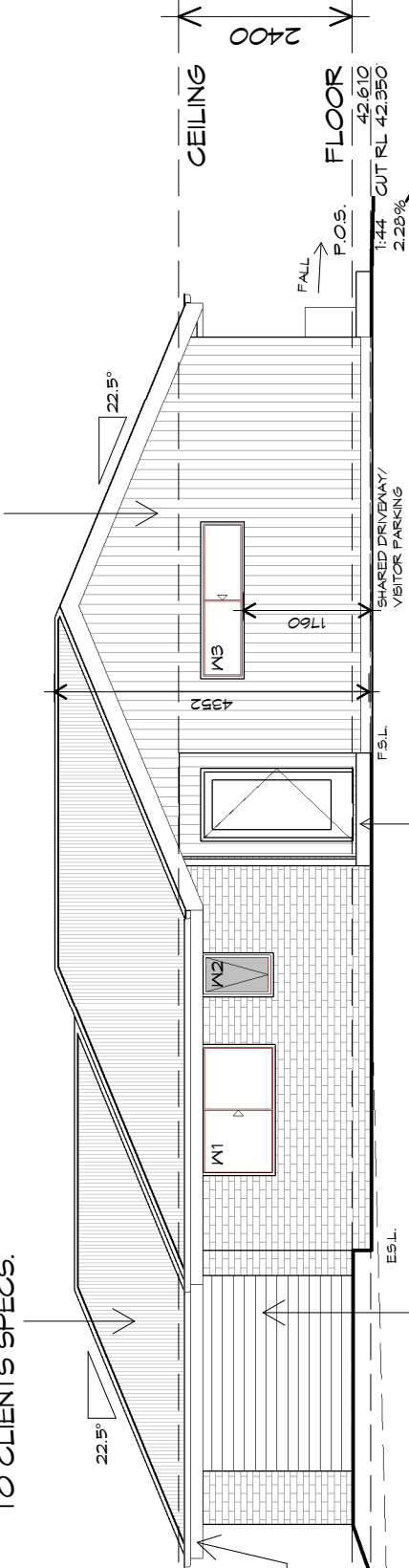


DOORS AND WINDOWS TO BE SEALED IN ACCORDANCE WITH ABCB HOUSING PROVISIONS PART 13.4

NORTH EASTERN ELEVATION

1 : 100

ROOF CLADDING
COLORBOND CUSTOM ORB
TO CLIENTS SPECS.



PANEL LIFT DOOR 2700 WIDE X 2100
HIGH CLADDING PANELS TO CLIENTS SPEC FIXED IN ACCORDANCE WITH MANUFACTURERS SPEC

SOUTH EASTERN ELEVATION

1 : 100

BUILDING MEMBRANE
IN ACCORDANCE WITH ABCB HOUSING PROVISIONS PART 10.8.1
PLIABLE BUILDING MEMBRANE INSTALLED TO EXTERIOR OF FRAMEWORK, TO BE VAPOUR PERMEABLE TO COMPLY WITH AS4200.1 & BE INSTALLED TO AS4200.2

DAMP PROOF COURSE
TO BE INSTALLED UNDER EXTERNAL MASONRY ON SLABS OR FOOTINGS, SHALL BE OF SUFFICIENT WIDTH TO PROJECT PAST THE EXTERNAL FACE OF THE WALL.
ABCB HOUSING PROVISIONS PART 5.7.3 & 5.7.4

BRICKWORK
SELECTED FIRED CLAY
FACE BRICKS.
RAKED JOINTS, STRETCHER BOND
REFER ENGINEER FOR
ARTICULATION JOINTS
ALL MASONRY TO COMPLY
WITH ACBC HOUSING PROVISIONS PART 5

PROTECTION OF WINDOWS

- PROTECTION IS TO BE PROVIDED TO A BEDROOM WINDOW IF THE FINISHED FLOOR LEVEL OF THE BEDROOM HAS A HEIGHT GREATER THAN 2M FROM THE FINISHED GROUND LEVEL AND WHERE THE LOWEST LEVEL OF THE WINDOW OPENING IS WITHIN 1.7M MEASURED FROM THE FINISHED FLOOR LEVEL OF THE BEDROOM FLOOR.
- ALL BARRIERS, DEVICES AND OPERATION OF PROTECTED WINDOWS ARE TO COMPLY WITH ABCB HOUSING PROVISIONS PART 11.3.7

FLASHINGS TO WALL OPENINGS
OPENINGS IN EXTERNAL WALL CLADDING EXPOSED TO WEATHER MUST BE FLASHED WITH MATERIAL COMPLYING WITH AS/NZS 2904 TO TOP, BOTTOM & SIDES OF OPENINGS. FLASHINGS MUST BE SUITABLE FOR FRAMING & CLADDING USED. TO COMPLY ABCB HOUSING PROVISIONS PART 7.5.6

MINIMUM CLEARANCE BETWEEN CLADDING & GROUND

- 150mm
 - 50mm ABOVE IMPERMEABLE AREAS THAT SLOPE AWAY. CONC. OR PAVED
- WALL CLADDING MUST EXTEND MIN 50mm BELOW BEARER OR LOWEST POINT OF SUSPENDED FLOOR FRAMING. TO COMPLY WITH ABCB HOUSING PROVISIONS PART 7.5.7

Drawing:

ELEVATIONS

PROPOSED UNIT
2 WEILY PLACE,
BRIDGEWATER

Client name:
CENTACARE EVOLVE HOUSING

Drafted by:
Author

Approved by:
Approver

bdaa
BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA

Date:

20-12-2023

Scale:

1 : 100

Project/Drawing no:

PD23405 -13

Revision:

04

Accredited building practitioner: Frank Gekus -No CC246A

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS

GLAZING

ALL GLAZING IS TO COMPLY WITH ABCB HOUSING PROVISIONS PART 8
IN PARTICULAR THAT THE GLAZING IN THE WINDOW LOCATED OVER THE BATH/ SHOWER INSTALLATION TO COMPLY WITH HUMAN IMPACT SAFETY REQUIREMENTS, SECTION 5.8 OF AS1288
WINDOWS TO BE SEALED IN ACCORDANCE WITH AS2047
ALL GLASS INSTALLATIONS INCLUDING ROOFS, WINDOW AND DOORS TO BE TAGGED ON-SITE OR GLAZIER TO SUPPLY COMPLIANCE CERTIFICATE AT FINAL INSPECTION.

