



Application for Planning Approval

Land Use Planning and Approvals Act 1993

APPLICATION NO.

DA2023/184

LOCATION OF AFFECTED AREA

18 ARBIE LANE, OLD BEACH

DESCRIPTION OF DEVELOPMENT PROPOSAL

DWELLING & ALTERATIONS TO ACCESS

A COPY OF THE DEVELOPMENT APPLICATION MAY BE VIEWED AT www.brighton.tas.gov.au AND AT THE COUNCIL OFFICES, 1 TIVOLI ROAD, OLD BEACH, BETWEEN 8:15 A.M. AND 4:45 P.M., MONDAY TO FRIDAY OR VIA THE QR CODE BELOW. ANY PERSON MAY MAKE WRITTEN REPRESENTATIONS CONCERNING AN APPLICATION UNTIL 4:45 P.M. ON **04/01/2024**. ADDRESSED TO THE GENERAL MANAGER AT 1 TIVOLI ROAD, OLD BEACH, 7017 OR BY EMAIL AT development@brighton.tas.gov.au.

REPRESENTATIONS SHOULD INCLUDE A DAYTIME TELEPHONE NUMBER TO ALLOW COUNCIL OFFICERS TO DISCUSS, IF NECESSARY, ANY MATTERS RAISED.

JAMES DRYBURGH
General Manager



Brighton
going places

DRAWING SCHEDULE

Architectural Drawings:

- A00 Cover Page
- A01 Site Plan & Legend
- A02 Proposed Floor Plan
- A03 Elevations 1
- A04 Elevations 2

Structural Drawings:

T.B.A

Electrical Drawings:

T.B.A

Hydraulics Drawings:

T.B.A

PROPOSED RESIDENTIAL DWELLING

18 Arbie Lane, Old Beach, Tasmania

GENERAL INFORMATION

FOLIO NUMBER: 215
VOLUME NUMBER: 183730

LAND AREA: 619m²
ZONING: General Residential

FLOOR AREAS:

Proposed Dwelling	164.6m ²
Proposed Deck	12.6m ²
Proposed Garage	27.6m ²
Total =	204.8m ²

WIND CLASSIFICATION: N3
DESIGN WIND SPEED: 50MS-1
CORROSION ENVIRONMENT: Severe
(Refer to General Notes 1)

CLIMATE ZONE: 7

BUSH FIRE ATTACK LEVEL (BAL): Low

studiko

architectural design & drafting

62 McKinly Street
Midway Point
Tasmania 7171
studiko@live.com.au
MOB: 0407 460 029
ACC No: CC5753 F

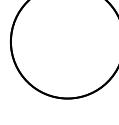
GENERAL NOTES
Confirm all dimensions on site prior to commencement of any work.
All dimensions noted are in millimetres unless stated otherwise.
Figured dimensions take preference to scaled dimensions.
Services shown on this drawing are based on available and above ground analysis. Exact location and extent of services to be verified on site.
Refer to relevant engineers drawings for Structural, Hydraulics and services details.

No:	Amendment:	Date:

Matthew Salmon
18 Arbie Lane, Old Beach

PROPOSED RESIDENTIAL DWELLING

Cover Page



Scale N.T.S @ A3
September 2023

A00

LEGEND

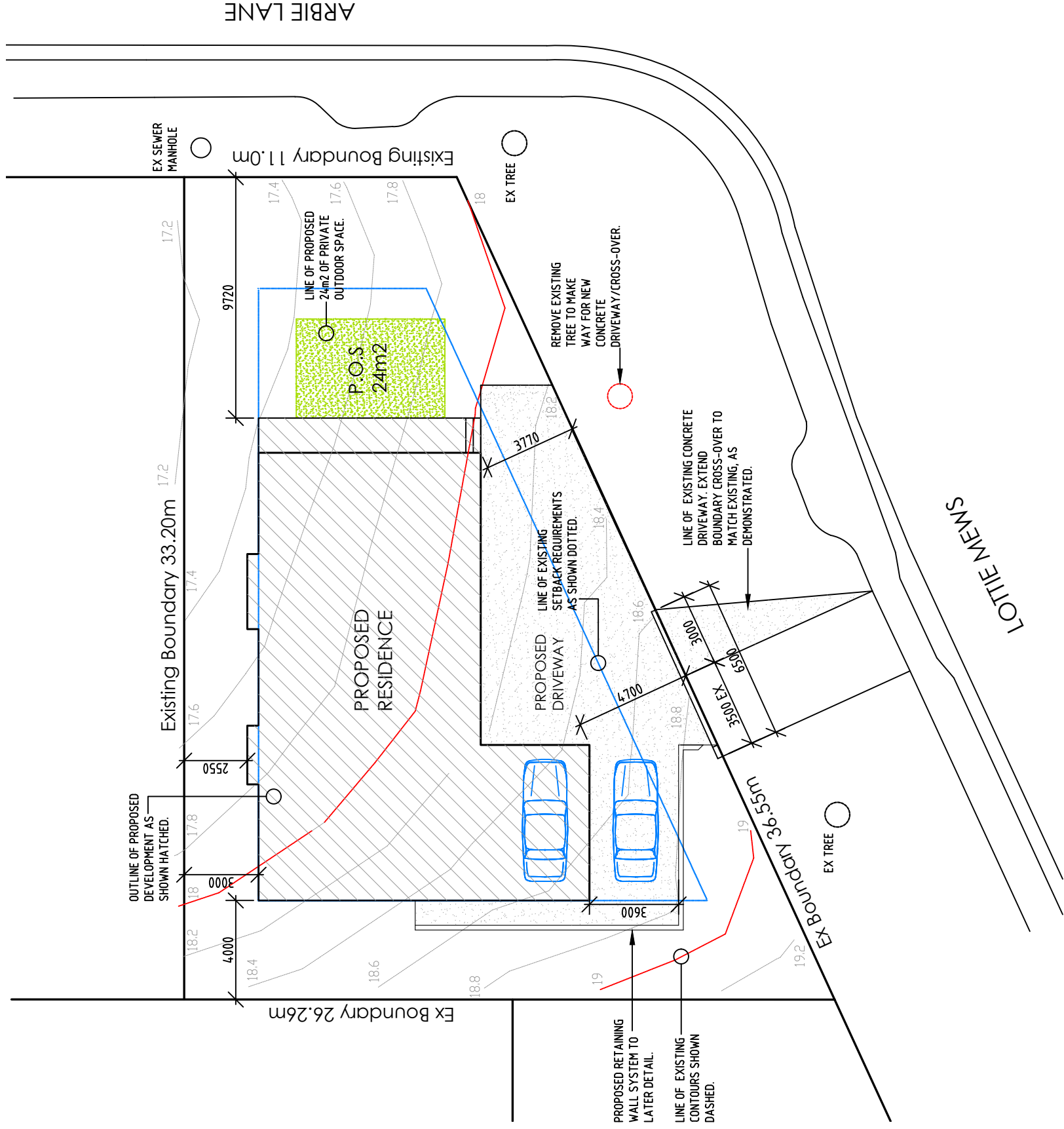
- D2.01/W2.01 DOOR/WINDOW CODE
- FINISHED LEVEL
- STUD FRAMED PARTITION
- INSULATED PARTITION
- MASONRY WALL
- BULKHEAD
- FLOOR WASTE
- GROUND LEVEL
- FINISHED FLOOR LEVEL
- ABOVE FLOOR LEVEL
- RAIN WATER PIPE
- CEILING HEIGHT ABOVE FL
- GRATED SUMP
- GRATED PIT
- RAIN WATER HEAD
- BIDET
- BASIN
- SHOWER
- WATER CLOSET
- DOUBLE STUD
- COLUMN
- BULKHEAD

FINISHES

- CONC MONOLITHIC CONCRETE
- CA CARPET
- TIM TIMBER
- FC FIBRE CEMENT
- PCONC POLISHED CONCRETE
- CT CERAMIC TILES
- PBD PLASTERBOARD
- PLY PLYWOOD
- PV PAVERS
- SPBD SUSPENDED PLASTERBOARD
- RPBD RAKING PLASTERBOARD
- EPS EXPANDED POLYSTYRENE
- SS STAINLESS STEEL

