



# Application for Planning Approval

## *Land Use Planning and Approvals Act 1993*

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APPLICATION NO.

**DA2023/189**

LOCATION OF AFFECTED AREA

**65 LACHLAN COURT, BRIGHTON**

DESCRIPTION OF DEVELOPMENT PROPOSAL

**OUTBUILDING**

A COPY OF THE DEVELOPMENT APPLICATION MAY BE VIEWED AT [www.brighton.tas.gov.au](http://www.brighton.tas.gov.au) AND AT THE COUNCIL OFFICES, 1 TIVOLI ROAD, OLD BEACH, BETWEEN 8:15 A.M. AND 4:45 P.M., MONDAY TO FRIDAY OR VIA THE QR CODE BELOW. ANY PERSON MAY MAKE WRITTEN REPRESENTATIONS CONCERNING AN APPLICATION UNTIL 4:45 P.M. ON **04/12/2023**. ADDRESSED TO THE GENERAL MANAGER AT 1 TIVOLI ROAD, OLD BEACH, 7017 OR BY EMAIL AT [development@brighton.tas.gov.au](mailto:development@brighton.tas.gov.au).

REPRESENTATIONS SHOULD INCLUDE A DAYTIME TELEPHONE NUMBER TO ALLOW COUNCIL OFFICERS TO DISCUSS, IF NECESSARY, ANY MATTERS RAISED.

**JAMES DRYBURGH**  
**General Manager**



**Brighton**  
going places

NEW OUTBUILDING  
65 LACHLAN COURT, BRIGHTON, 7030  
FOR D. & N. PREUSS

CERTIFICATE OF TITLE: VOLUME - 179181 FOLIO - 2  
PID: 9873747  
LAND AREA: 1.005ha

PLANNING SCHEME: TASMANIAN PLANNING SCHEME  
BRIGHTON LOCAL PROVISIONS SCHEDULE  
ZONE: 11. RURAL LIVING  
OVERLAYS: BUSHFIRE PRONE AREAS

SOIL CLASSIFICATION: M  
WIND REGION: A  
TERRAIN CATEGORY: TC2  
IMPORTANCE LEVEL: 2 (DOMESTIC)  
SHIELDING: 1  
TOPOGRAPHY: 1

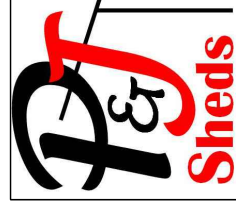
BAL: NOT REQUIRED (CLASS 10A STRUCTURE NOT WITHIN 6m OF DWELLING)

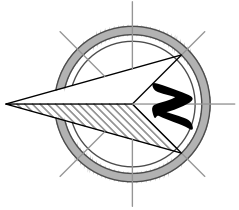
INDEX OF DRAWINGS - BY ADRIAN BROWN CC6003R