BRICK TIE SPACINGS
FOR 450mm STUD SPACING
TYPICAL 600X450 SPACING 300X225 AT OPENINGS AND CONTROL JOINTS
REFER TO ABCB HOUSING PROVISIONS PART 5.6.5 / AS2699.1 FOR FURTHER DETAILS

CAVITY VENTILATION AND DRAINAGE-
OPEN WEEPHOLES TO BRICK COURSE IMMEDIATELY ABOVE ANY DPC
OR FLASHING AT NOT MORE THAN 1200 CRS. 100
AND HEAD FLASHING INSTALLED
IN ACCORDANCE WITH ABCB HOUSING PROVISIONS PART 5.7.4 & 5.7.5

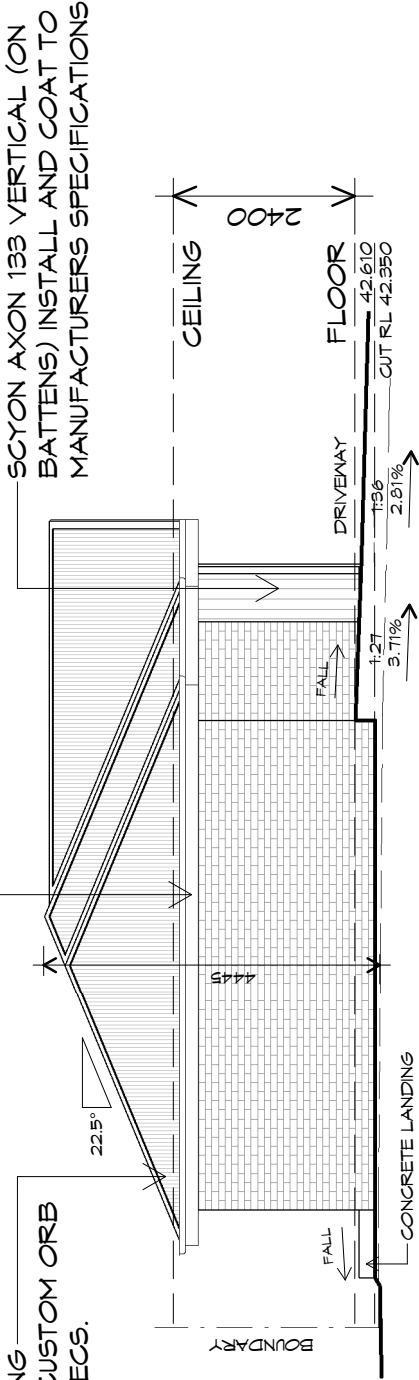
FASCIA

COLORBOND FOLDED METAL
-GUTTER TO CLIENTS SPEC
-FASCIA TRIM ALL ROUND
INSTALLED IN ACCORDANCE
WITH THE MANUFACTURER'S
INSTRUCTIONS.
COLOUR TO BE SELECTED

WINDOWS

POWDER COATED ALUMINIUM WINDOW FRAMES
SLIDING OPENING
REVEALS AND TRIMS TO CLIENTS SPEC.
ALL FLASHING TO MANUFACTURERS
SPECIFICATION
BRICK ON EDGE EXTERNAL SILLS
REFER AS 1288, AS 2047 & ABCB HOUSING
PROVISIONS PART 8.2

ROOF CLADDING
COLORBOND CUSTOM ORB
TO CLIENTS SPECS.



SOUTH WESTERN ELEVATION

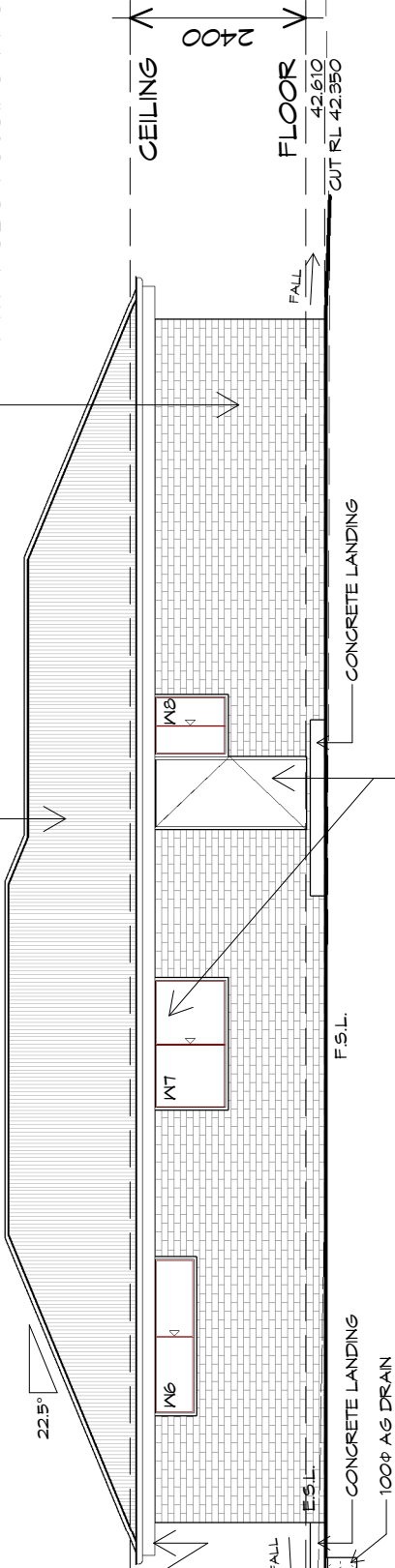
ROOF FRAMING
PREFABRICATED ROOF TRUSSES
@ 900 CRS MAX
BRACING BY OTHERS

BRICKWORK
SELECTED FIRED CLAY
FACE BRICKS.
RAKED JOINTS, STRETCHER BOND
REFER ENGINEER FOR
ARTICULATION JOINTS
ALL MASONRY TO COMPLY
WITH ABCB HOUSING PROVISIONS PART 5