SERVICES LEGEND

- MECHANICAL EXHAUST FAN
- RANGE HOOD MECHANICAL EXHAUST FAN
- HARD WIRED FIRE DETECTOR

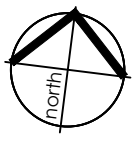


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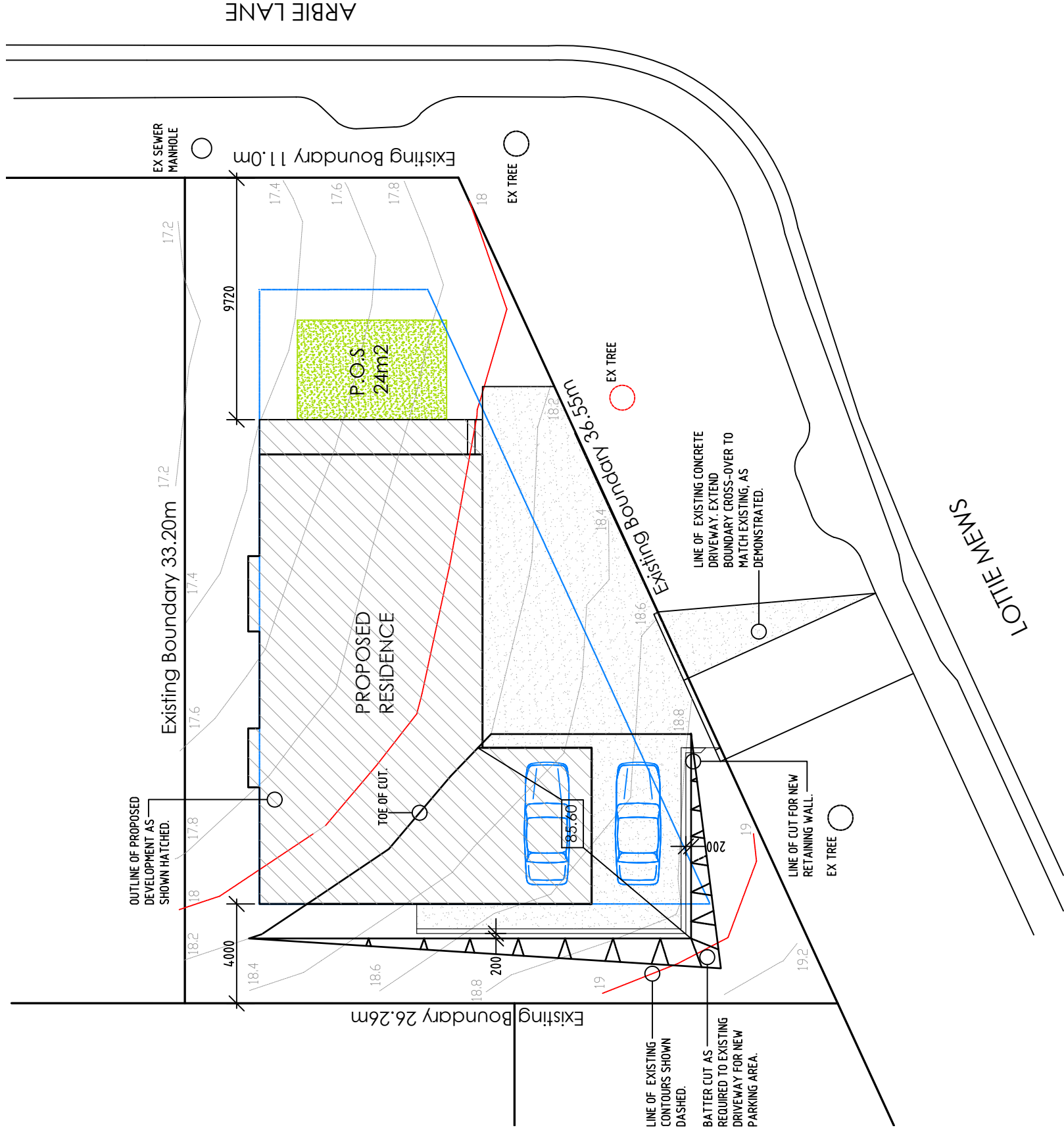
Site Plan & Legend



Scale 1:200 @ A3
September 2023

A01

No: Amendment: Date:



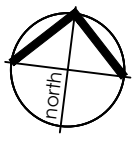
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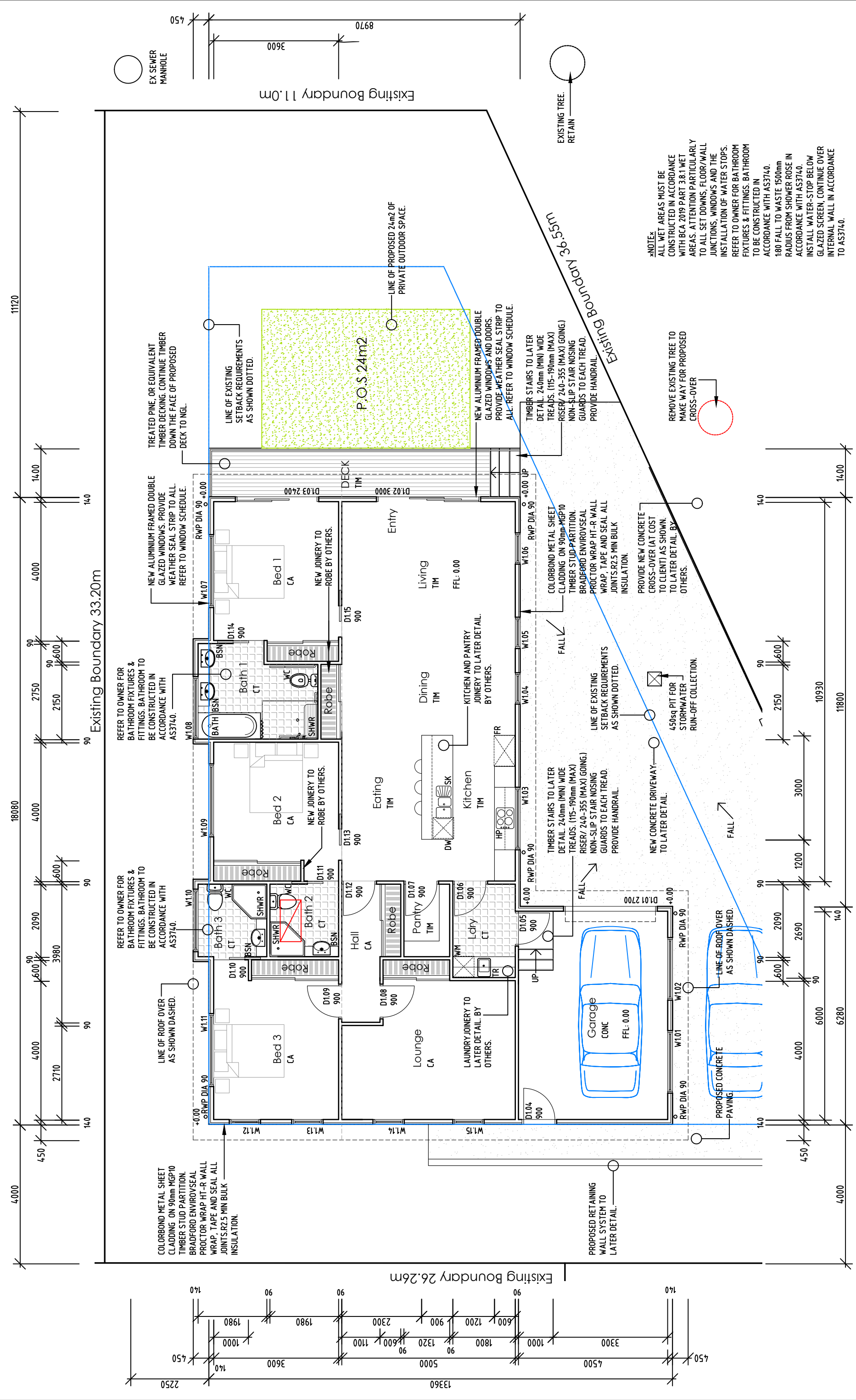
PROPOSED RESIDENTIAL DWELLING