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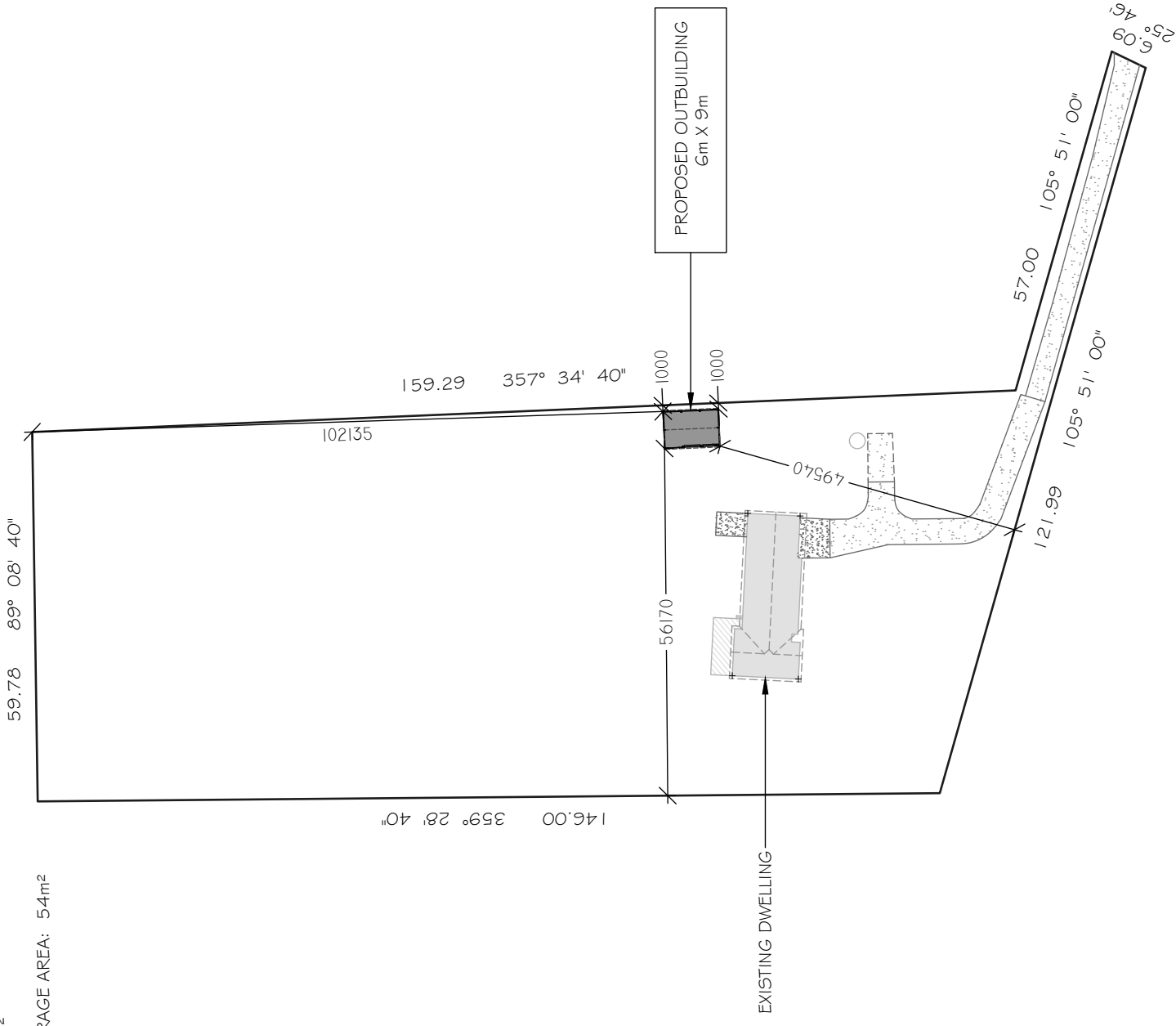
ADDITIONAL DRAWINGS / ENGINEERING  
BY NORTHERN CONSULTING ENGINEERS

JOB NO - 71912





LOT AREA: 1.0051ha  
 EXISTING DWELLING AREA: 245.65m<sup>2</sup>  
 EXISTING DECK AREA: 34.37m<sup>2</sup>  
 PROPOSED OUTBUILDING / GARAGE AREA: 54m<sup>2</sup>



L A C H L A N  
 C O U R T

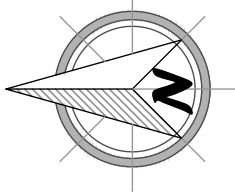
VOL: 179181  
 FOLIO: 2  
 1.005ha

SITE PLAN PREPARED FROM CERTIFICATE OF TITLE  
 INFORMATION AND MEASUREMENTS TAKEN ON SITE.  
 CONFIRMATION OF BOUNDARY LOCATION BY  
 REGISTERED SURVEYOR IS ALWAYS RECOMMENDED  
 PRIOR TO CONSTRUCTION AND IS THE RESPONSIBILITY  
 OF THE PROPERTY OWNER.

