



Application for Planning Approval

Land Use Planning and Approvals Act 1993

APPLICATION NO.

DA2023/206

LOCATION OF AFFECTED AREA

593 BRIGGS ROAD, BRIGHTON & 595 BRIGGS ROAD, BRIGHTON

DESCRIPTION OF DEVELOPMENT PROPOSAL

CONSTRUCTION OF VETERINARY HOSPITAL, SERVICE BUILDING & PARKING AREA

A COPY OF THE DEVELOPMENT APPLICATION MAY BE VIEWED AT www.brighton.tas.gov.au AND AT THE COUNCIL OFFICES, 1 TIVOLI ROAD, OLD BEACH, BETWEEN 8:15 A.M. AND 4:45 P.M., MONDAY TO FRIDAY OR VIA THE QR CODE BELOW. ANY PERSON MAY MAKE WRITTEN REPRESENTATIONS CONCERNING AN APPLICATION UNTIL 4:45 P.M. ON **16/01/2024**. ADDRESSED TO THE GENERAL MANAGER AT 1 TIVOLI ROAD, OLD BEACH, 7017 OR BY EMAIL AT development@brighton.tas.gov.au.

REPRESENTATIONS SHOULD INCLUDE A DAYTIME TELEPHONE NUMBER TO ALLOW COUNCIL OFFICERS TO DISCUSS, IF NECESSARY, ANY MATTERS RAISED.

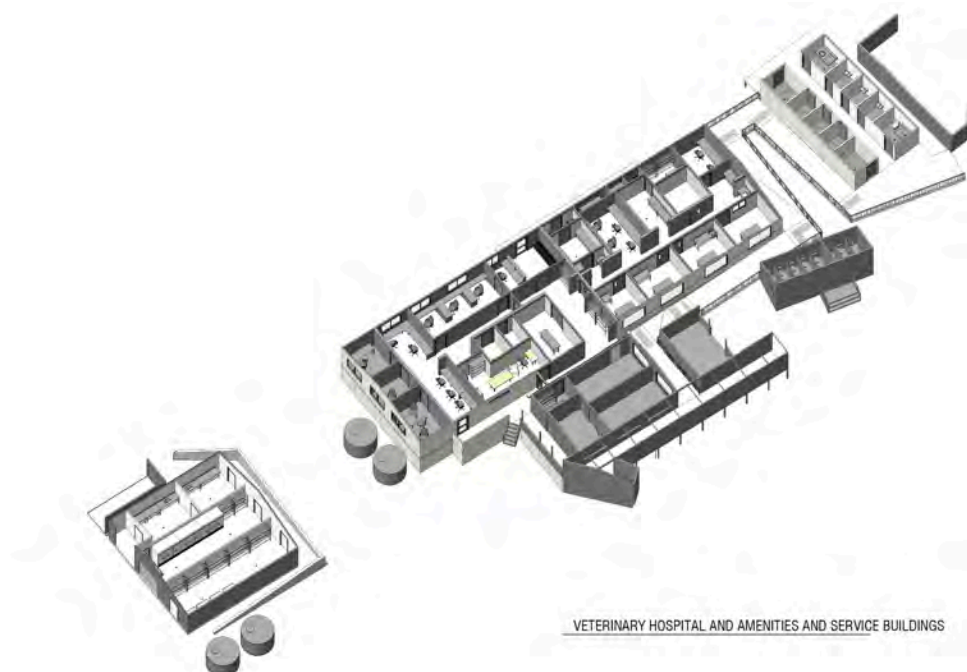
JAMES DRYBURGH
General Manager



Brighton
going places

DEVELOPMENT APPLICATION FOR NEW PROPOSED EXPANSION OF THE VETERINARY HOSPITAL, NEW TOILET BLOCK AND SERVICES BUILDING AT 593 BRIGGS ROAD BRIGHTON, TASMANIA 7018

FOR MR GREG IRONS OF BONORONG WILDLIFE SANCTUARY



3D image of the buildings proposed.



MISHO+ASSOCIATES

1.0 Introduction

This report has been prepared in support of a Development Application being lodged by Misho + Associates Pty Ltd on behalf of Mr Greg Irons and Bonorong Wildlife Sanctuary for the expansion of the existing veterinary hospital, service building and additional amenity and toilet block on the site known as 593 Briggs Road Brighton Tasmania.

It is intended to connect the new veterinary hospital expansion to the existing veterinary building and to make minimal alterations to the existing building that will become an expansion of the hospital housing the orphan animals.

The other two buildings are intended to be a new amenity block of toilets, parent rooms and accessible toilets. This is the start of a longer journey to make the facility wheelchair and walker accessible (as well as prams, etc.). The design allows for access from the car park and bus groups that arrive. There has been a need to deal with tourists on long bus rides to use amenities as soon as possible. The toilets are also accessible once in the Sanctuary. This is part of a new ramp that helps to drop to match the topography and aid in mobility around the site. The ramp will also tell a story of the rescue, rehabilitation and release of injured animals and birds within Tasmania.

The third building is a service building that will house animal food preparation and a laundry that handles the soiled blankets and pouches used for the orphan animals. The other function is an off-exhibit requirement, being the euthanasia area. This is kept away from the main exhibits and public viewing. There is a circular process where the animals are used to feed Tasmanian devils and quolls. The carnivorous Tasmanian animals.

This Development Application is being lodged with the Council. It will be assessed against the Rural Living Zone (Brighton Interim Planning Scheme 2015-Zones) and the Brighton Local Provisions Schedule 2022 and any applicable Code being:

1. (E1) Bushfire – Prone Areas code,
2. (E2) Potential Contaminated land Code,
3. (E3) Landslide Code,
4. (E5) Road and Railway Assets Code,
5. (E6) Parking and Access Code (E6),
6. (E7) Stormwater Management Code,
7. (E8) Electricity Transmission Infrastructure Protection
8. (E9) Attenuation Code,
9. (E10) Biodiversity Code,
10. (E11) Waterways and Coastal Protection Code,
11. (E13) Historic Heritage Code,
12. (E14) Scenic Landscape Code,
13. (E15) Inundation Prone Areas Code,

14. (E16) Coastal Erosion Hazard Code,
15. (E17) Signs Code,
16. (E18) Wind and Solar Energy Code,

The report assesses the relevant provisions of the Brighton Interim Planning Scheme 2015 and the Brighton Local Provisions Schedule 2022.

2.0 Site and Surrounds

2.1 Location

The subject property is located as part of a 60-year-old residential development that is now growing.

The property faces the Jordan River to the west, the Meehan Range, an extensive Environmental Living zone to the east, and the Midlands Hwy and Brighton and Pontville township to the north. To the south is an area of Rural Living zones.

Barbara Jones established Bonorong Wildlife Park in June 1993 on the original parcel of land. Bonorong has had a few owners and now resides with Mr Greg Irons since 2015 and has become Bonorong Wildlife Sanctuary. Mr Irons is passionate about the "Sanctuary" rather than "Park". The animals and birds within the sanctuary can never be released as they would not survive. The main driver is the rescue, rehabilitation and release of animals and birds back into the environment.

The property has non-compliant usage, but it's clear that the 30-year continuous operations have been well established, and the application would like the Council to consider this.

It should be noted that Mr Greg Irons has purchased 995 Briggs Road Brighton, the adjoining property to the north of 593 Briggs Road, and a current Adhesion Order was applied for on 20 October 2023.

Within the Rural Living Zone:

11.1 Zone Purpose

The purpose of the Rural Living Zone is:

11.1.1

To provide for residential use or development in a rural setting where:

- (a) *services are limited or:*
- (b) *existing natural and landscape values are to be retained.*

Mr Greg Irons will always live on the site with his family, as caring for and protecting the animals and birds is a 24/7/365-day task.