Bulk Excavation Plan



Scale 1:200 @ A3
September 2023

A02



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PROPOSED RESIDENTIAL DWELLING

NOTE:
ALL WET AREAS MUST BE CONSTRUCTED IN ACCORDANCE WITH BCA 2019 PART 3.8.1 WET AREAS. ATTENTION PARTICULARLY TO ALL SET DOWNS, FLOOR/WALL JUNCTIONS, WINDOWS AND THE INSTALLATION OF WATER STOPS. REFER TO OWNER FOR BATHROOM FIXTURES & FITTINGS. BATHROOM TO BE CONSTRUCTED IN ACCORDANCE WITH AS3740.
180 FALL TO WASTE 1500mm RADIUS FROM SHOWER ROSE IN ACCORDANCE WITH AS3740.
INSTALL WATER-STOP BELOW GLAZED SCREEN, CONTINUE OVER INTERNAL WALL IN ACCORDANCE TO AS3740.

REMOVE EXISTING TREE TO MAKE WAY FOR PROPOSED CROSS-OVER

PROVIDE NEW CONCRETE CROSS-OVER (AT COST TO CLIENT) AS SHOWN TO LATER DETAIL BY OTHERS.

LINE OF EXISTING SETBACK REQUIREMENTS AS SHOWN DOTTED.

NEW CONCRETE DRIVEWAY TO LATER DETAIL.

PROPOSED CONCRETE PAVING

LINE OF ROOF OVER AS SHOWN DASHED.

PROPOSED RETAINING WALL SYSTEM TO LATER DETAIL.

COLORBOND METAL SHEET CLADDING ON 90mm MGP10 TIMBER STUD PARTITION. BRADFORD ENVIROVSEAL PROCTOR WRAP HT-R WALL WRAP, TAPE AND SEAL ALL JOINTS. R2.5 MIN BULK INSULATION.

REFER TO OWNER FOR BATHROOM FIXTURES & FITTINGS. BATHROOM TO BE CONSTRUCTED IN ACCORDANCE WITH AS3740.

REFER TO OWNER FOR BATHROOM FIXTURES & FITTINGS. BATHROOM TO BE CONSTRUCTED IN ACCORDANCE WITH AS3740.

NEW ALUMINIUM FRAMED DOUBLE GLAZED WINDOWS. PROVIDE WEATHER SEAL STRIP TO ALL. REFER TO WINDOW SCHEDULE.

TREATED PINE, OR EQUIVALENT TIMBER DECKING. CONTINUE TIMBER DOWN THE FACE OF PROPOSED DECK TO NGL.

NEW ALUMINIUM FRAMED DOUBLE GLAZED WINDOWS AND DOORS. PROVIDE WEATHER SEAL STRIP TO ALL. REFER TO WINDOW SCHEDULE.

TIMBER STAIRS TO LATER DETAIL. 240mm (MIN) WIDE TREADS. (115-190mm (MAX) RISER/ 240-355 (MAX) GOING.) NON-SLIP STAIR NOSING GUARDS TO EACH TREAD. PROVIDE HANDRAIL.