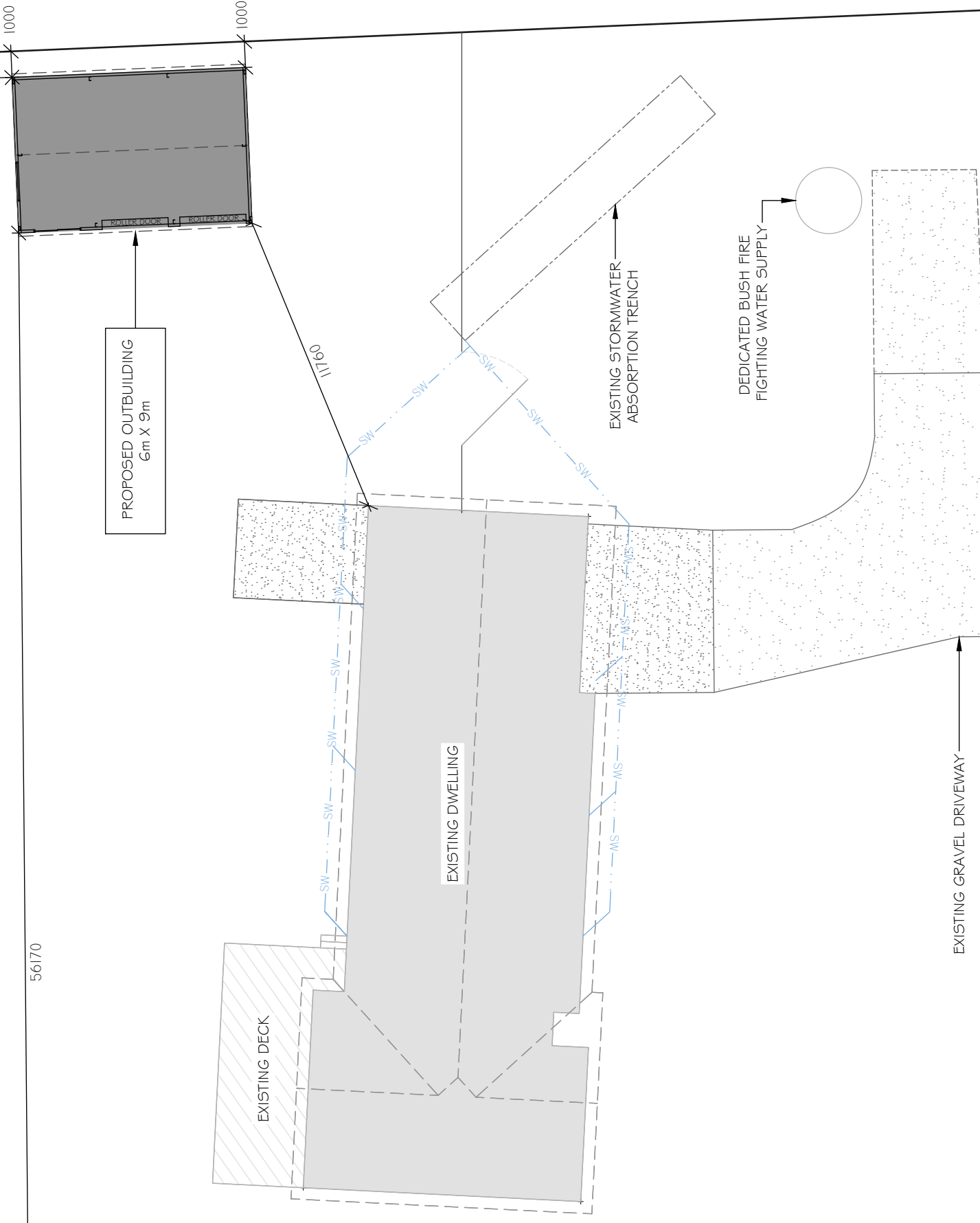
PROPOSAL : NEW OUTBUILDING  
 OWNER : D. & N. PREUSS  
 ADDRESS: 65 LACHLAN COURT, BRIGHTON, 7030  
 SCALE: 1:1000  
 DATE: 16th OCTOBER 2023  
 AMENDED:  
 DRAWN BY: A. BROWN CCG003R  
 PAGE: 01/05  
 JOB NO : 71912



SITE PLAN 1 : 1000



LOT AREA: 1.005ha  
 EXISTING DWELLING AREA: 245.65m<sup>2</sup>  
 EXISTING DECK AREA: 34.37m<sup>2</sup>  
 PROPOSED OUTBUILDING / GARAGE AREA: 54m<sup>2</sup>