EAVES

OVER HANG ROOF 450mm U.N.O.
FRAME FOR LEVEL EAVES
LINE ALL SOFFITS
WITH HARDIFLEX SHEETING.
IN ACCORDANCE WITH ABCB HOUSING
PROVISIONS PART 7.5.5

BATTER NOTE
BATTER AS PER
ABCB HOUSING PROVISIONS
PART 3.2.1.
REFER TO STANDARD
DETAILS TABLE



DOORS AND WINDOWS TO BE
SEALED IN ACCORDANCE WITH
ABCB HOUSING PROVISIONS PART 13.4

NORTH WESTERN ELEVATION

1 : 100

BUILDING MEMBRANE

IN ACCORDANCE WITH ABCB HOUSING PROVISIONS
PART 10.8.1
PLIABLE BUILDING MEMBRANE INSTALLED TO
EXTERIOR OF FRAMEWORK, TO BE VAPOUR
PERMEABLE TO COMPLY WITH AS4200.1 & BE
INSTALLED TO AS4200.2

DAMP PROOF COURSE
TO BE INSTALLED UNDER EXTERNAL
MASONRY ON SLABS OR FOOTINGS,
SHALL BE OF SUFFICIENT WIDTH TO
PROJECT PAST THE EXTERNAL FACE
OF THE WALL.
ABCB HOUSING PROVISIONS PART 5.7.3 & 5.7.4

PROTECTION OF WINDOWS

- PROTECTION IS TO BE PROVIDED TO A
BEDROOM WINDOW IF THE FINISHED FLOOR
LEVEL OF THE BEDROOM HAS A HEIGHT
GREATER THAN 2M FROM THE FINISHED
GROUND LEVEL AND WHERE THE LOWEST LEVEL
OF THE WINDOW OPENING IS WITHIN 1.7M
MEASURED FROM THE FINISHED FLOOR LEVEL
OF THE BEDROOM FLOOR.
- ALL BARRIERS, DEVICES AND OPERATION OF
PROTECTED WINDOWS ARE TO COMPLY WITH
ABCB HOUSING PROVISIONS PART 11.3.7

FLASHINGS TO WALL OPENINGS
OPENINGS IN EXTERNAL WALL CLADDING EXPOSED TO
WEATHER MUST BE FLASHED WITH MATERIAL
COMPLYING WITH AS/NZS 2904 TO TOP, BOTTOM &
SIDES OF OPENINGS. FLASHINGS MUST BE SUITABLE
FOR FRAMING & CLADDING USED. TO COMPLY ABCB
HOUSING PROVISIONS PART 7.5.6

MINIMUM CLEARANCE BETWEEN CLADDING & GROUND

- 150mm
- 50mm ABOVE IMPERMEABLE AREAS THAT SLOPE AWAY.
CONC. OR PAVED

WALL CLADDING MUST EXTEND MIN 50mm BELOW BEARER
OR LOWEST POINT OF SUSPENDED FLOOR FRAMING. TO
COMPLY WITH ABCB HOUSING PROVISIONS PART 7.5.7

Drawing:

ELEVATIONS

Project:
PROPOSED UNIT
2 WEILY PLACE,
BRIDGEWATER

Client name:
CENTACARE EVOLVE HOUSING

Drafted by:
Author

Approved by:
Approver



BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA

Date:

20-12-2023

Scale:

1 : 100

Project/Drawing no:

PD23405 -14

Revision:

04

Accredited building practitioner: Frank Gekus -No CC246A



10 Goodman Court, Invermay Tasmania 7248,
p(0)+ 03 6332 3790
Shop 9, 105-111 Main Road, Moonah Hobart 7009
p(h)+ 03 6228 4575
info@primedesigntas.com.au primedesigntas.com.au

ROOF PLUMBING NOTES:

GUTTER INSTALLATION
TO BE IN ACCORDANCE WITH
ABCB HOUSING PROVISIONS PART 7.4.4
WITH FALL NO LESS THAN
1:100 FOR BOX GUTTERS
1:500 FOR EAVES GUTTER

UNLESS FIXED TO METAL FASCIA
EAVES GUTTER TO BE FIXED
@ 1200 CRS MAX.

VALLEY GUTTERS ON A ROOF WITH A PITCH:
A) MORE THAN 12.5° DEGREES - MUST
HAVE A WIDTH OF NOT LESS THAN
400mm AND ROOF OVERHANG OF NOT
LESS THAN 150mm EACH SIDE OF VALLEY
GUTTER.
B) LESS THAN 12.5° DEGREES, MUST BE
DESIGNED AS A BOX GUTTER.

LAP GUTTERS 75mm IN THE DIRECTION
OF FLOW, RIVET & SEAL WITH AN
APPROVED SILICONE SEALANT.