We are working with Brighton Council to develop a master plan for the two sites once merged that will protect the landscape, and additional mass planting

can occur to both sites to create a wildlife habitat and corridor between the Jordan River and the Meehan Range behind the existing sites. The zone to the east of the sites is Environmental Living Zone.

11.1.2

To provide for compatible agricultural use and development that does not adversely impact residential amenities.

The keeping of the macropods and other native animals onsite does not impact the surrounding neighbours and does not have any adverse effects on the residential amenities.

11.1.3

To provide for other use or development that does not cause an unreasonable loss of amenity through noise, scale, intensity, traffic generation and movement, or other off-site impacts.

The existing operations of Bonorong Wildlife Sanctuary have remained the same, and it is intended to improve the visual amenity over time with the planting of additional trees that will be planted to create habitat. It is designed to be produced in lines across the slope of the two properties to aid water retention and the site's hydrology.

The proposed master planning will improve and create a better environment for all the adjoining and surrounding neighbours. The new vet and adjoining buildings are all low-scale and hidden within the landscape. The noise impact will be lessened with the additional planting on 595 Briggs Road over time and will improve the amenity for all concerned.

11.1.4

To provide for Visitor Accommodation that is compatible with residential character.

This is not part of the application.

Discretionary

Business and Professional Services: If for a veterinary centre.

The proposed building expansion is for an expanded Veterinary Hospital. The current Rural Living Zone allows for a Discretionary use as a Veterinary Centre.

Community Meeting and Entertainment - If for a place of worship, art and craft centre or public hall.

Bonorong Wildlife Sanctuary runs meetings and educational courses for wildlife rescue, handling, and care.

Domestic Animal Breeding, Boarding or Training

Bonorong Wildlife Sanctuary does house and home animals being macropods as part of the ethos of allowing an injured animal to see their life out in a safe and secure environment that would typically have been released but, due to its injury, will stay within the “Sanctuary”.

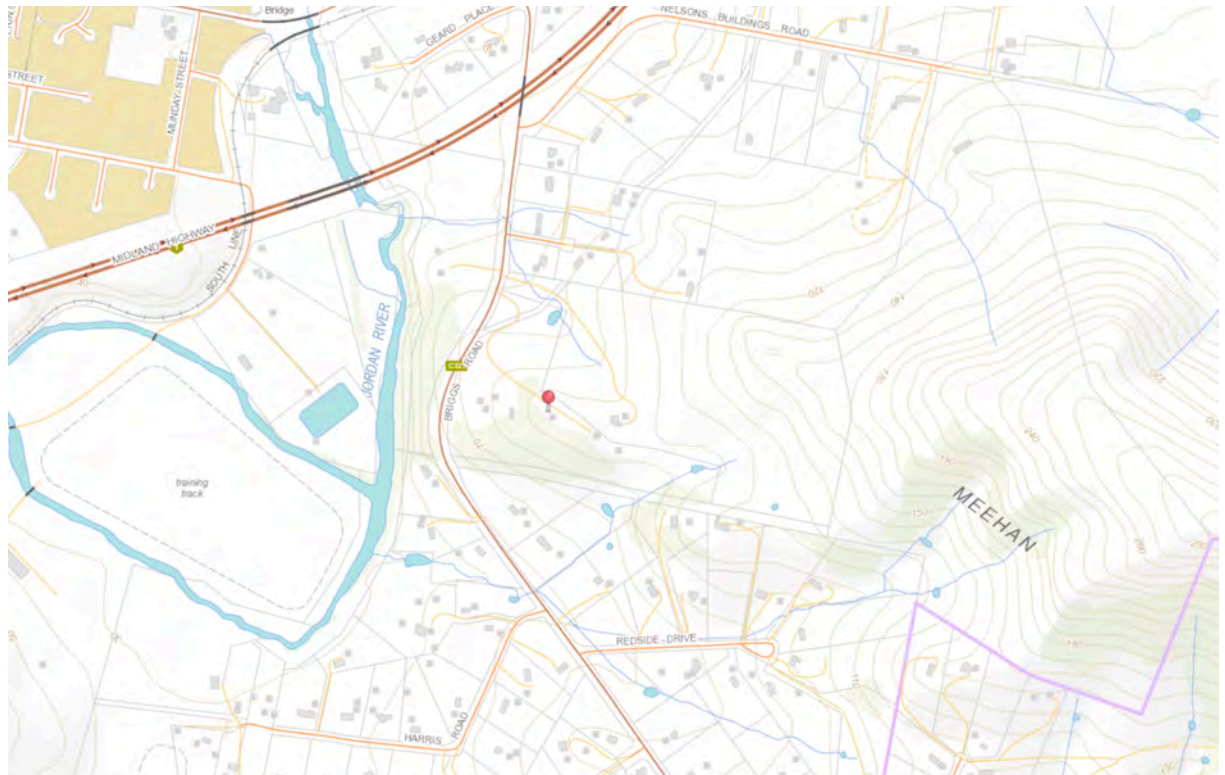
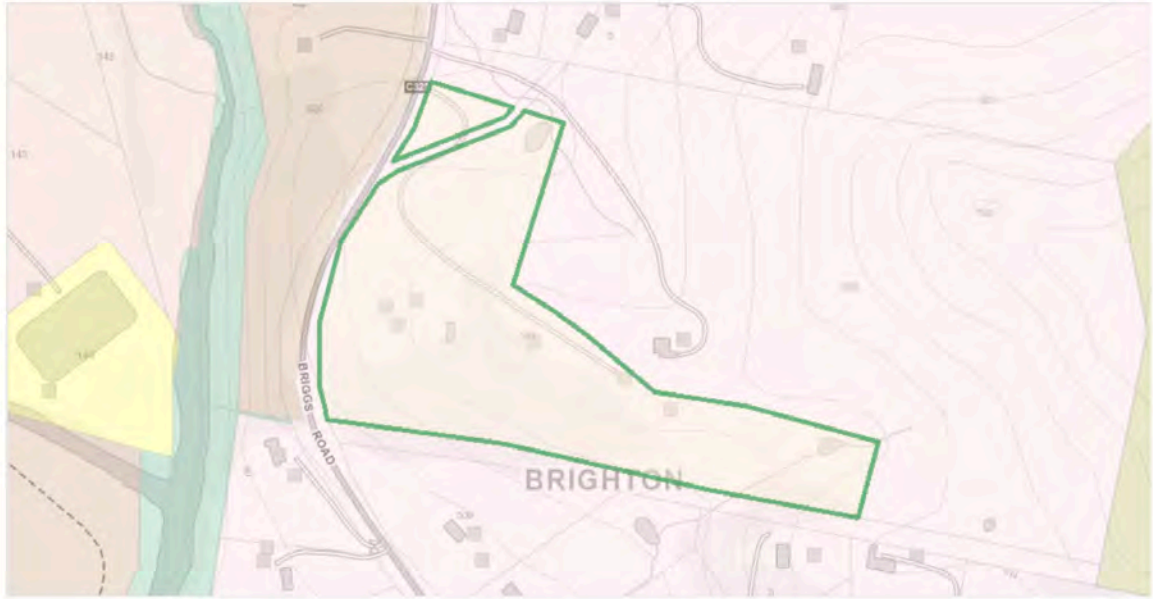


Figure 1 - Tasmanian Interim Planning Scheme Overlay Map with relevant overlays annotated (Source: maps.thelist.tas.gov.au accessed 02/11/2023)

The 593 Briggs Road (The site) is zoned 11.0 Rural Living. The site has an area of 7834.0 m².