TIMBER STAIRS TO LATER DETAIL. 240mm (MIN) WIDE TREADS. (115-190mm (MAX) RISER/ 240-355 (MAX) GOING.) NON-SLIP STAIR NOSING GUARDS TO EACH TREAD. PROVIDE HANDRAIL.

PROCTOR WRAP HT-R WALL WRAP, TAPE AND SEAL ALL JOINTS. R2.5 MIN BULK INSULATION.

PROVIDE NEW CONCRETE CROSS-OVER (AT COST TO CLIENT) AS SHOWN TO LATER DETAIL BY OTHERS.

EXISTING TREE. RETAIN

EXISTING BOUNDARY 39.55M

EXISTING BOUNDARY 26.26M

EXISTING BOUNDARY 33.20M

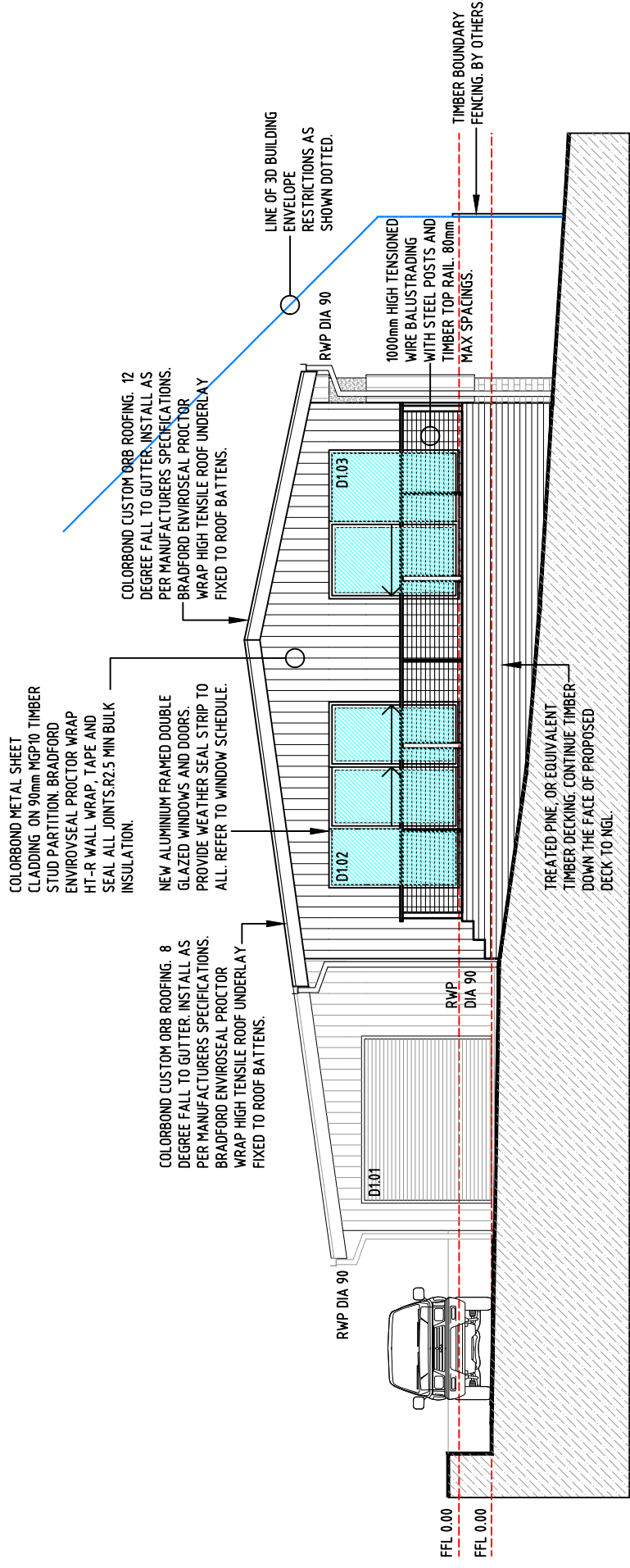
EXISTING BOUNDARY 11.0M

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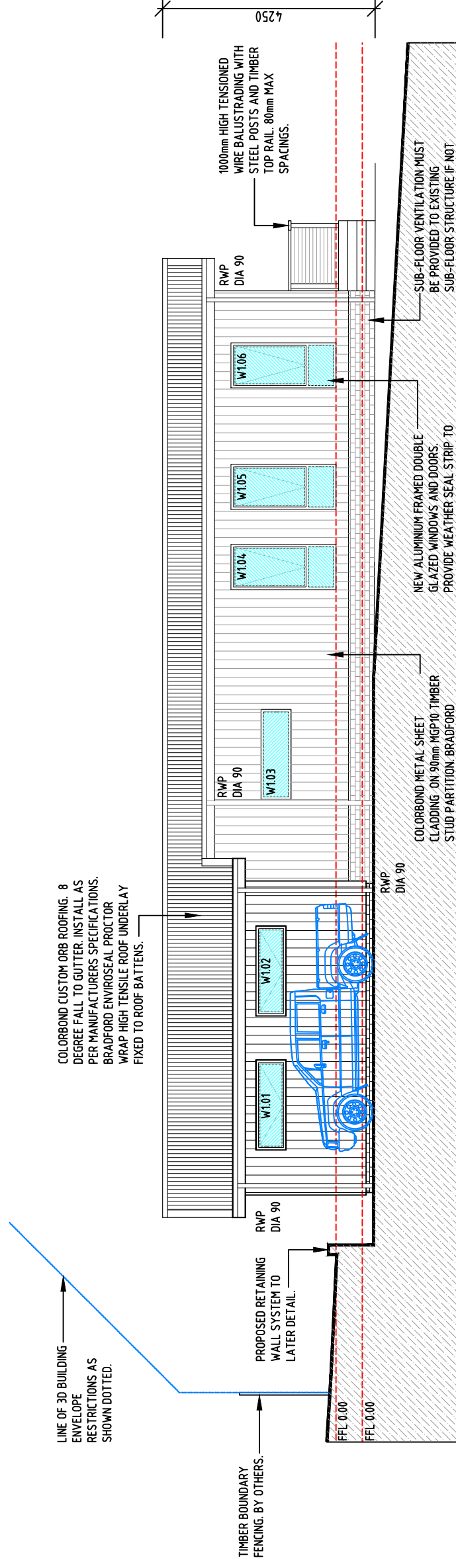
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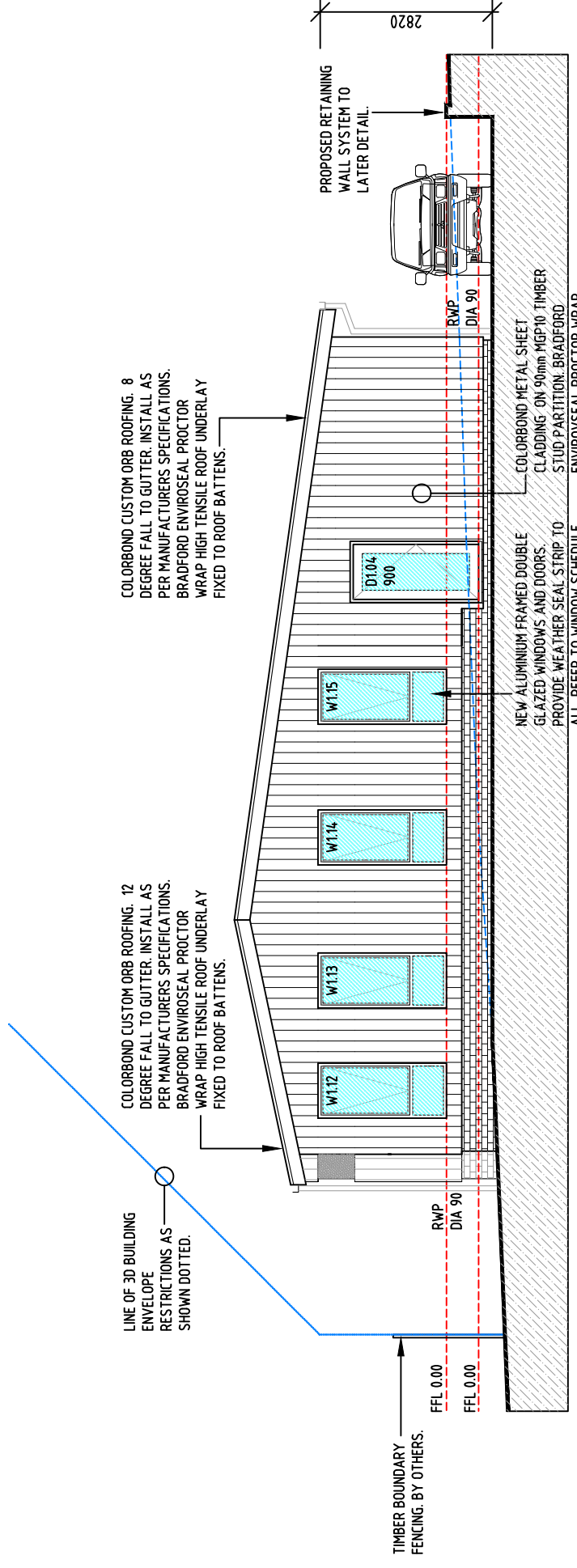
EXISTING BOUNDARY 11.0M



