



Application for Planning Approval

Land Use Planning and Approvals Act 1993

APPLICATION NO.

DA2023/164

LOCATION OF AFFECTED AREA

90 BRAEVIEW DRIVE, OLD BEACH

DESCRIPTION OF DEVELOPMENT PROPOSAL

SECONDARY DWELLING

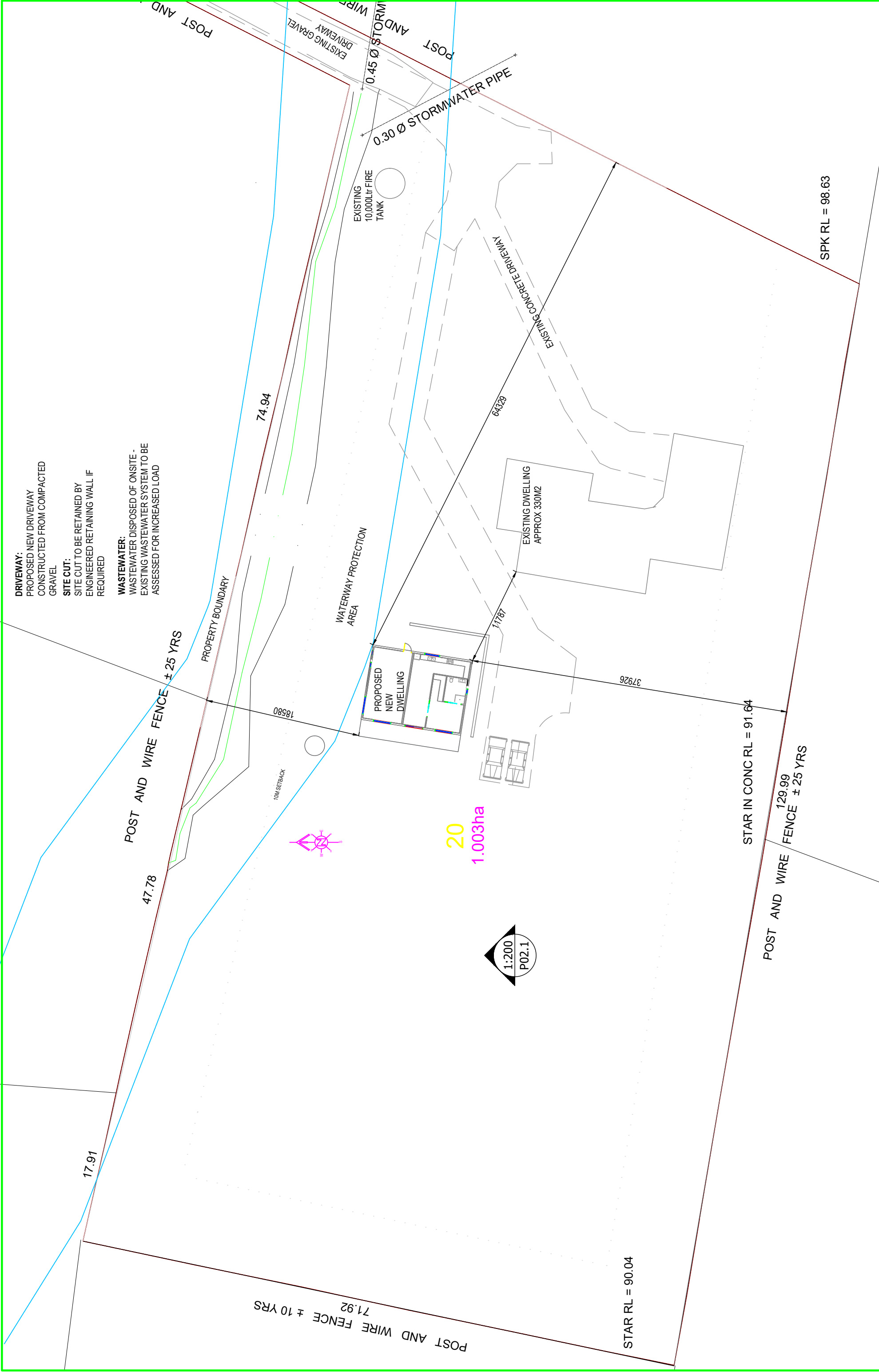
A COPY OF THE DEVELOPMENT APPLICATION MAY BE VIEWED AT www.brighton.tas.gov.au AND AT THE COUNCIL OFFICES, 1 TIVOLI ROAD, OLD BEACH, BETWEEN 8:15 A.M. AND 4:45 P.M., MONDAY TO FRIDAY OR VIA THE QR CODE BELOW. ANY PERSON MAY MAKE WRITTEN REPRESENTATIONS CONCERNING AN APPLICATION UNTIL 4:45 P.M. ON **07/02/2024**. ADDRESSED TO THE GENERAL MANAGER AT 1 TIVOLI ROAD, OLD BEACH, 7017 OR BY EMAIL AT development@brighton.tas.gov.au.