Location Information

Planning Zone



Tasmanian Planning Zone

Zone Number	11
Zone	Rural Living

Figure 2 - Tasmanian Interim Planning Scheme Overlay Map with relevant overlays annotated (Source: portal. planbuild.tas.gov.au accessed 02/11/2023)

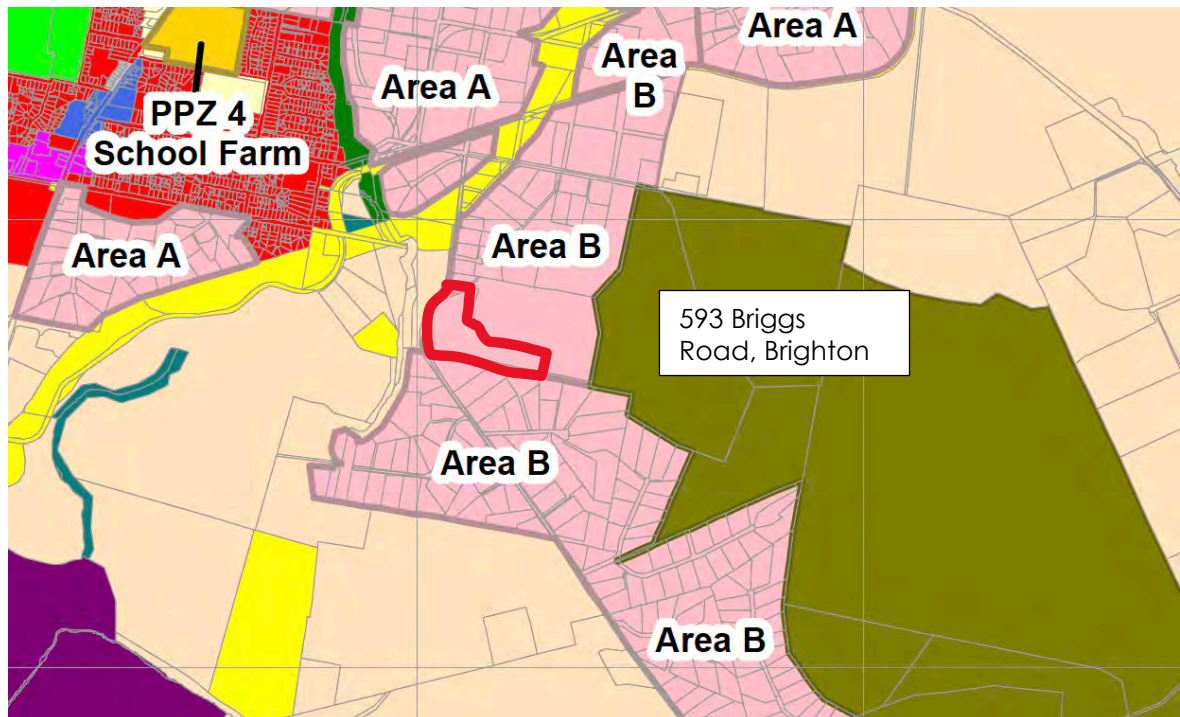


Figure 3 - Tasmanian Interim Planning Scheme Overlay Map with relevant overlays annotated (Source: maps.thelist.tas.gov.au accessed 12/12/2020)

2.2 Site

The current proposal in red above has a Rural Living zone to the north and south of the property, Environmental Living to the east, Rural Resource, and the Jordan River to the west. Refer to Fig 3 above.

All development associated with 593 Briggs Road will be contained within C.T. 4698/17 and CT 3971/89 as detailed by the Site Plan.

2.3 Topography

The subject site has a ridge line that runs off Briggs Road and rises 50 metres to 95.68 mm above ADH. Briggs Road varies between 35-40 metres above ADH. This ridgeline runs approximately west-east, and the sanctuary is on the southern side of the ridgeline.

The existing property has a large volume of tree canopies, and this is to be retained and built upon. We are removing one small black wattle tree that has been in place for about ten years and is nearing the end of its short life as a tree. Refer to Fig 4.



Fig 4. Looking northwest across the existing Bonorong car park and entry to the sanctuary.



Fig 5. Looking west towards the highway, the training racecourse, and the Jordon River.



Fig 6. Looking at the existing vet hospital, the 24-hour rescue portable, and the location of the proposed expanded vet hospital.



Fig 7. Looking north across the site.

3.0 Development Application

3.1 Applicant

The owner is Mr. Greg Irons from Bonorong Wildlife Sanctuary, 593 Briggs Road, Brighton, Tasmania 7030.

Greg, his wife, and his recently born child live at 595 Briggs Road, the adjoining property to the north. There is a current Adhesion Application with the Brighton Council. The intention is to have the two sites as one and will allow Bonorong Wildlife Sanctuary to expand the exhibits over time.

Misho Vasiljevich from Misho + Associates Pty Ltd is acting as the applicant. The appropriate contact is:

Misho Vasiljevich, Architect, FRAIA

M: 0411875 696

E: misho@misho.com.au

W: www.misho.com.au

Mr. Greg Irons has been notified of lodging the development application according to Section 52(1) of the Land Use Planning and Approvals Act 1993 (the Act).

4 Part E Codes

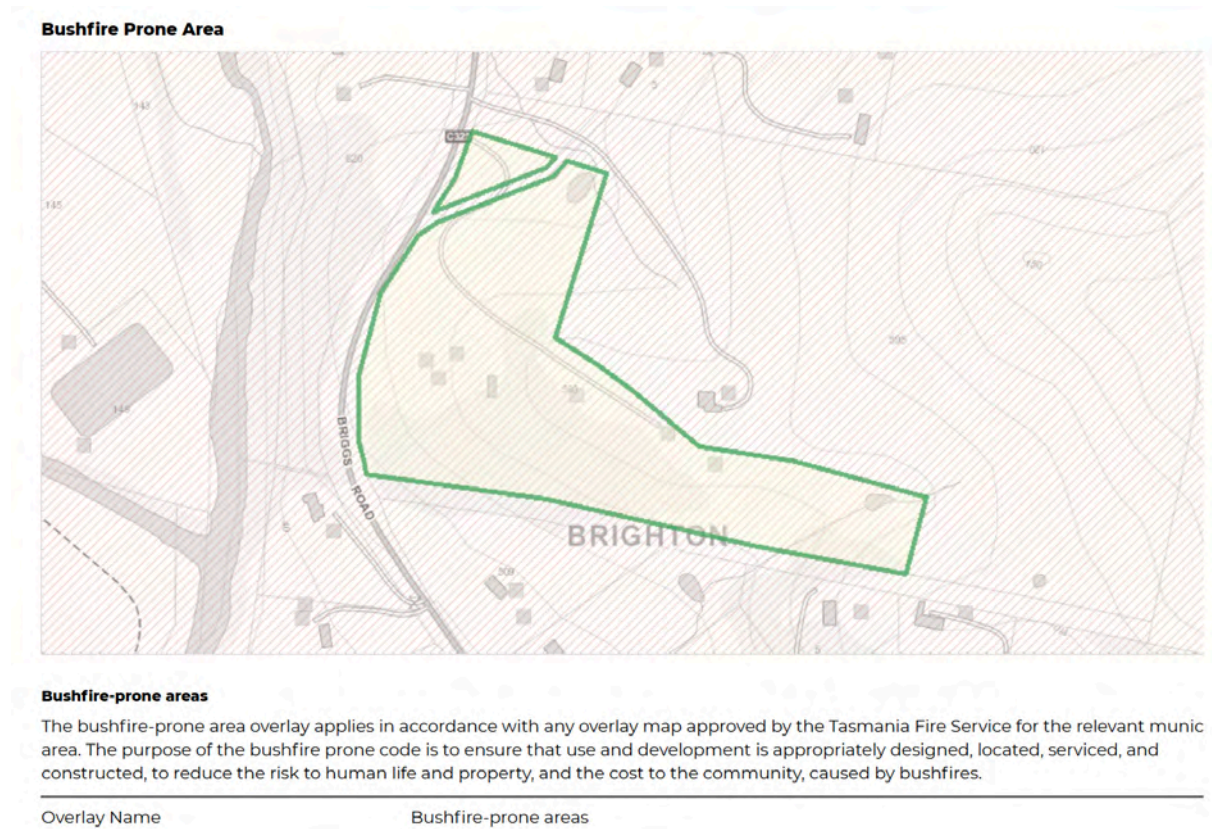


Figure 8 - Tasmanian Interim Planning Scheme Overlay Map with relevant overlays annotated (Source: maps.thelist.tas.gov.au accessed 01/11/2023)

E 1.0 Bushfire - Prone Area Code

Bonorong Wildlife Sanctuary falls in a bushfire-prone area with a rating of Bal 19.