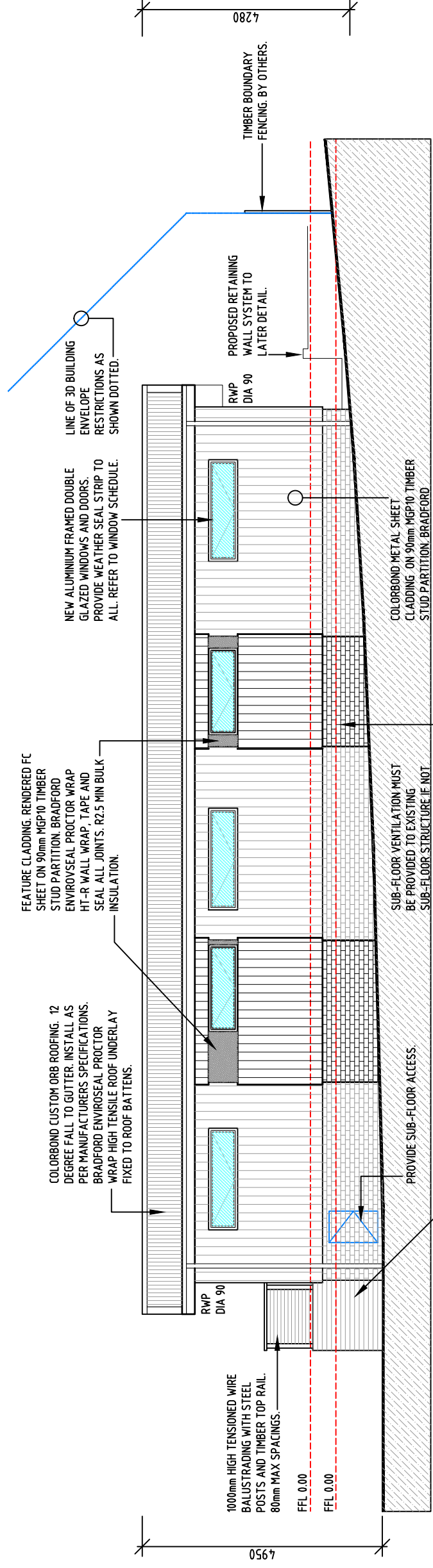
Proposed North Elevation (Primary frontage Street view)



Proposed East Elevation (Street view)



Proposed South Elevation



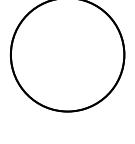
Proposed West Elevation

No:	Amendment:	Date:

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PROPOSED RESIDENTIAL DWELLING

Proposed Elevations 2



Scale 1:100 @ A3
September 2023

A05

SOIL & WATER MANAGEMENT NOTES GENERAL:

BUILDER IS RESPONSIBLE FOR THE ESTABLISHMENT AND MAINTENANCE OF ALL EROSION AND SEDIMENT CONTROL MEASURES. BUILDER AND ALL SITE CONTRACTORS TO IMPLEMENT AND COMPLY TO:

ACCESS:

Single site access at point of existing cross over point only. Stabilize access by laying down 200MM of aggregate, add new gravel as required to maintain access. Alternatively permanent driveway measures may be installed in accordance to drawings. Avoid unnecessary vehicle access to site at all times. All deliveries to be made at this single site access point. Any damage to existing infrastructure will be at the cost of the Builder/Client. Site access shall be at the location of the existing formed cross-over only, for the purpose of excavation. No vehicle access on/over existing Drainage Easement.

VEGETATION:

Retain and protect natural vegetation wherever practical. All existing shrubs/grass on existing site to be retained outside of building envelope throughout building/construction phase. Maintain in good condition to ensure stabilization. No vehicle access to these areas. Ensure a one metre grass buffer zone is retained and maintained to the front property boundary. Introduce additional seeding, erosion control mats/blankets as necessary to maintain stabilization of exposed soil zones.

EXCAVATION:

Excavation to be limited to building envelope only. Keep removed topsoil for respreading over the developed area.

DRAINAGE CONTROL:

All services shown on this drawing are based on available and above ground analysis. Verify extent and exact location of such services on site prior to commencement of works. Any damage/disruption to such services will be to the cost of the Builder/Client. Connect all roof and rain water pipes in place as soon as applicable. If road connection can not be achieved at early stage disperse catchment to a turfed area or infiltration trench. Do not at any time divert stormwater onto adjacent properties, always discharge on work site at legal point of discharge. Diversion channels to be constructed with a curved shape and to a minimum of 150mm deep and 2000mm wide (including raised berm). Place any excavated soil from diversion channel on the down-slope border to increase capacity to a maximum height of 200mm. Add additional diversion channels onsite as deemed necessary throughout construction to ensure all stormwater is diverted around the disturbed or active work area. All new drainage to comply with ASS500 and Local Authority Guidelines.

