



Application for Planning Approval

Land Use Planning and Approvals Act 1993

APPLICATION NO.

DA2023/199

LOCATION OF AFFECTED AREA

95 HONEYWOOD DRIVE, HONEYWOOD

DESCRIPTION OF DEVELOPMENT PROPOSAL

DEMOLITION & REPLACEMENT OF OUTBUILDING

A COPY OF THE DEVELOPMENT APPLICATION MAY BE VIEWED AT www.brighton.tas.gov.au AND AT THE COUNCIL OFFICES, 1 TIVOLI ROAD, OLD BEACH, BETWEEN 8:15 A.M. AND 4:45 P.M., MONDAY TO FRIDAY OR VIA THE QR CODE BELOW. ANY PERSON MAY MAKE WRITTEN REPRESENTATIONS CONCERNING AN APPLICATION UNTIL 4:45 P.M. ON **28/11/2023**. ADDRESSED TO THE GENERAL MANAGER AT 1 TIVOLI ROAD, OLD BEACH, 7017 OR BY EMAIL AT development@brighton.tas.gov.au.

REPRESENTATIONS SHOULD INCLUDE A DAYTIME TELEPHONE NUMBER TO ALLOW COUNCIL OFFICERS TO DISCUSS, IF NECESSARY, ANY MATTERS RAISED.

JAMES DRYBURGH
General Manager



Brighton
going places

NEW OUTBUILDING / GARAGE
(REPLACEMENT OF FIRE DESTROYED OUTBUILDING / GARAGE)

95 HONEYWOOD DRIVE, HONEYWOOD, 7017
OWNER: A. & H. WILLIAMS

CERTIFICATE OF TITLE: VOLUME - 129616 FOLIO - 5
PID: 1855203
LAND AREA: 4.753HA

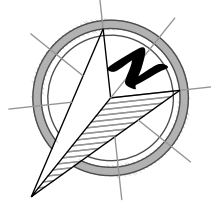
PLANNING SCHEME: TASMANIAN PLANNING SCHEME
BRIGHTON LOCAL PROVISIONS SCHEDULE
ZONE: II. RURAL LIVING
OVERLAYS: LOW LANDSLIP HAZARD BAND
BUSHFIRE PRONE AREAS
WATERWAY AND COSTAL PROTECTION AREA

SOIL CLASSIFICATION: ASSUMED M
WIND REGION: A
TERRAIN CATEGORY: TC 2.5
IMPORTANCE LEVEL: 2 (DOMESTIC)
SHIELDING: I
TOPOGRAPHY: 1.04
BAL: TO BE ASSESSED

INDEX OF DRAWINGS - BY ADRIAN BROWN CC6003R

PAGE 1 - SITE PLAN 1:500
PAGE 2 - LOCATION PLAN 1:200
PAGE 3 - ELEVATIONS 1:100
PAGE 4 - FLOOR PLAN 1:100
PAGE 5 - PLUMBING PLAN 1:100

