



Application for Planning Approval

Land Use Planning and Approvals Act 1993

APPLICATION NO.

DA2023/150

LOCATION OF AFFECTED AREA

715 BOYER ROAD, DROMEDARY

DESCRIPTION OF DEVELOPMENT PROPOSAL

PARTIAL CHANGE OF USE TO FOOD SERVICES

A COPY OF THE DEVELOPMENT APPLICATION MAY BE VIEWED AT www.brighton.tas.gov.au AND AT THE COUNCIL OFFICES, 1 TIVOLI ROAD, OLD BEACH, BETWEEN 8:15 A.M. AND 4:45 P.M., MONDAY TO FRIDAY OR VIA THE QR CODE BELOW. ANY PERSON MAY MAKE WRITTEN REPRESENTATIONS CONCERNING AN APPLICATION UNTIL 4:45 P.M. ON **01/11/2023**. ADDRESSED TO THE GENERAL MANAGER AT 1 TIVOLI ROAD, OLD BEACH, 7017 OR BY EMAIL AT development@brighton.tas.gov.au.

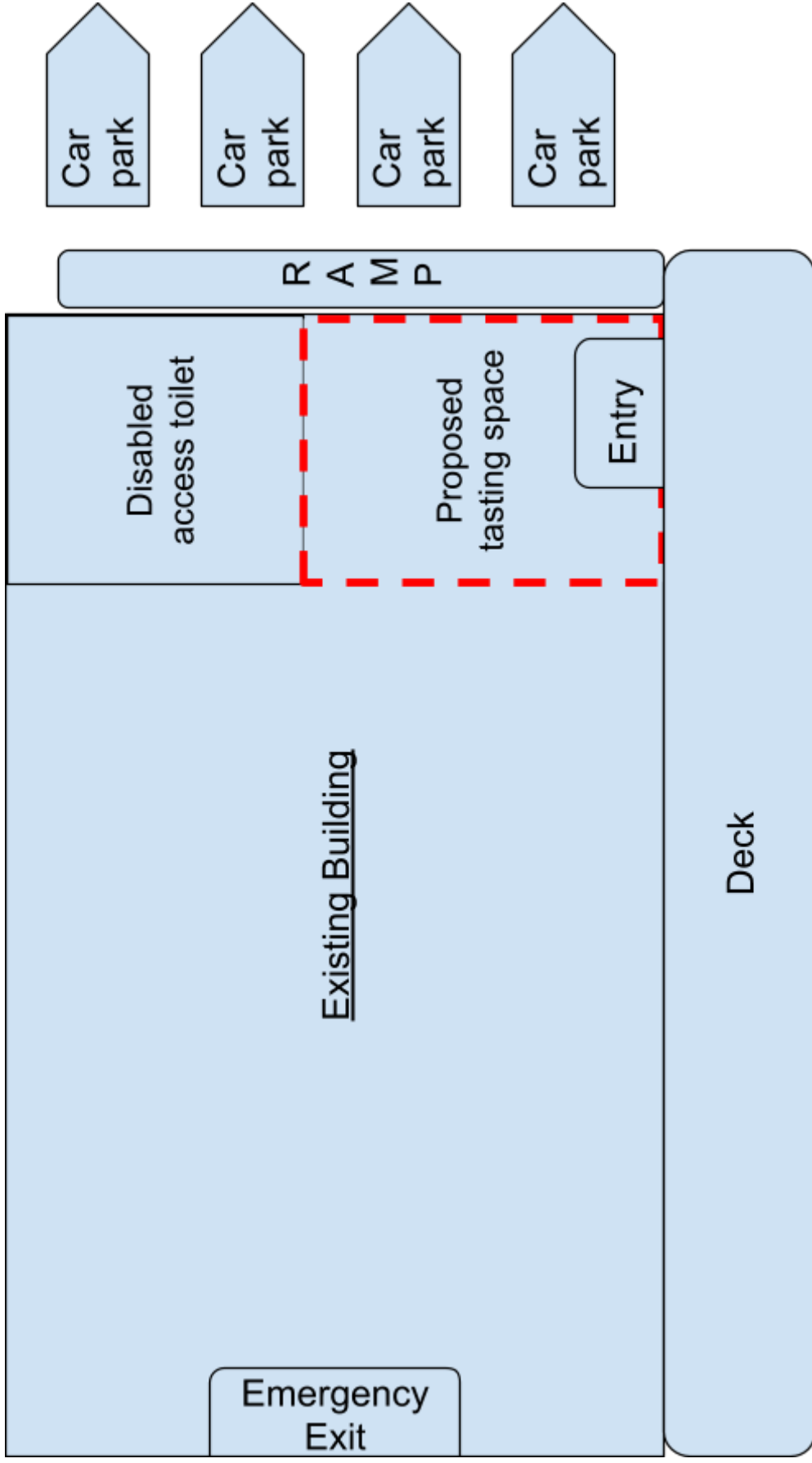
REPRESENTATIONS SHOULD INCLUDE A DAYTIME TELEPHONE NUMBER TO ALLOW COUNCIL OFFICERS TO DISCUSS, IF NECESSARY, ANY MATTERS RAISED.