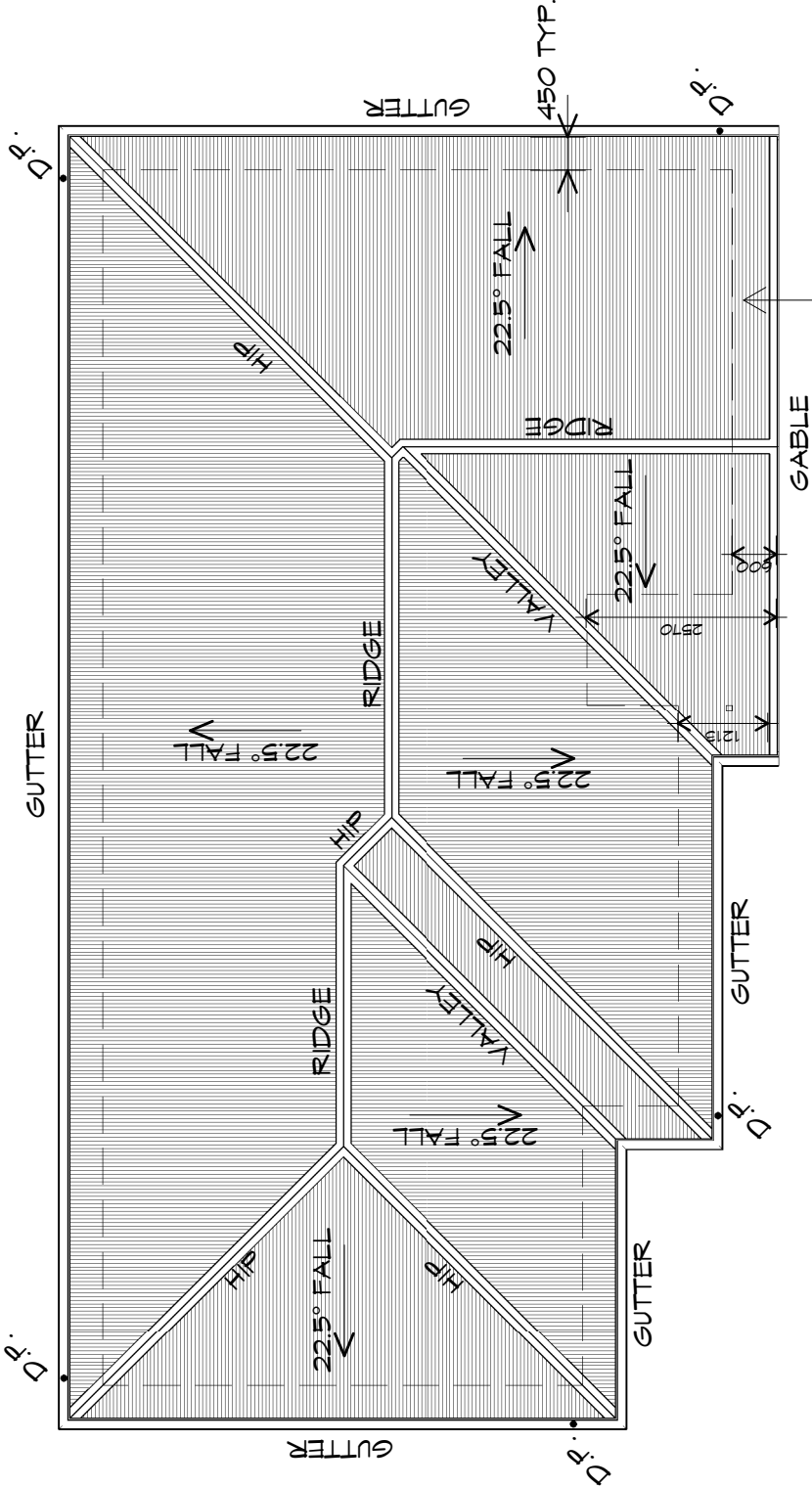
DOWNPIPE POSITIONS SHOWN ON THIS
PLAN ARE NOMINAL ONLY.
EXACT LOCATION & NUMBER OF D.P.'S
REQUIRED ARE TO BE IN ACCORDANCE
WITH ABCB HOUSING PROVISIONS PART 7.4.5
REQUIREMENTS.
SPACING BETWEEN DOWNPIPES MUST NOT
BE MORE THAN 12m & LOCATED AS CLOSE AS
POSSIBLE TO VALLEY GUTTERS

METAL ROOF
METAL SHEETING ROOF TO BE INSTALLED IN
ACCORDANCE WITH ABCB HOUSING PROVISIONS PART
7.2. REFER TO TABLE 7.2.2a FOR ACCEPTABLE
CORROSION PROTECTION FOR SHEET ROOFING,
REFER TO TABLE 7.2.2b-7.2.2e FOR ACCEPTABILITY
OF CONTACT BETWEEN DIFFERENT ROOFING
MATERIALS. FOR FIXING, SHEET LAYING SEQUENCE,
FASTENER FREQUENCY FOR TRANSVERSE FLASHINGS
AND CAPPINGS, ANTI CAPILLARY BREAKS, FLASHING
DETAILS REFER TO ABCB HOUSING PROVISIONS PART
7.2.5- 7.2.7. ROOF PENETRATION FLASHING DETAILS.
REFER TO TO ABCB HOUSING PROVISIONS PART
7.2.5- 7.2.7. ROOF SHEETING MUST OVERHANG MIN
35mm AS PER ABCB HOUSING PROVISIONS PART 7.2.8

ADDITIONAL ROOF LOAD
NO SOLAR P.V. SYSTEM HAS BEEN ALLOWED FOR,
NO SOLAR HOT WATER HAS BEEN ALLOWED FOR.

VENTILATION SCHEDULE (ROOF PITCH OVER 16°)						
ROOF	CEILING AREA (m2)	ROOF PITCH	SUPPLY AREA REQUIRED (m2)	EXHAUST AREA REQUIRED (m2)	VENT LENGTH 420 mm	VENT AREA (m2)
	119.08	22.5°	0.30	0.10	220 mm	0.09
						25%
						SUPPLY NUMBER REQUIRED 13

THE ABOVE IS BASED UPON CBOS CONDENSATION IN BUILDINGS - TASMANIAN DESIGNERS GUIDE - VERSION 2

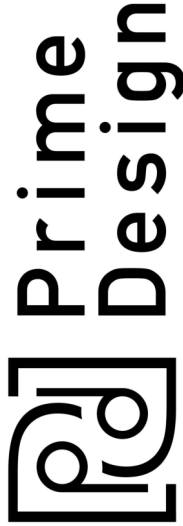


ROOF PLAN

1 : 100

Project:
PROPOSED UNIT
2 WEILY PLACE,
BRIDGEWATER

Drawing:
ROOF PLAN



10 Goodman Court, Invermay Tasmania 7248,
p(0)+ 03 6332 3790
Shop 9, 105-111 Main Road, Moonah Hobart 7009
p(h)+ 03 6228 4575
info@primedesigntas.com.au primedesigntas.com.au