ADDITIONAL DRAWINGS / ENGINEERING
BY NORTHERN CONSULTING ENGINEERS
JOB NO - WILLIAMS 148



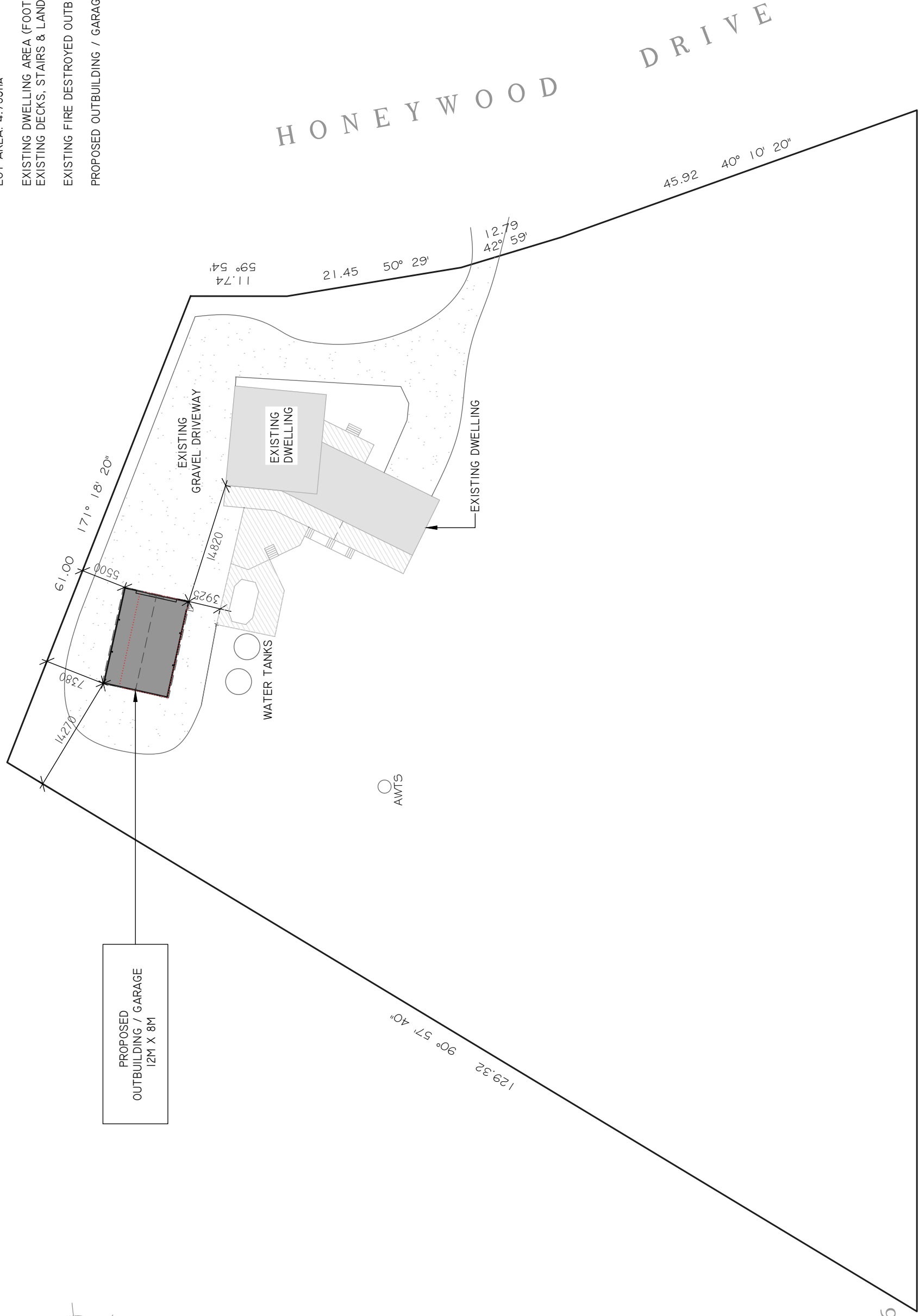
LOT AREA: 4.753HA

EXISTING DWELLING AREA (FOOTPRINT): 248.5M²

EXISTING DECKS, STAIRS & LANDINGS AREAS: 124.8M²

EXISTING FIRE DESTROYED OUTBUILDING TO BE REMOVED: 72M²

PROPOSED OUTBUILDING / GARAGE AREA: 96M²



VOL : 129616
 FOLIO: 5
 1.010ha

SITE PLAN PREPARED FROM CERTIFICATE OF TITLE INFORMATION AND MEASUREMENTS TAKEN ON SITE. CONFIRMATION OF BOUNDARY LOCATION BY REGISTERED SURVEYOR IS ALWAYS RECOMMENDED PRIOR TO CONSTRUCTION AND IS THE RESPONSIBILITY OF THE PROPERTY OWNER.