JAMES DRYBURGH
General Manager



Brighton
going places

Proposed Tasting Space - Derwent Distillery



to boyer road

c.t.b. 6.32m.

c.t.b. 15.77m.

c.t.b. 19.20m.

LOT 2 BOYER RD
DROMEDARY TAS 7030

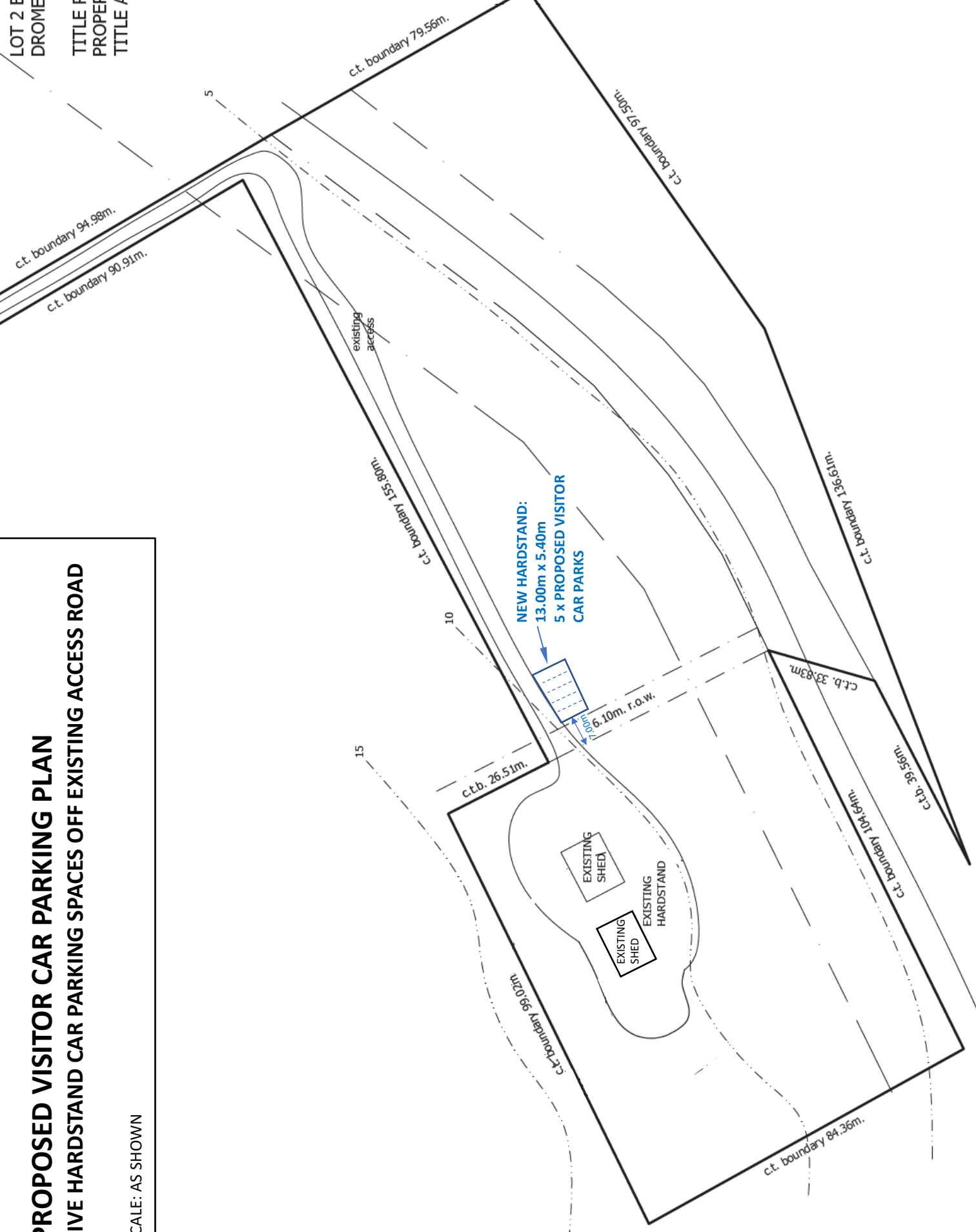
TITLE REF: 175434/2
PROPERTY ID: 3610875
TITLE AREA = 2.076ha

DERWENT DISTILLERY

LOT 2 BOYER ROAD
DROMEDARY TAS 7030

PROPOSED VISITOR CAR PARKING PLAN FIVE HARDSTAND CAR PARKING SPACES OFF EXISTING ACCESS ROAD

SCALE: AS SHOWN



c.t. boundary 79.56m.

c.t. boundary 97.50m.

c.t. boundary 94.98m.
c.t. boundary 90.91m.

c.t. boundary 155.80m.

c.t. boundary 136.61m.

NEW HARDSTAND:
13.00m x 5.40m
5 x PROPOSED VISITOR
CAR PARKS

10

6.10m. r.o.w.

c.t.b. 26.51m.

c.t.b. 33.83m.

c.t.b. 39.56m.

c.t. boundary 104.64m.

15

c.t. boundary 90.91m.

EXISTING SHED

EXISTING SHED

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existing access

c.t. boundary 84.36m.