REPRESENTATIONS SHOULD INCLUDE A DAYTIME TELEPHONE NUMBER TO ALLOW COUNCIL OFFICERS TO DISCUSS, IF NECESSARY, ANY MATTERS RAISED.

DAVID ALLINGHAM
Acting General Manager



Brighton
going places



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DIMENSION NOTE:
Use written dimensions only. Do not scale from drawings. All figured dimensions are to be used as a guide only. It is imperative that all dimensions, setbacks and levels be confirmed on site by the Builder/Surveyor/ or sub-contractor prior to the commencement of work, manufacture and installation. It is imperative that the Builder/sub-contractor and/or manufacturer ensures a full set of plans are on hand and reference has been made to the general notes.



BLST Pty Ltd
57 One Hill Road, Biddagwater 7130
EMAIL: info@sheds-homes.com.au

CLIENT NAME:

SAMUEL & NICOLE PALMER

PROJECT ADDRESS:

90 BRAEVIEW DRIVE, OLD BEACH TAS 7017

PROJECT:

NEW DWELLING & CARPORT

DRAWING TITLE:

FLOORPLAN

DATE: **15/09/2023**

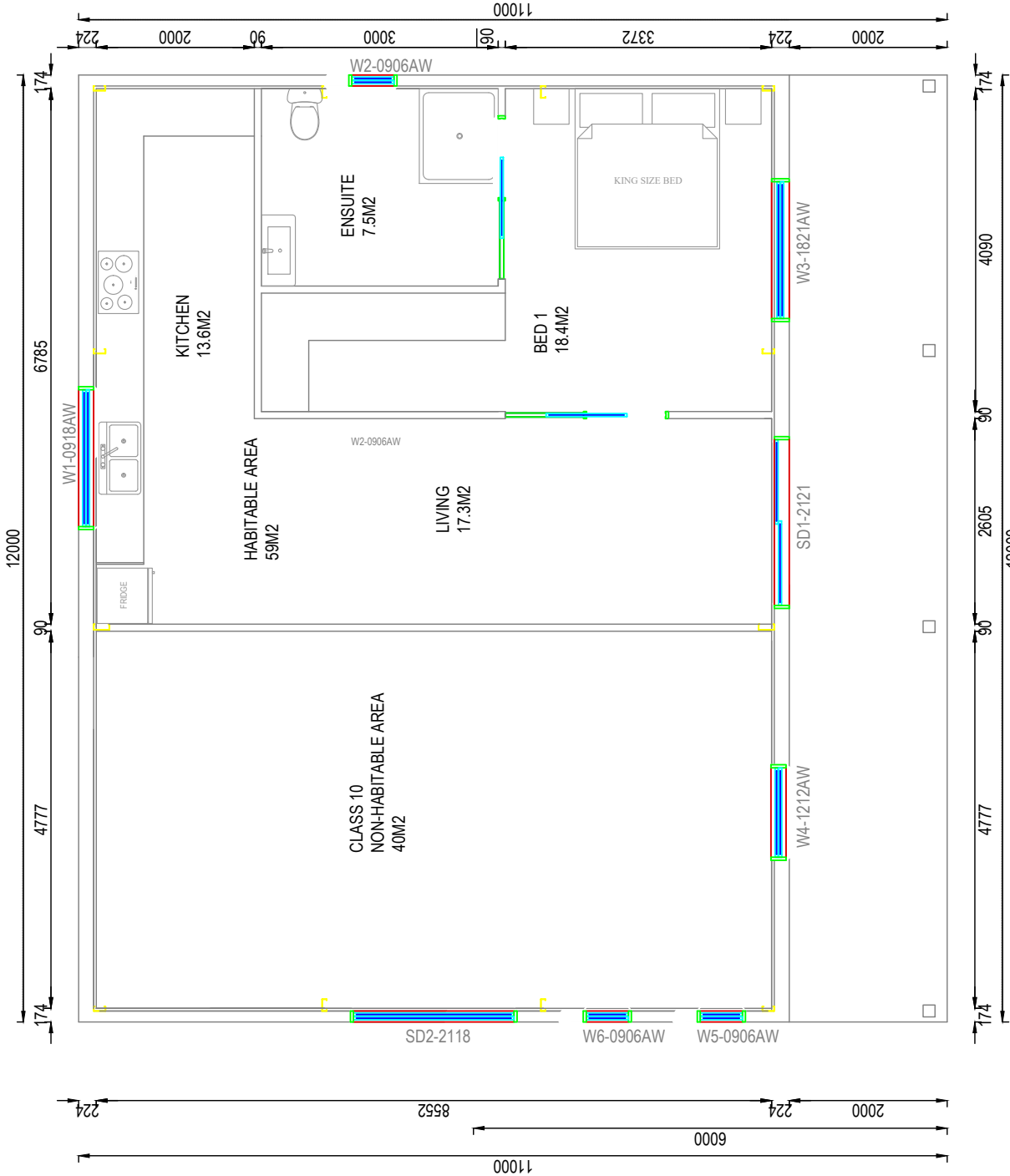
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SHEET No: **P03.0**