SITE PLAN 1:500

PROPOSAL : NEW OUTBUILDING / GARAGE
 (REPLACEMENT OF FIRE DESTROYED
 OUTBUILDING / GARAGE)

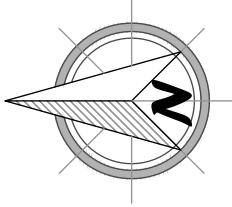
OWNER : A. & H. WILLIAMS
ADDRESS: 95 HONEYWOOD DRIVE,
 HONEYWOOD, 7170

SCALE: 1:500
DATE: 31st OCTOBER 2023
JOB No: WILLIAMS 148

RESIDENTIAL DRAFTING & DESIGN TAS

DRAWN BY: A.BROWN
ACCREDITATION: CC 6003 R
 DRAWINGS BY- RESIDENTIAL DRAFTING & DESIGN TAS
 - ACCREDITATION CCG003R - PH 0400 695 939 - ABN 21 010 137 922

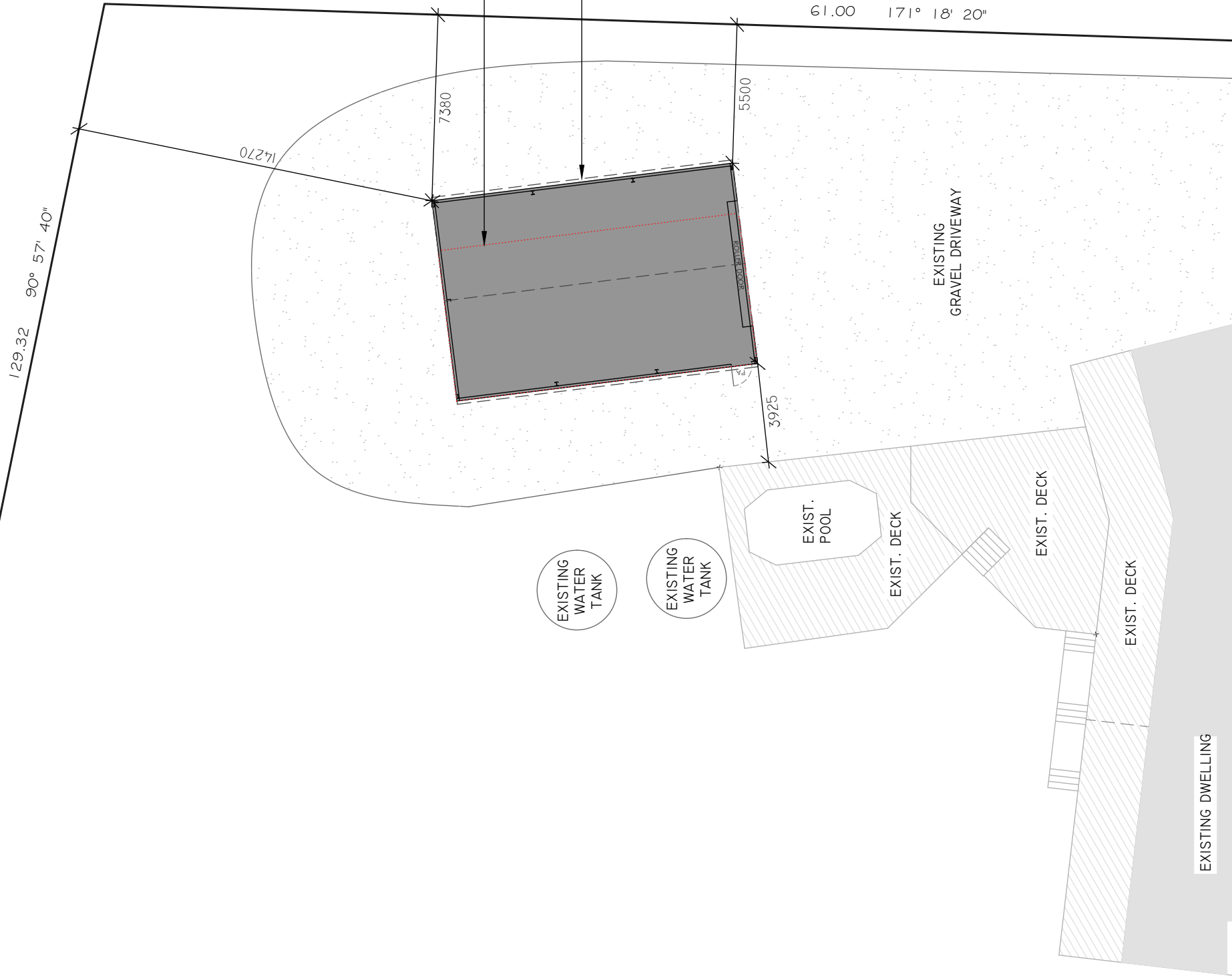
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EXISTING AWTS →