Bonorong Wildlife Sanctuary falls within the Tas Water supply, which will aid in the firefighting ability of the site to have newly installed Fire Hose Reels for all new buildings and facilities.

Also, the site has a natural bore with a 10,000-litre concrete holding tank at a high point on the ridgeline.

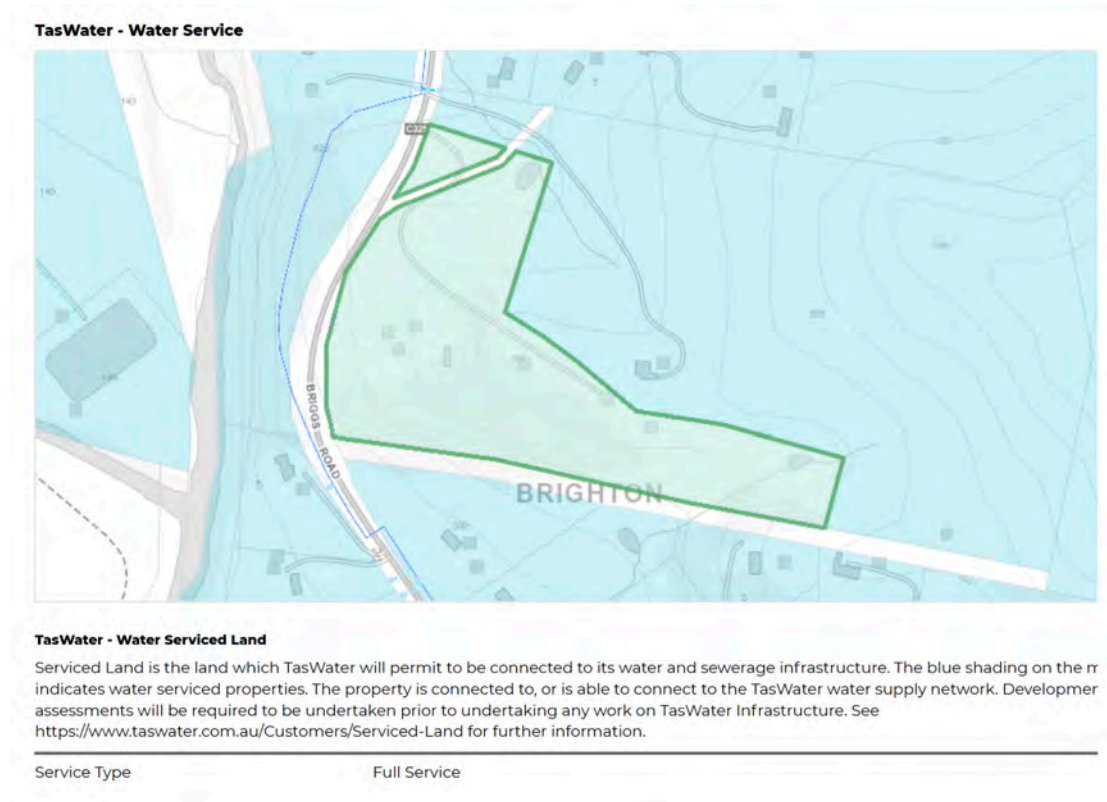


Figure 9 - Tasmanian Interim Planning Scheme Overlay Map with relevant overlays annotated (Source: maps.thelist.tas.gov.au accessed 01/11/2023)

E 2.0 Potentially Contaminated Land Code

Not Applicable.

The property has never been used to store or house material that is deemed to be contaminated.

E 3.0 Landslide Code

Bonorong Wildlife Sanctuary has a low-hazard band, and the new building works north of this zone.



Figure 10 - Tasmanian Interim Planning Scheme Overlay Map with relevant overlays annotated (Source: maps.thelist.tas.gov.au accessed 01/11/2023)

E 4.0 This code number is not used in this planning scheme.

E 5.0 Road and Railway Assets Code

There will be no change to the entry and exit point of the site, and the existing cross-over will be maintained or improved. There is no adverse effect on the current Road system. Complies with the Council's code.

E 6.0 Parking and Access Code

The development complies with the council's requirements. We have allowed for eight (8) additional visitors' car spaces as part of the relocated spaces and a total of two (2) accessible car spaces located close to the entry point. We have maintained the four bus parking bays and have expanded the staff car parking from 12 to 18 spaces. The additional design has no impact on the street frontage.

The existing access points to the site remain the same, and there is no change to the interface with Briggs Road.

E 7.7 Stormwater Management Code

All buildings will have rain-harvesting capacity and multiple rainwater tanks associated with each new and old building structure. It is intended that the rainwater tanks will not be interconnected between buildings.

The new veterinary hospital expansion and associated buildings will all share a new stormwater system to replenish the existing dam and landscape for the wildlife and surrounding habitats. A new open swale will connect the buildings with the current dam onsite.

The project will comply with all the requirements of stormwater discharge.

The new projects' objectives are:

- To ensure that stormwater quality and quantity are managed appropriately.
- Stormwater from new impervious surfaces must be disposed of by gravity to onsite stormwater infrastructure and, in turn, to the landscape for habitat creation.
- Bonorong Wildlife Sanctuary will manage stormwater from disposed of onsite with soakage devices having regard to the suitability of the site, the system design and water-sensitive urban design principles
- Bonorong Wildlife Sanctuary collected for reuse on the site to habitat creation and wildlife water supplies.

The project objectives will be to provide the following:

- Water Quality that maintains or improves the surface and groundwater quality within the development areas relative to pre-development conditions.
- Water Quantity that maintains the total water cycle balance within the development areas relative to the conditions.
- Water Conservation that maximises the reuse of stormwater.
- Ecosystem health maintains to retain natural drainage systems and protect ecosystem health.
- Economic viability that implements stormwater management systems that are economically viable in the long term.
- Public Health minimises the public risk, including risk from injury or loss of life to the community.

- Protection of property and the built environment from flooding and waterlogging.
- Social Values: to ensure social, aesthetic, and cultural values are recognised and maintained when managing stormwater.
- The Development will ensure the delivery of best-practice stormwater management through the planning and developing of high-quality developed areas by sustainability and precautionary principles.
- The project has identified the economic, ecological, and social/cultural values that need to be taken into consideration:
 - A vital goal of the stormwater management plan is to protect & enhance the values of the local & receiving environments.
 - Values may include economic values (e.g., water use, aquaculture, stormwater reuse),
 - Ecological values (e.g., aquatic fauna & flora, urban bushland)
 - Social/cultural values (e.g., historical, public health and safety, recreational, visual amenity, spiritual).

Ecological values: Ecological values are defined as values or uses of the environment that are important for a healthy ecosystem or for public benefit, welfare, safety or health and that require protection from the effects of pollution, waste discharges and deposits (ANZECC & ARMCANZ 2000) & from the effects of altered water regimes.

The ecological values of downstream environments (i.e., downstream environments outside the plan boundary) should also be included. This will be particularly important for values of receiving environments related to recognised conventions, regional agreements, policy, or legislation (e.g., Ramsar wetlands, Conservation category wetlands, Resource Enhancement wetlands, Rare and Threatened Species Protected.)