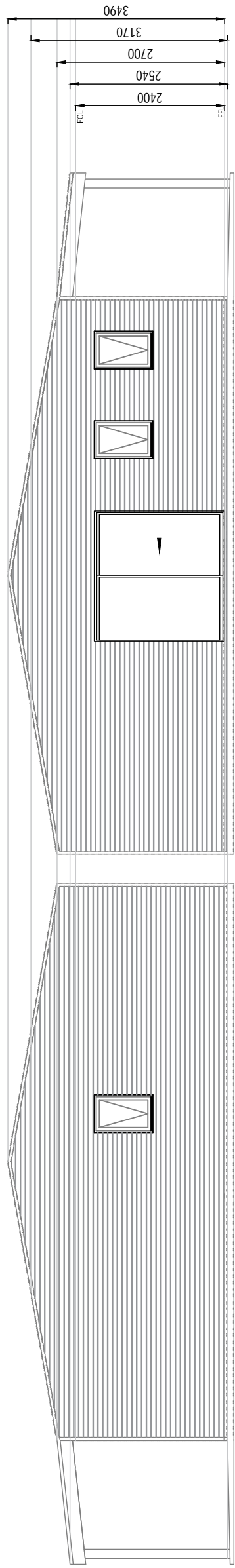
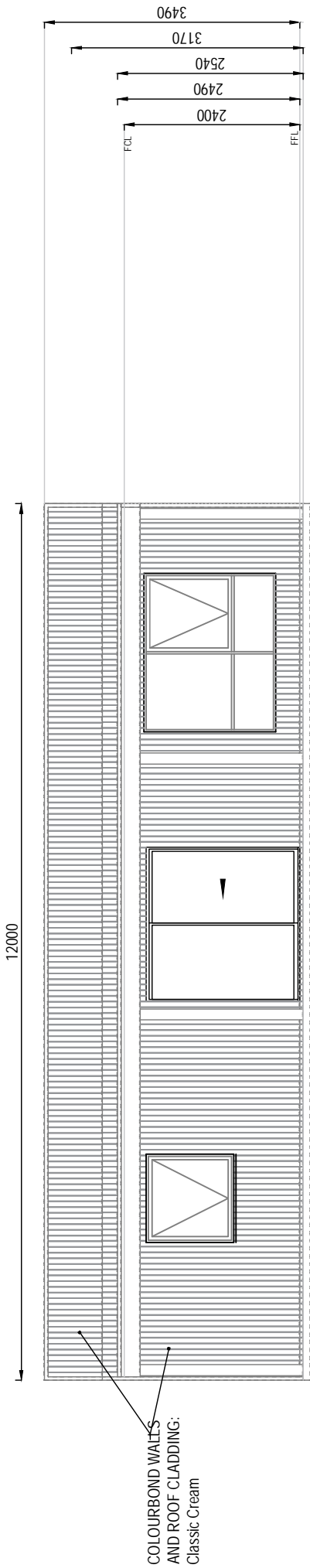
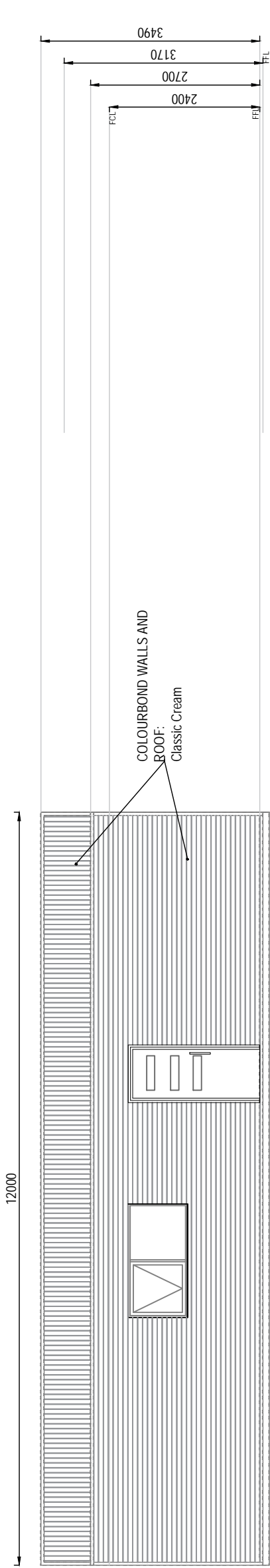
SCALE: **1:100**