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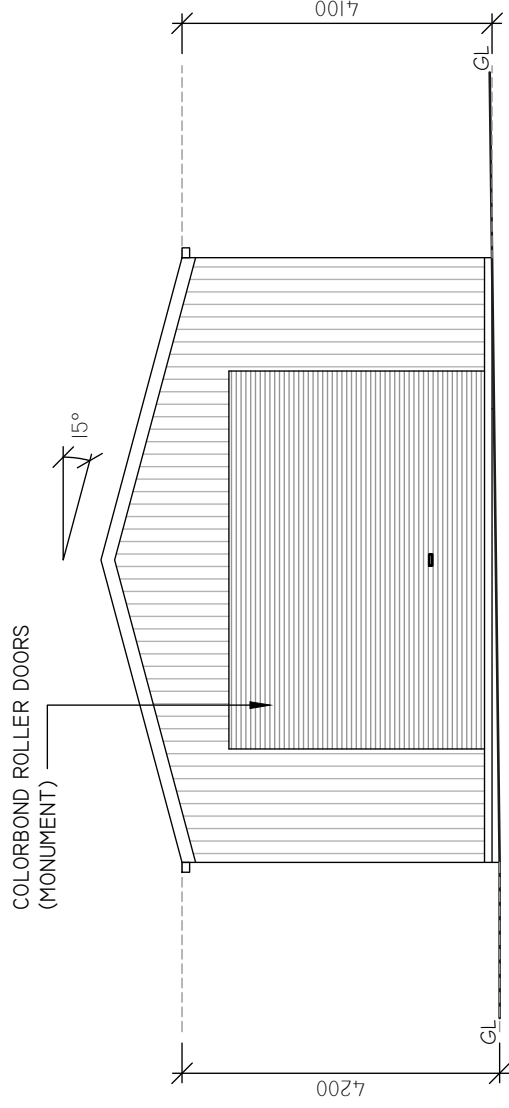
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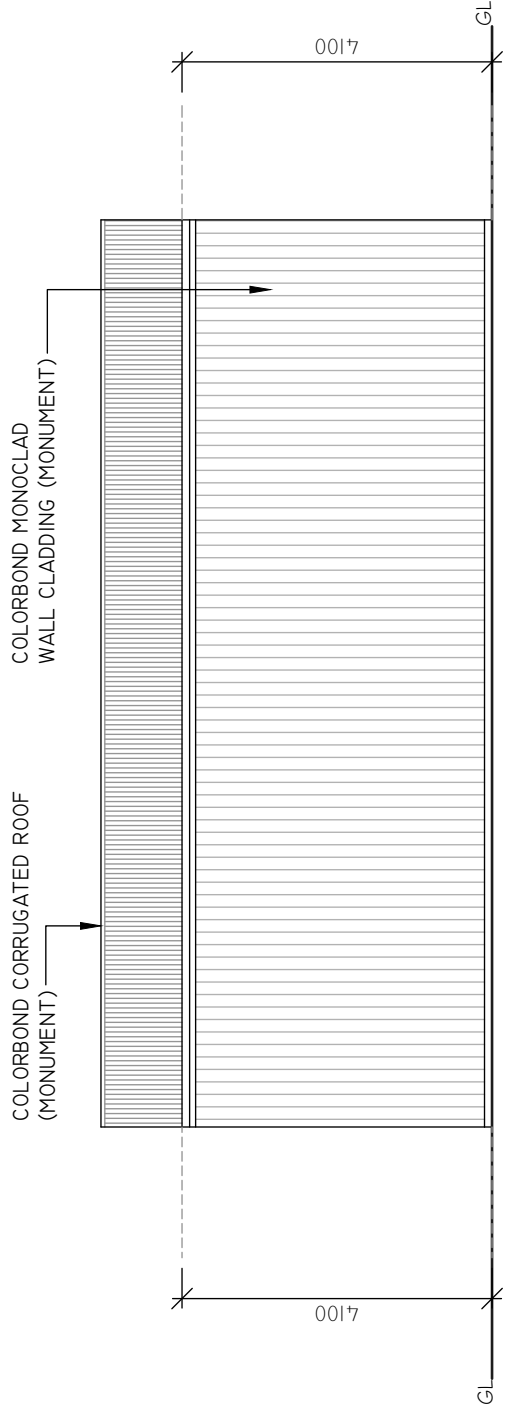
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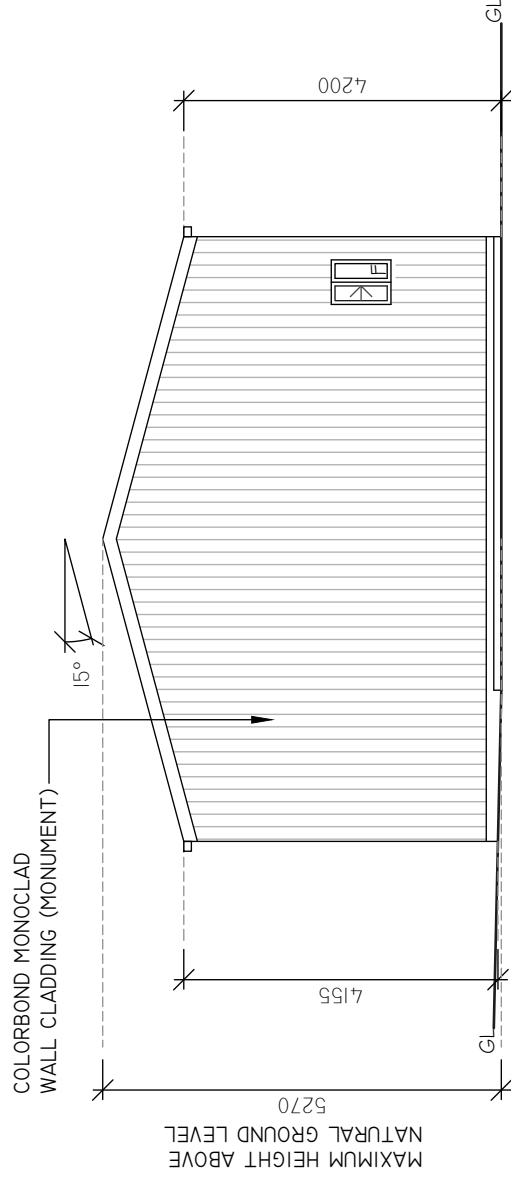
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SOUTH ELEVATION