MAINTENANCE:

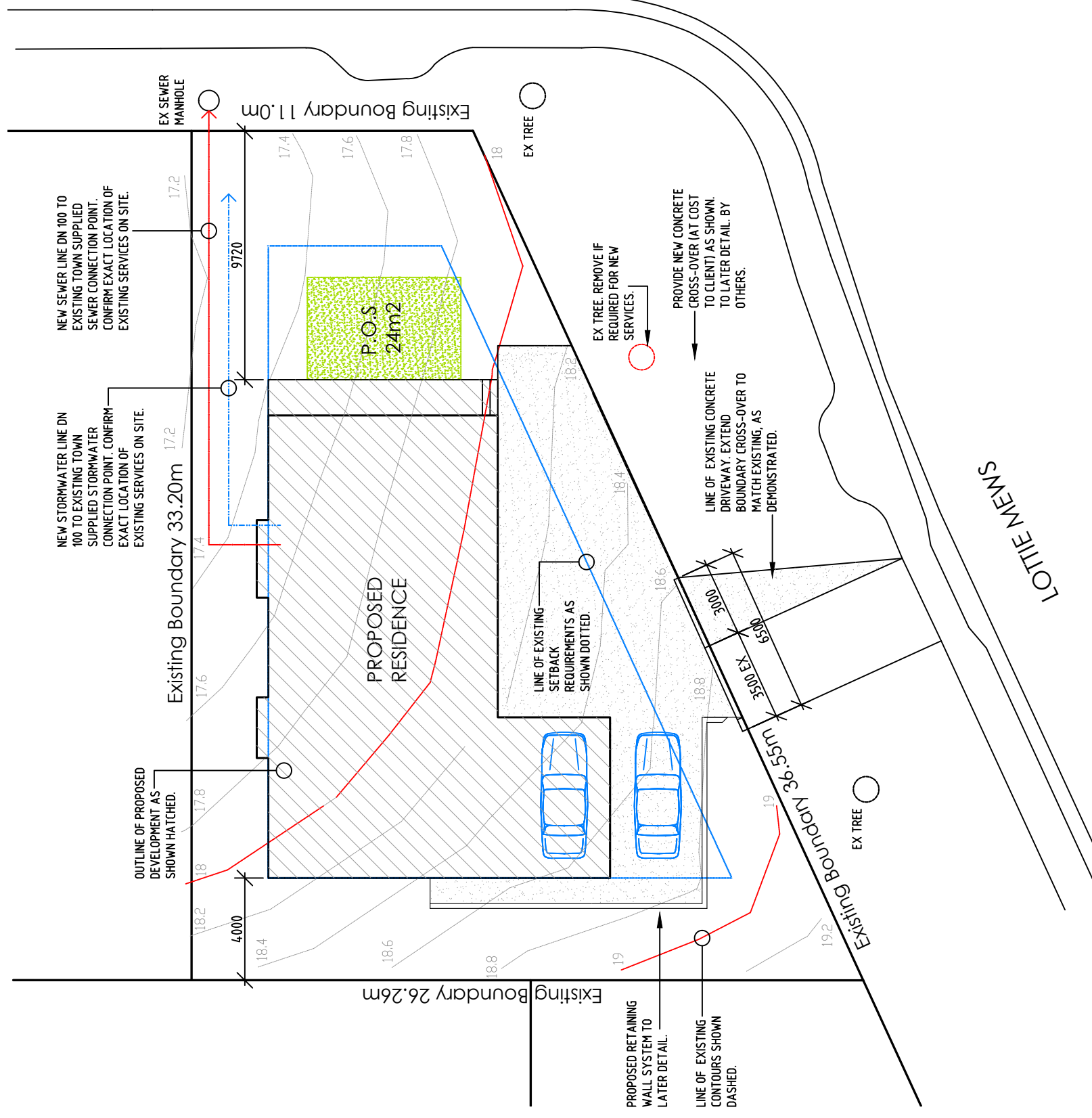
Ensure regular maintenance and monitoring of all sediment and erosion controls. Generally inspect all sediment and erosion controls weekly and after all major rainfalls. Remove all sediment build up from said measures. Check for holes breaks, clogging & blockages. Replace any measures as required. Add additional rock/gravel to stabilized site access as/when required to maintain stability.

SEDIMENT GENERATING ACTIVITIES:

Sediment generating activities may take place in the vicinity of the dedicated stockpile area as indicated. Activities to occur above proposed diversion channel. Do not discharge into stormwater system at anytime. Line diversion channel with plastic or geotextile lining. Dispose/clear all solid materials from channel and dispose of, or reuse as fill. Use only hoses with automatic shut off nozzles.

SITE REVEGETATION:

Primarily use revegetation for protection against soil erosion. Control mats and blankets to be used as deemed necessary. Revegetate any areas as disturbed by the building and construction process. Revegetation may include perennial grasses, turf strips and native plant seedlings. Use only natives relative to the region. For more advice on appropriate species contact the Local Council. Apply 75-100mm of mulch to new garden beds and use tree guards and stakes to protect vegetation.

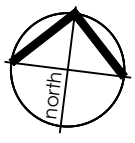


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PROPOSED RESIDENTIAL DWELLING

Site Drainage Plan



Scale 1:200 @ A3
September 2023

H01