JOB No: **BH23-033**

DRAWN BY: **BH**



WINDOW SCHEDULE							
MARK	HEIGHT	WIDTH	TYPE	REMARKS	U	SHGC	ORIENTATION
W1	900	1800	AWNING	CLEAR	4.62	0.62	EAST
W2	900	600	AWNING	OPAQUE	4.62	0.62	SOUTH
W3	1800	2100	AWNING	CLEAR	4.62	0.62	WEST
W4	1200	1200	AWNING	CLEAR	4.62	0.62	WEST
W5	0900	0600	AWNING	CLEAR	4.62	0.62	NORTH
W6	0900	0600	AWNING	CLEAR	4.62	0.62	NORTH
SD1	2100	2100	SLIDING DOOR	CLEAR	4.62	0.62	WEST
SD2	2100	1800	SLIDING DOOR	CLEAR	4.62	0.62	NORTH



<div><div><div>SHEDS n HOMES</div></div><div>SHEDS MADE TOUGH</div></div>	<p>This drawing & design shown is the property of BLST Pty Ltd and shall not be copied or reproduced in part or in whole in any form without the written permission of BLST Pty Ltd and shall be used only by the client of BLST Pty Ltd for the project for which it was provided</p>	<p>BLST Pty Ltd 57 Crows Hill Road, Bridgewater 7030 EMAIL: hobart@shedshomes.com.au</p>									
		<p>CLIENT NAME: SAMUEL & NICOLE PALMER</p>									
		<p>DRAWING TITLE: ELEVATIONS</p>									
		<p>DATE: 22/01/2024</p> <p>SCALE: 1:80</p> <p>DRAWN BY: BH</p>									
<p>DIMENSION NOTE: Use written dimensions only. Do not scale from drawings. All figured dimensions are to be used as a guide only. It is imperative that all dimensions, setbacks and levels be confirmed on site by the Builder/Surveyor or sub-contractor prior to the commencement of work, manufacture and installation. It is imperative that the Builder/sub-contractor and/or manufacturer ensures a full set of plans are on hand and reference has been made to the general notes.</p>		<p>PROJECT ADDRESS: 90 BRAEVIEW DRIVE, OLD BEACH TAS 7017</p>									
		<p>PROJECT: NEW DWELLING & CARPORT</p>									
		REVISION No:		SHEET SIZE:		JOB No:		SHEET No:			
		R:2		A3		BH23-033		P04.0			