Client name:
CENTACARE EVOLVE HOUSING

Drafted by:
Author

Approved by:
Approver



BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA

Date:
20-12-2023

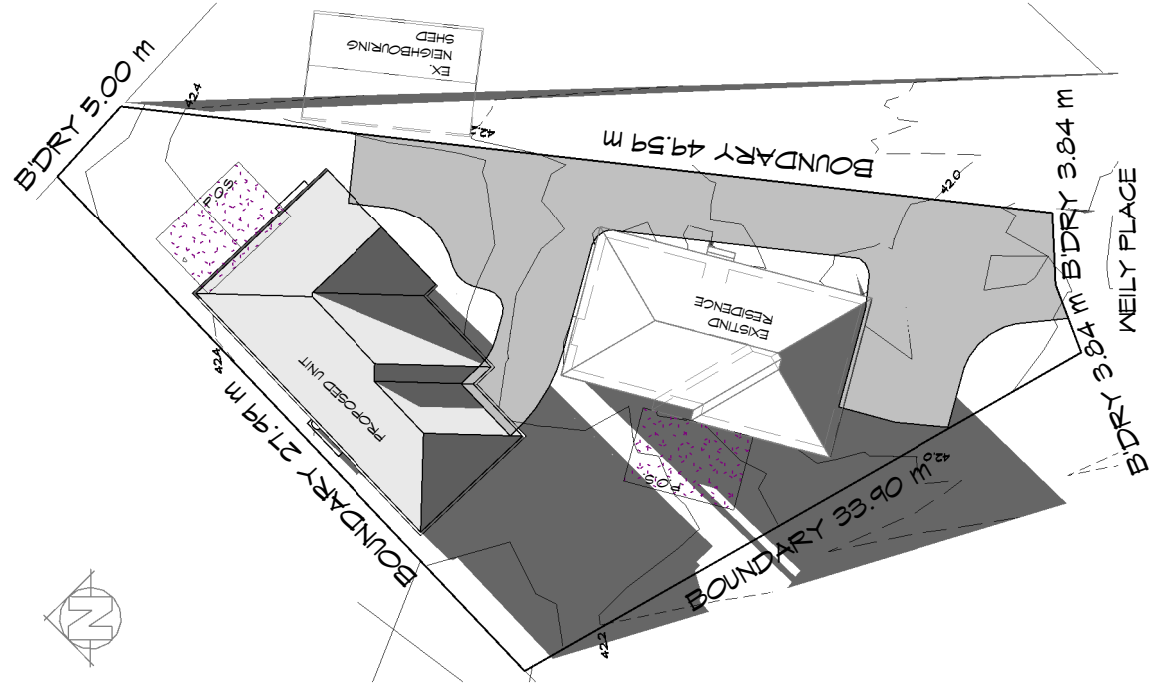
Scale:

1 : 100

Project/Drawing no:
PD23405 -15

Revision:
04

Accredited building practitioner: Frank Geskus -No CC246A

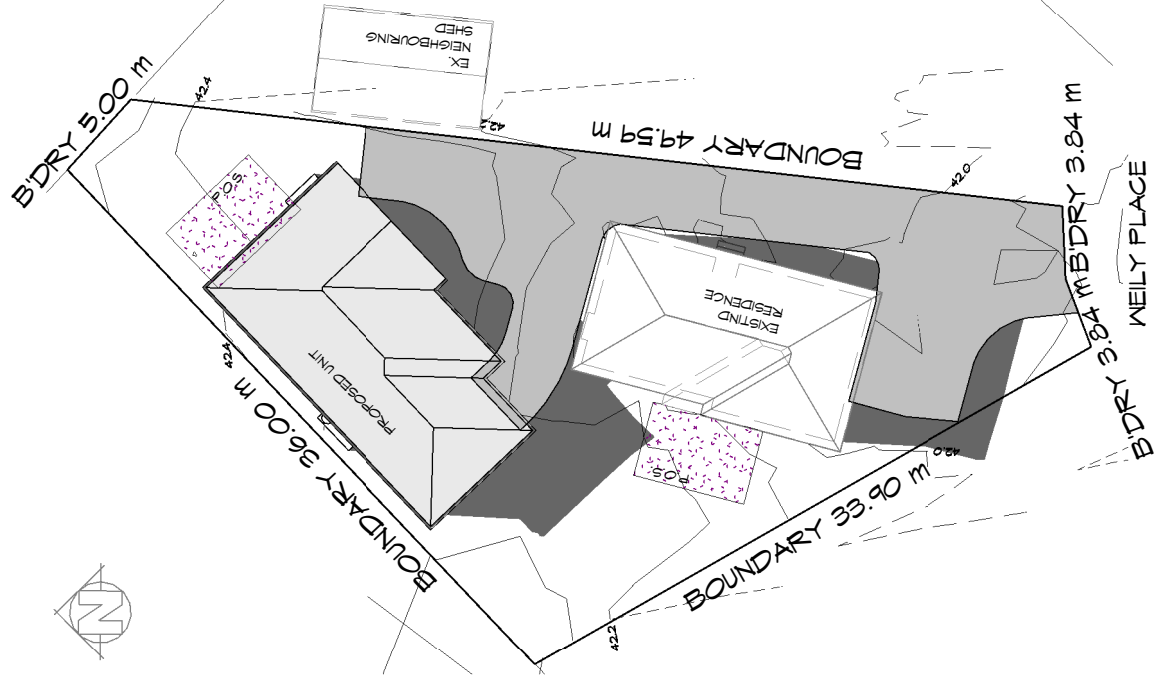


SHADOW DIAGRAM @ 9 AM

1:400

GENERAL INFORMATION

NORTH: TRUE NORTH/MAGNETIC NORTH
DAY LIGHT SAYINGS: OFF
DATE: JUNE 21st
TIME: 9 am

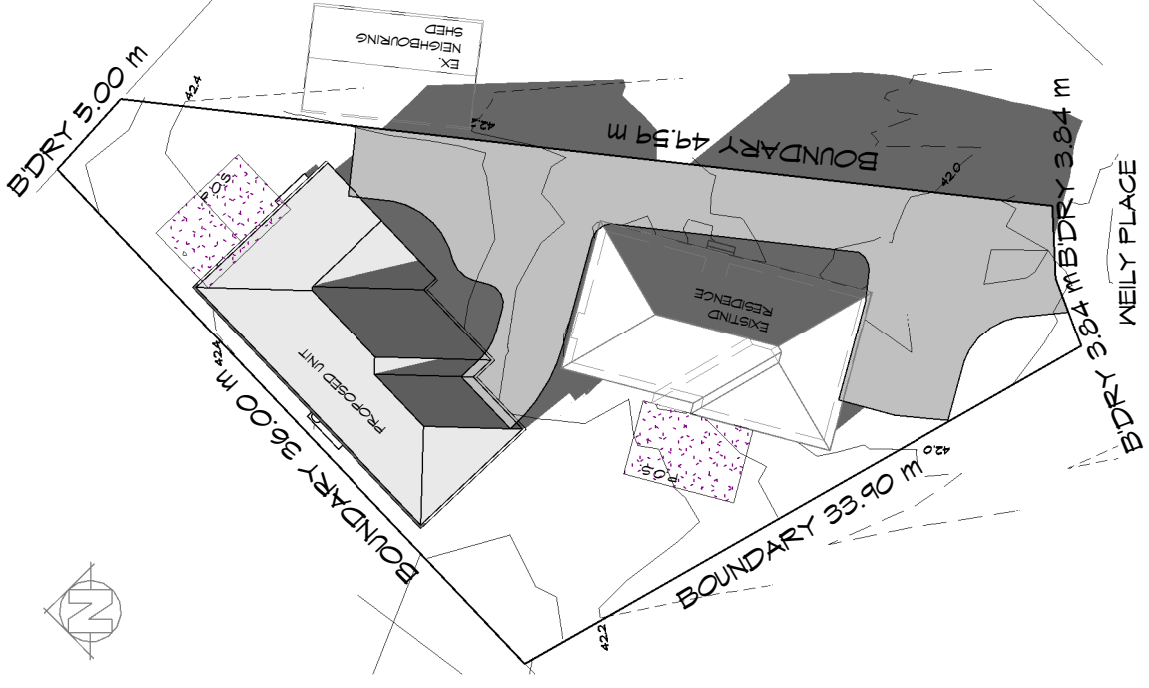


SHADOW DIAGRAM @ 12 PM

1:400

GENERAL INFORMATION

NORTH: TRUE NORTH/MAGNETIC NORTH
DAY LIGHT SAVINGS: OFF
DATE: JUNE 21st
TIME: 12 pm



SHADOW DIAGRAM @ 3 PM

1:400

GENERAL INFORMATION

NORTH: TRUE NORTH/MAGNETIC NORTH
DAY LIGHT SAVINGS: OFF
DATE: JUNE 21st
TIME: 3 pm

Prime
Design

10 Goodman Court, Invermay Tasmania 7248,
p(0) + 03 6342 3790
Shop 9, 105-111 Main Road, Moonah Hobart 7009
p(h) + 03 6228 4575
info@primedesigntas.com.au primedesigntas.com.au