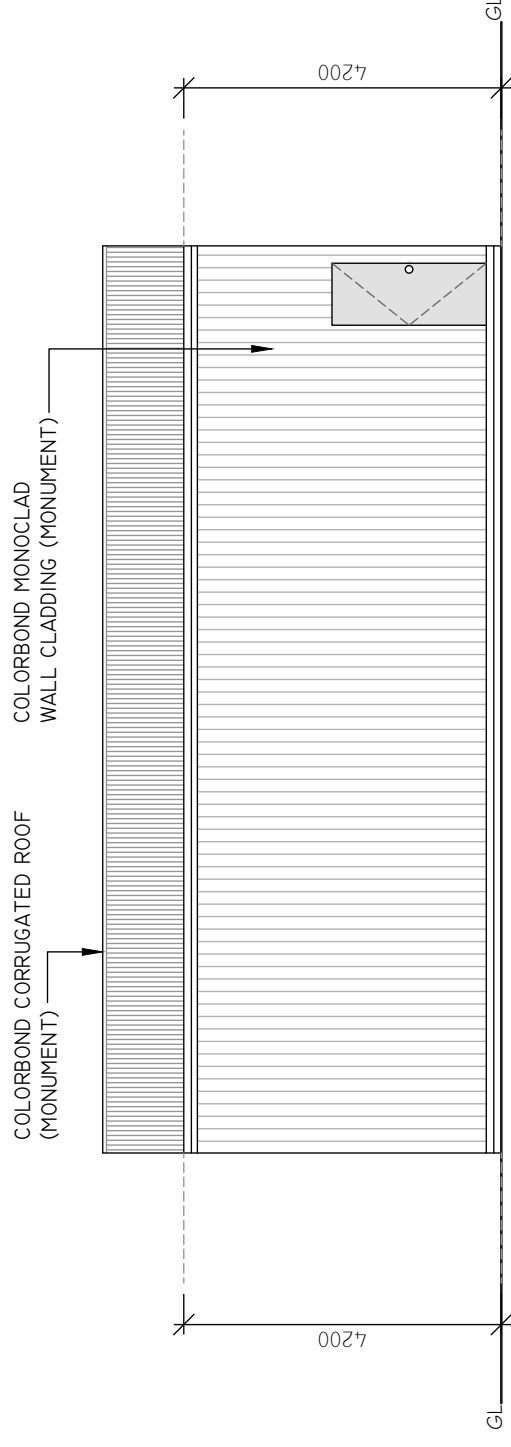
EAST ELEVATION



NORTH ELEVATION

- COLOURS (COLORBOND®):
 EXT. WALLS - MONUMENT
 ROOF - MONUMENT
 ROLLER DOOR - MONUMENT
 PA DOOR - MONUMENT
 GUTTER - MONUMENT
 CORNER FLASH - MONUMENT
 BARGE FLASHING - MONUMENT
 OPENING FLASH - MONUMENT

REFER TO DRAWINGS BY NORTHERN CONSULTING FOR ALL MEMBER AND MATERIAL DETAILS AS WELL AS FOOTING DESIGN AND SPECIFICATIONS.