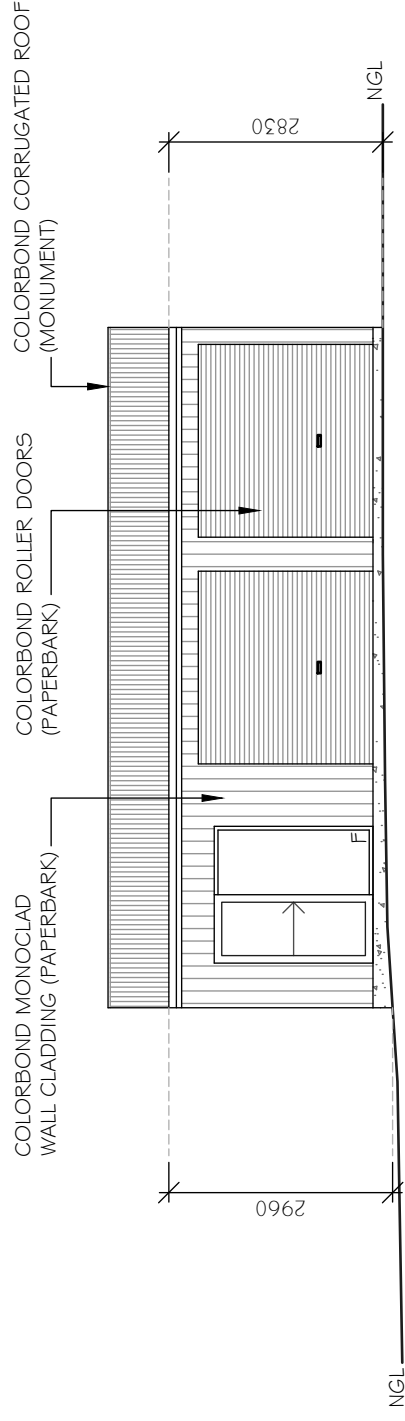
**VOL : 179181**  
**FOLIO: 2**  
**1.005ha**

SITE PLAN PREPARED FROM CERTIFICATE OF TITLE INFORMATION AND MEASUREMENTS TAKEN ON SITE. CONFIRMATION OF BOUNDARY LOCATION BY REGISTERED SURVEYOR IS ALWAYS RECOMMENDED PRIOR TO CONSTRUCTION AND IS THE RESPONSIBILITY OF THE PROPERTY OWNER.

**PROPOSAL :** NEW OUTBUILDING  
**OWNER :** D. & N. FREUSS  
**ADDRESS:** 65 LACHLAN COURT, BRIGHTON, 7030  
**SCALE:** 1:500  
**DATE:** 16th OCTOBER 2023  
**AMENDED:**  
**DRAWN BY:** A. BROWN CCG003R  
**PAGE:** 02/05  
**JOB NO :** 71912