Waterway and Coastal Protection Area



Waterway and coastal protection area

The waterway and coastal protection area overlay includes land within a specified buffer distance from Class 1 to 4 watercourses and wetlands including Ramsar wetlands. Class 1 watercourses include lakes and tidal waters.

Description	Alterations of electronic planning map made under s.800 of LUPAA
Overlay Name	Waterway and coastal protection area

Figure 11 - Tasmanian Interim Planning Scheme Overlay Map with relevant overlays annotated (Source: maps.thelist.tas.gov.au accessed 01/11/2023)

E 8.0 Electricity Transmission Infrastructure Protection Code

Not Applicable.

E 9.0 Attenuation Code

Not Applicable.

E 10.0 Biodiversity Code

The project recognised the landscape and surrounding topography that the project is part of. The development intends to enhance and develop biodiversity corridors through the property and build on the bird and animal corridors that previous owners have started.

The existing established trees around the boundaries and through the middle of the property will be expanded and enhanced for bird life and marsupial pathways across the site. The project plans to develop and encourage a connection between the existing Environmental Living zone on the Meehan Range and the water's edge of the Jordan River.

Objective:

To ensure that development for buildings and works that involves clearance and conversion or disturbance within a Biodiversity Protection Area does not result in unnecessary or unacceptable loss of priority biodiversity values.

- Low-priority biodiversity values will be developed and designed with minimal impact regarding constraints such as topography, land hazard, and development requirements.
- Impacts resulting from bushfire hazard management measures are minimised as reasonably practicable through siting and fire-resistant design of habitable buildings.
- The remaining moderate priority biodiversity values on the site are retained and improved by implementing current best practice mitigation strategies and ongoing management measures designed to protect the integrity of these values.
- Landscape refuge for native flora and fauna.
- Corridors for wildlife to move through the landscape.
- Habitat for rare and threatened species
- Contributes to water availability and nutrient cycling on a property and landscape scale.
- Healthy aquatic life, including fish: riparian vegetation creates shade, regulating water temperature and sheds timber into waterways that fish use for shelter, feeding and spawning.
- Water resources used in agriculture and industry.
- Stock management and shelter: riparian vegetation creates shade and acts as a windbreak.
- Supports biological agents, such as predatory species, that control pests of crops and pasture.
- Increase in capital values.
- Opportunities for diversification such as ecotourism, fishing tours, amenity for accommodation
- Reduces erosion and retains sediment by physically slowing water and wind movement.
- Maintains river courses and stabilises soil surfaces through the action of roots, organic matter, and increased infiltration.
- Lowers the water table through root action, reducing water logging and salinity.
- Filters pollutants from surface water flow: ground cover plants, and the litter layer help filter out pollutants before they reach the waterways.
- Provide a connection to the place.
- Support recreational bird watching, bushwalking and fishing.
- Provide landscape values.

- We are preserving the original landscape and spiritual and therapeutic effects.

E 11.0 Waterway & Coastal Protection Code

Refer to the Stormwater Management and Biodiversity Code in the above text.



Figure 12 - Tasmanian Interim Planning Scheme Overlay Map with relevant overlays annotated (Source: maps.thelist.tas.gov.au accessed 01/11/2023)

E 12.0 This Code number is not used in this Planning Scheme.

E 13.0 Historic Heritage Code

This section is not applicable because the subject site is not within an identified heritage precinct or identified as a local heritage place or place of archaeological significance.

E 14.0 Scenic Landscapes Code

The code is not applicable.

E15.0 Inundation Prone Areas Code

The code is not applicable.

E16.0 Coastal Erosion Hazard Code

The code is not applicable.

E17.0 Signs Code

The code is not applicable.

E18.0 Wind and Solar Energy Code

The code is not applicable because no electricity generation by wind turbines will occur.

However, the design allows for flat-mounted solar panels across the metal roof that will not affect any views or impede anyone visually. These panels will be black panels on a metal roof in woodland grey coloured roof. There will be no glare created to any neighbours.

E19.0 Telecommunications Code

The code is not applicable because no telecommunications infrastructure is to be proposed.

E20.0 Acid Sulfate Soils Code

The code is not applicable.

E21.0 Dispersive Soils Code

The code is not applicable.

E22.0 This Code number is not used in this planning scheme

E 23.0 On-site Wastewater Management Code

The existing and newly expanded veterinary hospital will comply with the standards set out in the Acceptable Solutions.

Refer to the Geo-Environmental Solutions Report for the complete data and detailed report on the proposal for the development.

The new additions or alterations to an existing building will not encroach onto a current land application area and comply with the following required irrigation areas. The irrigation areas are an essential part of re-establishing landscape habitat for wildlife around the site and the increase in bird life with the plants planted in these irrigation zones.

The land application area is of sufficient size to comply with the requirements of AS/NZ1547.

4.0 Photos of existing conditions and surrounding area.



Fig 13. Aerial of the back of house shed and facilities close to Briggs Road.



Fig 14. Aerial image of the car parking and the location of the proposed expanded veterinary hospital.



Fig 15. Aerial image of the car parking and the location of the proposed expanded veterinary hospital.



Fig 16. Public car parking will be rationalised and formalised to aid patron access and movement around the facility.

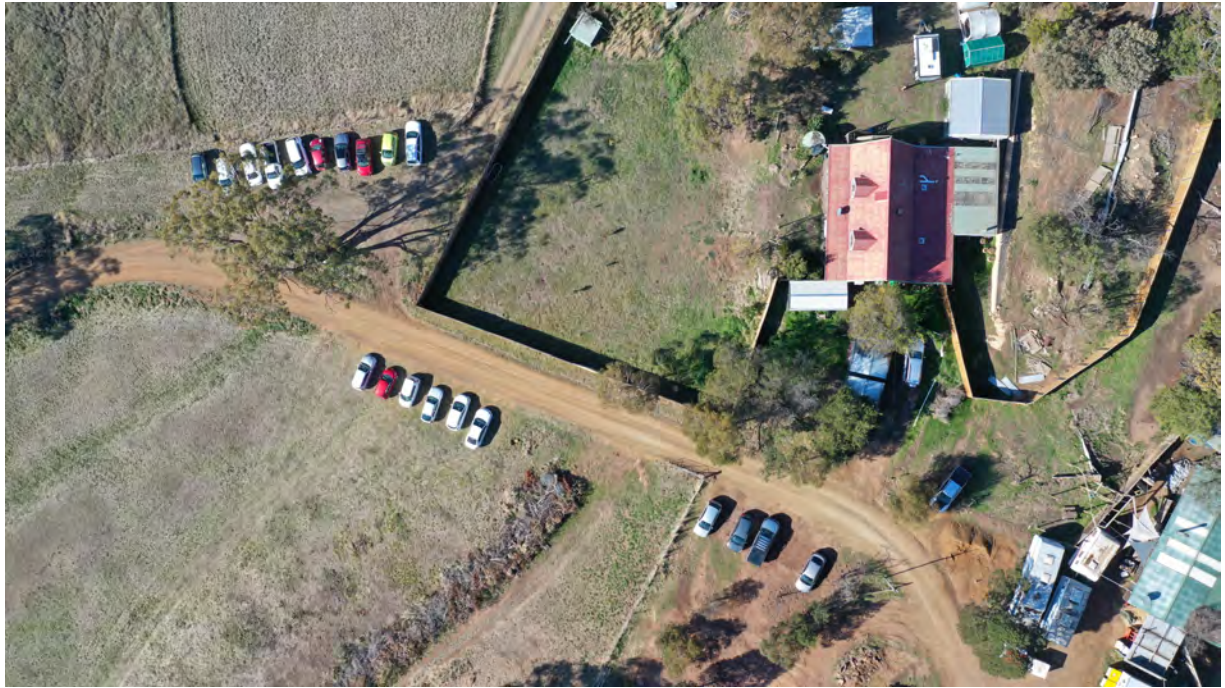


Fig 17. Aerial staff car parking will be rationalised.