WEST ELEVATION

ALL HEIGHTS SHOWN ARE ABOVE NATURAL GROUND LEVEL.
 ACTUAL HEIGHTS OF WALLS ABOVE CONCRETE SLAB ARE:
 SIDE WALL HEIGHT - 4000MM
 END WALL HEIGHT TO APEX - 5072MM

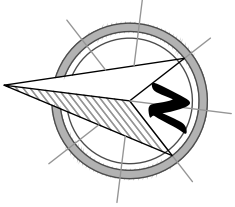
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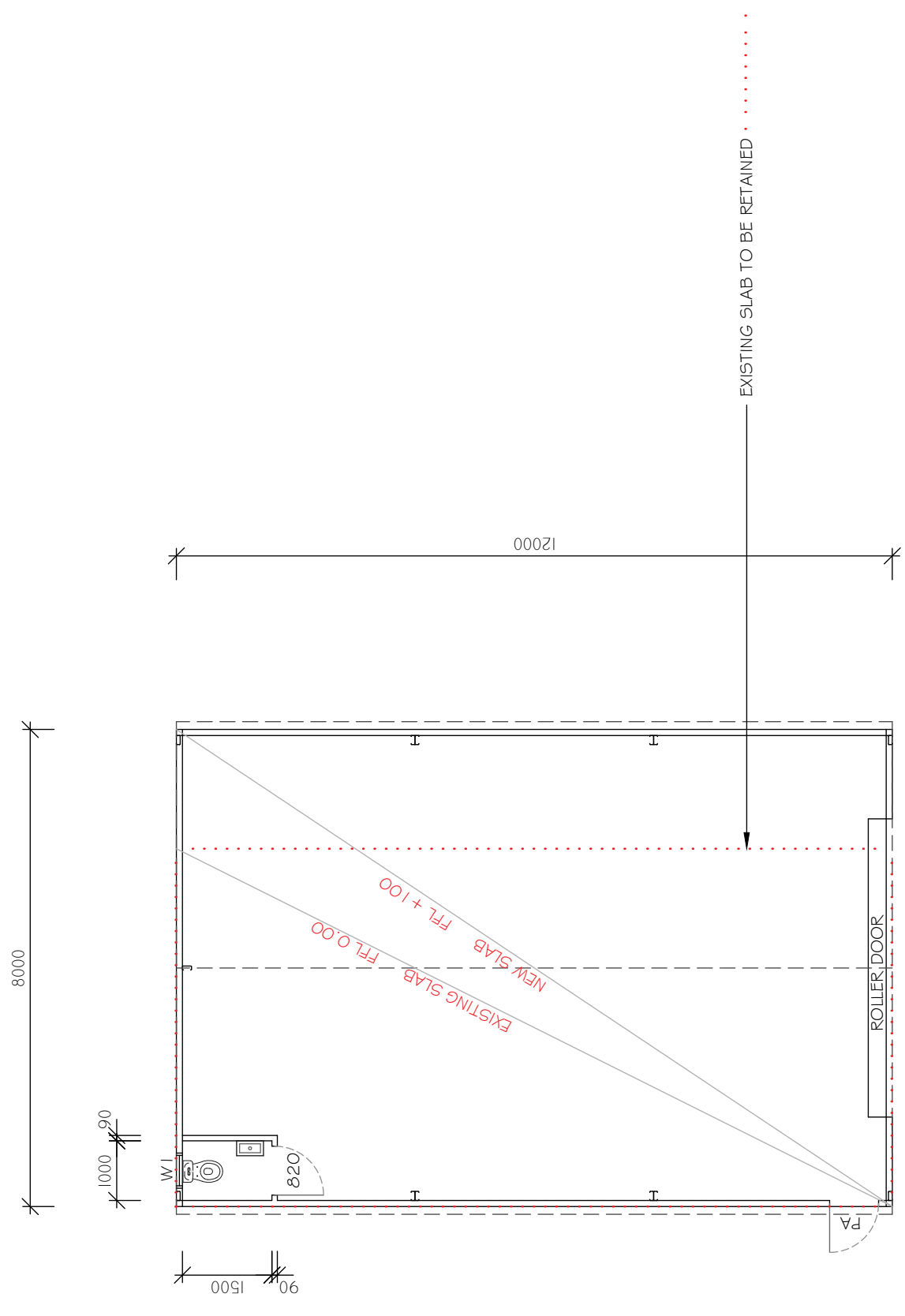
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WINDOW & DOOR SCHEDULE