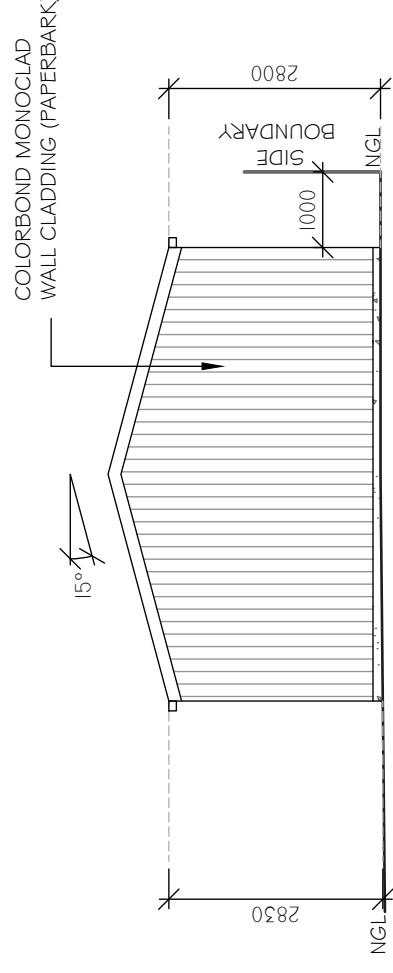


**LOCATION PLAN 1:500**

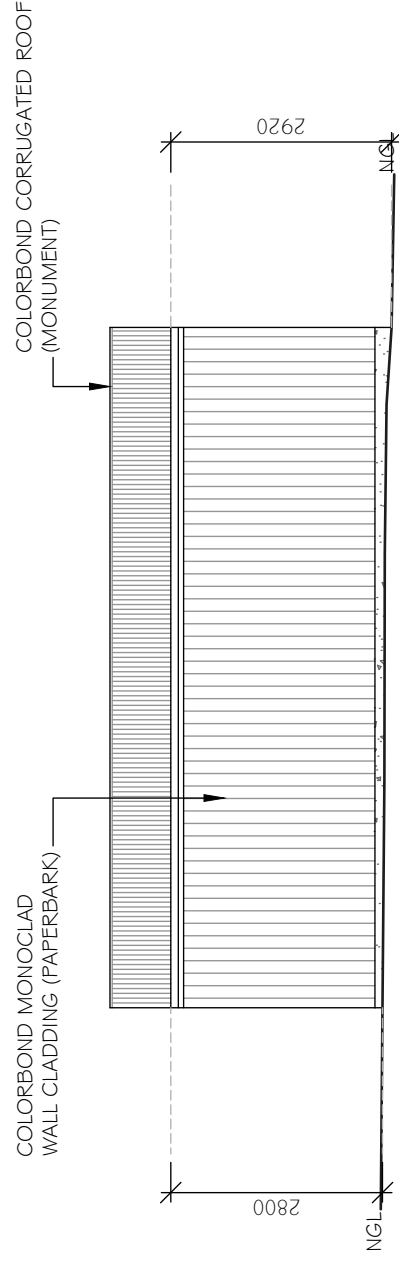


WEST ELEVATION

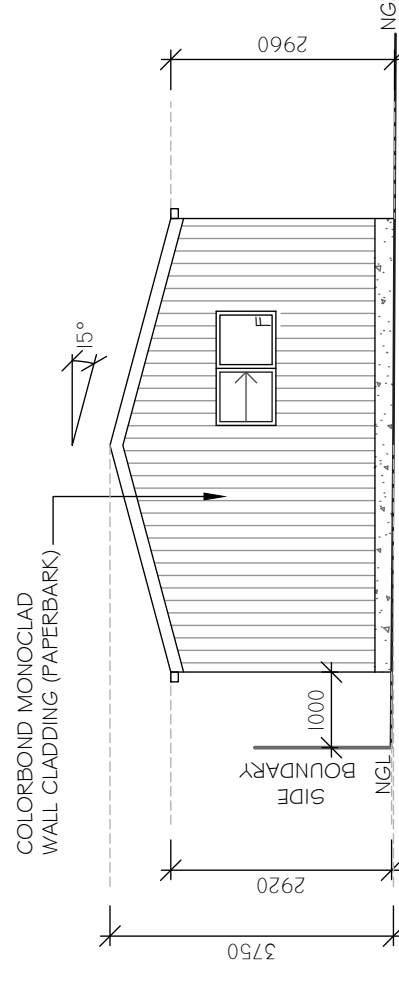
- COLOURS (COLORBOND®):  
 EXT. WALLS - PAPERBARK  
 ROOF - MONUMENT  
 ROLLER DOOR - PAPERBARK  
 WINDOW FRAME - MONUMENT  
 SLIDING DOOR - MONUMENT  
 GUTTER - MONUMENT  
 CORNER FLASH - PAPERBARK  
 BARGE FLASHING - MONUMENT  
 OPENING FLASH - MONUMENT



SOUTH ELEVATION



EAST ELEVATION



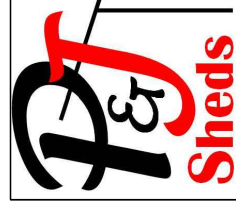
NORTH ELEVATION

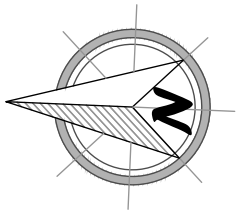
REFER TO DRAWINGS BY NORTHERN CONSULTING FOR ALL MEMBER AND MATERIAL DETAILS AS WELL AS FOOTING DESIGN AND SPECIFICATIONS.