Fig 18. Aerial looking down on the site and the existing landscape that will be retained and developed in time.



Fig 19. Aerial looking down on the site and the existing landscape that will be retained and developed in time.



Fig 20. The new ramps will allow wheelchair access and walking frames and prams. The ramp will move across the undulating terrain.



Fig 21. The new ramps will allow wheelchair access and walking frames and prams. The ramp will aid in moving across the undulating terrain.



Fig 22. The new ramps will allow wheelchair access and walking frames and prams. The ramp will aid in moving across the undulating terrain.



Fig 23. The existing viewing corridor that allows patrons to view the treatment of the animals will be reproduced with access to three treatment rooms.



Fig 24. The existing viewing corridor that allows patrons to view the treatment of the animals will be reproduced with access to three treatment rooms.



Fig 25. The area will house the new proposed veterinary hospital expansion and walk ramps within the Sanctuary.



Fig 26. The existing site of the proposed new expanded veterinary hospital.

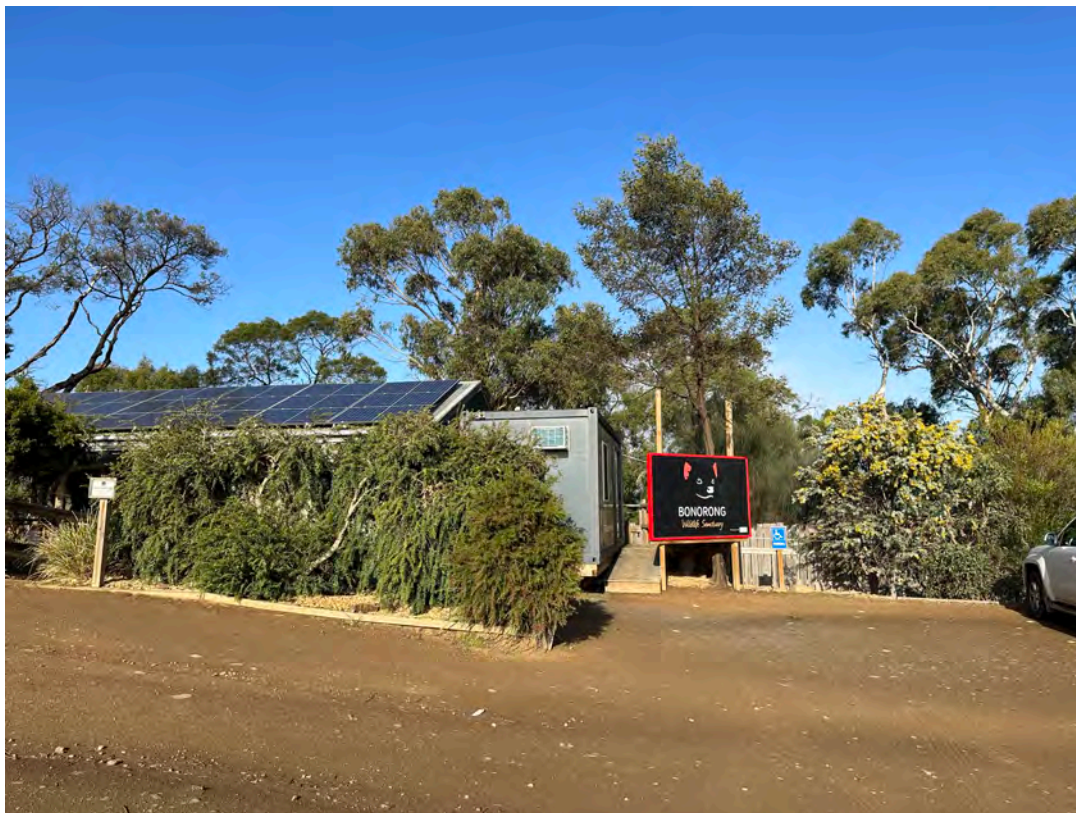


Fig 27. The existing location for the new proposed new amenity block. Next to the existing entry building to the Bonorong Wildlife Sanctuary.



Fig 28. The existing site of the proposed new expanded veterinary hospital.



Fig 29. The existing site of the proposed new expanded veterinary hospital. Pictured is the 24-hour, seven-days-a-week phone rescue teams' facility that will be accommodated in the new building.



Fig 30. An image of the existing singular operating room. The new expansion will have three treatment rooms. The current room has a viewing passage externally. That will be repeated in the new facility.



Fig 31. An image of the existing singular operating room. The new expansion will have three treatment rooms.



Fig 32. Working with McConnell Dowell, the builders of the new Bridge Water Bridge, Bonorong is using local stone to create new landscaping swales to aid in hydrology and a new tree planting program to encourage wildlife and redevelop wildlife corridors between the Jordan River and the Meehan Range.



Fig 33. Working with McConnell Dowell, the builders of the new Bridge Water Bridge, Bonorong is using local stone to create new landscaping swales to aid in hydrology and a new tree planting program to encourage wildlife and redevelop wildlife corridors between the Jordan River and the Meehan Range.



Fig 34. New landscaping swales to aid in hydrology and a new tree planting program to encourage wildlife and redevelop wildlife corridors between the Jordon River and the Meehan Range.



Fig 35. New landscaping swales to aid in hydrology and a new tree planting program to encourage wildlife and redevelop wildlife corridors between the Jordon River and the Meehan Range.

5.0 Conclusion

The proposed new expanded veterinary hospital at Bonorong Wildlife Sanctuary development at 593 Briggs Road Brighton follows the guidelines within the Brighton Local Provisions Schedule and the Brighton Council Interim Planning Scheme 2015. It complies with all the design guidelines set out.

It is submitted that the proposal complies with the relevant standards in all cases.

The proposed development is an excellent example of integrating new building works without losing neighbourhood amenities and integrating into the existing context without affecting the Brighton, the Jordan River precinct, and the Meehan Range landscape.

The application is therefore considered to include sufficient information to enable the Council to view the proposed use and development and decide by Clause 8.10 of the Scheme.

General Manager
Brighton Council
1 Tivoli Road
Old Beach
Tasmania 7017

Dear Sir /Madam,

**APPLICATION FOR PLANNING PERMIT (DA 2023/00206)
ADDITIONS TO VETERINARY HOSPITAL AND SERVICE BUILDING, 593 BRIGGS
ROAD BRIGHTON AND 595 BRIGGS ROAD BRIGHTON.**

I am writing regarding your letter dated 23 Nov 2023 with queries relating to DA 2023/00206.

You refer to the assessed under the Tasmanian Planning Scheme - Brighton ('the Scheme'). Accordingly, and pursuant to Section 54 of the Land Use Planning and Approvals Act 1993 (LUPAA), the following information is first required from Bonorong Wildlife Sanctuary for the Council to assess appropriately.

Your points 1,2 and 3 in your letter of 23 Nov 2023

1. Clause 6.1.2 - Application Requirements - Previous Permit - Veterinary Centre

Council Officers have reviewed previous planning permits issued in recent years for Bonorong. The existing veterinary centre was previously approved (DA 2015/ 227) as an ancillary use to the main Tourist Operation use on site. Therefore, we will need to assess the expansion of the veterinary centre in the same manner.

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We request that the Brighton Council review and assess the proposed DA with a view of the existing use rights that have been in place since 1985 when the property was set up as a Bonorong Wildlife Park and operated as a tourist destination and has continuously operated in the exact location for nearly 38 years.