ID	HEIGHT	WIDTH
PA	2040MM	820MM
RDI	3380MM	5000MM
WI	790MM	590MM



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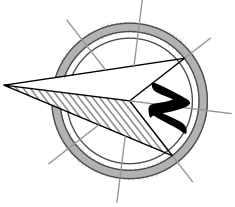
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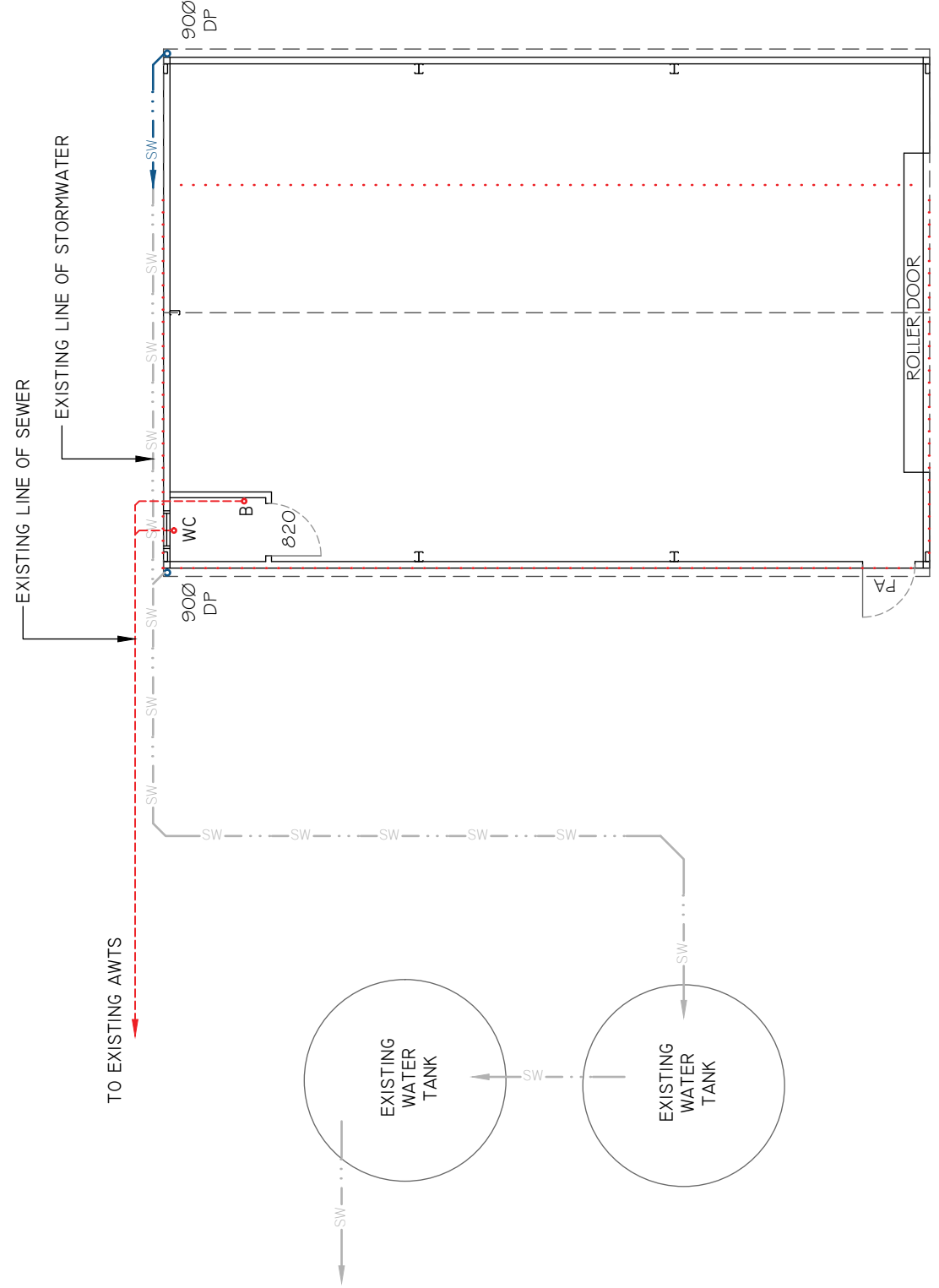
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- EXISTING LINE OF SEWER
- SW--- EXISTING LINE OF STORMWATER
- SW--- PROPOSED ADDITION TO LINE OF STORMWATER