ELEVATIONS 1 : 100

ALL HEIGHTS SHOWN ARE ABOVE NATURAL GROUND LEVEL.  
 ACTUAL HEIGHTS OF WALLS ABOVE CONCRETE SLAB ARE:  
 SIDE WALL HEIGHT - 2700mm  
 END WALL HEIGHT TO APEX - 3504mm

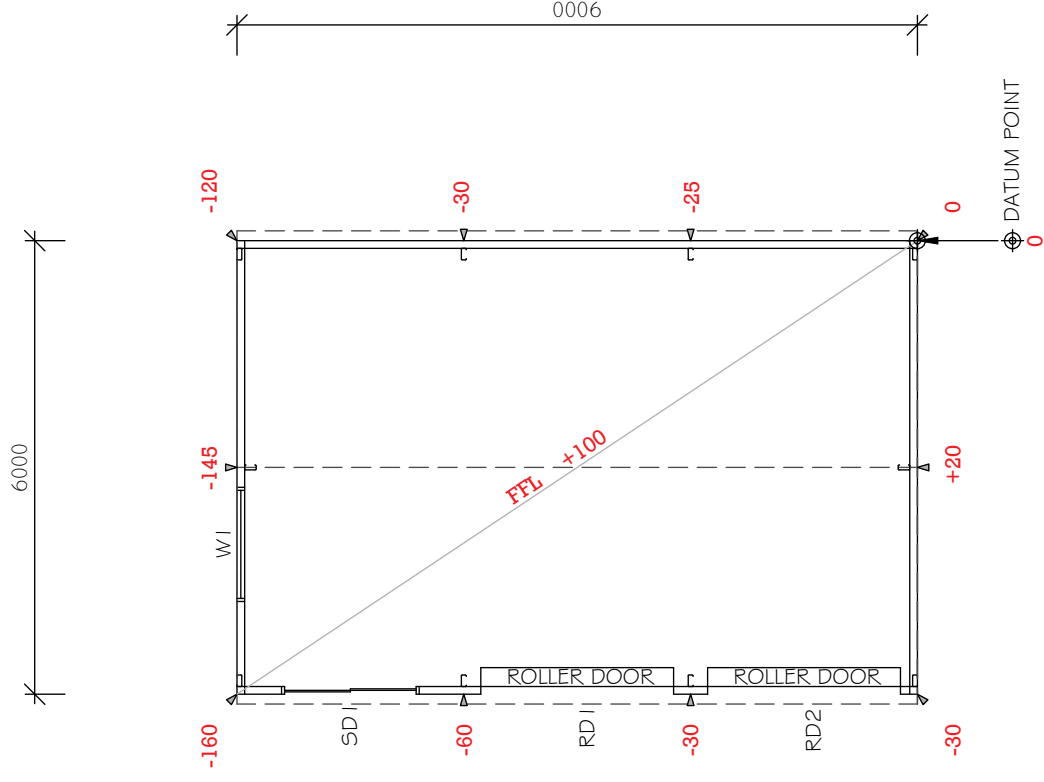
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WINDOW & DOOR SCHEDULE

	ID	HEIGHT	WIDTH
WINDOWS	W1	790mm	1510mm
SLIDING DOOR	SD1	2100mm	1810mm
ROLLER DOORS	RD1	2310mm	2550mm
	RD2	2310mm	2550mm



PROPOSAL : NEW OUTBUILDING

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AMENDED:

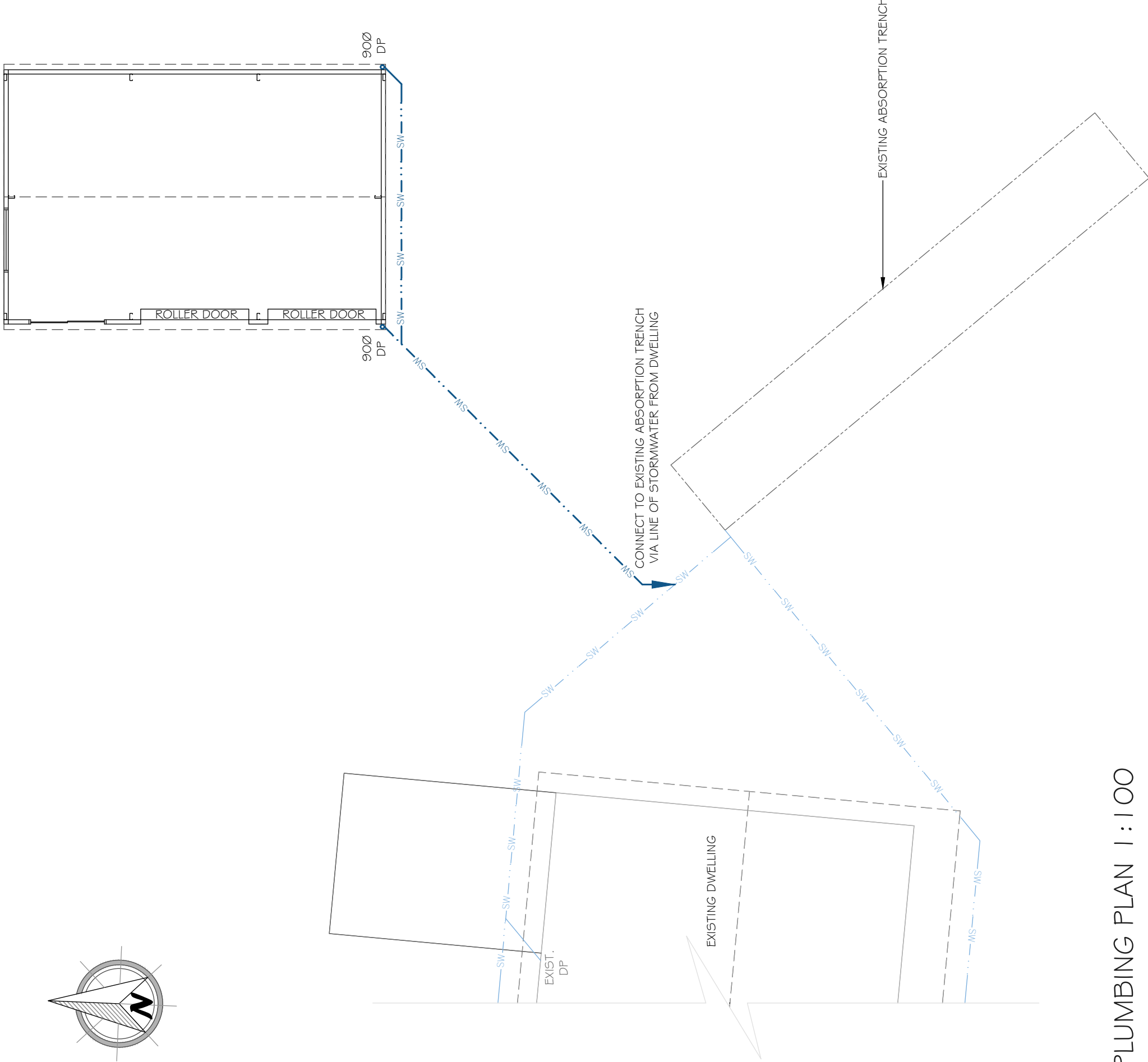
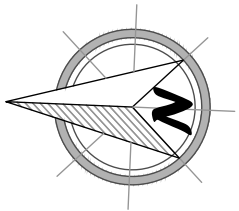
DRAWN BY: A. BROWN CCG003R

PAGE: 04/05

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FLOOR PLAN 1:100



CONSTRUCTION GENERALLY:  
 ALL CONSTRUCTION TO BE IN ACCORDANCE WITH CURRENT BUILDING REGULATIONS,  
 BUILDING CODE OF AUSTRALIA (B.C.A.), RELEVANT AUSTRALIAN STANDARDS AND LOCAL  
 AUTHORITY REQUIREMENTS.