The existing tourist operation use is now prohibited in the Rural Living Zone, so the proposal must be assessed under Clause 7.1.1 - Changes to an Existing Non-conforming Use, as follows:

Changes to an Existing Non-conforming Use Clause 7.1.1

Notwithstanding clause 6.9.1 of this planning scheme, the planning authority may at its discretion, approve an application:

Clause 7.1.1 b) states the planning authority may, at its discretion, approve an application:

- (b) to extend or transfer an existing non-conforming use and any associated development from one part of a site to another part of that site.*

7.1.2 An application must only be approved under sub-clause 7.1.1 of this planning scheme where there is:

- (a) no unreasonable detrimental impact on adjoining uses or the amenity of the surrounding area; and*
- b) no substantial intensification of the use.*

The proposed development will not harm or impact surrounding neighbours and will not intensify the existing site.

The Development Application has designed new compliant buildings in line with the NCC (National Construction Code), Disability Discrimination Act (DDA) and Part J (Energy Efficiency requirements of the NCC) that provide for consolidation of existing services on the site. The services are currently performed onsite, and there is no change.

The new building is an amalgamation of activities under one roof that provides better OH&S facilities and better work opportunities for a range of people who care for animals.

The new buildings will allow wheelchair access to all parts of the newly built form, allowing for integrated work opportunities for all.

Bonorong Wildlife Sanctuary, in addition to running a positive impact tourism business, also operates community services for wildlife, which include a 24/7 wildlife rescue co-ordination, triage and treatment activities. These services have worked on-site since 2010, with the addition of approved wildlife hospital services in 2018. The development application provides for relocating these services from one part of the site to a central building, offering greater efficiency for staff and wildlife welfare.

The current rescue, triage, feeds area, laundry, treatment, and other functions noted as spaces delineated in the new buildings are already occurring on site.

There is no intention for an intensification of services, and in fact, there may be an opportunity for more coordinated wildlife drop-offs needing treatment and attention. The wildlife being dropped off at Bonorong Wildlife Sanctuary can now be seen quicker and more effectively by the qualified veterinary staff on site as the new facilities provide treatment rooms, which means animals that have been previously waiting for specialist treatment can be seen quicker and from a location where all the on-site services are occurring under one building.

The veterinary centre, toilet block, car parking and services building are associated with the existing non-conforming Tourist Operation Use on the site.

About Clause 11.3.1 of the Tasmanian Planning Scheme- Brighton P1, the wildlife services that already operate 24/7 through existing use will continue. This includes the drop-off of injured or orphaned wildlife by community wildlife volunteers. The provision of the buildings seeks to treat animals quicker and more efficiently, and there is no expectation of any impact on the surrounding residential amenity, noting the services the

buildings fulfil need to be undertaken for commercial purposes. The movement of personal vehicles for animal drop-offs outside of 6:00 p.m. and 8:00 a.m. is dictated by the number of wildlife needing assistance and their proximity for treatment at Bonorong Wildlife Sanctuary.

2. Clause 7.1.1 – Changes to an Existing Non-conforming Use.

The submission must set out that the veterinary centre, toilet block, car parking and services building are associated with the existing non-conforming Tourist Operation Use on the site. The submission needs to explain how those elements satisfy Clause 7.1.1 (Changes to an Existing Non-conforming Use) of the Scheme.

Refer to Point 1 above.

3. Clause 11.3.1- Discretionary Uses

This standard is relevant to the proposed discretionary (Veterinary Centre) use. Please provide a response to Clause 11.3.1, which demonstrates It can be satisfied. This must address A1/P1, A2/P2 and A3/P3.

11.3.1 Non-Residential Use

Objective:

To ensure that non-residential use does not unreasonably impact residential amenity.

Acceptable Solutions

Performance Criteria

<p>A1</p> <p><i>Hours of operation must be within 8.00 am to 6.00 pm, except for office and administrative tasks or visitor accommodation.</i></p>	<p>P1</p> <p><i>Hours of operation must not have an unreasonable impact upon the residential amenity through commercial vehicle movements, noise or other emissions that are unreasonable in their timing, duration or extent.</i></p>
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<p>A2</p> <p>Noise emissions measured at the boundary of the site must not exceed the following:</p> <ol style="list-style-type: none"> 1. (a) 55 dB(A) (LAeq) between the hours of 8.00 am to 6.00 pm; 2. (b) 5dB(A) above the background (LA90) level or 40dB(A) (LAeq), whichever is the lower, between the hours of 6.00 pm to 8.00 am; 3. (c) 65dB(A) (LAMax) at any time. <p>Measurement of noise levels must be in accordance with the methods in the Tasmanian Noise Measurement Procedures Manual, issued by the Director of Environmental Management, including adjustment of noise levels for tonality and impulsiveness.</p> <p>Noise levels are to be averaged over a 15 minute time interval.</p>	<p>P2</p> <p>Noise emissions measured at the boundary of the site must not cause environmental harm.</p>
<p>A3</p> <p>External lighting must comply with all of the following:</p> <ol style="list-style-type: none"> 1. (a) be turned off between 6:00 pm and 8:00 am, except for security lighting; 2. (b) security lighting must be baffled to ensure they do not cause emission of light into adjoining private land. 	<p>P3</p> <p>External lighting must not adversely affect existing or future residential amenity, having regard to all of the following:</p> <ol style="list-style-type: none"> 1. (a) level of illumination and duration of lighting; 2. (b) distance to habitable rooms in an adjacent dwelling.

<p>A4</p> <p>Commercial vehicle movements, (including loading and unloading and garbage removal) to</p>	<p>P4</p> <p>Commercial vehicle movements, (including loading and unloading and garbage removal)</p>
<p>or from a site must be limited to 20 vehicle movements per day and be within the hours of:</p> <ol style="list-style-type: none"> 1. (a) 7.00 am to 5.00 pm Mondays to Fridays inclusive; 2. (b) 9.00 am to 12 noon Saturdays; 3. (c) nil on Sundays and Public Holidays. 	<p>must not result in unreasonable adverse impact upon residential amenity having regard to all of the following:</p> <ol style="list-style-type: none"> 1. (a) the time and duration of commercial vehicle movements; 2. (b) the number and frequency of commercial vehicle movements; 3. (c) the size of commercial vehicles involved; 4. (d) the ability of the site to accommodate commercial vehicle turning movements, including the amount of reversing (including associated warning noise); 5. (e) noise reducing structures between vehicle movement areas and dwellings; 6. (f) the level of traffic on the road; 7. (g) the potential for conflicts with other traffic.

1. The Proposed Development Application does not change the current hours of operation and complies with A1.
2. The noise levels at the boundaries comply with A2. The animal husbandry and location of activity are close to the centre of the site along a ridgeline. The proposed DA complies.

3. External lights comply with A3, as the animals don't like spotlights or ambient lighting as it has a determinantal effect on the habits. The proposed DA complies.
4. The project complies with A4, and again the existing road system onsite is very central and along the ridge line. The project complies.

Your Points 4, 5 and 6 in your letter dated 23 Nov 2023

4. Clause C2.5.1 - Parking Numbers

The proposal includes the addition of eight (8) additional visitor parking spaces, (2) accessible parking spaces located close to the entry point and six (6) new staff parking spaces. It is assumed that approval is being sought for the existing staff parking area as well as the additions.

It is unclear which spaces proposed are to be assigned to each of the use classes, having regard to Clause C2.5.1 and Table C2.1 of the Code. Therefore, please provide:

- (a) *A traffic Impact statement by a suitably qualified person which addresses Clause C2.5.1 A1/P1 and which considers that the two titles are to be adhered.*
- (b) *An amended site plan/ parking layout showing how the parking spaces are assigned to each use classes.*

The car spaces have been relocated from the proposed new footprint of the expanded veterinary hospital to a new location where the current staff park. We have added an extra accessible parking space to comply with the current NCC and DDA acts.