DISPERSIVE SOIL ASSESSMENT

90 Braeview Drive

Old Beach

November 2023



GEO-ENVIRONMENTAL

S O L U T I O N S

Disclaimer: The author does not warrant the information contained in this document is free from errors or omissions. The author shall not in any way be liable for any loss, damage or injury suffered by the User consequent upon, or incidental to, the existence of errors in the information.

Geo-Environmental Solutions P/L 29 Kirksway Place, Battery Point 7004. Ph 6223 1839

Introduction

Client:	Nicole Palmer
Date of inspection:	01/11/2023
Location:	90 Braeview Drive, Old Beach (CT 162272/20)
Land description:	Approx. 1.009 ha, rural residential lot
Building type:	Proposed secondary dwelling.
Investigation:	Geoprobe 540UD - Direct Push
Inspected by:	M. Campbell

Background information

Map:	Mineral Resources Tasmania, 1:25 000
Rock type:	Triassic sediments
Soil depth:	~1.00m
Planning overlays:	Bushfire-prone Area, Waterway and Coastal Protection Area, Dispersive Soil Specific Area Plan.
Local meteorology:	Annual rainfall approx. 600 mm
Local services:	Mains water with onsite waste water.

Site conditions

Slope and aspect:	4-6° undulating NW facing slope
Site drainage:	Moderately well drained
Vegetation:	Grass & Weeds
Weather conditions:	Fine, approx. 2 mm rainfall received in preceding 7 days.
Ground surface:	Clayey silt disturbed surface

Investigation

A test hole was completed to identify the distribution of, and variation in soil materials on the site. A representative test hole was chosen for classification of soil and underlying geological properties. Site and published geological information was integrated to complete a detailed soil dispersion assessment with reference to the DPIWE dispersive soil technical manual.

Profile Summaries

BH 1 Depth (m)	USCS	Description
0.00-0.30	ML	Clayey SILT trace gravel: dark brown-grey, slightly moist, soft.
0.30-0.70	CI	Silty CLAY : medium plasticity, yellow-brown, slightly moist, stiff.
0.70-1.00	GW	Sandy GRAVEL : yellow-grey-brown, dry, very dense, refusal on assumed rock.

Soil Profile Notes

The soil on site has formed from Triassic sediments. The subsoil was tested for dispersion using the Emerson Test and was found to be slightly dispersive Class 2(2) -obvious milkiness, <50% of the aggregate affected.

Dispersive Soil Assessment

The dispersive soil assessment of the property takes into account the proposed construction area, and wastewater land application area.

Potential for dispersive soils

The site has been identified as an area subject to a tunnel erosion hazard according to *'Dispersive Soils and Their Management: Technical Reference Manual'*. This is due to the soils present on site that developed from Triassic sediments that contain considerable fine sand/silt content and low to medium plasticity clays. Triassic sediments in the local area known to produce soils with an excess of sodium on the soil exchange complex, which can cause soil dispersion. Under some circumstances the presence of dispersive soils can also lead to significant erosion, and in particular tunnel erosion. Based upon field survey of the property, no visible tunnel or gully erosion was identified. However, a soil sampling program was undertaken to identify the presence of dispersive soils in the proposed development areas.

Soil sampling and testing

Two samples were taken at the site for assessment of dispersion. An Emerson (1968) Dispersion test was conducted to determine if these samples were dispersive.

The results showed that the soils on site are **slightly dispersive** in the construction area (**Class 2 (2)**). All construction on site should refer to the DPIWE management of dispersive soils publication.