SITE PREPARATION AND EXCAVATION TO COUNCIL AND B.C.A. REQUIREMENTS.

CONCRETE FOOTINGS TO AS 2870.1 AND ENGINEER SPECIFICATIONS,  
 UNLESS OTHERWISE SPECIFIED; FOOTINGS 20MPA / SLAB 25MPA.

GARAGE STRUCTURAL; DETAILS AND CERTIFICATION AS PER 'FAIR DINKUM SHEDS'  
 DOCUMENTATION.

BUILDER TO VERIFY ALL DIMENSIONS AND DETAILS ON THIS SET OF PLANS PRIOR  
 TO COMMENCEMENT OF WORK ON SITE.

USE WRITTEN DIMENSIONS IN PREFERENCE TO MEASURING OFF THE PLAN.

COUNCIL / CONTRACTOR TO CONTACT P&J SHEDS IF NECESSARY INFORMATION IS  
 NOT PROVIDED ON THIS SET OF PLANS.

PLUMBING GENERALLY:  
 ALL PLUMBING TO BE IN ACCORDANCE WITH AS 3500,  
 TAS PLUMBING CODE AND LOCAL AUTHORITY REQUIREMENTS.

100dia UPVC STORM WATER TO EXISTING ABSORPTION TRENCH  
 VIA EXISTING LINE OF STORMWATER FROM DWELLING.  
 PLUMBER TO VERIFY CONNECTION LOCATION WITH OWNER.

FIRST INSPECTION OPENING TO BE RAISED TO FINISHED GROUND LEVEL.

PROPOSAL : NEW OUTBUILDING

OWNER : D. & N. FREUSS

ADDRESS: 65 LACHLAN COURT, BRIGHTON, 7030

SCALE: 1:100

DATE: 16th OCTOBER 2023

AMENDED:

DRAWN BY: A. BROWN CCG003R

PAGE: 05/05

JOB NO : 71912



# PLUMBING PLAN 1:100



## Kelly Min

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**From:** Damien Preuss  
**Sent:** Tuesday, 7 November 2023 8:53 PM  
**To:** Kelly Min  
**Cc:**  
**Subject:** Fwd: FW: Request for additional information (2) [DA 2023 / 00189 (65 Lachlan Court, Brighton)]  
**Attachments:** 65 Lachlan Court\_Second RAI.pdf  
**Follow Up Flag:** Flag for follow up  
**Flag Status:** Flagged

**Caution:** This is an external email and may be **malicious**. Please take care when clicking links or opening attachments.

Hi Kelly,  
Here is the additional information you requested from both queries.

### **Clause 11.4.2 P3 - building setback**

Buildings must be sited to not cause an unreasonable loss of amenity to adjoining properties, having regard to:

- (a) the topography of the site;  
Mostly level land.
- (b) the size, shape and orientation of the site;  
Shed to be to the side of the house allowing room for vehicles to deliver landscaping supplies to the rear of the house through the gate, between the house and proposed shed. Moving the shed out from the fence line would block access the rear of the property via the side gate.
- (c) the setbacks of surrounding buildings;  
Keeping the shed to the side and mostly out of view of the house windows. Shed to be located 11760mm from our house which is the nearest building
- (d) the height bulk and form of existing and proposed buildings;  
As per the plans, 2800mm high and 1000mm from the 1800mm high picket fence.
- (e) the character of the development existing on established properties in the area; and  
Moving the shed further north to accommodate coming out 10m would ruin the aesthetics of our house. At this point in time there aren't any other established properties adjoining this site. The neighbour on that side has stated to us they wanted to build a large shed on the other side of the fence in a similar location (verbal only).
- (f) any overshadowing of adjoining properties or public places  
No over shadowing of adjoining property or buildings.

### **Access**

Please provide an updated site plan showing the internal vehicle access to the entrance of the proposed outbuilding. Please also include the driveway material on the plan.

Additionally, this is to be used landscaping and garden maintenance and won't be used for any vehicles and as such will not require a driveway.

Kind Regards,  
Noelene & Damien Preuss