We have only formalised a layout of what already exists onsite. There is no increase in numbers. Refer to Fig 1, Fig 2 and Fig 3.

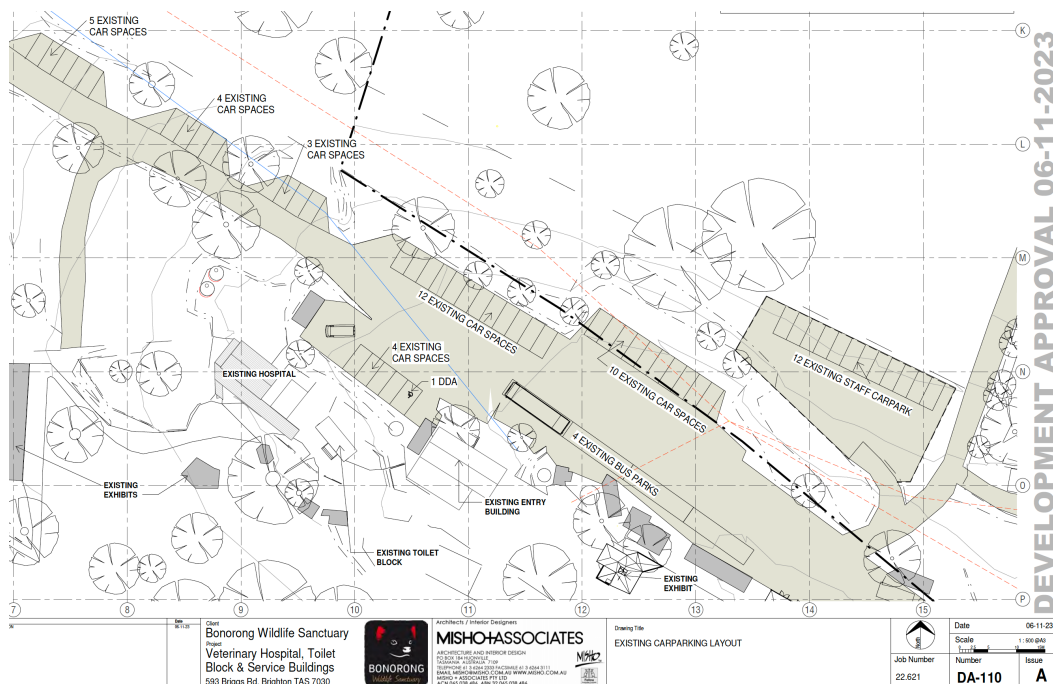


Fig 1. Shows the current layout of all the parking

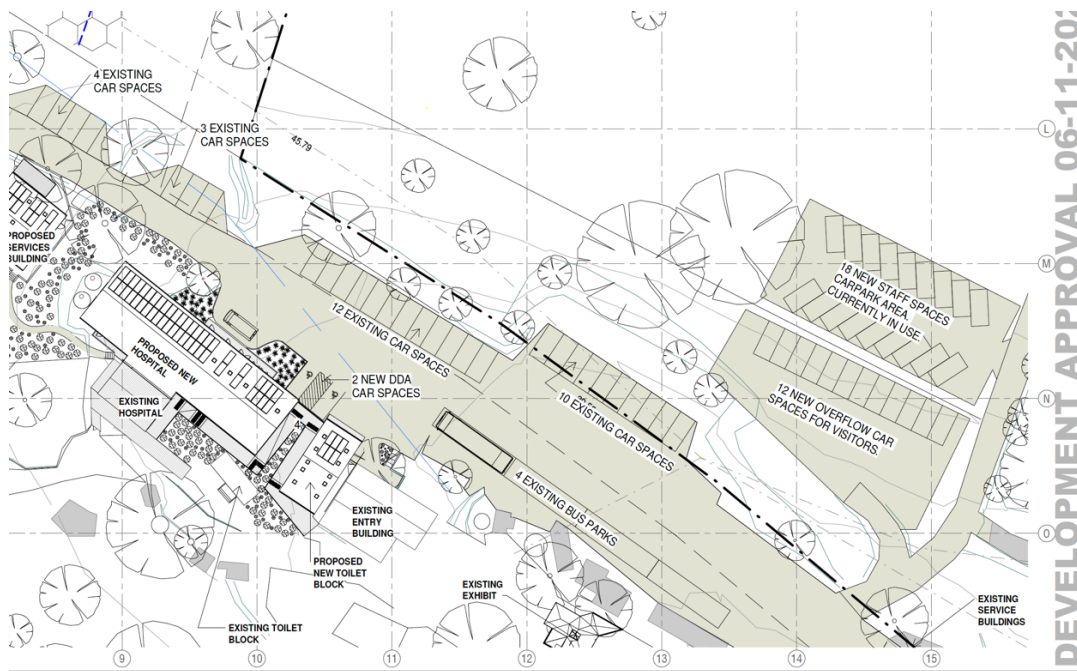


Fig 2. The new overflow carparking moves into the existing staff carparking and there is a rationalisation of the existing staff car parking that is spread out as Fig 3 shows. We are consolidating the parking into one zone.



Fig 3. Current usage and location of staff parking.

The proposed development application is not seeking to create additional parking demand. The location of the new buildings displaces some of the existing car parks, so the development application is looking to relocate these replaced parking areas and take the opportunity to provide a more durable material that is in line with the performance criteria associated with the parking space.

Your point 7 in the letter dated 23 Nov 2023

7. Clause C3.5.1 - Traffic Generation at a Vehicle Crossing, Level Crossing or New Junction

Please clarify if the proposed development will result in an increase in vehicle movements using the existing access off Briggs Road. If so, please demonstrate compliance with Clause C3.5.1 A1.4/ P1.

The proposed development will not increase vehicle movements using the existing access off Briggs Road. The proposed expanded veterinary hospital will keep the volume of traffic the same. The services provided by the newly developed veterinary and administration building are associated with treating and assisting injured or orphaned wildlife and are already onsite. It's about consolidation of functions under a new complying building structure. The proposed new toilet block will update existing facilities on the site and provide accessible toilets and parent rooms that are outdated and non-compliant. This will not increase traffic numbers.

The proposed service building also is updating existing facilities onsite. Within this new building is a laundry facility that replaces an existing building that is 30 years old, and the plumbing is still intact. A new food preparation and delivery point currently exists within the public/patron zone where accidents could happen. The final items are a euthanasia room and meat preparation area that will be moved to this location away from the patrons. Again, away from the main area.

As a Bonorong Wildlife Sanctuary protocol to conduct better OH&S, these functions are being moved to remove risk.

To conclude, there is no additional traffic at the existing entry point.

Your Point 8 in the letter dated 23 Nov 2023

8. Clause C7.6 - Development Standards for Buildings and Works.

The proposal involves a new point discharge to a watercourse on site.

Please provide a report from a suitably qualified person addressing Clause C7.6 P3.

No additional discharge point has been created, just the upgrade to a complying standard that prevents erosion and stabilises the surrounding landscape. The discharge point already exists. There is already a stormwater runoff drain in the area across the service road from the existing facilities, and the development will provide an opportunity to increase the suitability of this drain. The current and improved runoff is not intended to impact environmental values negatively. In fact, given the purpose of Bonorong Wildlife Sanctuary as a wildlife-focused organisation, we would seek to increase the ecological values of any stormwater runoff. The current runoff flows down the hill into an existing dam on site. As part of master site planning, we would be seeking to provide swales and other hydrological hold points, which would allow water to be more widely dispersed and provide for the creation of additional habitat zones as the water feeds new undergrowth and sub-story eventually, over time leading to multi-layered canopies and habitat zones.

We trust this provides the necessary information to progress the Development Application and are more than happy to be contacted for further questions or clarifications.

Yours Sincerely

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