Project:
PROPOSED UNIT
2 WEILY PLACE,
BRIDGEWATER

Drawing:
SHADOW DIAGRAMS

Client name: **CENTACARE EVOLVE HOUSING**

Date:	Scale:
20-12-2023	1 : 400

Drafted by:
Author

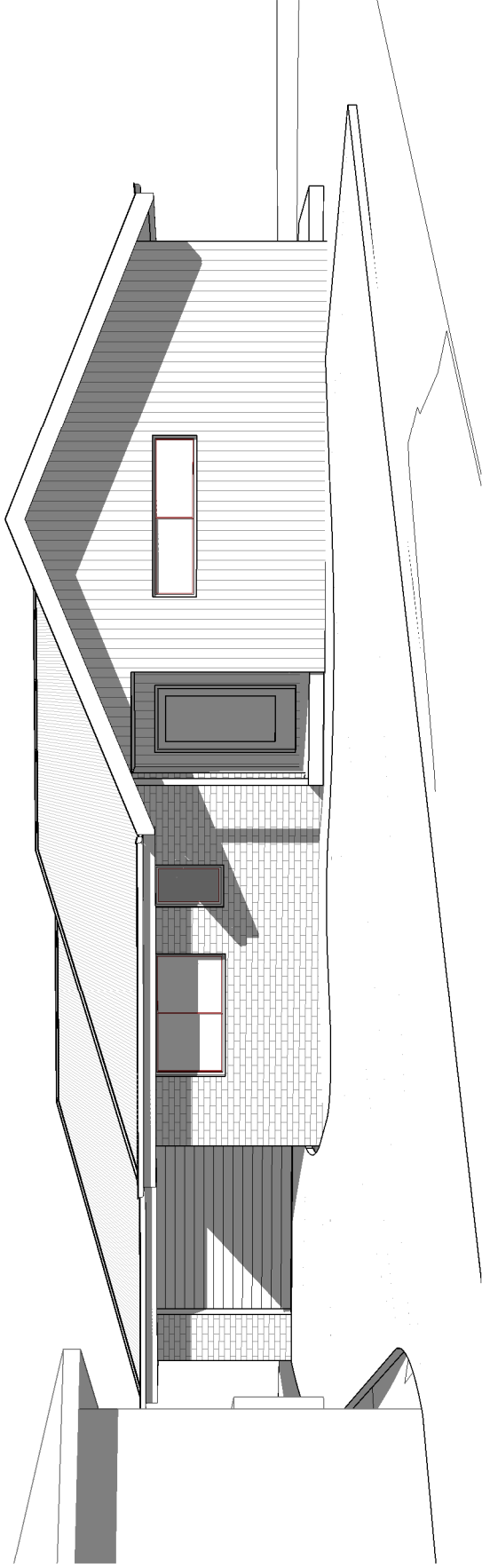
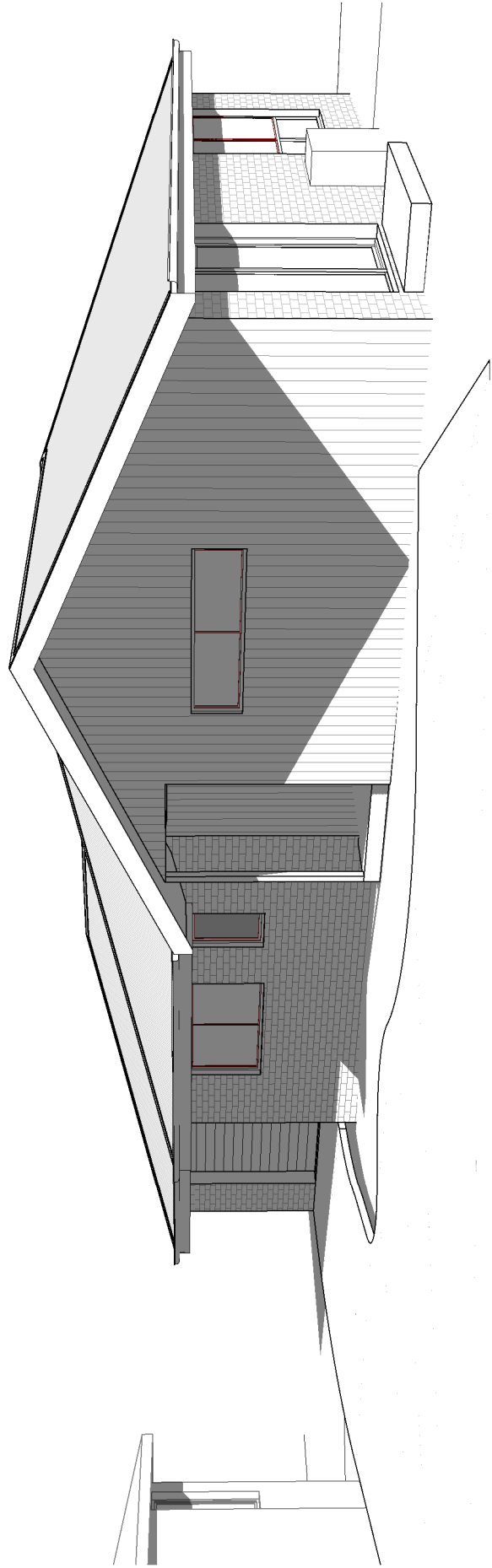
Approved by:
Approver

Project/Drawing no: PD23405 -16
Revision: 04



**BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA**

Accredited building practitioner: Frank Geskus -No CC246A



10 Goodman Court, Invermay Tasmania 7248,
p(0)+ 03 6332 3790
Shop 9, 105-111 Main Road, Moonah Hobart 7009
p(h)+ 03 6228 4575
info@primedesigntas.com.au primedesigntas.com.au

Project:
**PROPOSED UNIT
2 WEILY PLACE,
BRIDGEWATER**

Client name:
CENTACARE EVOLVE HOUSING

Drafted by:
Author

Approved by:
Approver



Drawing:
PERSPECTIVES

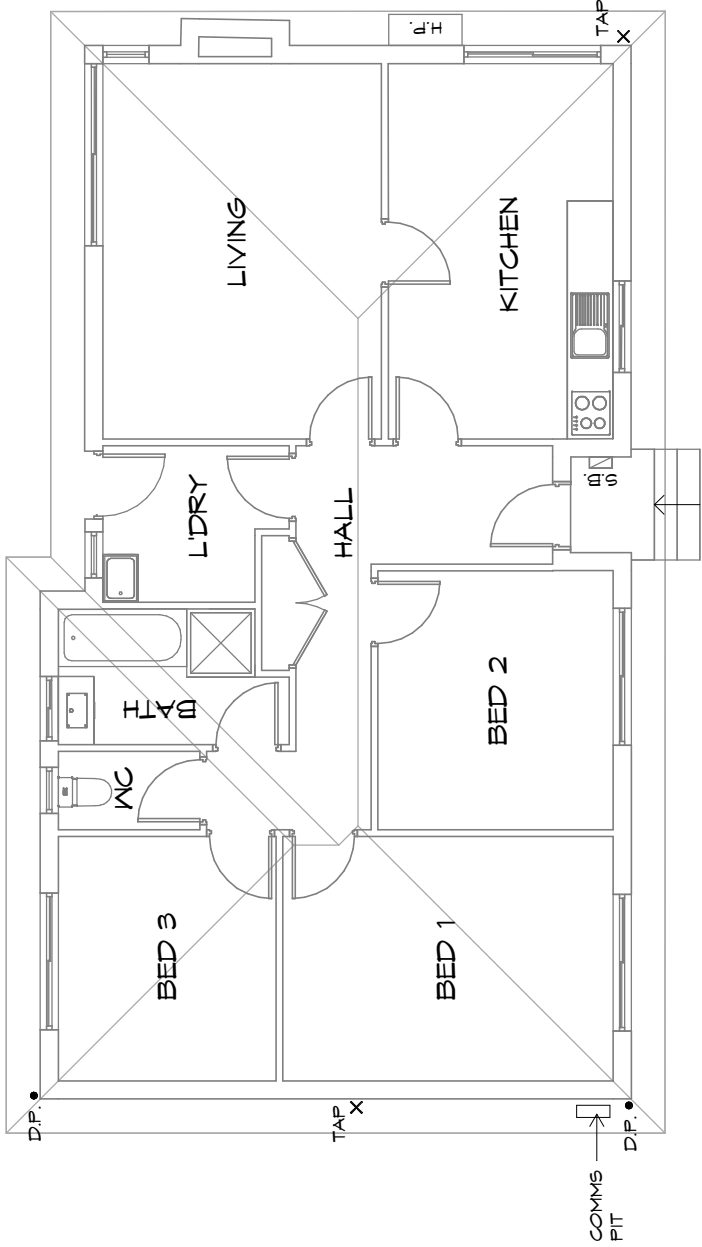
Date:
20-12-2023

Scale:

Project/Drawing no:
PD23405 -17

Revision:
04

Accredited building practitioner: Frank Geskus -No CC246A



EXISTING DWELLING FLOOR PLAN

1 : 100

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS



10 Goodman Court, Invermay Tasmania 7248,
p(l) + 03 6332 3790
Shop 9, 105-111 Main Road, Moonah Hobart 7009
p(h) + 03 6228 4575
info@primedesigntas.com.au primedesigntas.com.au

Project:
PROPOSED UNIT
2 WEILY PLACE,
BRIDGEWATER

Client name:
CENTACARE EVOLVE HOUSING

Drawing:
EXISTING DWELLING FLOOR
PLAN

Drafted by:
Author

Approved by:
Approver

Scale:

20-12-2023 1 : 100

Project/Drawing no:
PD23405 -E01

Revision:
04

Accredited building practitioner: Frank Geskus -No CC246A



Submission to Planning Authority Notice

Council Planning Permit No.	DA 2023 / 00222	Council notice date	6/12/2023
TasWater details			
TasWater Reference No.	TWDA 2023/01691-BTN	Date of response	13/12/2023
TasWater Contact	Timothy Carr	Phone No.	0419 306 130
Response issued to			
Council name	BRIGHTON COUNCIL		
Contact details	development@brighton.tas.gov.au		
Development details			
Address	2 WEILY PL, BRIDGEWATER	Property ID (PID)	5040343
Description of development	Multiple Dwellings x 2 (1 new + 1 ex)		
Schedule of drawings/documents			
Prepared by	Drawing/document No.	Revision No.	Date of Issue
Prime Design	Site Plan – PD23405-02	01	22/11/2023
Conditions			
Pursuant to the <i>Water and Sewerage Industry Act 2008</i> (TAS) Section 56P(1) TasWater imposes the following conditions on the permit for this application: CONNECTIONS, METERING & BACKFLOW - A suitably sized water supply with a metered connection and sewerage system and connection to the development must be designed and constructed to TasWater's satisfaction and be in accordance with any other conditions in this permit. Advice; <i>A trafficable cover must be installed over the sewer inspection opening, if located in the driveway area.</i> - Any removal/supply and installation of water meters and/or the removal of redundant and/or installation of new and modified property service connections must be carried out by TasWater at the developer's cost. - Prior to commencing construction of the development, any water connection utilised for construction must have a backflow prevention device and water meter installed, to the satisfaction of TasWater. DEVELOPER CHARGES - Prior to TasWater issuing a Certificate(s) for Certifiable Work (Building) and/or (Plumbing), the applicant or landowner as the case may be, must pay a developer charge totalling \$1,054.20 to TasWater for water infrastructure for 0.6 additional Equivalent Tenements, indexed by the Consumer Price Index All groups (Hobart) from the date of this Submission to Planning Authority Notice until the date it is paid to TasWater. - Prior to TasWater issuing a Certificate(s) for Certifiable Work (Building) and/or (Plumbing), the applicant or landowner as the case may be, must pay a developer charge totalling \$1,317.75 to TasWater for sewerage infrastructure for 0.75 additional Equivalent Tenements, indexed by the Consumer Price Index All groups (Hobart) from the date of this Submission to Planning Authority Notice until the date it is paid to TasWater.			

DEVELOPMENT ASSESSMENT FEES

6. The applicant or landowner as the case may be, must pay a development assessment fee of \$234.64 to TasWater, as approved by the Economic Regulator and the fee will be indexed, until the date paid to TasWater.

The payment is required within 30 days of the issue of an invoice by TasWater.

Advice

General

For information on TasWater development standards, please visit <https://www.taswater.com.au/building-and-development/technical-standards>

For application forms please visit <https://www.taswater.com.au/building-and-development/development-application-form>

Developer Charges

For information on Developer Charges please visit the following webpage - <https://www.taswater.com.au/building-and-development/developer-charges>

Water Submetering

As of July 1 2022, TasWater's Sub-Metering Policy no longer permits TasWater sub-meters to be installed for new developments. Please ensure plans submitted with the application for Certificate(s) for Certifiable Work (Building and/or Plumbing) reflect this. For clarity, TasWater does not object to private sub-metering arrangements. Further information is available on our website (www.taswater.com.au) within our Sub-Metering Policy and Water Metering Guidelines.

Service Locations

Please note that the developer is responsible for arranging to locate the existing TasWater infrastructure and clearly showing it on the drawings. Existing TasWater infrastructure may be located by a surveyor and/or a private contractor engaged at the developers cost to locate the infrastructure.

- (a) A permit is required to work within TasWater's easements or in the vicinity of its infrastructure. Further information can be obtained from TasWater.
- (b) TasWater has listed a number of service providers who can provide asset detection and location services should you require it. Visit <https://www.taswater.com.au/building-and-development/service-locations> for a list of companies.
- (c) Sewer drainage plans or Inspection Openings (IO) for residential properties are available from your local council.

Declaration

The drawings/documents and conditions stated above constitute TasWater's Submission to Planning Authority Notice.

TasWater Contact Details

Phone	13 6992	Email	development@taswater.com.au
Mail	GPO Box 1393 Hobart TAS 7001	Web	www.taswater.com.au