It is recommended that construction be planned and executed in accordance with recommendations for dispersive soils. In particular, it is recommended that the dispersive soils not to be utilised as structural fill in the proposed construction areas. Careful water management is also required to ensure water does not pond on the soil surface and excess water is excluded from bare exposed soil soils as well as the natural drainage depression.

Based upon the test results there is a moderate risk of soil dispersion and significant erosion on the site, and as such a number of specific recommendations have been made in the following sections.

Management Recommendations

A number of site and soil management measures are recommended for development on the site.

The proposed site cut/fill and driveway areas must be managed by:

- Applying a geofabric, jute mesh or similar material to the exposed batters of any cutting on site and revegetating the slope
- Applying a surface layer of at least 50mm of suitable crushed rock/gravel to the driveway surface (and any proposed house pad), with adequate compaction to ensure a relatively impervious surface to maintain site surface stability

- Vegetation on any fill batters must be established and maintained, if any bare area of soil on the batter develops then it must be top-dressed with suitable topsoil and additional vegetation planted

The risk of erosion and tunnel erosion associated with construction must be minimised by:

- Any new water, power, or other service trenches within the property must ensure recommendations for dispersive soils are followed:
 - Where possible trenches to be placed shallow in topsoil and mounded over to achieve the required cover depth
 - If buried the trench must be backfilled in layers of no more than 200mm with clay with 5% by weight gypsum added (the clay must be sufficiently moist to allow good compaction)
 - The trench must be finished with at least 150mm depth of non-dispersive suitable topsoil and finished to a level at least 75mm above natural ground to allow for possible settlement
- Vegetation cover must be maintained wherever possible on the property
- It is recommended foundations for the proposed dwelling be placed onto underlying rock in accordance with the structural engineers recommendations. Excavated fill from the construction area is not recommended for reuse on site in landscaping unless it is appropriately treated with gypsum, compacted, and capped with topsoil with natural soil and gypsum.
- All wastewater should utilise either surface disposal, or where absorption trenches are used they must be treated with 1Kg/m² of gypsum and well covered with good topsoil
- All stormwater runoff from the dwelling and shed to be directed to water tanks for site reuse as possible, with water tank overflow dissipated via surface spreaders and not into subsurface absorption drains (unless the drains are adequately treated with gypsum and lined)
- Drainage of the proposed site cut must not employ conventional rock drain construction, it must adhere to recommendations for dispersive soils (unless founded entirely in rock)
- All excavation works on site should be monitored for signs of soil dispersion and remedial action taken as required – in particular any excavated fill from

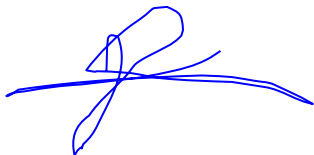
the construction area is not recommended for reuse on site in landscaping unless it is appropriately treated with gypsum, compacted, and capped with topsoil.

Conclusions

There is a low risk associated with dispersive soils and potential erosion on the site provided all the management recommendations are followed. All exposed soils on cut/fill batters must be covered with topsoil and seeded with well suited pasture species to avoid rainwater, runoff, surface water flows from intercepting exposed subsoils. Wastewater absorption areas must be constructed during dry weather, treated with gypsum, only placed to shallow depths, and be covered over as quickly as possible.

A number of site management recommendations have been made in this report and further information can also be found in the publication “Dispersive soils and their management – Technical manual” (DPIWE Tas 2009)

It is recommended that during construction that GES be notified of any major variation to the soil conditions as predicted in this report.



Dr John Paul Cumming B.Agr.Sc (hons) PhD CPSS GAICD
Environmental and Engineering Soil Scientist

Appendix 1– Soil test results

Laboratory Test Results

Sample Submitted By: M. Campbell

Date Submitted: 01/11/2023

Sample Identification: 2 samples – 90 Braeview Drive, Old Beach

Soil to be tested: Emerson soil dispersion test

Result:

Sample	Texture	Emerson class	Description
Sample 1 Shed	clay	Class 2 (2)	Some dispersion <50% affected
Sample 2 Shed	clay	Class 2 (2)	Some dispersion <50% affected

Notes: Some dispersion with obvious milkiness affecting less than 50% of the aggregate.

Sample Tested by: J Cumming
02/11/2023