KEY	FIXTURE	WASTE PIPE
WC	WATER CLOSET	100DIA CLASS SH
B	BASIN	40 DIA

EXISTING PLUMBING TO CHECKED BY PLUMBER FOR FIRE DAMAGE AND REPLACED WHERE REQUIRED. ALL PLUMBING TO BE IN COMPLIANCE WITH AS3500



CONSTRUCTION GENERALLY:
ALL CONSTRUCTION TO BE IN ACCORDANCE WITH CURRENT BUILDING REGULATIONS, BUILDING CODE OF AUSTRALIA (B.C.A.), RELEVANT AUSTRALIAN STANDARDS AND LOCAL AUTHORITY REQUIREMENTS.

SITE PREPARATION AND EXCAVATION TO COUNCIL AND B.C.A REQUIREMENTS.
CONCRETE FOOTINGS TO AS 2870.1 AND ENGINEER SPECIFICATIONS.
FOOTINGS & SLAB 32MPA
GARAGE STRUCTURAL; DETAILS AND CERTIFICATION AS PER SHED MANUFACTURERS ENGINEERING DOCUMENTATION.
(REFER TO ENGINEERING PLANS BY NORTHERN CONSULTING ENGINEERS).

BUILDER TO VERIFY ALL DIMENSIONS AND DETAILS ON THIS SET OF PLANS PRIOR TO COMMENCEMENT OF WORK ON SITE.

USE WRITTEN DIMENSIONS IN PREFERENCE TO MEASURING OFF THE PLAN.

COUNCIL / CONTRACTOR TO CONTACT RESIDENTIAL DRAFTING & DESIGN TAS IF NECESSARY INFORMATION IS NOT PROVIDED ON THIS SET OF PLANS.

PLUMBING GENERALLY.
ALL PLUMBING TO BE IN ACCORDANCE WITH AS 3500, TAS PLUMBING CODE AND LOCAL AUTHORITY REQUIREMENTS.

EXISTING SEWER AND STORMWATER PLUMBING TO BE INSPECTED BY PLUMBER FOR FIRE DAMAGE AND REPLACED AS REQUIRED.
FIXTURES TO BE CONNECTED TO EXISTING 100 DIA UPVC SEWER TO EXISTING AWTS. 90 DIA DOWNPIPES TO BE CONNECTED TO EXISTING 100 DIA UPVC STORMWATER TO EXISTING WATER TANKS.

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